

CONSTRUCTION PLAN SHEET LIST

SHEET NUMBER	SHEET NAME
C-0	COVER SHEET
E-1	FRONT & REAR ELEVATION
E-2	LEFT & RIGHT ELEVATION
E-3	ROOF OVERVIEW
F-1	FOUNDATION PLAN
F-1.1	BSMT FOUNDATION DETAILS
F-2	FIRST FLOOR PLAN
F-3	BONUS ROOM
H-1	FIRST FLOOR ELECTRICAL
S-1	WALL SECTION & DETAILS
S-2	SECTION
S-3	FRAMING DETAILS

FOUNDATION NOTES

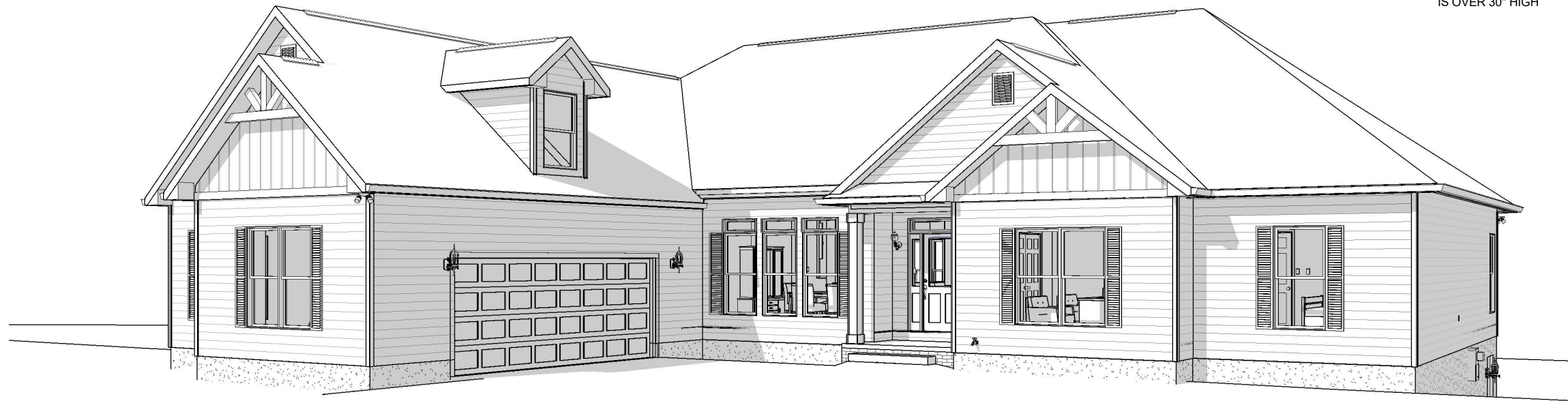
- TYPICAL FOUNDATION WALL: BASEMENT 8'-8" x 8" BLOCK (13-COURSES) - ON TOP OF 24"x 8" POURED CONCRETE FOOTING
- ALL GIRDER BREAKS MUST BE ON PIERS OR POSTS
- NOTCH SILL PLATE AROUND DROPPED BEAM
- FILL ALL CELLS SOLID UNDER BEAM POCKET BEARING POINT
- GRAVEL REQ'D UNDER BASEMENT SLAB
- POLY REQ'D UNDER BASEMENT SLAB
- GRAVEL REQ'D UNDER GARAGE SLAB
- POLY REQ'D UNDER GARAGE SLAB

FLOOR FRAMING NOTE

- ADD SINGLE 2x10 JOIST UNDER WALLS ABOVE THAT RUN PARALLEL TO FLOOR JOIST
- P.T. 2 X 8 SILL PLATE

GENERAL NOTES

- MIN 9'-1 1/8" CEILING HEIGHT ON FIRST FLOOR
- ALL LOAD BEARING WALLS & EXT. OPENINGS TO HAVE (2) 2X10 HEADERS UNLESS OTHERWISE NOTED
- STANDARD FIRST FLOOR WINDOW HEADERS TO BE FRAMED DOWN 2'-2" FROM T.O.P. EXCEPT AS NOTED
- 7/16" O.S.B. AND HOUSEWRAP REQUIRED
- DIMENSIONS ARE TO SHEATHING EXTERIOR; SUBTRACT 1/2" FROM DIMENSIONS FOR EXTERIOR WINDOW AND DOOR FRAMING LOCATION IF OPENINGS ARE FRAMED BEFORE SHEATHING INSTALLATION
- ALL INTERIOR DOORS ARE EITHER CENTERED ON WALLS OR R.O. STARTED MIN OF 4" FROM ADJOINING WALL UNLESS OTHERWISE DIMENSIONED
- NUMBER OF EXTERIOR OR GARAGE STAIR TREADS & RISERS MAY VARY AS A RESULT OF LOCAL BUILDING CODES, STANDARDS AND FINAL GRADE
- CLOSET SHELF HEIGHT OFF FLOOR:
SINGLE - 68"
DOUBLE - 42" & 84"
- ALL PLUMBING FIXTURES SHOWN ARE A REPRESENTATION OF SIZE AND LOCATION ONLY. ACTUAL STYLE AND BRAND OF FIXTURES MAY VARY PER OFFICE LOCATION
- ALL TUBS/SHOWERS ARE TO HAVE NAILERS AT FLANGE
- INSTALL A 24" WIDE WALKWAY FROM ATTIC ACCESS TO FURNACE PLATFORM
- RAILINGS ARE A FORCED OPTION WHEN PORCH IS OVER 30" HIGH



FRONT PERSPECTIVE - CP

Revision Number	Revision Description	Revision Date

AREAS:	
FIRST FLOOR HEATED GARAGE	2,763 SF
FRONT PORCH	647 SF
BONUS ROOM	43 SF
BASEMENT	301 SF
TOTAL UNDER ROOF	2,744 SF
	6,498 SF

THE: **BROOKWOOD MFH**
 FOR: **STACI & JASON FLORENCE**
 378 SKYCROFT DRIVE
 SANFORD, NC 27332
 OFFICE: FAYETTEVILLE SALES
 SOLD BY:

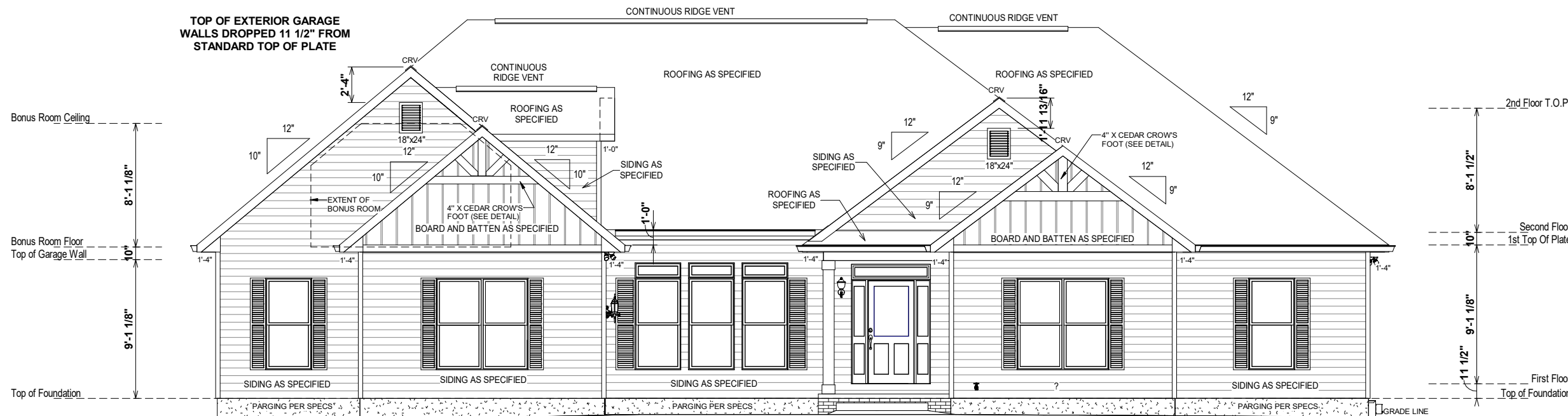
JOB#: **141-21-023**
2x4 EXTERIOR WALLS
 FOUNDATION TYPE: **BASEMENT**
 DRAWN BY: **AP**
 CHECKED BY: **JS**
 PRINT DATE: **6/21/2022 9:57:45 AM**



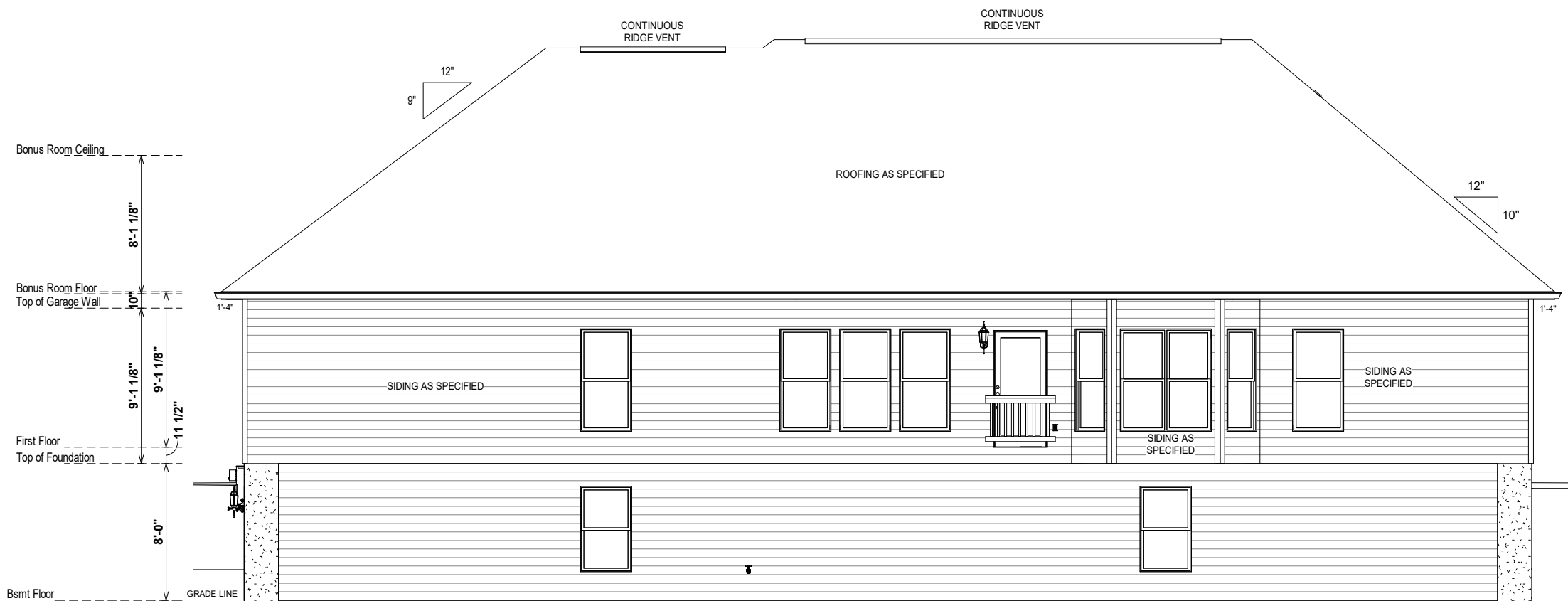
SHEET NUMBER: **C-0**
COVER SHEET

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%

FINAL CONSTRUCTION PLANS



1 FRONT ELEVATION
1/8" = 1'-0"



2 REAR ELEVATION
1/8" = 1'-0"

ELEVATION NOTES

- MIN 9'-1 1/8" CEILING HEIGHT ON FIRST FLOOR
- 7/16" O.S.B AND HOUSEWRAP REQUIRED
- ROOF OVERHANGS, AS NOTED, ARE FROM WALL SHEATHING TO OUTSIDE OF FASCIA
- FINAL GRADE TO BE DETERMINED ON SITE
- FOUNDATION DRAWN AS REPRESENTATION ONLY

9:12 O.W.H. = 11 3/16"
10:12 O.W.H. = 11 11/16"

NOTE: O.W.H. ADJUSTED TO ACCOMMODATE LVL BEAM AT REAR BAY

GRADE IS TO BE DETERMINED

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%

FINAL CONSTRUCTION PLANS

Revision Schedule		Revision Description		Revision Number

AREAS:	FIRST FLOOR HEATED GARAGE	2,763 SF
	FRONT PORCH	647 SF
	BONUS ROOM	43 SF
	BASEMENT	301 SF
	TOTAL UNDER ROOF	2,744 SF
TOTAL UNDER ROOF		6,498 SF

