

**CONSTRUCTION PLAN SHEET LIST**

SHEET NUMBER	SHEET NAME
C-0	COVER SHEET
E-1	FRONT & REAR ELEVATION
E-2	LEFT & RIGHT ELEVATION
E-3	ROOF OVERVIEW
F-1	FOUNDATION PLAN
F-1.1	BSMT FOUNDATION DETAILS
F-2	FIRST FLOOR PLAN
F-3	BONUS ROOM
H-1	FIRST FLOOR ELECTRICAL
S-1	WALL SECTION & DETAILS
S-2	SECTION
S-3	FRAMING DETAILS

**FOUNDATION NOTES**

- TYPICAL FOUNDATION WALL: BASEMENT 8'-8" x 8" BLOCK (13-COURSES) - ON TOP OF 24"x 8" POURED CONCRETE FOOTING
- ALL GIRDER BREAKS MUST BE ON PIERS OR POSTS
- NOTCH SILL PLATE AROUND DROPPED BEAM
- FILL ALL CELLS SOLID UNDER BEAM POCKET BEARING POINT
- GRAVEL REQ'D UNDER BASEMENT SLAB
- POLY REQ'D UNDER BASEMENT SLAB
- GRAVEL REQ'D UNDER GARAGE SLAB
- POLY REQ'D UNDER GARAGE SLAB

**FLOOR FRAMING NOTE**

- ADD SINGLE 2x10 JOIST UNDER WALLS ABOVE THAT RUN PARALLEL TO FLOOR JOIST
- P.T. 2 X 8 SILL PLATE

**GENERAL NOTES**

- MIN 9'-1 1/8" CEILING HEIGHT ON FIRST FLOOR
- ALL LOAD BEARING WALLS & EXT. OPENINGS TO HAVE (2) 2X10 HEADERS UNLESS OTHERWISE NOTED
- STANDARD FIRST FLOOR WINDOW HEADERS TO BE FRAMED DOWN 2'-2" FROM T.O.P. EXCEPT AS NOTED
- 7/16" O.S.B. AND HOUSEWRAP REQUIRED
- DIMENSIONS ARE TO SHEATHING EXTERIOR; SUBTRACT 1/2" FROM DIMENSIONS FOR EXTERIOR WINDOW AND DOOR FRAMING LOCATION IF OPENINGS ARE FRAMED BEFORE SHEATHING INSTALLATION
- ALL INTERIOR DOORS ARE EITHER CENTERED ON WALLS OR R.O. STARTED MIN OF 4" FROM ADJOINING WALL UNLESS OTHERWISE DIMENSIONED
- NUMBER OF EXTERIOR OR GARAGE STAIR TREADS & RISERS MAY VARY AS A RESULT OF LOCAL BUILDING CODES, STANDARDS AND FINAL GRADE
- CLOSET SHELF HEIGHT OFF FLOOR:  
SINGLE - 68"  
DOUBLE - 42" & 84"
- ALL PLUMBING FIXTURES SHOWN ARE A REPRESENTATION OF SIZE AND LOCATION ONLY. ACTUAL STYLE AND BRAND OF FIXTURES MAY VARY PER OFFICE LOCATION
- ALL TUBS/SHOWERS ARE TO HAVE NAILERS AT FLANGE
- INSTALL A 24" WIDE WALKWAY FROM ATTIC ACCESS TO FURNACE PLATFORM
- RAILINGS ARE A FORCED OPTION WHEN PORCH IS OVER 30" HIGH

Revision Number	Revision Description	Revision Date

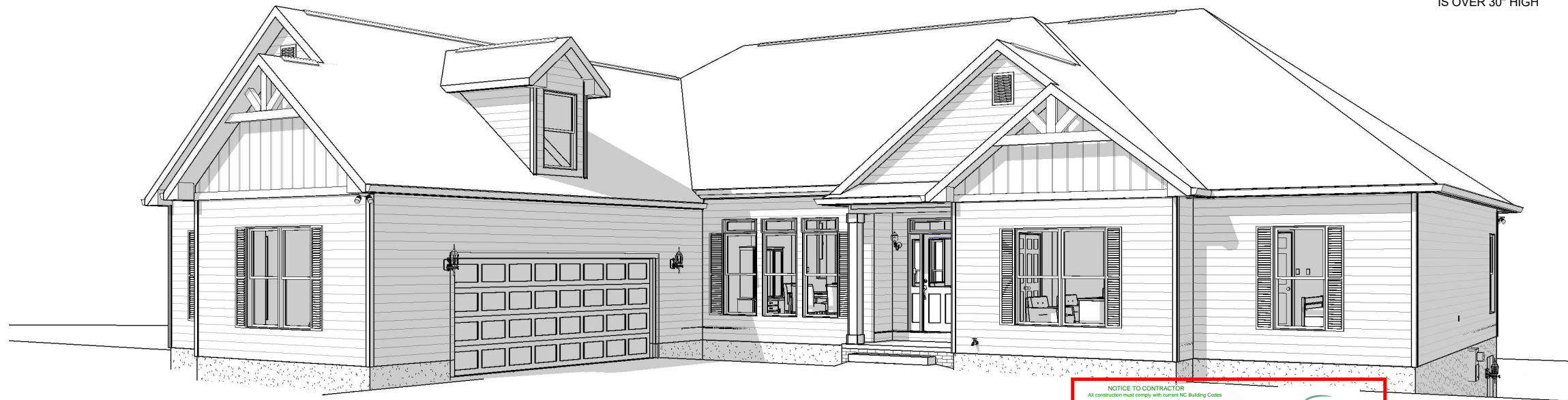
AREAS:	
FIRST FLOOR HEATED GARAGE	2,763 SF
FRONT PORCH	647 SF
BONUS ROOM	43 SF
BASEMENT	301 SF
TOTAL UNDER ROOF	2,744 SF
	6,498 SF

THE:	<b>BROOKWOOD MFH</b>
FOR:	<b>STACI &amp; JASON FLORENCE</b>
	378 SKYCROFT DRIVE SANFORD, NC 27332
OFFICE:	FAYETTEVILLE SALES
SOLD BY:	

JOB#:	141-21-023
DRAWN BY:	AP
CHECKED BY:	JS
PRINT DATE:	6/21/2022 9:57:45 AM
FOUNDATION TYPE:	BASEMENT

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SHEET NUMBER:	<b>C-0</b>
	<b>COVER SHEET</b>




**FRONT PERSPECTIVE - CP**

NOTICE TO CONTRACTOR  
All construction must comply with current NC Building Codes and is subject to field inspection and verification.

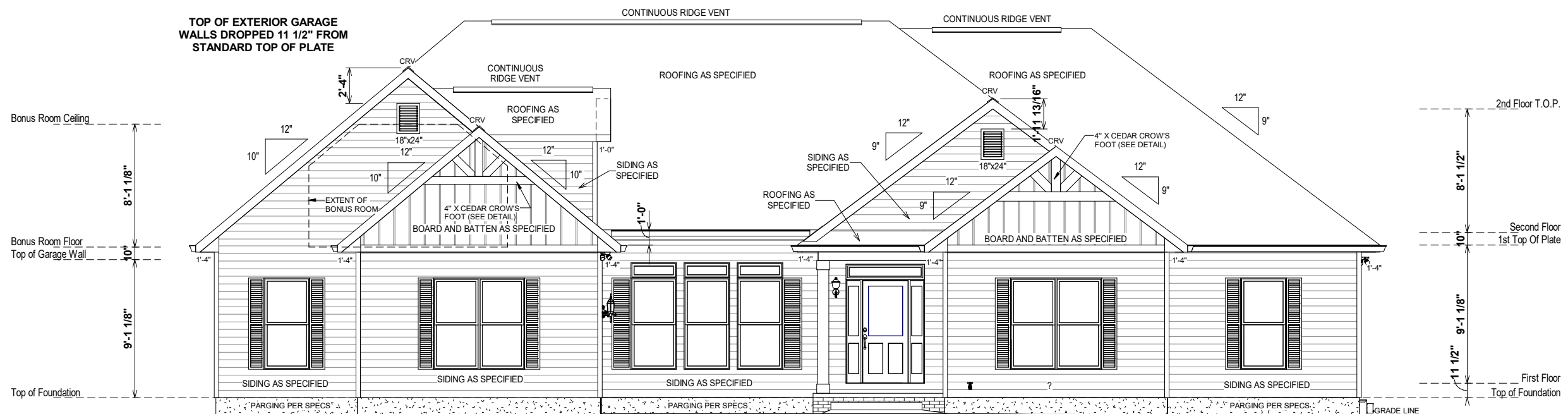
**APPROVED**  
Limited building only review.  
Permit holder responsible for full compliance with the code.

07/05/2022

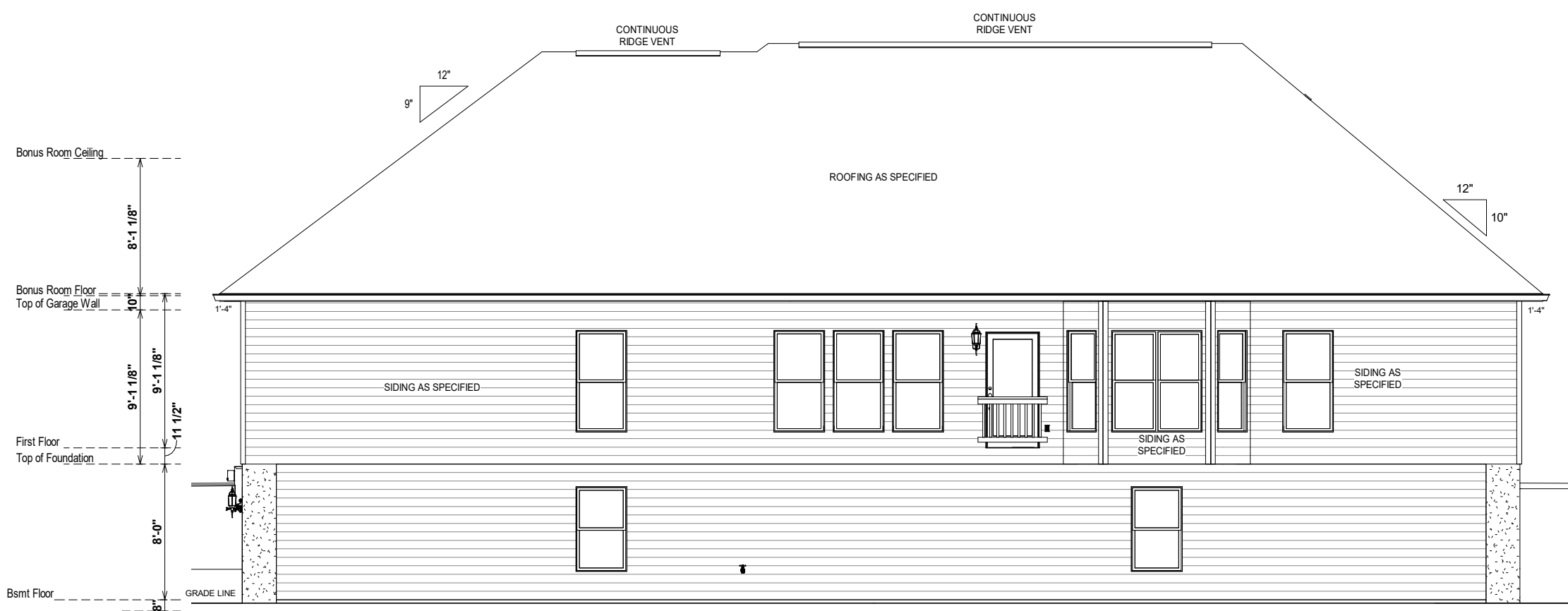


OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%

**FINAL CONSTRUCTION PLANS**



1 FRONT ELEVATION  
1/8" = 1'-0"



2 REAR ELEVATION  
1/8" = 1'-0"

**ELEVATION NOTES**

- MIN 9'-1 1/8" CEILING HEIGHT ON FIRST FLOOR
- 7/16" O.S.B AND HOUSEWRAP REQUIRED
- ROOF OVERHANGS, AS NOTED, ARE FROM WALL SHEATHING TO OUTSIDE OF FASCIA
- FINAL GRADE TO BE DETERMINED ON SITE
- FOUNDATION DRAWN AS REPRESENTATION ONLY

9:12 O.W.H. = 11 3/16"  
10:12 O.W.H. = 11 11/16"

NOTE: O.W.H. ADJUSTED TO ACCOMMODATE LVL BEAM AT REAR BAY

GRADE IS TO BE DETERMINED

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%

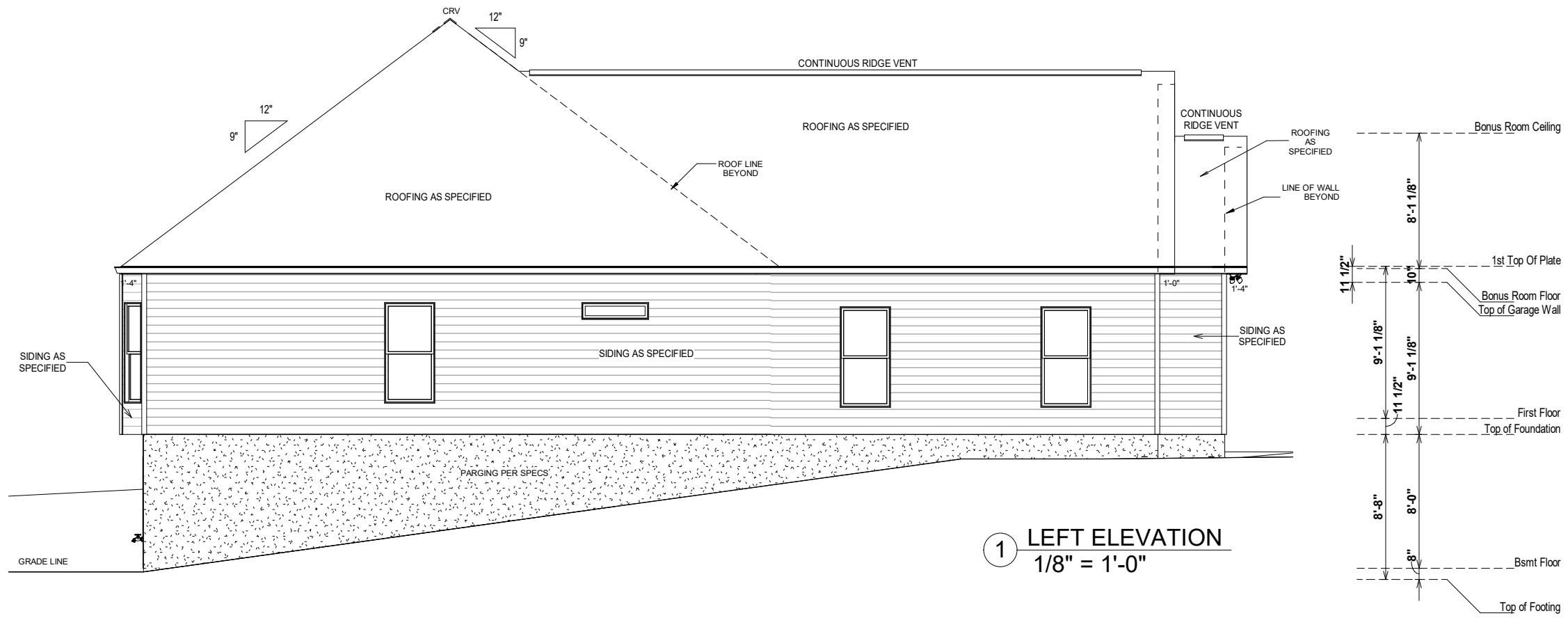
**FINAL CONSTRUCTION PLANS**

Revision Number	Revision Description	Revision Date

AREAS:	2,763 SF	647 SF	43 SF	301 SF	2,744 SF	6,498 SF
FIRST FLOOR HEATED GARAGE	2,763 SF	647 SF	43 SF	301 SF	2,744 SF	6,498 SF
FRONT PORCH						
BONUS ROOM						
BASEMENT						
TOTAL UNDER ROOF						

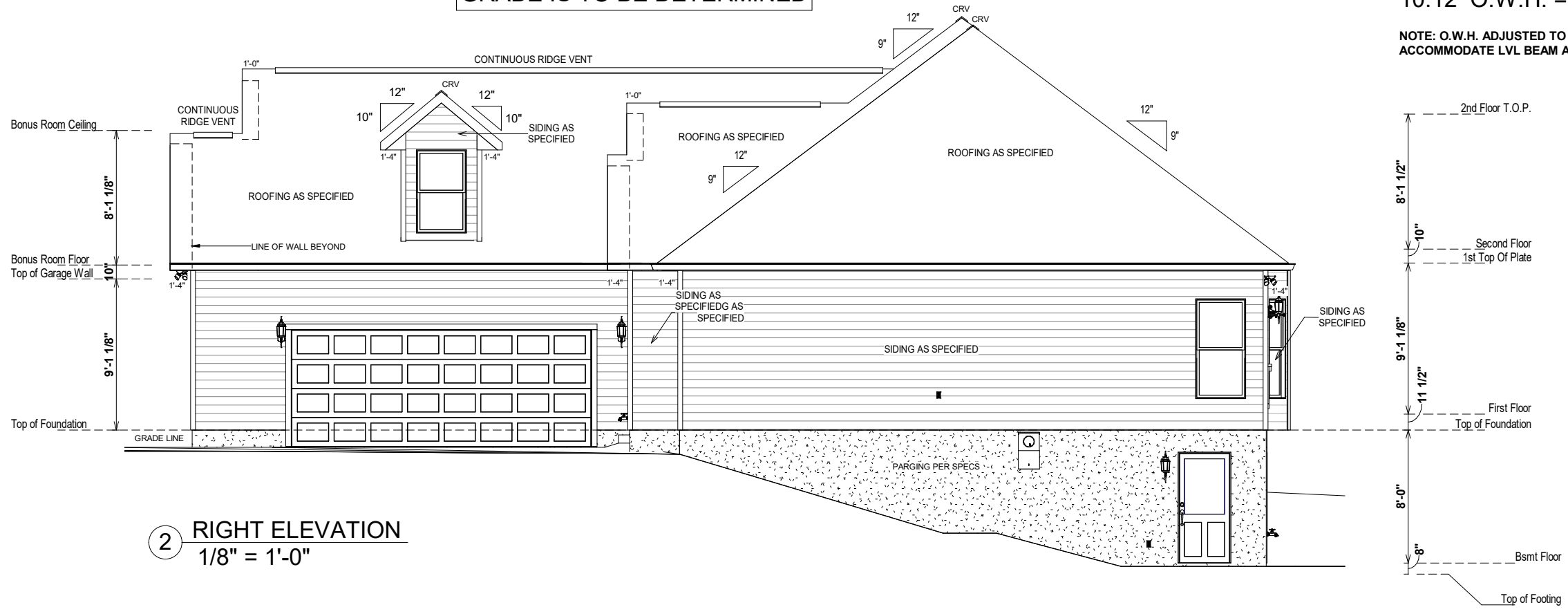
<b>TITLE:</b> BROOKWOOD MFH	<b>FOR:</b> STACI & JASON FLORENCE	<b>OFFICE:</b> FAYETTEVILLE SALES
<b>JOB#:</b> 141-21-023	<b>FOUNDATION TYPE:</b> BASEMENT	<b>SOLD BY:</b> SANFORD, NC 27332
<b>DRAWN BY:</b> AP	<b>CHECKED BY:</b> JS	<b>PRINT DATE:</b> 8/21/2022 9:57:47 AM