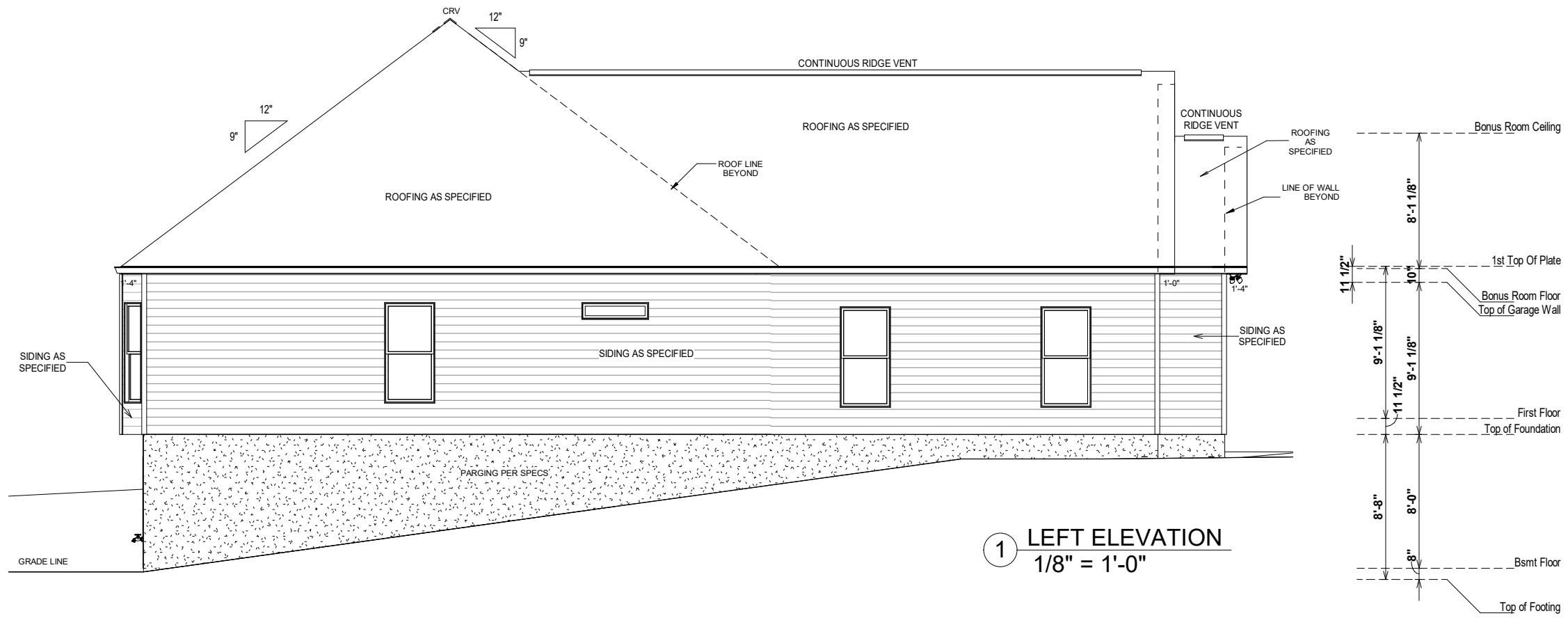
THE:	BROOKWOOD MFH
FOR:	STACI & JASON FLORENCE
OFFICE:	378 SKYCROFT DRIVE SANFORD, NC 27332
SOLD BY:	FAYETTEVILLE SALES

JOB#:	141-21-023
FOUNDATION TYPE:	BASEMENT
2x4 EXTERIOR WALLS	

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PRINT DATE:	8/21/2022 9:57:47 AM

SHEET NUMBER:	E-1
FRONT & REAR ELEVATION	



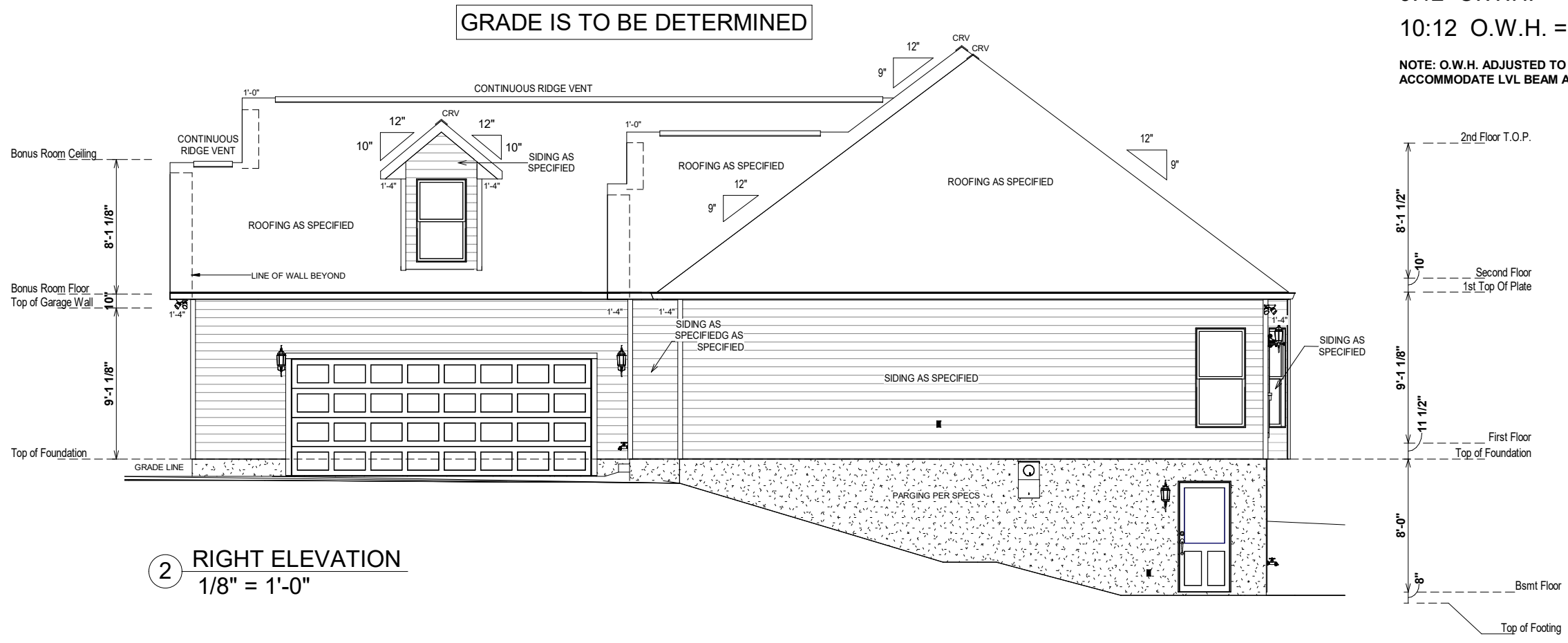
1 LEFT ELEVATION
1/8" = 1'-0"

ELEVATION NOTES

- MIN 9'-1 1/8" CEILING HEIGHT ON FIRST FLOOR
- 7/16" O.S.B AND HOUSEWRAP REQUIRED
- ROOF OVERHANGS, AS NOTED, ARE FROM WALL SHEATHING TO OUTSIDE OF FASCIA
- FINAL GRADE TO BE DETERMINED ON SITE
- FOUNDATION DRAWN AS REPRESENTATION ONLY

9:12 O.W.H. = 11 3/16"
10:12 O.W.H. = 11 11/16"

NOTE: O.W.H. ADJUSTED TO ACCOMMODATE LVL BEAM AT REAR BAY



2 RIGHT ELEVATION
1/8" = 1'-0"

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%

FINAL CONSTRUCTION PLANS

Revision Number	Revision Description	Revision Date

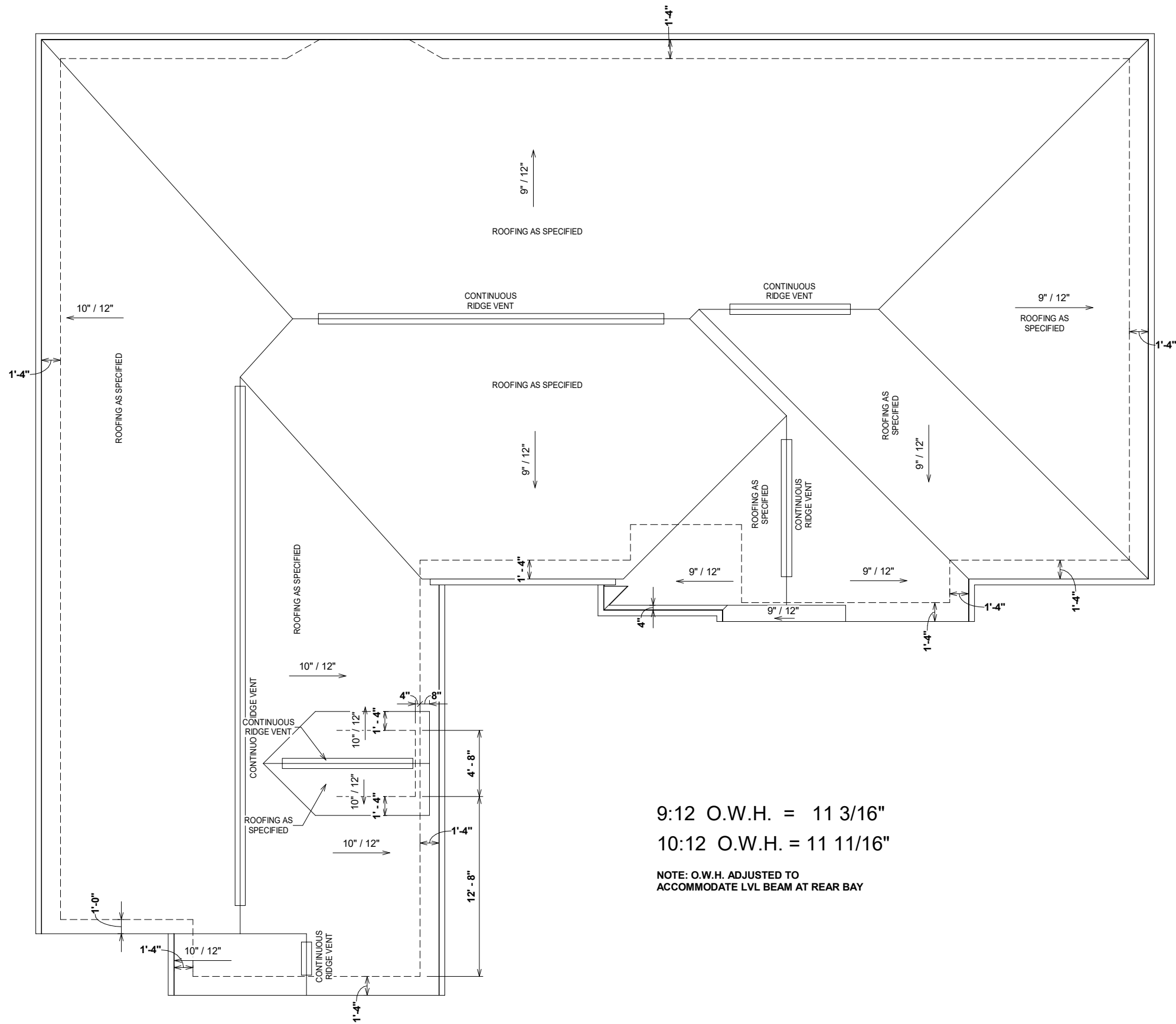
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FIRST FLOOR HEATED GARAGE							
FRONT PORCH							
BONUS ROOM							
BASEMENT							
TOTAL UNDER ROOF							

TITLE: BROOKWOOD MFH
FOR: STACI & JASON FLORENCE
378 SKYCROFT DRIVE SANFORD, NC 27332
OFFICE: FAYETTEVILLE SALES
SOLD BY:

JOB#: 141-21-023
2x4 EXTERIOR WALLS
FOUNDATION TYPE: BASEMENT

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SHEET NUMBER: E-2
LEFT & RIGHT ELEVATION



9:12 O.W.H. = 11 3/16"

10:12 O.W.H. = 11 11/16"

NOTE: O.W.H. ADJUSTED TO ACCOMMODATE LVL BEAM AT REAR BAY

1 ROOF OVERVIEW
1/8" = 1'-0"

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%


FINAL CONSTRUCTION PLANS

Revision Number	Revision Description	Revision Date

AREAS:	
FIRST FLOOR HEATED GARAGE	2,763 SF
FRONT PORCH	647 SF
BONUS ROOM	43 SF
BASEMENT	301 SF
TOTAL UNDER ROOF	2,744 SF
	6,498 SF

TITLE:	BROOKWOOD MFH
FOR:	STACI & JASON FLORENCE
OFFICE:	378 SKYCROFT DRIVE SANFORD, NC 27332
SOLD BY:	FAYETTEVILLE SALES

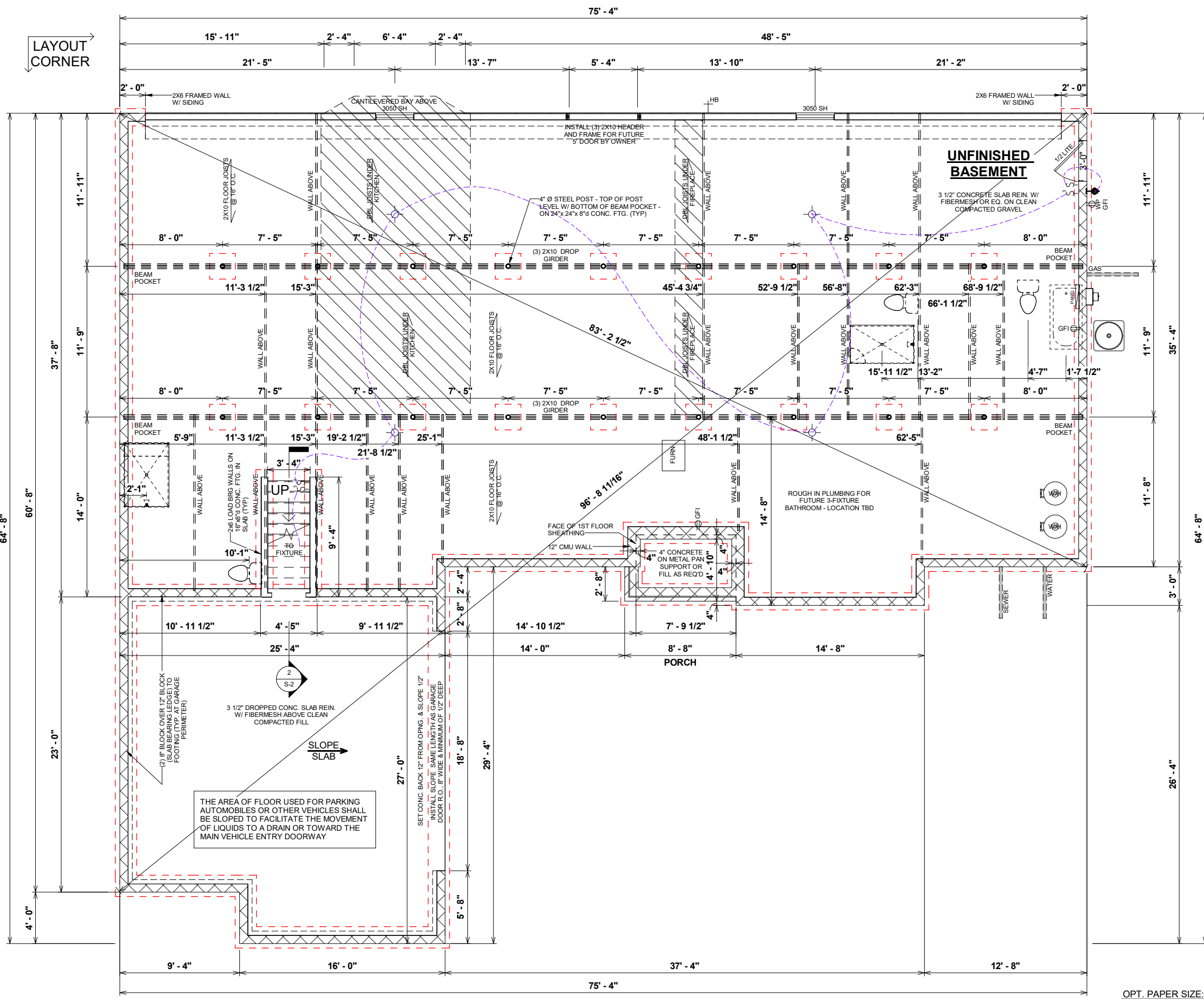
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FOUNDATION TYPE:	BASEMENT

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SHEET NUMBER: **E-3**

ROOF OVERVIEW



FOUNDATION NOTES

- TYPICAL FOUNDATION WALL: BASEMENT 8'-8" x 8" BLOCK (13-COURSES) - ON TOP OF 24"x 8" POURED CONCRETE FOOTING
- ALL GIRDER BREAKS MUST BE ON PIERS OR POSTS
- NOTCH SILL PLATE AROUND DROPPED BEAM
- FILL ALL CELLS SOLID UNDER BEAM POCKET BEARING POINT
- GRAVEL REQ'D UNDER BASEMENT SLAB
- POLY REQ'D UNDER BASEMENT SLAB
- GRAVEL REQ'D UNDER GARAGE SLAB
- POLY REQ'D UNDER GARAGE SLAB

FLOOR FRAMING NOTE

- ADD SINGLE 2x10 JOIST UNDER WALLS ABOVE THAT RUN PARALLEL TO FLOOR JOIST
- P.T. 2 X 8 SILL PLATE

1 FOUNDATION PLAN
1/8" = 1'-0"

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%
FINAL CONSTRUCTION PLANS

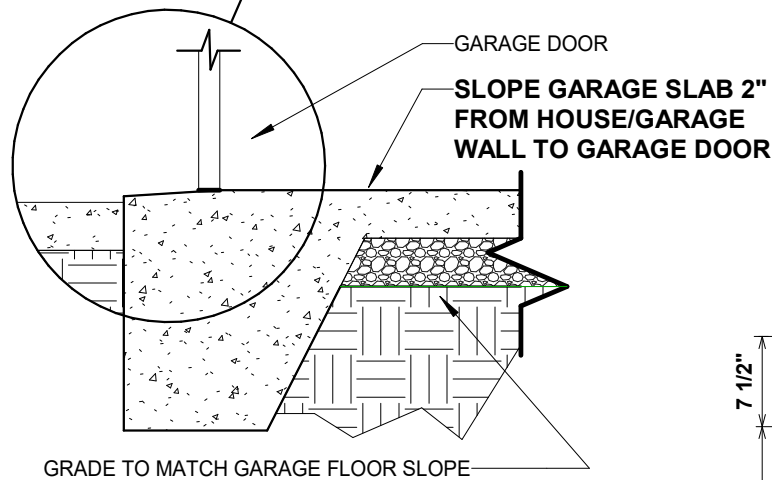
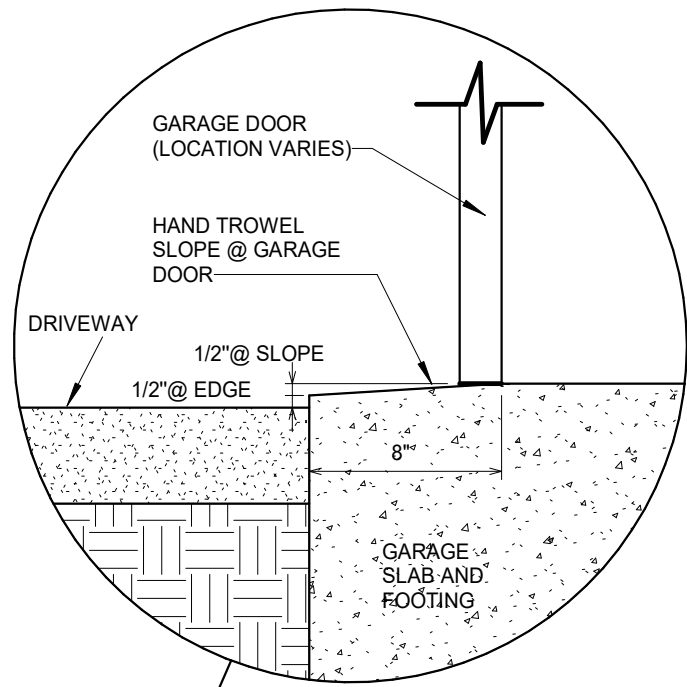
Revision Schedule		Revision Description		Revision Number	Revision Date

AREAS:	FIRST FLOOR HEATED GARAGE	2,763 SF
	FRONT PORCH	647 SF
	BONUS ROOM	43 SF
	BASEMENT	301 SF
	TOTAL UNDER ROOF	2,744 SF
		6,498 SF

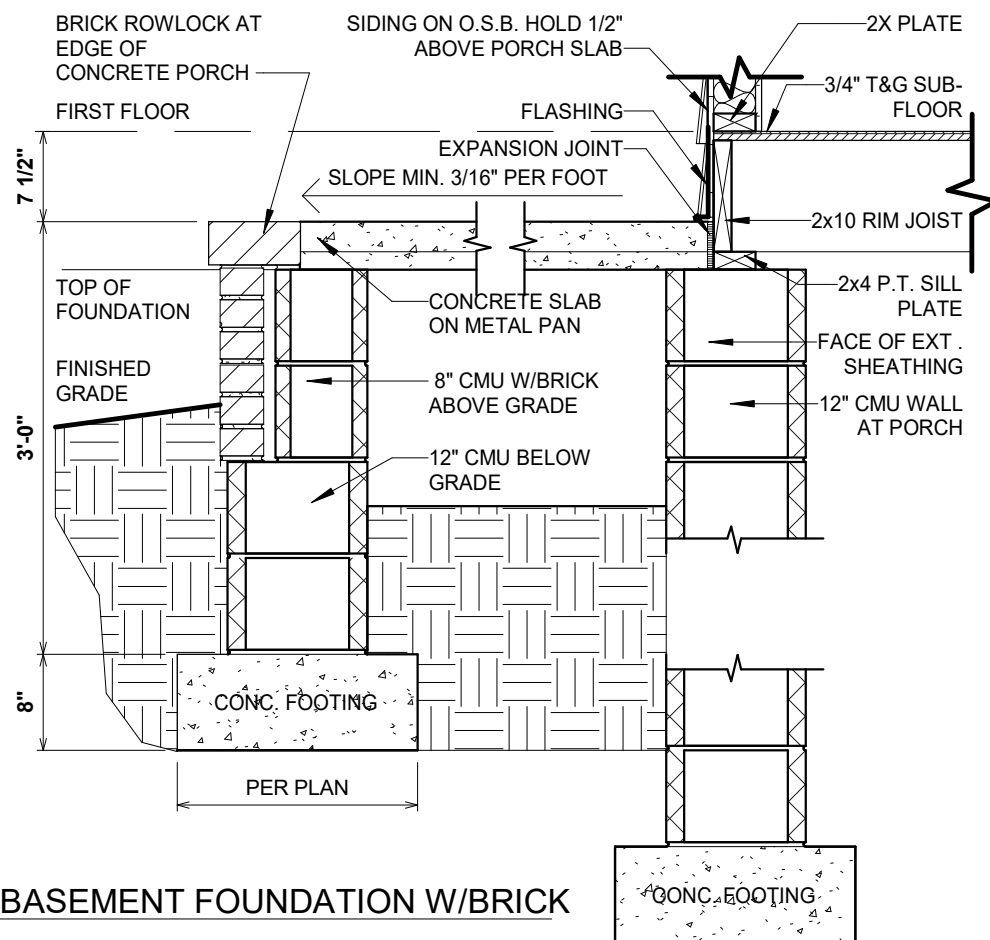
THE:	BROOKWOOD MFH
FOR:	STACI & JASON FLORENCE
OFFICE:	378 SKYCROFT DRIVE SANFORD, NC 27332
SOLD BY:	FAYETTEVILLE SALES

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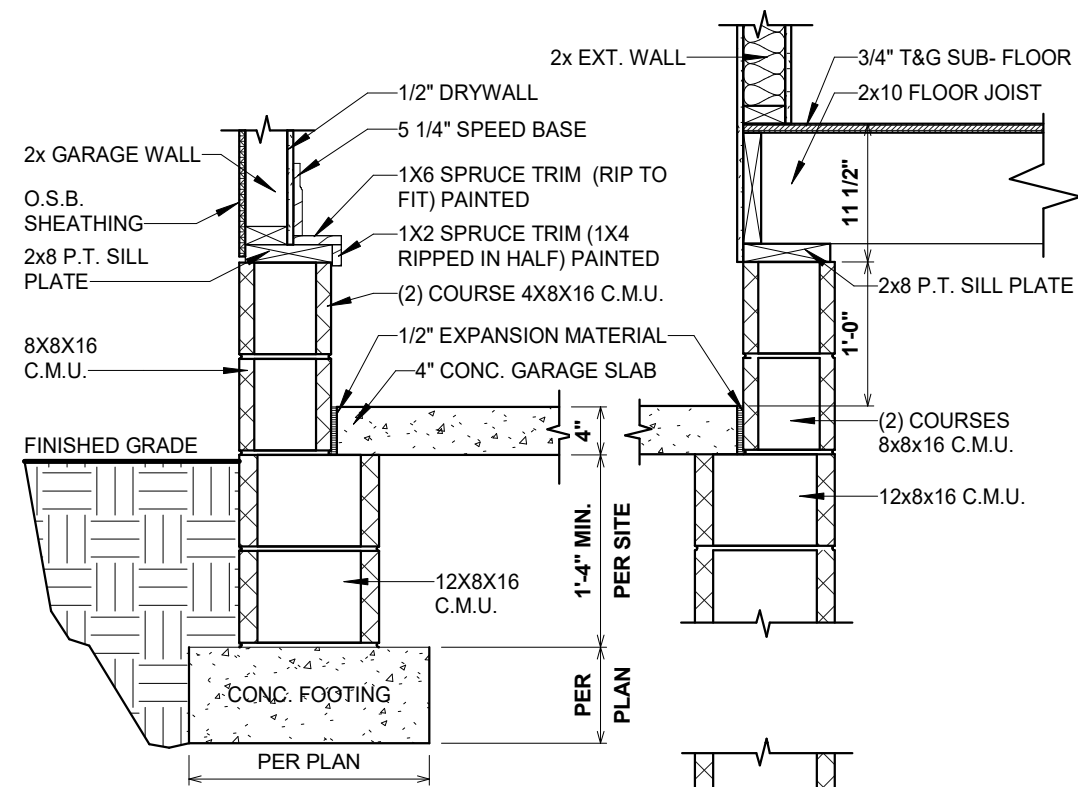
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SHEET NUMBER:	F-1
FOUNDATION PLAN	