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<b>SHEET NUMBER:</b> E-1	<b>FRONT &amp; REAR ELEVATION</b>



1 LEFT ELEVATION  
1/8" = 1'-0"

GRADE IS TO BE DETERMINED



2 RIGHT ELEVATION  
1/8" = 1'-0"

**ELEVATION NOTES**

- MIN 9'-1 1/8" CEILING HEIGHT ON FIRST FLOOR
- 7/16" O.S.B AND HOUSEWRAP REQUIRED
- ROOF OVERHANGS, AS NOTED, ARE FROM WALL SHEATHING TO OUTSIDE OF FASCIA
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- FOUNDATION DRAWN AS REPRESENTATION ONLY

9:12 O.W.H. = 11 3/16"  
10:12 O.W.H. = 11 11/16"

NOTE: O.W.H. ADJUSTED TO ACCOMMODATE LVL BEAM AT REAR BAY

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%

**FINAL CONSTRUCTION PLANS**

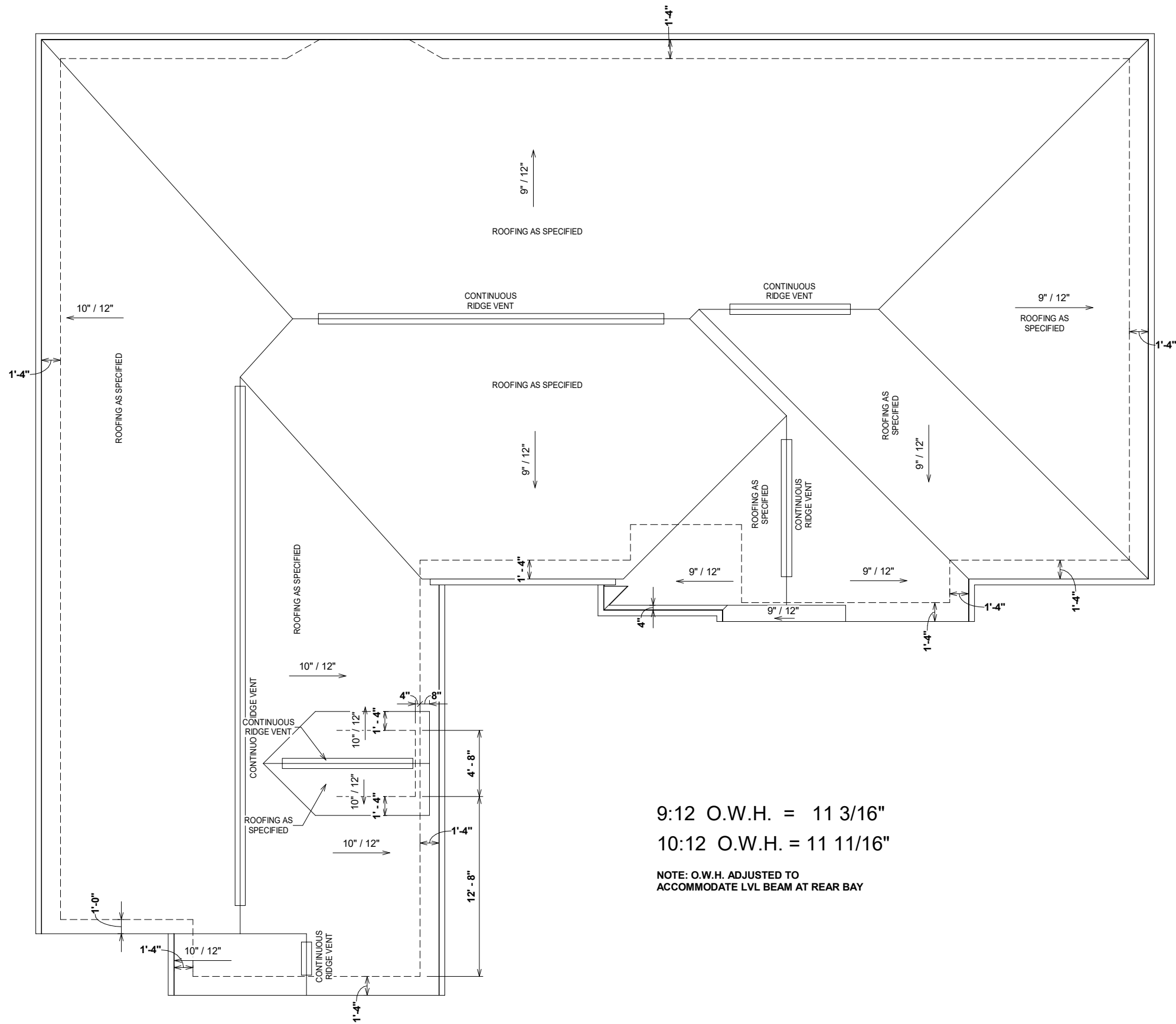
Revision Number	Revision Description	Revision Date

AREAS:		2,763 SF	6,477 SF	43 SF	301 SF	2,744 SF	6,498 SF
FIRST FLOOR HEATED GARAGE							
FRONT PORCH							
BONUS ROOM							
BASEMENT							
TOTAL UNDER ROOF							

**THE: BROOKWOOD MFH**  
**FOR: STACI & JASON FLORENCE**  
**378 SKYCROFT DRIVE SANFORD, NC 27332**  
**OFFICE: FAYETTEVILLE SALES**

**JOB#: 141-21-023**  
**2x4 EXTERIOR WALLS**  
**FOUNDATION TYPE: BASEMENT**

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**SHEET NUMBER: E-2**  
**LEFT & RIGHT ELEVATION**



9:12 O.W.H. = 11 3/16"

10:12 O.W.H. = 11 11/16"

NOTE: O.W.H. ADJUSTED TO ACCOMMODATE LVL BEAM AT REAR BAY

1 ROOF OVERVIEW  
1/8" = 1'-0"

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%

FINAL CONSTRUCTION PLANS


Revision Number	Revision Description	Revision Date

AREAS:	
FIRST FLOOR HEATED GARAGE	2,763 SF
FRONT PORCH	647 SF
BONUS ROOM	43 SF
BASEMENT	301 SF
TOTAL UNDER ROOF	2,744 SF
	6,498 SF

**TITLE: BROOKWOOD MFH**  
**FOR: STACI & JASON FLORENCE**  
 378 SKYCROFT DRIVE  
 SANFORD, NC 27332  
 OFFICE: FAYETTEVILLE SALES  
 SOLD BY:

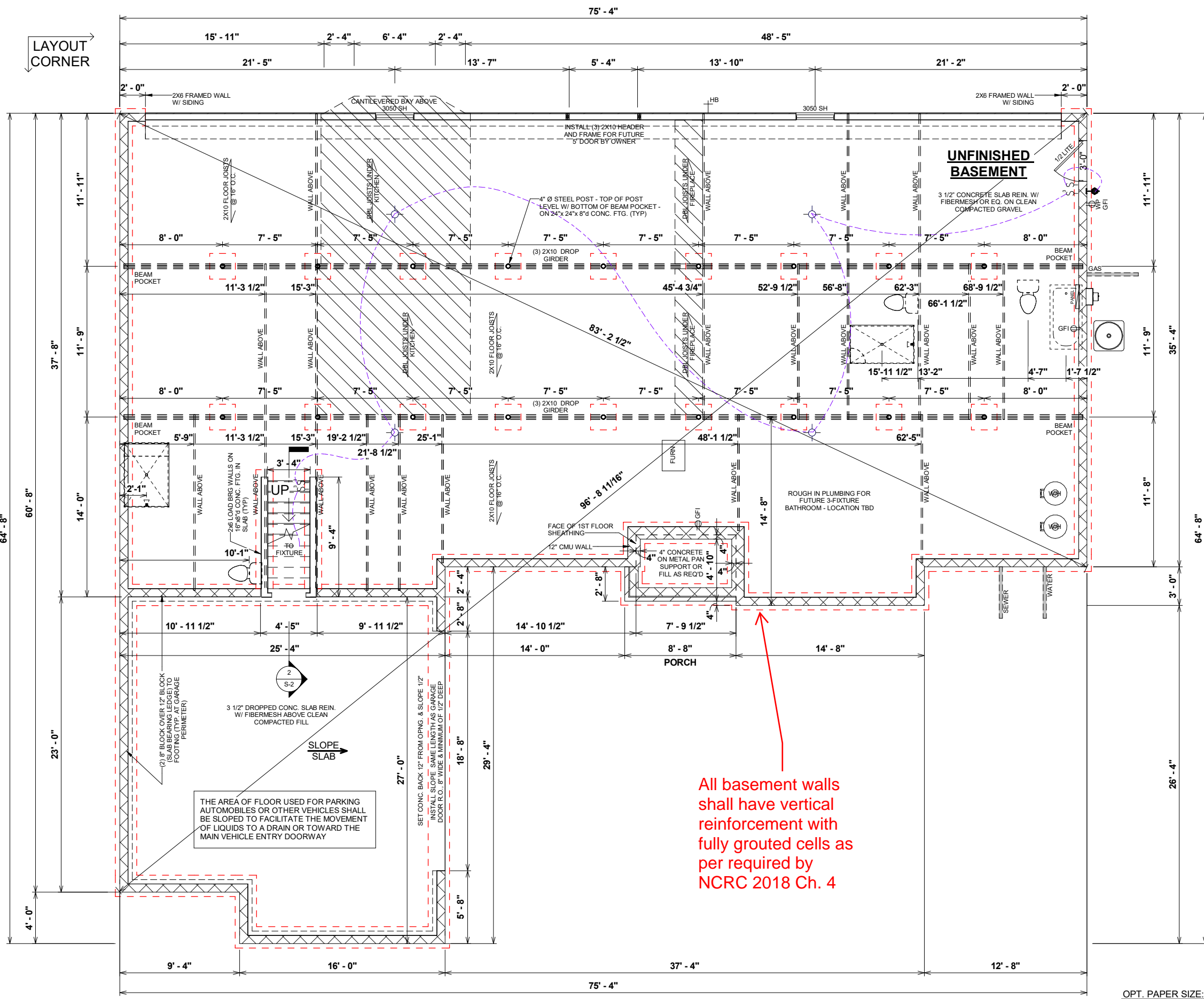
**JOB#: 141-21-023**  
**2x4 EXTERIOR WALLS**  
**FOUNDATION TYPE: BASEMENT**

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SHEET NUMBER: **E-3**

**ROOF OVERVIEW**



**FOUNDATION NOTES**

- TYPICAL FOUNDATION WALL: BASEMENT 8'-8" x 8" BLOCK (13-COURSES) - ON TOP OF 24"x 8" POURED CONCRETE FOOTING
- ALL GIRDER BREAKS MUST BE ON PIERS OR POSTS
- NOTCH SILL PLATE AROUND DROPPED BEAM
- FILL ALL CELLS SOLID UNDER BEAM POCKET BEARING POINT
- GRAVEL REQ'D UNDER BASEMENT SLAB
- POLY REQ'D UNDER BASEMENT SLAB
- GRAVEL REQ'D UNDER GARAGE SLAB
- POLY REQ'D UNDER GARAGE SLAB

**FLOOR FRAMING NOTE**

- ADD SINGLE 2x10 JOIST UNDER WALLS ABOVE THAT RUN PARALLEL TO FLOOR JOIST
- P.T. 2 X 8 SILL PLATE

All basement walls shall have vertical reinforcement with fully grouted cells as per required by NCRC 2018 Ch. 4

1 FOUNDATION PLAN  
1/8" = 1'-0"

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%  
**FINAL CONSTRUCTION PLANS**

Revision Schedule		Revision Description		Revision Number	

AREAS:	FIRST FLOOR HEATED GARAGE	2,763 SF
	FRONT PORCH	647 SF
	BONUS ROOM	43 SF
	BASEMENT	301 SF
	TOTAL UNDER ROOF	2,744 SF
		6,498 SF

THE:	<b>BROOKWOOD MFH</b>
FOR:	<b>STACI &amp; JASON FLORENCE</b>
OFFICE:	378 SKYCROFT DRIVE SANFORD, NC 27332
SOLD BY:	FAYETTEVILLE SALES

JOB#:	141-21-023
FOUNDATION TYPE:	2x4 EXTERIOR WALLS
FOUNDATION TYPE:	BASEMENT

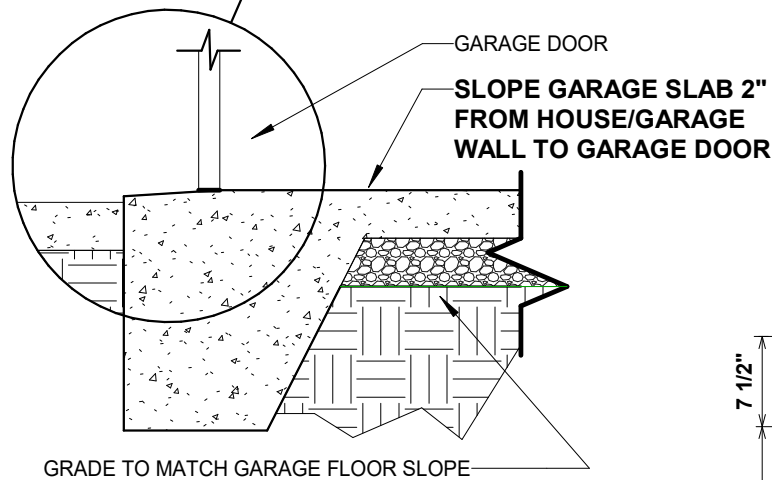
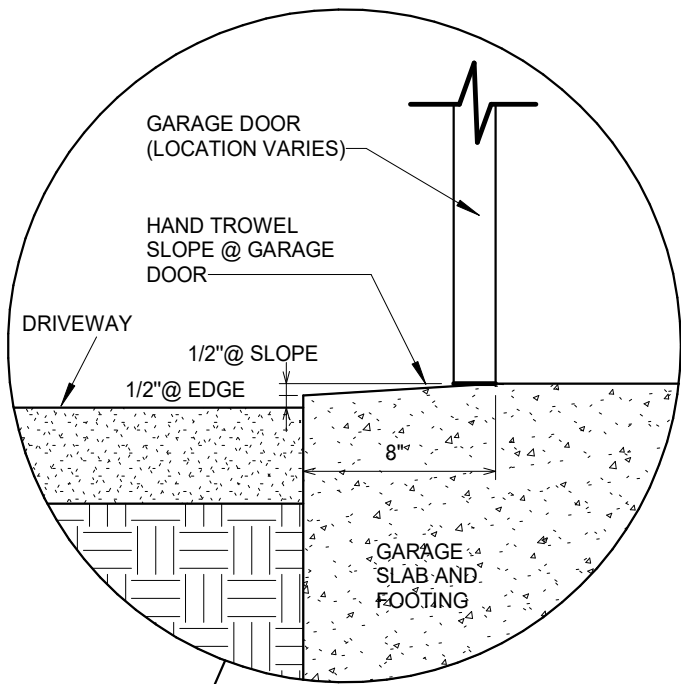
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CHECKED BY:	JS
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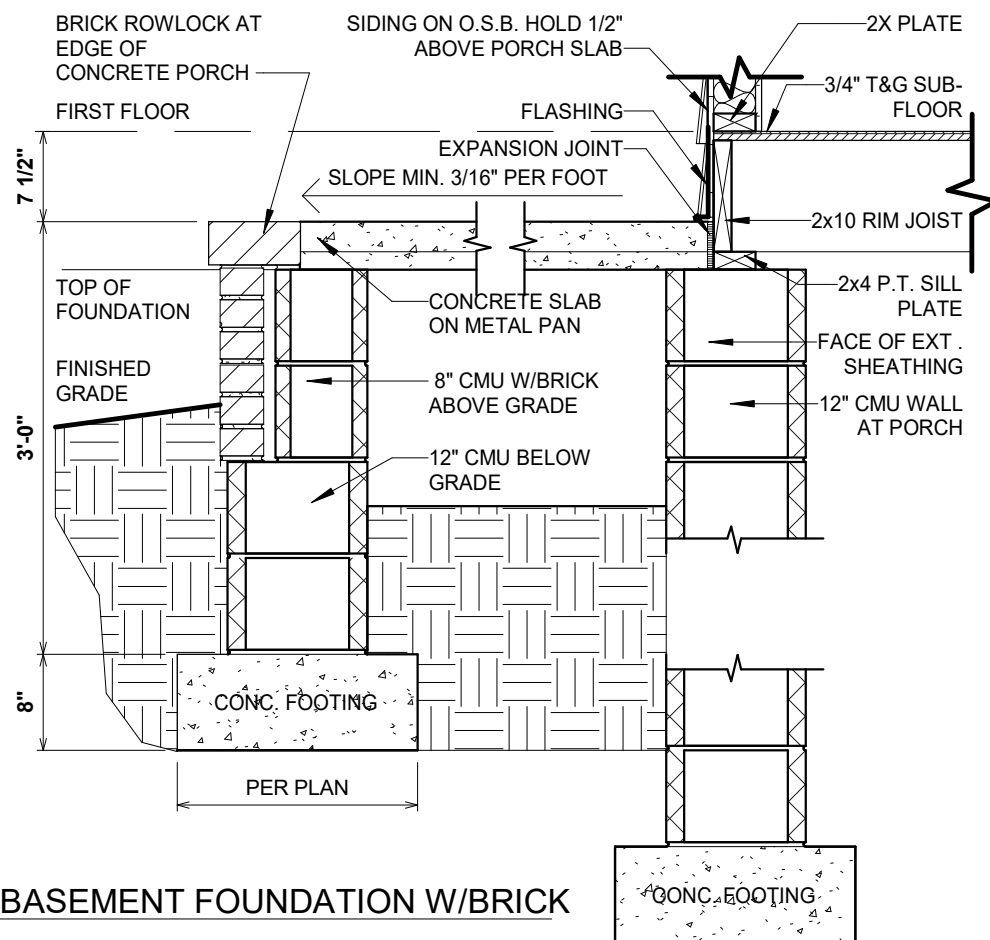
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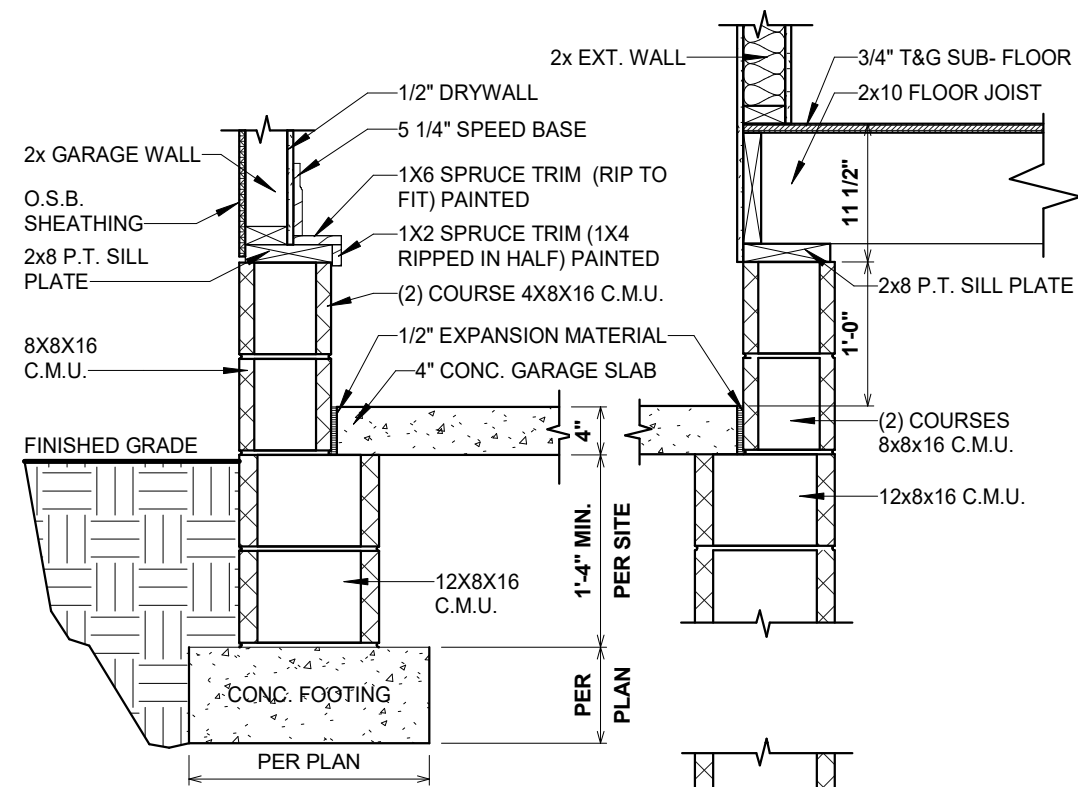
SHEET NUMBER:	F-1
FOUNDATION PLAN	