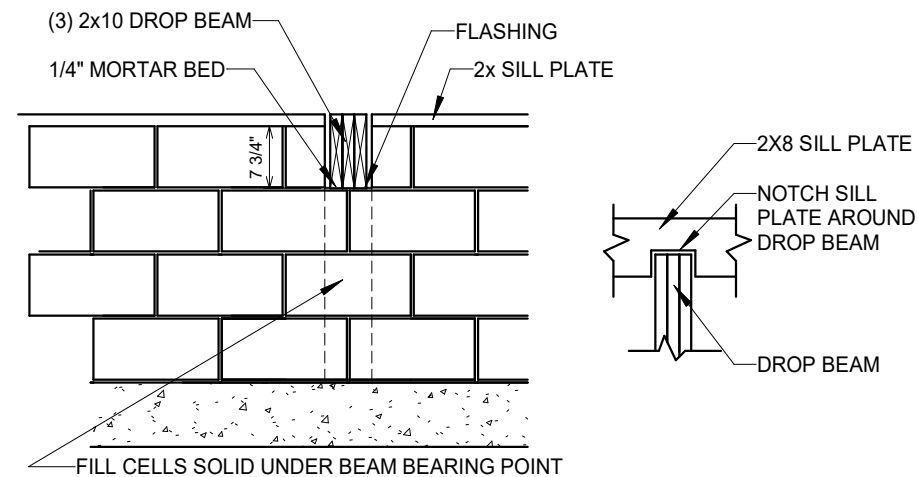
2 520.5 SLOPE AT GARAGE DOOR DETAIL
3/4" = 1'-0"



3 CONCRETE PORCH BASEMENT FOUNDATION W/BRICK
3/4" = 1'-0"



1 GARAGE BASEMENT FOUNDATION
3/4" = 1'-0"



4 BEAM POCKET DETAIL
1/2" = 1'-0"

Revision Number	Revision Description	Revision Date

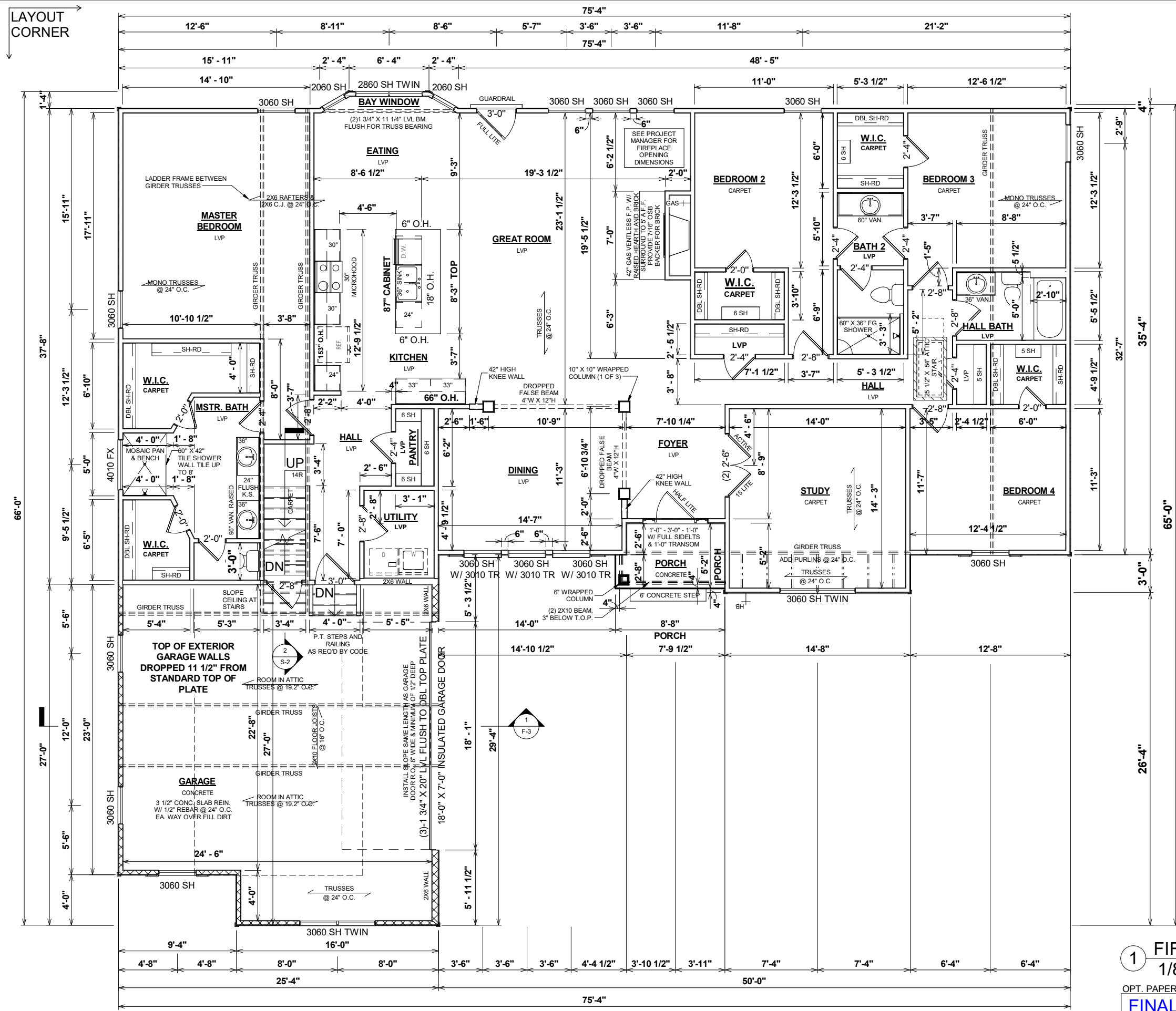
AREAS:	2,763 SF	647 SF	43 SF	301 SF	2,744 SF	6,498 SF
FIRST FLOOR HEATED GARAGE	2,763 SF	647 SF	43 SF	301 SF	2,744 SF	6,498 SF
FRONT PORCH						
BONUS ROOM						
BASEMENT						
TOTAL UNDER ROOF						

TITLE: **BROOKWOOD MFH**
 FOR: **STACI & JASON FLORENCE**
 378 SKYCROFT DRIVE
 SANFORD, NC 27332
 OFFICE: FAYETTEVILLE SALES
 SOLD BY:

JOB#: **141-21-023**
2x4 EXTERIOR WALLS
 FOUNDATION TYPE: **BASEMENT**
 DRAWN BY: **AP**
 CHECKED BY: **JS**
 PRINT DATE: **8/21/2022 9:57:52 AM**

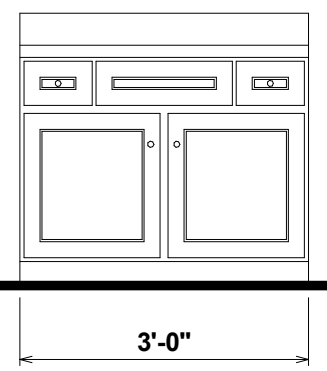
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 SHEET NUMBER: **F-1.1**
BSMT FOUNDATION DETAILS

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%
FINAL CONSTRUCTION PLANS



GENERAL NOTES

- MIN 9'-1 1/8" CEILING HEIGHT ON FIRST FLOOR
- ALL LOAD BEARING WALLS & EXT. OPENINGS TO HAVE (2) 2X10 HEADERS UNLESS OTHERWISE NOTED
- STANDARD FIRST FLOOR WINDOW HEADERS TO BE FRAMED DOWN 2'-2" FROM T.O.P. EXCEPT AS NOTED
- 7/16" O.S.B. AND HOUSEWRAP REQUIRED
- DIMENSIONS ARE TO SHEATHING EXTERIOR; SUBTRACT 1/2" FROM DIMENSIONS FOR EXTERIOR WINDOW AND DOOR FRAMING LOCATION IF OPENINGS ARE FRAMED BEFORE SHEATHING INSTALLATION
- ALL INTERIOR DOORS ARE EITHER CENTERED ON WALLS OR R.O. STARTED MIN OF 4" FROM ADJOINING WALL UNLESS OTHERWISE DIMENSIONED
- NUMBER OF EXTERIOR OR GARAGE STAIR TREADS & RISERS MAY VARY AS A RESULT OF LOCAL BUILDING CODES, STANDARDS AND FINAL GRADE
- CLOSET SHELF HEIGHT OFF FLOOR:
SINGLE - 68"
DOUBLE - 42" & 84"
- ALL PLUMBING FIXTURES SHOWN ARE A REPRESENTATION OF SIZE AND LOCATION ONLY. ACTUAL STYLE AND BRAND OF FIXTURES MAY VARY PER OFFICE LOCATION
- ALL TUBS/SHOWERS ARE TO HAVE NAILERS AT FLANGE
- INSTALL A 24" WIDE WALKWAY FROM ATTIC ACCESS TO FURNACE PLATFORM
- RAILINGS ARE A FORCED OPTION WHEN PORCH IS OVER 30" HIGH



② 891.1 36" VANITY ELEVATION
1/2" = 1'-0"

① FIRST FLOOR PLAN - CP
1/8" = 1'-0"

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%

FINAL CONSTRUCTION PLANS

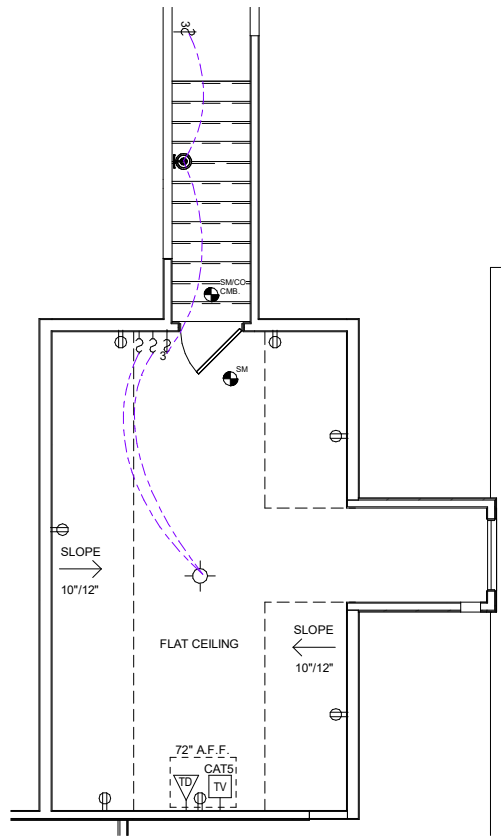
Revision Schedule		Revision Description		Revision n Date	
Revision Number	Revision Description	Revision Number	Revision Description	Revision Number	Revision Date

AREAS:		FIRST FLOOR HEATED	2,763 SF
		GARAGE	647 SF
		FRONT PORCH	43 SF
		BONUS ROOM	301 SF
		BASEMENT	2,744 SF
		TOTAL UNDER ROOF	6,498 SF

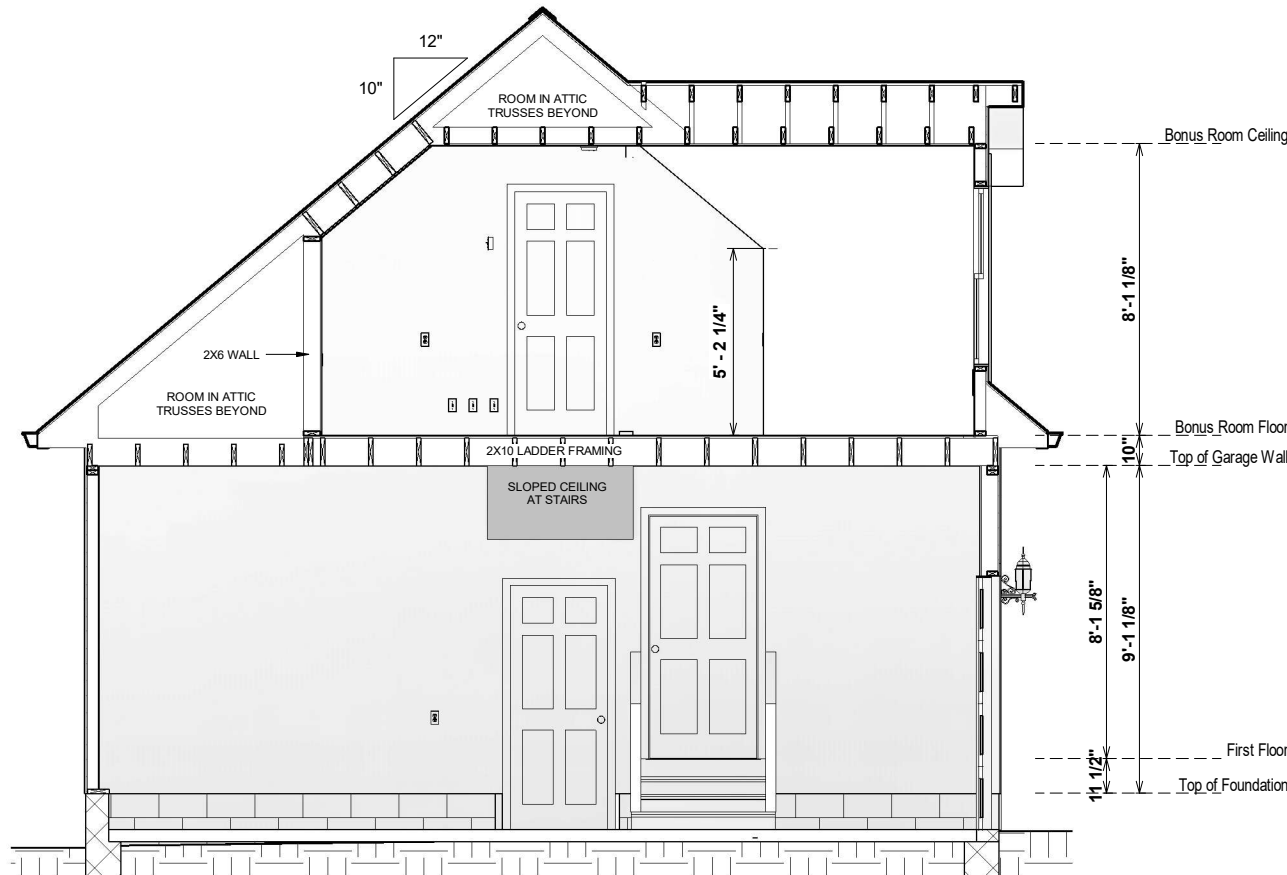
TITLE:	BROOKWOOD MFH
FOR:	STACI & JASON FLORENCE
ADDRESS:	378 SKYCROFT DRIVE SANFORD, NC 27332
OFFICE:	FAYETTEVILLE SALES
SOLD BY:	

JOB#:	141-21-023
DRAWN BY:	AP
CHECKED BY:	JS
PRINT DATE:	6/21/2022 9:57:52 AM
FOUNDATION TYPE:	BASEMENT

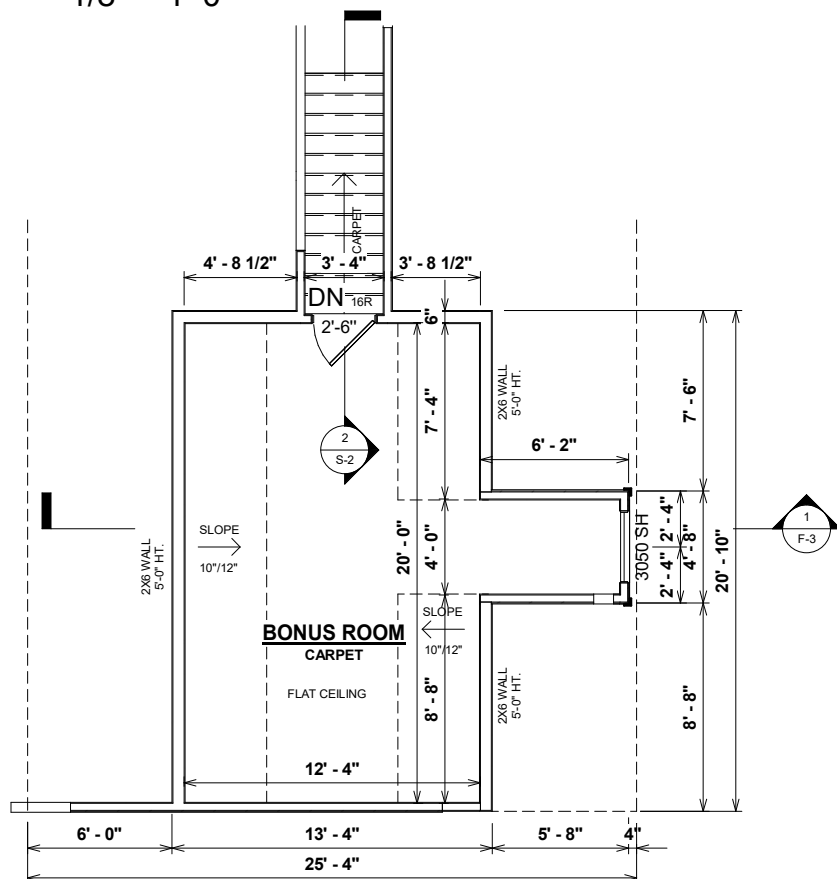
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SHEET NUMBER:	F-2
COPYRIGHT:	© COPYRIGHT - 2021
FIRST FLOOR PLAN	



3 BONUS ROOM ELECTRICAL- CP
1/8" = 1'-0"



1 BONUS ROOM SECTION
3/16" = 1'-0"



4 BONUS ROOM-CP
1/8" = 1'-0"

ELECTRICAL NOTES:

- BRANCH CIRCUITS THAT SUPPLY 125V, SINGLE PHASE, 15 & 20 AMP RECEPTACLE OUTLETS IN ALL ROOMS AS REQUIRED BY CODE, SHALL BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT N.C. ELECT.CODE SECT.210.12(b)
- CONFORM ELECT. WIRING & COMPONENTS TO CURRENT NEC PROVISIONS FOR 1 & 2 FAMILY DWELLINGS AS REQUIRED BY CODE
- OUTLET, FIXTURE, & COMPONENT LOCATIONS ARE APPROXIMATE AND WILL VARY DUE TO DESIGN AND CODE RESTRICTIONS & REQUIREMENTS
- SERVICE DISCONNECT REQUIRED
- CONDENSATE PUMP REQUIRED

ELECTRICAL LEGEND	
LIGHTING FIXTURES	
Ceiling Fan	
Ceiling Fan w/ Light	
Ceiling Mounted Light	
Recessed Ceiling Light	
Pendent Ceiling Light	
Fluorescent Ceiling Light	
Ceiling Exhaust Fan/Light Combo	
Ceiling Exhaust Fan/Light Combo	
Emergency Exit Light	
Junction Box for Future Fixture	
Fluorescent Wall Mounted Light	
Wall Mounted Vanity 3 Light	
Wall Mounted Vanity 4 Light	
Wall Mounted Interior Sconce Light	
Wall Mounted Exterior Coach Light	
Exterior Flood Light	
ELECTRICAL FIXTURES	
Duplex Outlet	
Duplex Outlet - GFI	
Duplex Outlet - Water Proof GFI	
Duplex Outlet - 220v	
Duplex Outlet - Ceiling Mounted	
Duplex Outlet - Floor Mounted	
4-plex Outlet	
4-plex Outlet - Floor Mounted	
Outlet, Light and Switch (AtticCrawl)	
2-Way Switch	
3-Way Switch	
4-Way Switch	
Dimmer Switch	
Rocker Switch	
Smoke Detector	
Smoke Detector/Carbon Monoxide	
Thermostat	
Door Bell	
Door Bell Chime	
Telephone Jack	
Television / Cable Jack	
Telephone / Data Jack	

Revision Number	Revision Description	Revision Date

AREAS:	FIRST FLOOR HEATED GARAGE	FRONT PORCH	BONUS ROOM	BASEMENT	TOTAL UNDER ROOF
	2,763 SF	647 SF	43 SF	301 SF	2,744 SF
					6,498 SF

THE: **BROOKWOOD MFH**
 FOR: **STACI & JASON FLORENCE**
 378 SKYCROFT DRIVE
 SANFORD, NC 27332
 OFFICE: FAYETTEVILLE SALES
 SOLD BY:

JOB#: **141-21-023**
2x4 EXTERIOR WALLS
 FOUNDATION TYPE: **BASEMENT**

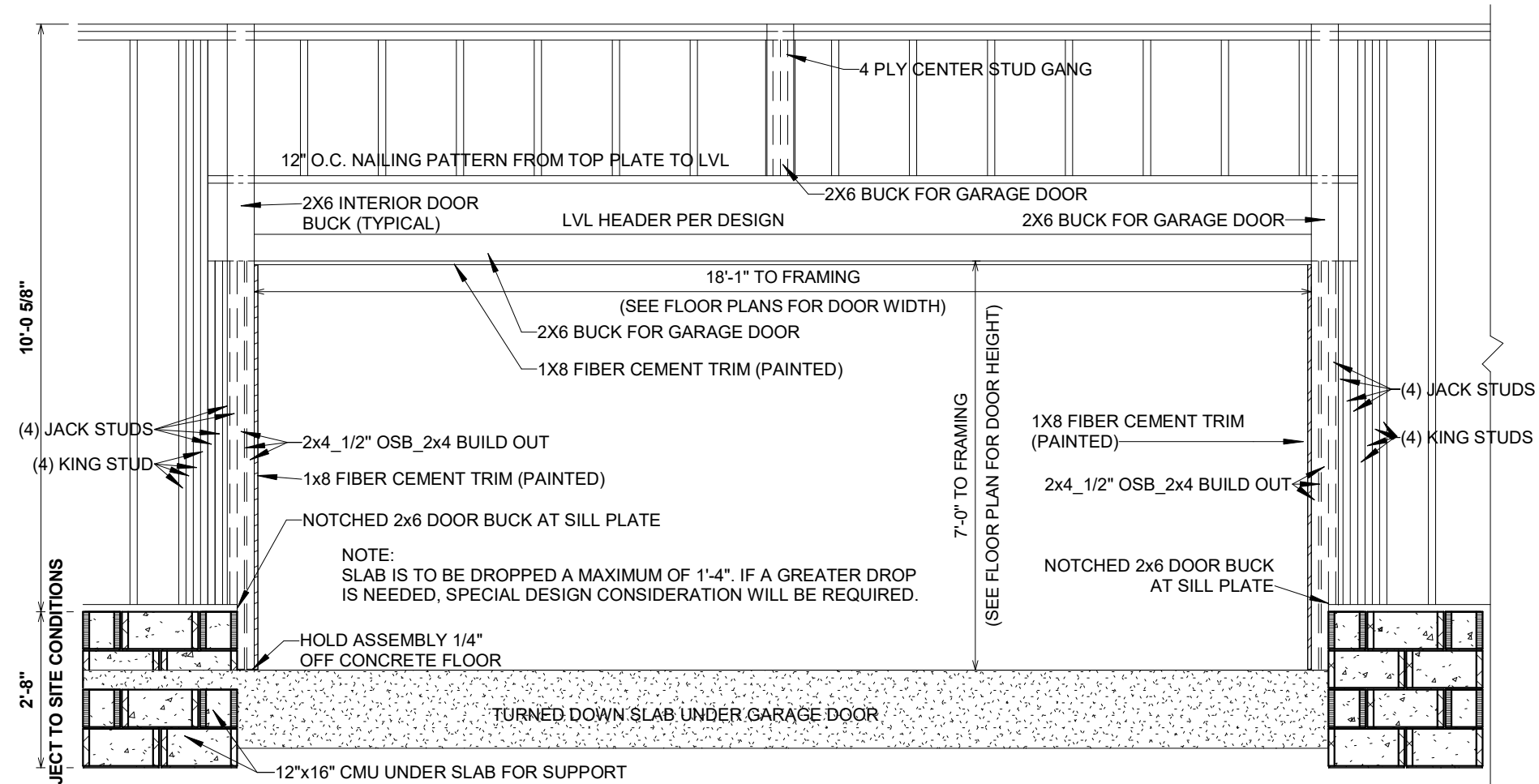
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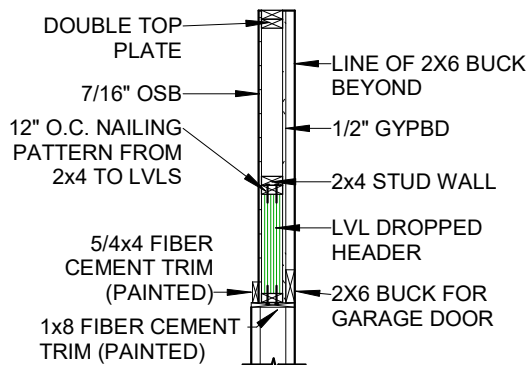
SHEET NUMBER: **F-3**
BONUS ROOM

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%

FINAL CONSTRUCTION PLANS



75.7a GARAGE DOOR OPENING NOT FULL LENGTH
 HDR ALWAYS DROPPED HEADER
 3/8" = 1'-0"



75.7b GARAGE BEAM DROPPED
 3/8" = 1'-0"