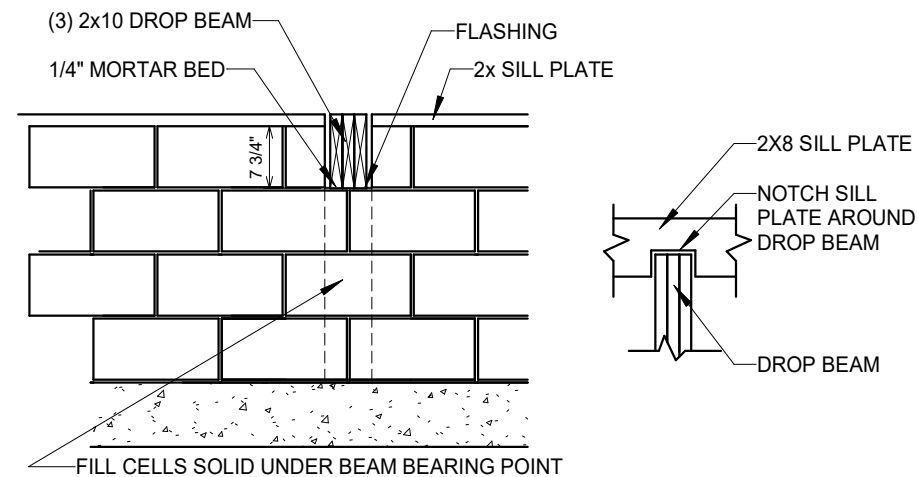
2 520.5 SLOPE AT GARAGE DOOR DETAIL  
3/4" = 1'-0"



3 CONCRETE PORCH BASEMENT FOUNDATION W/BRICK  
3/4" = 1'-0"



1 GARAGE BASEMENT FOUNDATION  
3/4" = 1'-0"



4 BEAM POCKET DETAIL  
1/2" = 1'-0"

Revision Number	Revision Description	Revision Date

AREAS:	2,763 SF	647 SF	43 SF	301 SF	2,744 SF	6,498 SF
FIRST FLOOR HEATED GARAGE	2,763 SF	647 SF	43 SF	301 SF	2,744 SF	6,498 SF
FRONT PORCH						
BONUS ROOM						
BASEMENT						
TOTAL UNDER ROOF						

TITLE: **BROOKWOOD MFH**

FOR: **STACI & JASON FLORENCE**

378 SKYCROFT DRIVE

SANFORD, NC 27332

OFFICE: FAYETTEVILLE SALES

SOLD BY:

JOB#: **141-21-023**

FOUNDATION TYPE: **2x4 EXTERIOR WALLS**

FOUNDATION TYPE: **BASEMENT**

DRAWN BY: **AP**

CHECKED BY: **JS**

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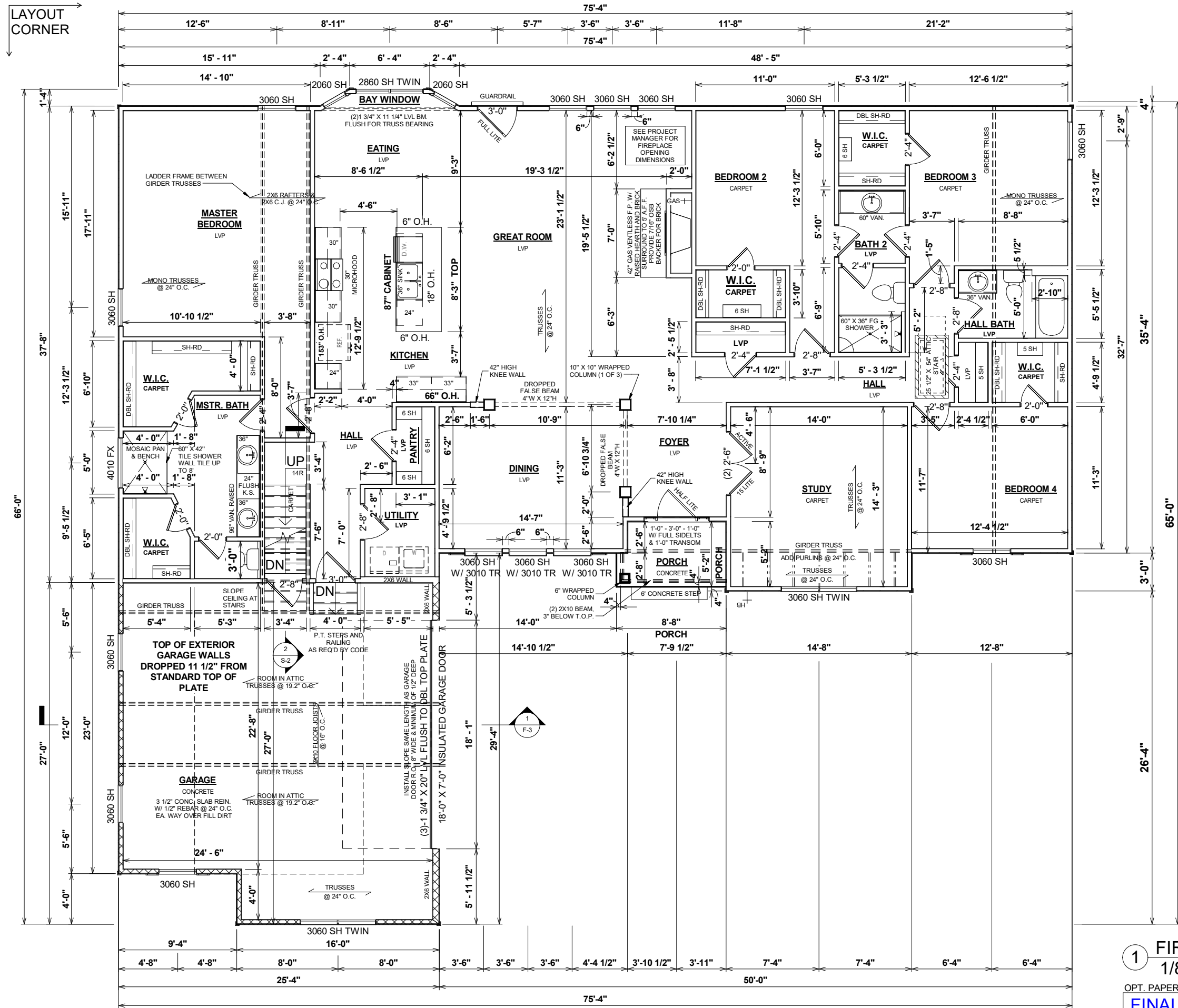
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**BSMT FOUNDATION DETAILS**

SHEET NUMBER: **F-1.1**

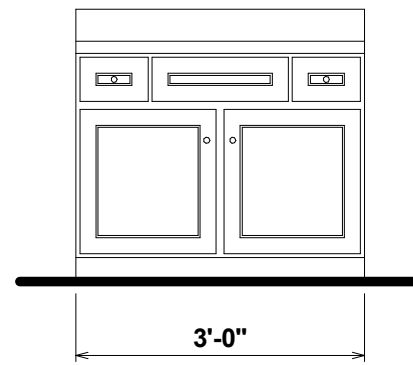
OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%