Revision Number	Revision Description	Revision Date

AREAS:	FIRST FLOOR HEATED GARAGE	FRONT PORCH	BONUS ROOM	BASEMENT	TOTAL UNDER ROOF
	2,763 SF	647 SF	43 SF	301 SF	2,744 SF
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THE: **BROOKWOOD MFH**
 FOR: **STACI & JASON FLORENCE**
 378 SKYCROFT DRIVE
 SANFORD, NC 27332
 OFFICE: FAYETTEVILLE SALES
 SOLD BY:

JOB#: **141-21-023**
2x4 EXTERIOR WALLS
 FOUNDATION TYPE: **BASEMENT**
 DRAWN BY: **AP**
 CHECKED BY: **JS**
 PRINT DATE: **8/21/2022 9:57:55 AM**



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 SHEET NUMBER: **GD-1**
GARAGE DOOR FRAMING @ TYPICAL CRAWL

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%

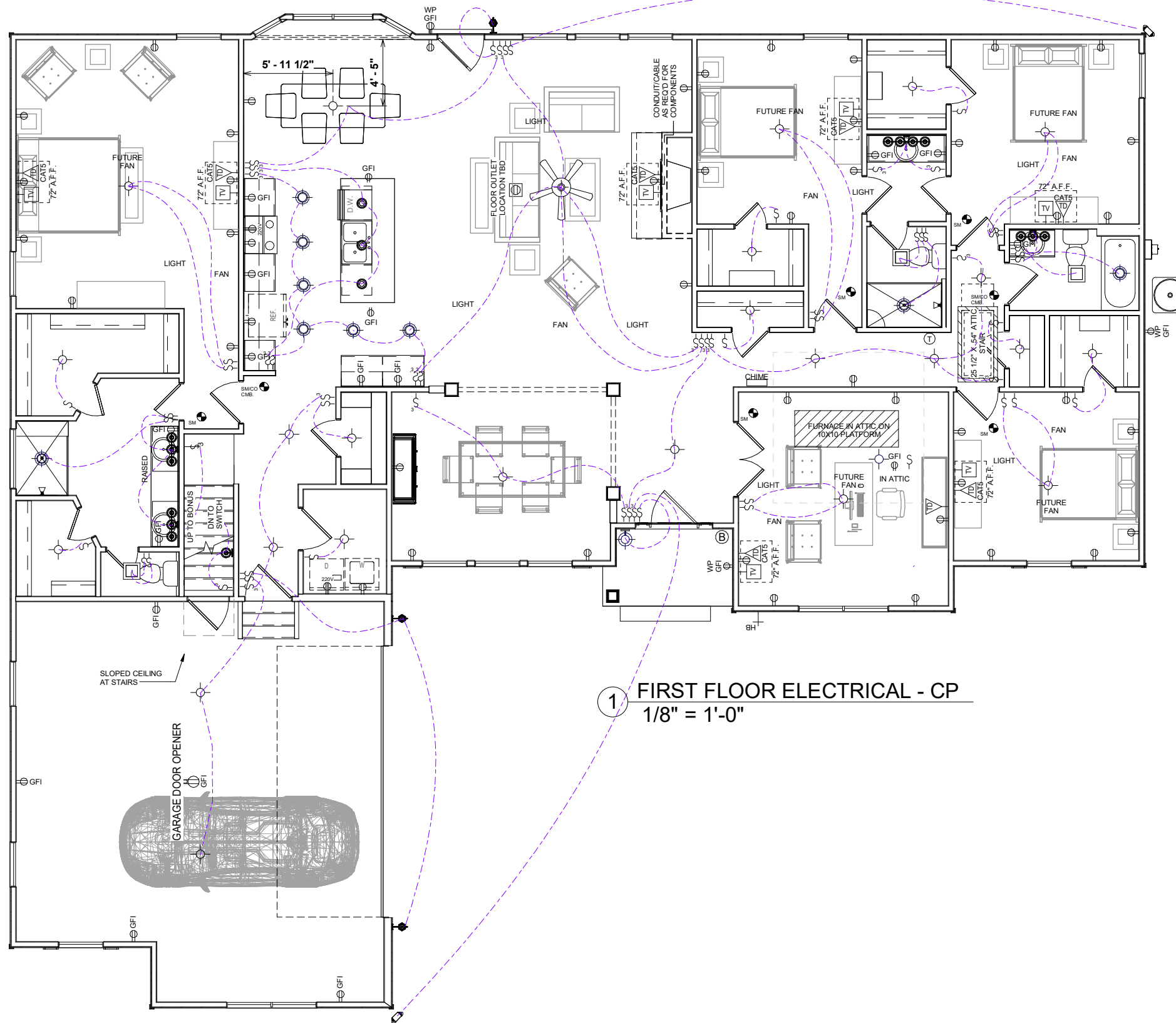
FINAL CONSTRUCTION PLANS

ELECTRICAL LEGEND

LIGHTING FIXTURES	
Ceiling Fan	
Ceiling Fan w/ Light	
Ceiling Mounted Light	
Recessed Ceiling Light	
Pendent Ceiling Light	
Fluorescent Ceiling Light	
Ceiling Exhaust Fan/Light Combo	
Ceiling Exhaust Fan/Light Combo	
Emergency Exit Light	
Junction Box for Future Fixture	
Fluorescent Wall Mounted Light	
Wall Mounted Vanity 3 Light	
Wall Mounted Vanity 4 Light	
Wall Mounted Interior Sconce Light	
Wall Mounted Exterior Coach Light	
Exterior Flood Light	
ELECTRICAL FIXTURES	
Duplex Outlet	
Duplex Outlet - GFI	
Duplex Outlet - Water Proof GFI	
Duplex Outlet - 220v	
Duplex Outlet - Ceiling Mounted	
Duplex Outlet - Floor Mounted	
4-plex Outlet	
4-plex Outlet - Floor Mounted	
Outlet, Light and Switch (AtticCrawl)	
2-Way Switch	
3-Way Switch	
4-Way Switch	
Dimmer Switch	
Rocker Switch	
Smoke Detector	
Smoke Detector/Carbon Monoxide	
Thermostat	
Door Bell	
Door Bell Chime	
Telephone Jack	
Television / Cable Jack	
Telephone / Data Jack	

ELECTRICAL NOTES:

- BRANCH CIRCUITS THAT SUPPLY 125V, SINGLE PHASE, 15 & 20 AMP RECEPTACLE OUTLETS IN ALL ROOMS AS REQUIRED BY CODE, SHALL BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT N.C. ELECT.CODE SECT.210.12(b)
- CONFORM ELECT. WIRING & COMPONENTS TO CURRENT NEC PROVISIONS FOR 1 & 2 FAMILY DWELLINGS AS REQUIRED BY CODE
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- SERVICE DISCONNECT REQUIRED
- CONDENSATE PUMP REQUIRED

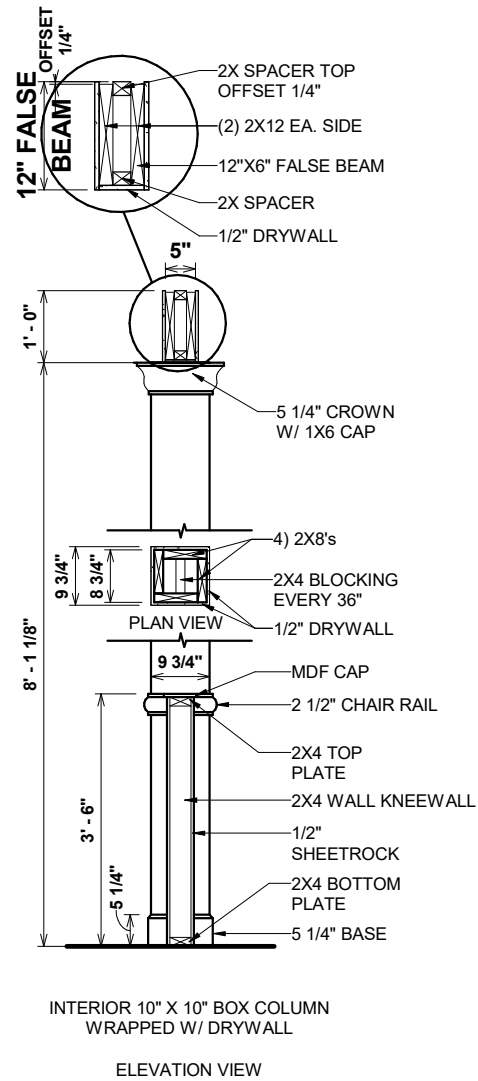


1 FIRST FLOOR ELECTRICAL - CP
1/8" = 1'-0"

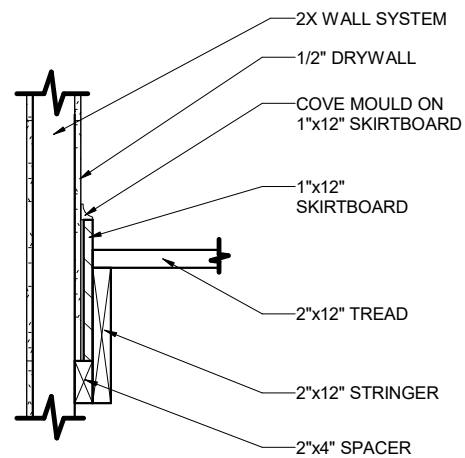
OUTLET, FIXTURE, & COMPONENT LOCATIONS ARE APPROXIMATE. ACTUAL WILL VARY DUE TO DESIGN AND CODE RESTRICTIONS & REQUIREMENTS
BUILDER AND HVAC CONTRACTOR RESERVE THE RIGHT TO LOCATE SUPPLY VENTS AND/OR LINES TO ACCOMMODATE OPTIMUM USAGE AND RESTRICTIONS DUE TO CODE & DESIGN REQUIREMENTS

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%
FINAL CONSTRUCTION PLANS

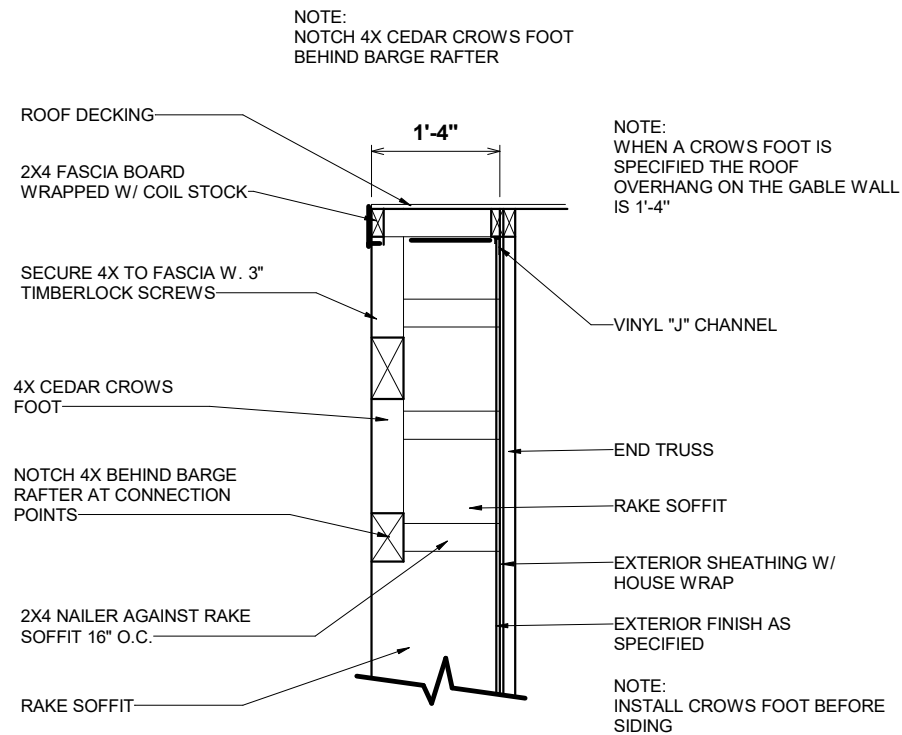
REVISION NUMBER	Revision Description	Revision Number	Revision Date
AREAS:	FIRST FLOOR HEATED GARAGE	2,763 SF	647 SF
	FRONT PORCH	43 SF	301 SF
	BONUS ROOM	2,744 SF	6,498 SF
	TOTAL UNDER ROOF		
TITLE:	BROOKWOOD MFH		
FOR:	STACI & JASON FLORENCE		
	378 SKYCROFT DRIVE SANFORD, NC 27332		
	OFFICE:	FAYETTEVILLE SALES	
	SOLD BY:		
JOB#	141-21-023	FOUNDATION TYPE:	BASEMENT
DRAWN BY:	AP	CHECKED BY:	JS
PRINT DATE:	8/21/2022	PRINT TIME:	9:57:58 AM
PROPERTY OF:			
SHEET NUMBER:	H-1		
	FIRST FLOOR ELECTRICAL		