**FINAL CONSTRUCTION PLANS**



**GENERAL NOTES**

- MIN 9'-1 1/8" CEILING HEIGHT ON FIRST FLOOR
- ALL LOAD BEARING WALLS & EXT. OPENINGS TO HAVE (2) 2X10 HEADERS UNLESS OTHERWISE NOTED
- STANDARD FIRST FLOOR WINDOW HEADERS TO BE FRAMED DOWN 2'-2" FROM T.O.P. EXCEPT AS NOTED
- 7/16" O.S.B. AND HOUSEWRAP REQUIRED
- DIMENSIONS ARE TO SHEATHING EXTERIOR; SUBTRACT 1/2" FROM DIMENSIONS FOR EXTERIOR WINDOW AND DOOR FRAMING LOCATION IF OPENINGS ARE FRAMED BEFORE SHEATHING INSTALLATION
- ALL INTERIOR DOORS ARE EITHER CENTERED ON WALLS OR R.O. STARTED MIN OF 4" FROM ADJOINING WALL UNLESS OTHERWISE DIMENSIONED
- NUMBER OF EXTERIOR OR GARAGE STAIR TREADS & RISERS MAY VARY AS A RESULT OF LOCAL BUILDING CODES, STANDARDS AND FINAL GRADE
- CLOSET SHELF HEIGHT OFF FLOOR:  
SINGLE - 68"  
DOUBLE - 42" & 84"
- ALL PLUMBING FIXTURES SHOWN ARE A REPRESENTATION OF SIZE AND LOCATION ONLY. ACTUAL STYLE AND BRAND OF FIXTURES MAY VARY PER OFFICE LOCATION
- ALL TUBS/SHOWERS ARE TO HAVE NAILERS AT FLANGE
- INSTALL A 24" WIDE WALKWAY FROM ATTIC ACCESS TO FURNACE PLATFORM
- RAILINGS ARE A FORCED OPTION WHEN PORCH IS OVER 30" HIGH



② 891.1 36" VANITY ELEVATION  
1/2" = 1'-0"

① FIRST FLOOR PLAN - CP  
1/8" = 1'-0"

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%

**FINAL CONSTRUCTION PLANS**

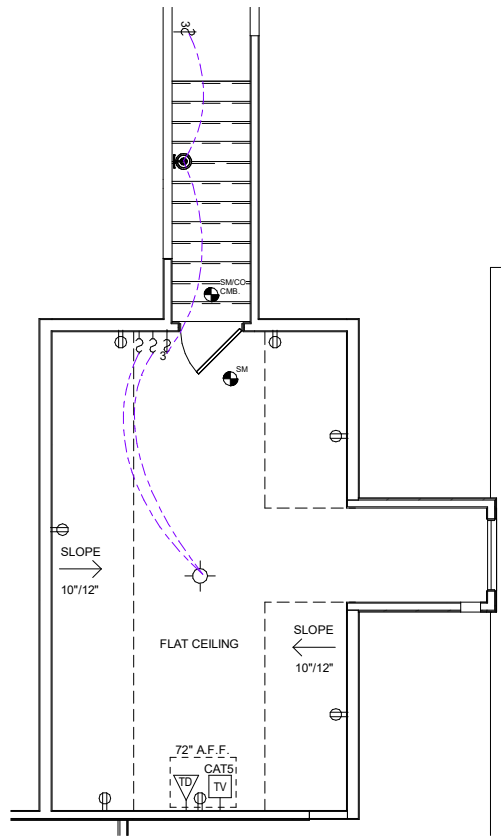
Revision Number	Revision Description	Revision Date

AREAS:		2,763 SF	647 SF	43 SF	301 SF	2,744 SF	6,498 SF
FIRST FLOOR HEATED	GARAGE	2,763 SF	647 SF	43 SF	301 SF	2,744 SF	6,498 SF
TOTAL UNDER ROOF							

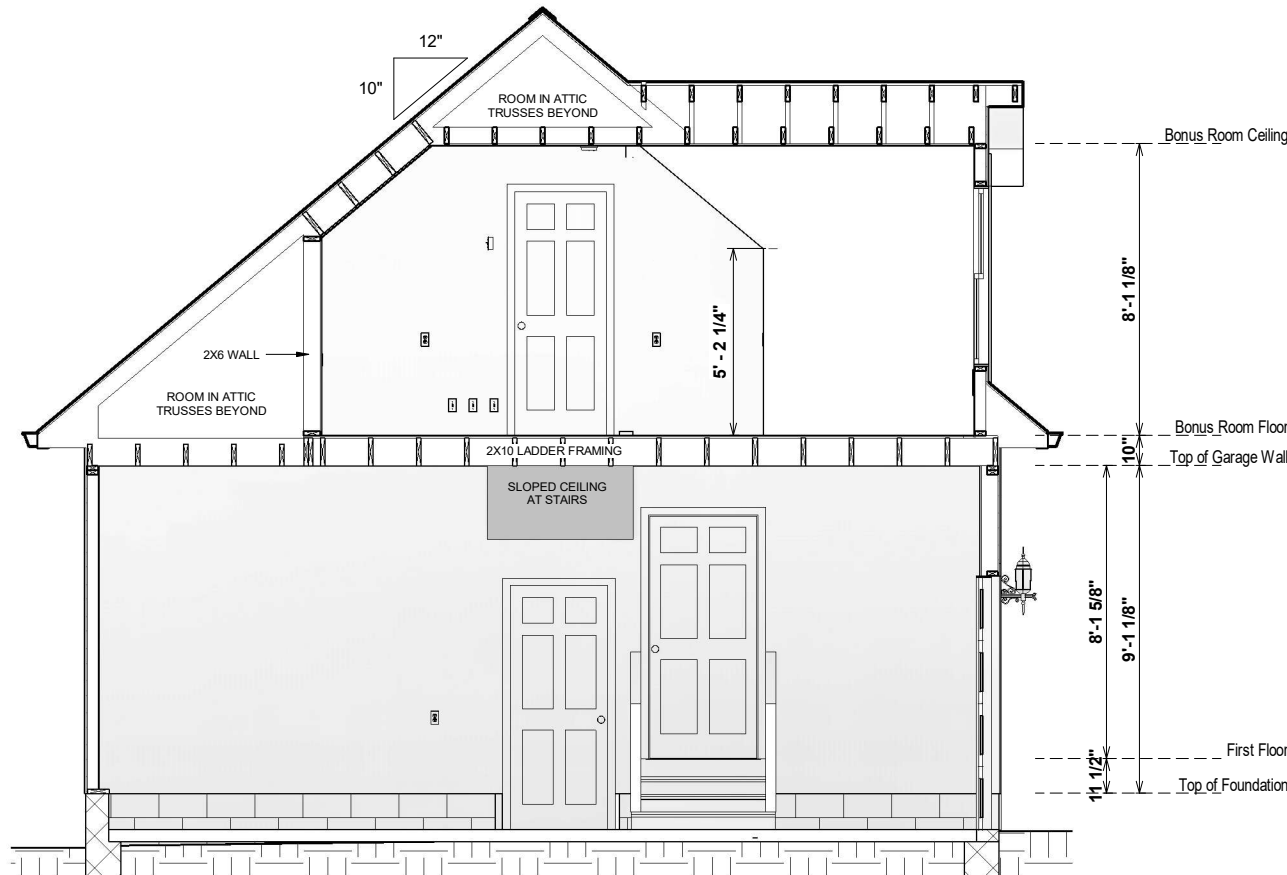
THE: <b>BROOKWOOD MFH</b>	FOR: <b>STACI &amp; JASON FLORENCE</b>	OFFICE: <b>FAYETTEVILLE SALES</b>
JOB#: <b>141-21-023</b>	FOUNDATION TYPE: <b>BASEMENT</b>	SOLD BY: <b> </b>
DRAWN BY: <b>AP</b>	CHECKED BY: <b>JS</b>	PRINT DATE: <b>8/21/2022 9:57:52 AM</b>
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24x EXTERIOR WALLS	378 SKYCROFT DRIVE	
	SANFORD, NC 27332	

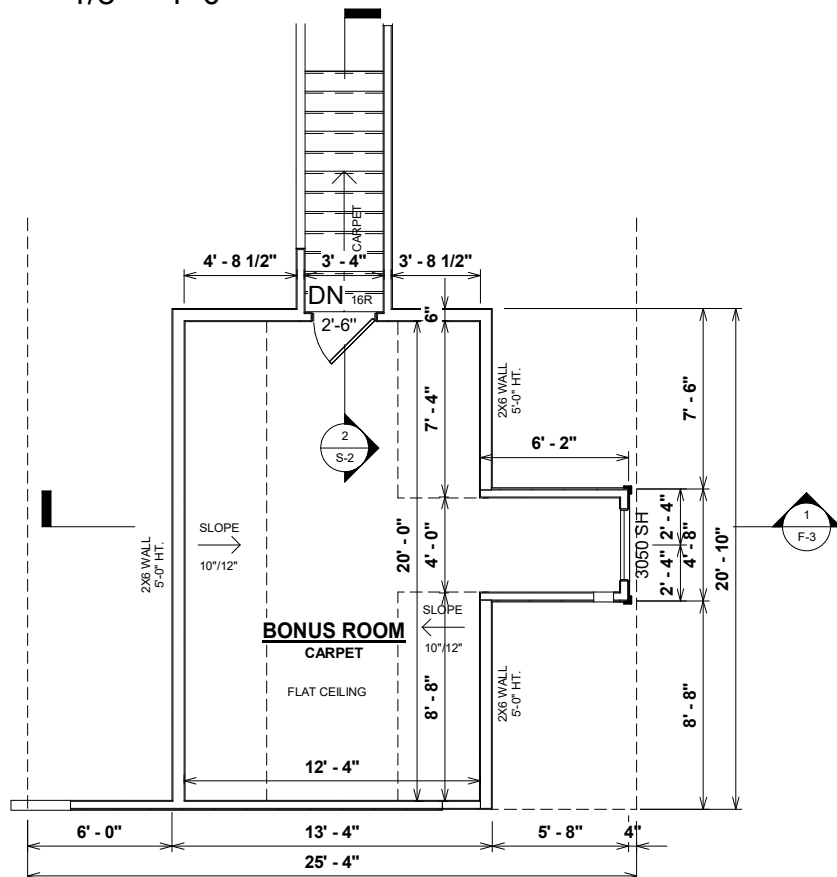
SHEET NUMBER: <b>F-2</b>	<b>FIRST FLOOR PLAN</b>
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3 BONUS ROOM ELECTRICAL- CP  
1/8" = 1'-0"