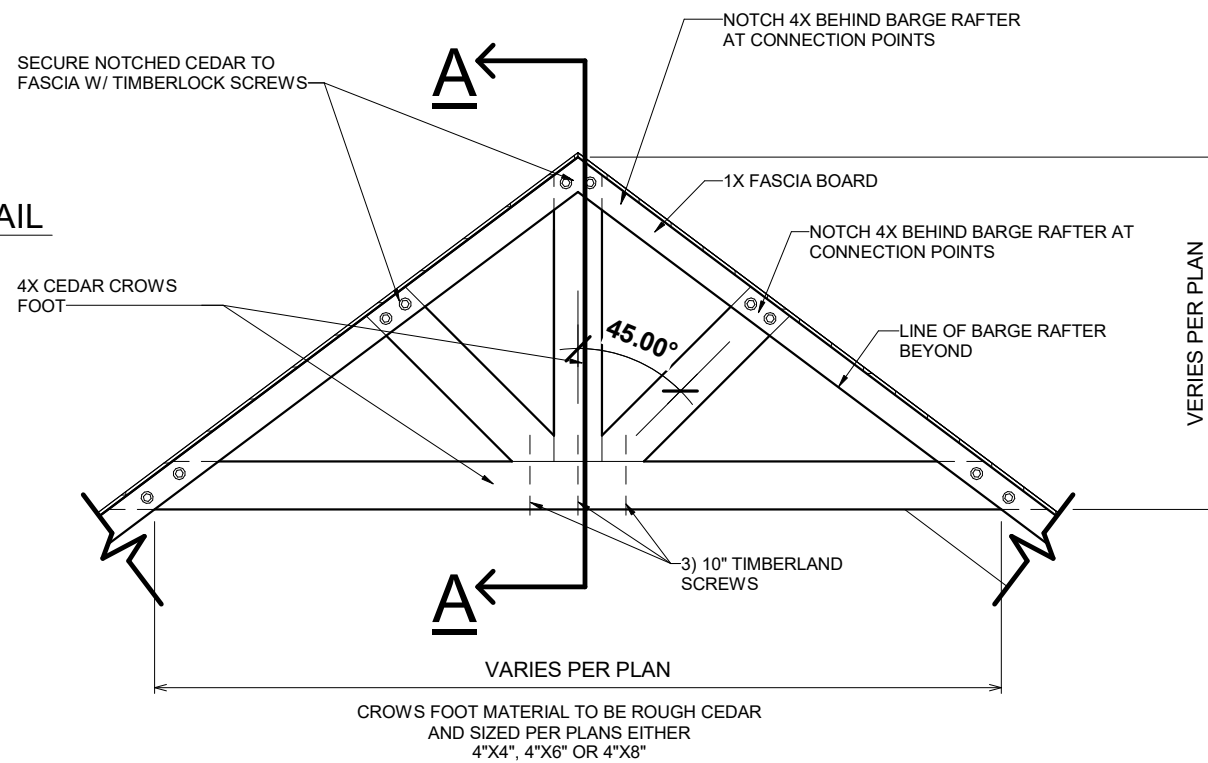
4 890.1a INTERIOR 10" BOX COLUMN DETAIL
3/8" = 1'-0"



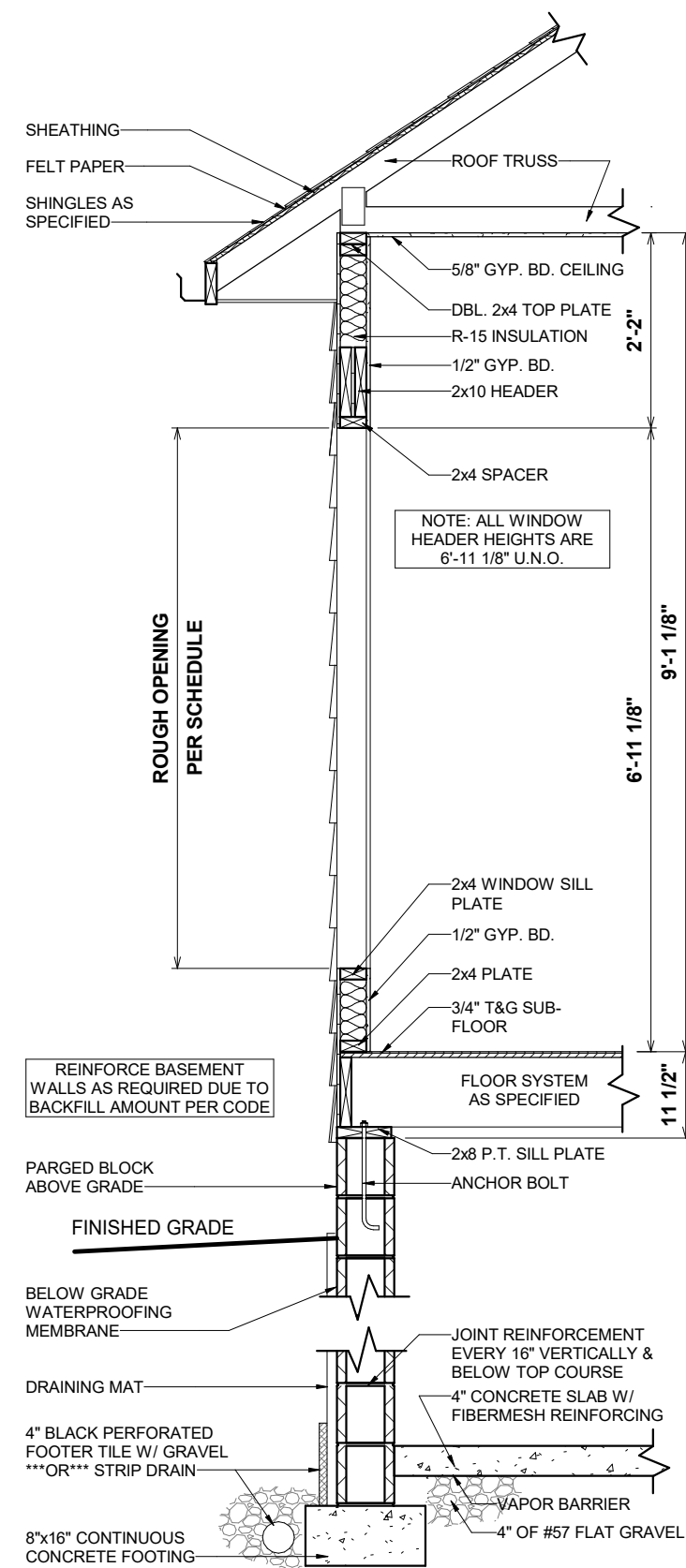
3 900.5 STAIR SECTION THRU STRINGER
3/4" = 1'-0"



SECTION A-A



1 485.1 CROWS FOOT DETAIL at VINYL SIDING
1/2" = 1'-0"



2 1-STORY-BSMT W/2X4-SIDING-WALL SECTION2
1/2" = 1'-0"

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%

FINAL CONSTRUCTION PLANS

Revision Number	Revision Description	Revision Date

AREAS:	FIRST FLOOR HEATED	2,763 SF
GARAGE	647 SF	
FRONT PORCH	43 SF	
BONUS ROOM	301 SF	
BASEMENT	2,744 SF	
TOTAL UNDER ROOF	6,498 SF	

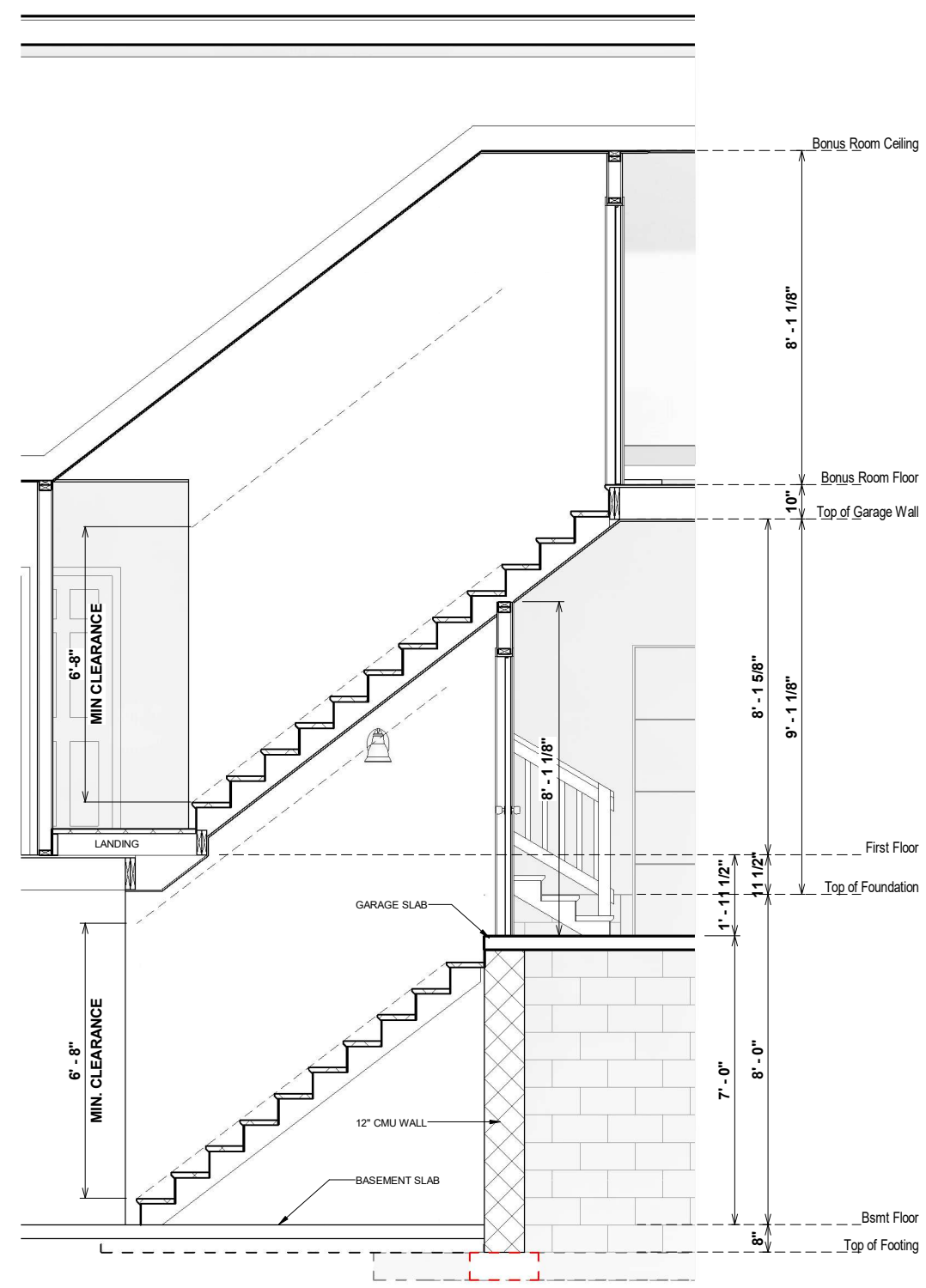
TITLE: BROOKWOOD MFH
FOR: STACI & JASON FLORENCE
 378 SKYCROFT DRIVE
 SANFORD, NC 27332
 OFFICE: FAYETTEVILLE SALES
 SOLD BY:

JOB#: 141-21-023
2x4 EXTERIOR WALLS
FOUNDATION TYPE: BASEMENT

DRAWN BY: AP
CHECKED BY: JS
PRINT DATE: 8/21/2022 9:58:03 AM




SHEET NUMBER: S-1
WALL SECTION & DETAILS



2 STAIR SECTION
1/4" = 1'-0"

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%

FINAL CONSTRUCTION PLANS

SHEET NUMBER: S-2	PROPERTY OF:  © COPYRIGHT - 2018	DRAWN BY: AP	JOB# 141-21-023	THE: BROOKWOOD MFH	AREAS:	Revision Schedule
	CHECKED BY: JS PRINT DATE: 8/21/2022 9:58:04 AM FOUNDATION TYPE: BASEMENT	2x4 EXTERIOR WALLS UNLESS OTHERWISE NOTED	FOR: STACI & JASON FLORENCE 378 SKYCROFT DRIVE SANFORD, NC 27332 OFFICE: FAYETTEVILLE SALES SOLD BY:	FIRST FLOOR HEATED GARAGE FRONT PORCH BONUS ROOM BASEMENT TOTAL UNDER ROOF	2,763 SF 647 SF 43 SF 301 SF 2,744 SF 6,498 SF	Rev. # Revision Description 2018-08-30

ROUGH OPENINGS FOR PLY-GEM VINYL S/H WINDOWS

SINGLE WINDOW UNITS

CALL SIZE	ACTUAL SIZE	ROUGH OPENING SIZE
2-0 X 3-0	23 1/2" X 35 1/2"	24" X 36"
2-0 X 4-0	23 1/2" X 47 1/2"	24" X 48"
2-8 X 4-0	31 1/2" X 47 1/2"	32" X 48"
2-8 X 5-0	31 1/2" X 59 1/2"	32" X 60"
2-8 X 6-0	31 1/2" X 71 1/2"	32" X 72"
3-0 X 3-0	35 1/2" X 35 1/2"	36" X 36"
3-0 X 4-0	35 1/2" X 47 1/2"	36" X 48"
3-0 X 5-0	35 1/2" X 59 1/2"	36" X 60"
3-0 X 5-2	35 1/2" X 61 1/2"	36" X 62"
3-0 X 6-0	35 1/2" X 71 1/2"	36" X 72"
3-0 X 6-2	35 1/2" X 73 1/2"	36" X 74"
3-4 X 4-0	39 1/2" X 47 1/2"	40" X 48"
4-0 X 4-0	47 1/2" X 47 1/2"	48" X 48"