1 BONUS ROOM SECTION  
3/16" = 1'-0"



4 BONUS ROOM-CP  
1/8" = 1'-0"

**ELECTRICAL NOTES:**

- BRANCH CIRCUITS THAT SUPPLY 125V, SINGLE PHASE, 15 & 20 AMP RECEPTACLE OUTLETS IN ALL ROOMS AS REQUIRED BY CODE, SHALL BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT N.C. ELECT.CODE SECT.210.12(b)
- CONFORM ELECT. WIRING & COMPONENTS TO CURRENT NEC PROVISIONS FOR 1 & 2 FAMILY DWELLINGS AS REQUIRED BY CODE
- OUTLET, FIXTURE, & COMPONENT LOCATIONS ARE APPROXIMATE AND WILL VARY DUE TO DESIGN AND CODE RESTRICTIONS & REQUIREMENTS
- SERVICE DISCONNECT REQUIRED
- CONDENSATE PUMP REQUIRED

ELECTRICAL LEGEND	
LIGHTING FIXTURES	
Ceiling Fan	
Ceiling Fan w/ Light	
Ceiling Mounted Light	
Recessed Ceiling Light	
Pendent Ceiling Light	
Fluorescent Ceiling Light	
Ceiling Exhaust Fan/Light Combo	
Ceiling Exhaust Fan/Light Combo	
Emergency Exit Light	
Junction Box for Future Fixture	
Fluorescent Wall Mounted Light	
Wall Mounted Vanity 3 Light	
Wall Mounted Vanity 4 Light	
Wall Mounted Interior Sconce Light	
Wall Mounted Exterior Coach Light	
Exterior Flood Light	
ELECTRICAL FIXTURES	
Duplex Outlet	
Duplex Outlet - GFI	
Duplex Outlet - Water Proof GFI	
Duplex Outlet - 220v	
Duplex Outlet - Ceiling Mounted	
Duplex Outlet - Floor Mounted	
4-plex Outlet	
4-plex Outlet - Floor Mounted	
Outlet, Light and Switch (AtticCrawl)	
2-Way Switch	
3-Way Switch	
4-Way Switch	
Dimmer Switch	
Rocker Switch	
Smoke Detector	
Smoke Detector/Carbon Monoxide	
Thermostat	
Door Bell	
Door Bell Chime	
Telephone Jack	
Television / Cable Jack	
Telephone / Data Jack	

Revision Number	Revision Description	Revision Date

AREAS:	FIRST FLOOR HEATED GARAGE	FRONT PORCH	BONUS ROOM	BASEMENT	TOTAL UNDER ROOF
	2,763 SF	647 SF	43 SF	301 SF	2,744 SF
					6,498 SF

THE: **BROOKWOOD MFH**  
 FOR: **STACI & JASON FLORENCE**  
 378 SKYCROFT DRIVE  
 SANFORD, NC 27332  
 OFFICE: FAYETTEVILLE SALES  
 SOLD BY:

JOB#: **141-21-023**  
**2x4 EXTERIOR WALLS**  
 FOUNDATION TYPE: **BASEMENT**

DRAWN BY: **AP**  
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 PRINT DATE: **8/21/2022 9:57:54 AM**

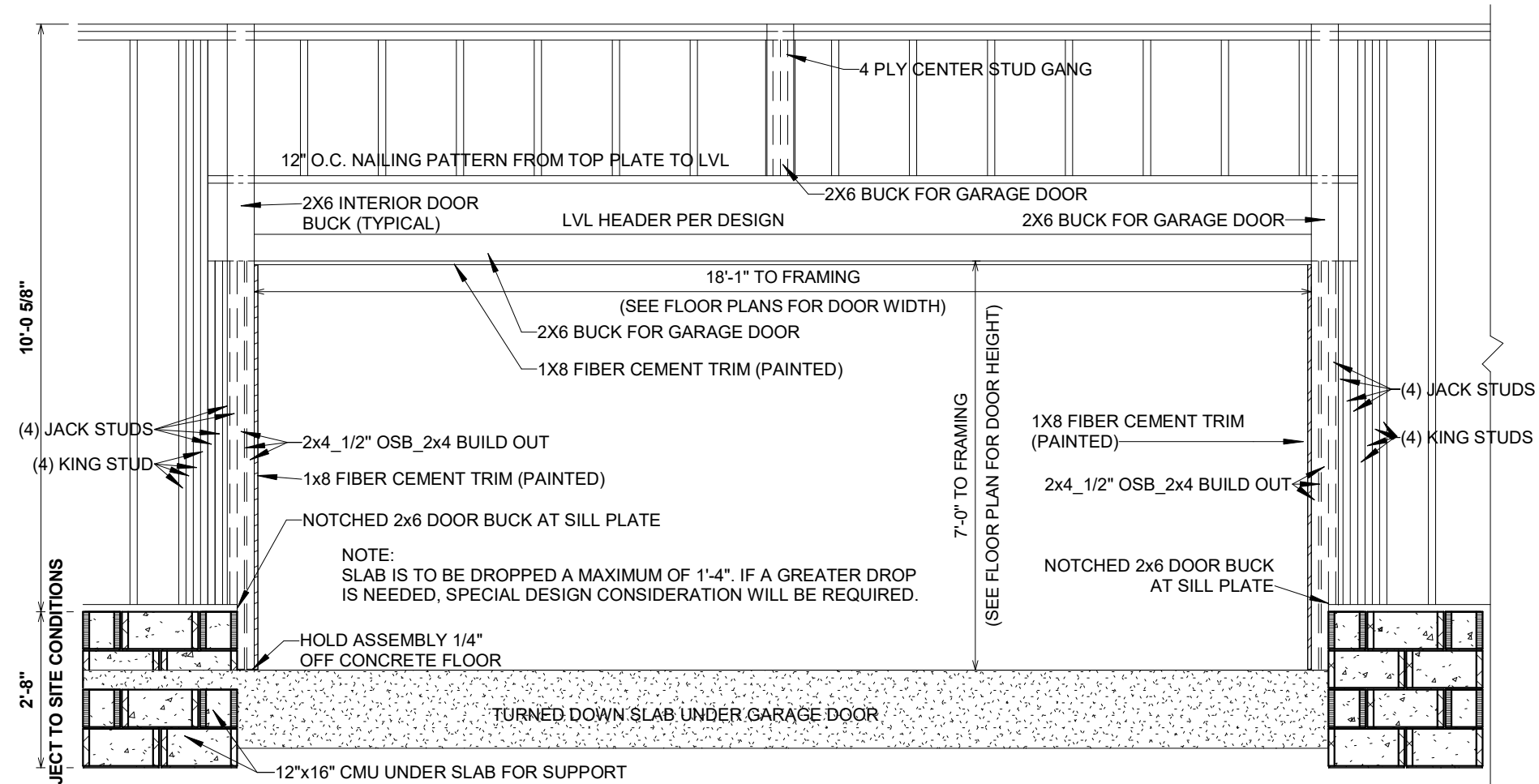


SHEET NUMBER: **F-3**  
**BONUS ROOM**

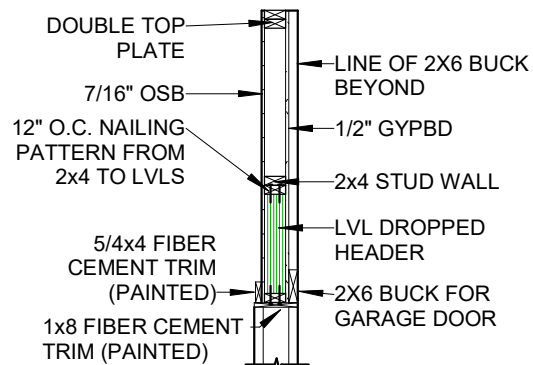
OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%

**FINAL CONSTRUCTION PLANS**





75.7a GARAGE DOOR OPENING NOT FULL LENGTH  
 HDR ALWAYS DROPPED HEADER  
 3/8" = 1'-0"



75.7b GARAGE BEAM DROPPED  
 3/8" = 1'-0"

Revision Number	Revision Description	Revision Date

AREAS:	
FIRST FLOOR HEATED GARAGE	2,763 SF
FRONT PORCH	647 SF
BONUS ROOM	43 SF
BASEMENT	301 SF
TOTAL UNDER ROOF	2,744 SF
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THE: <b>BROOKWOOD MFH</b>	FOR: <b>STACI &amp; JASON FLORENCE</b>
JOB#: <b>141-21-023</b>	FOUNDATION TYPE: <b>BASEMENT</b>
DRAWN BY: <b>AP</b>	CHECKED BY: <b>JS</b>
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**GD-1**