TWIN/TRIPLE WINDOW UNITS

2-8 X 5-0 TWIN	63 1/2" X 59 1/2"	64" X 60"
2-8 X 6-0 TWIN	63 1/2" X 71 1/2"	64" X 72"
3-0 X 5-0 TWIN	71 1/2" X 59 1/2"	72" X 60"
3-0 X 6-0 TWIN	71 1/2" X 71 1/2"	72" X 72"
3-0 X 5-0 TRIPLE	107 1/2" X 59 1/2"	108" X 60"
3-0 X 6-0 TRIPLE	107 1/2" X 71 1/2"	108" X 72"
1-8 / 3-0 / 1-8 X 6-0	75 1/2" X 71 1/2"	76" X 72"
2-0 / 3-0 / 2-0 X 6-0	83 1/2" X 71 1/2"	84" X 72"

TRANSOM WINDOW UNITS

3-0 HALF-ROUND (18" TALL)	CALL SIZE + 18" TO HGT. OF WINDOW
12" TRANSOM	CALL SIZE + 12" TO HGT. OF WINDOW
2-8 ARCH TRAN. (14" TALL)	CALL SIZE + 14" TO HGT. OF WINDOW
3-0 ARCH TRAN. (16" TALL)	CALL SIZE + 16" TO HGT. OF WINDOW
2-8 TW ARCH TRAN. (20" TALL)	CALL SIZE + 20" TO HGT. OF WINDOW
2-8 TW ARCH TRAN. (20" TALL)	CALL SIZE + 20" TO HGT. OF WINDOW
2-8 HALF-ROUND (16" TALL)	CALL SIZE + 16" TO HGT. OF WINDOW

SPECIALTY WINDOWS

4-0 X 5-0 EYEBROW	48" X 60"
3-0 X 4-0 PALLADIAN	36" X 48"
3-0 X 5-0 PALLADIAN	60" X 72"

1. TRANSOM SAMPLE. 3-0 X 6-0 W/ HALF-ROUND TRANSOM. CALL SIZE 3060 + 18" TALL TRANSOM EQUALS A ROUGH OPENING SIZE OF 36" X 90"
2. CALL SUPERINTENDENT FOR ANY WINDOW SIZE THAT IS NOT SHOWN HERE PRIOR TO FRAMING THE OPENING

ROUGH OPENINGS FOR MASONITE ENTRY DOORS

INSWING UNITS

2-8 X 6-8	34 1/2" X 82 1/2"
3-0 X 6-8	38 1/2" X 82 1/2"
3-0 X 6-8 W/ (2) 12" S.L.	65 1/4" X 82 1/2"
3-0 X 6-8 W/ 12" TRAN.	38 1/2" X 96"
3-0 X 6-8 W/ (2) 12" S.L. & 12" TRAN	65 1/4" X 96"

OUTSWING UNITS

2-8 X 6-8	34 1/2" X 81"
3-0 X 6-8	38 1/2" X 81"
3-0 X 6-8 W (2) 12" S.L.	65 1/4" X 81"
3-0 X 6-8 W/ 12" TRAN.	38 1/2" X 94 1/2"
3-0 X 6-8 W (2) 12" S.L. & 12" TRAN.	65 1/4" X 94 1/2"

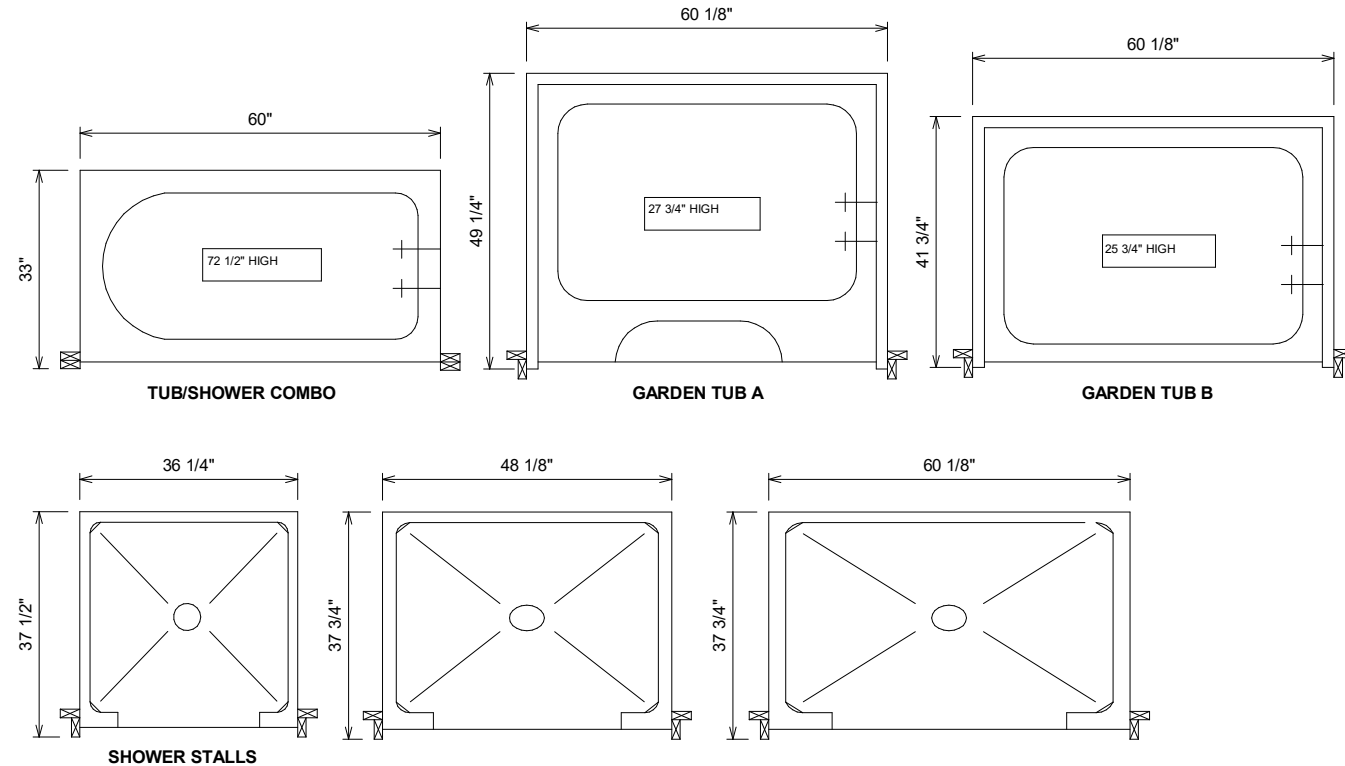
CENTER HINGED/ FRENCH DOOR...

6-0 X 6-8 CENTER HINGED(INSWING)	75 5/8" X 82 1/2"
6-0 X 6-8 FRENCH (INSWING)	75 1/4" X 82 1/2"
6-0 X 6-8 INSWING W/ 12" TRAN.	75 5/8" X 96"
6-0 X 6-8 FRENCH W/ 12" TRAN.	75 1/4" X 96"

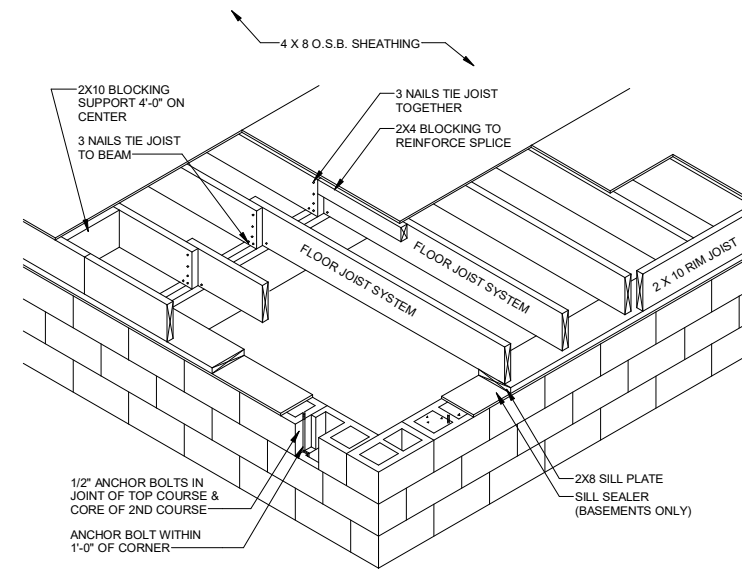
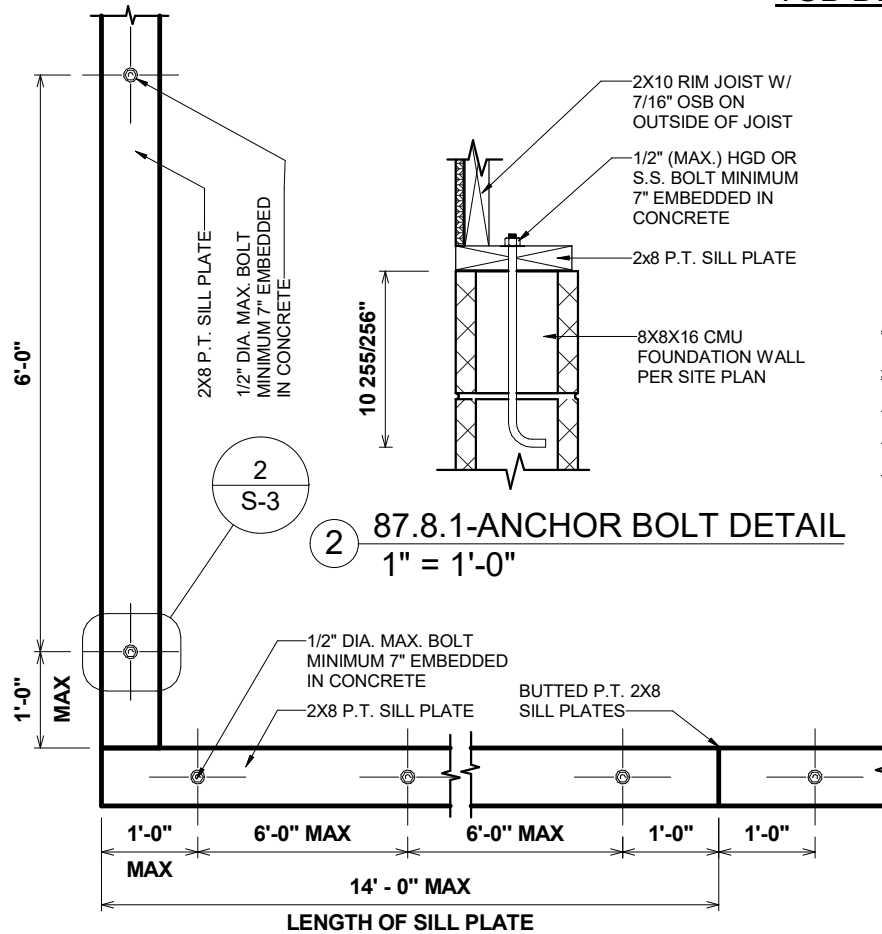
SLIDING GLASS DOORS

5-0 X 6-8 SLIDER	60 1/4" X 80 1/2"
6-0 X 6-8 SLIDER	72 1/4" X 80 1/2"

*** FOR OUTSWING DOORS, DEDUCT 1" FROM HEIGHT OF UNIT***



TUB DETAILS



GENERAL NOTES:

- 1.) MINIMUM ALLOWABLE BEARING FOR FLOOR JOIST IS 1 1/2".
- 2.) ALL REQUIRED NAILING PATTERNS ARE PER PRINT AND/OR SPECS.

FLOOR FRAMING DETAIL

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%

FINAL CONSTRUCTION PLANS

Revision Number	Revision Description	Revision Date

AREAS:	2,763 SF	647 SF	43 SF	301 SF	2,744 SF	6,498 SF
FIRST FLOOR HEATED GARAGE	2,763 SF	647 SF	43 SF	301 SF	2,744 SF	6,498 SF
FRONT PORCH						
BONUS ROOM						
BASEMENT						
TOTAL UNDER ROOF						

BROOKWOOD MFH	STACI & JASON FLORENCE	378 SKYCROFT DRIVE SANFORD, NC 27332
THE:	FOR:	OFFICE: FAYETTEVILLE SALES
141-21-023	2x4 EXTERIOR WALLS	FOUNDATION TYPE: BASEMENT
JOB#	PRINT DATE: 8/21/2022 9:58:06 AM	SOLD BY:

AP	US	8/21/2022 9:58:06 AM
DRAWN BY:	CHECKED BY:	PRINT DATE:
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S-3	FRAMING DETAILS
SHEET NUMBER:	FRAMING DETAILS