**GARAGE DOOR FRAMING @ TYPICAL CRAWL**

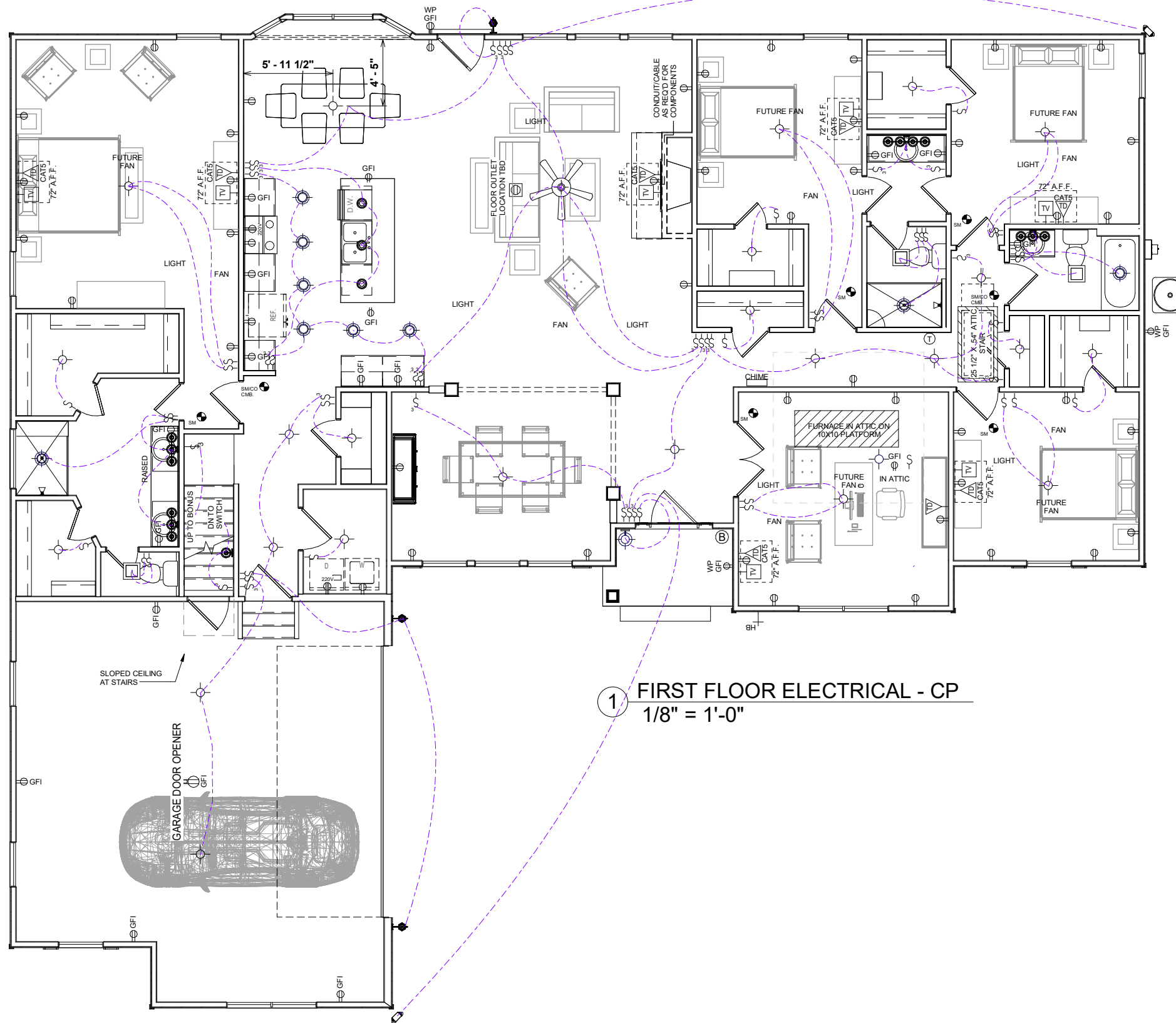
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**FINAL CONSTRUCTION PLANS**

**ELECTRICAL LEGEND**

LIGHTING FIXTURES	
Ceiling Fan	
Ceiling Fan w/ Light	
Ceiling Mounted Light	
Recessed Ceiling Light	
Pendent Ceiling Light	
Fluorescent Ceiling Light	
Ceiling Exhaust Fan/Light Combo	
Ceiling Exhaust Fan/Light Combo	
Emergency Exit Light	
Junction Box for Future Fixture	
Fluorescent Wall Mounted Light	
Wall Mounted Vanity 3 Light	
Wall Mounted Vanity 4 Light	
Wall Mounted Interior Sconce Light	
Wall Mounted Exterior Coach Light	
Exterior Flood Light	
ELECTRICAL FIXTURES	
Duplex Outlet	
Duplex Outlet - GFI	
Duplex Outlet - Water Proof GFI	
Duplex Outlet - 220v	
Duplex Outlet - Ceiling Mounted	
Duplex Outlet - Floor Mounted	
4-plex Outlet	
4-plex Outlet - Floor Mounted	
Outlet, Light and Switch (AtticCrawl)	
2-Way Switch	
3-Way Switch	
4-Way Switch	
Dimmer Switch	
Rocker Switch	
Smoke Detector	
Smoke Detector/Carbon Monoxide	
Thermostat	
Door Bell	
Door Bell Chime	
Telephone Jack	
Television / Cable Jack	
Telephone / Data Jack	

**ELECTRICAL NOTES:**

- BRANCH CIRCUITS THAT SUPPLY 125V, SINGLE PHASE, 15 & 20 AMP RECEPTACLE OUTLETS IN ALL ROOMS AS REQUIRED BY CODE, SHALL BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT N.C. ELECT.CODE SECT.210.12(b)
- CONFORM ELECT. WIRING & COMPONENTS TO CURRENT NEC PROVISIONS FOR 1 & 2 FAMILY DWELLINGS AS REQUIRED BY CODE
- OUTLET, FIXTURE, & COMPONENT LOCATIONS ARE APPROXIMATE AND WILL VARY DUE TO DESIGN AND CODE RESTRICTIONS & REQUIREMENTS
- SERVICE DISCONNECT REQUIRED
- CONDENSATE PUMP REQUIRED



1 FIRST FLOOR ELECTRICAL - CP  
1/8" = 1'-0"

• OUTLET, FIXTURE, & COMPONENT LOCATIONS ARE APPROXIMATE. ACTUAL WILL VARY DUE TO DESIGN AND CODE RESTRICTIONS & REQUIREMENTS  
• BUILDER AND HVAC CONTRACTOR RESERVE THE RIGHT TO LOCATE SUPPLY VENTS AND/OR LINES TO ACCOMMODATE OPTIMUM USAGE AND RESTRICTIONS DUE TO CODE & DESIGN REQUIREMENTS

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%

**FINAL CONSTRUCTION PLANS**

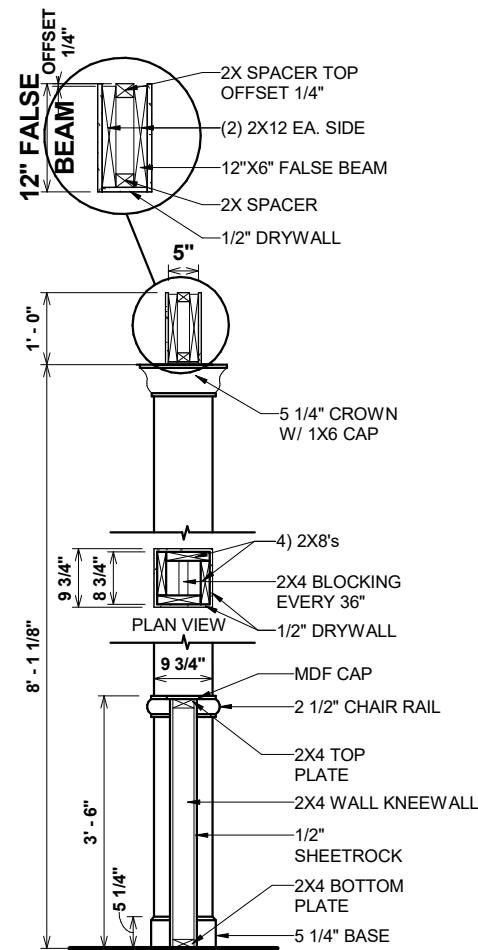
Revision Number	Revision Description	Revision Date

AREAS:	FIRST FLOOR HEATED	TOTAL UNDER ROOF
GARAGE	2,763 SF	6,498 SF
FRONT PORCH	647 SF	
BONUS ROOM	43 SF	
BASEMENT	301 SF	
<b>TOTAL UNDER ROOF</b>	<b>2,744 SF</b>	<b>6,498 SF</b>

**THE: BROOKWOOD MFH**  
**FOR: STACI & JASON FLORENCE**  
378 SKYCROFT DRIVE  
SANFORD, NC 27332  
OFFICE: FAYETTEVILLE SALES  
SOLD BY:

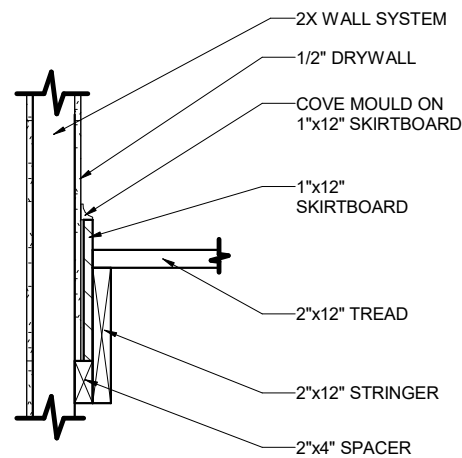
**JOB# 141-21-023**  
**2x4 EXTERIOR WALLS**  
**FOUNDATION TYPE: BASEMENT**  
DRAWN BY: AP  
CHECKED BY: JS  
PRINT DATE: 8/21/2022 9:57:58 AM

PROPERTY OF: AMERICA'S HOME PLACE  
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SHEET NUMBER: **H-1**  
**FIRST FLOOR ELECTRICAL**

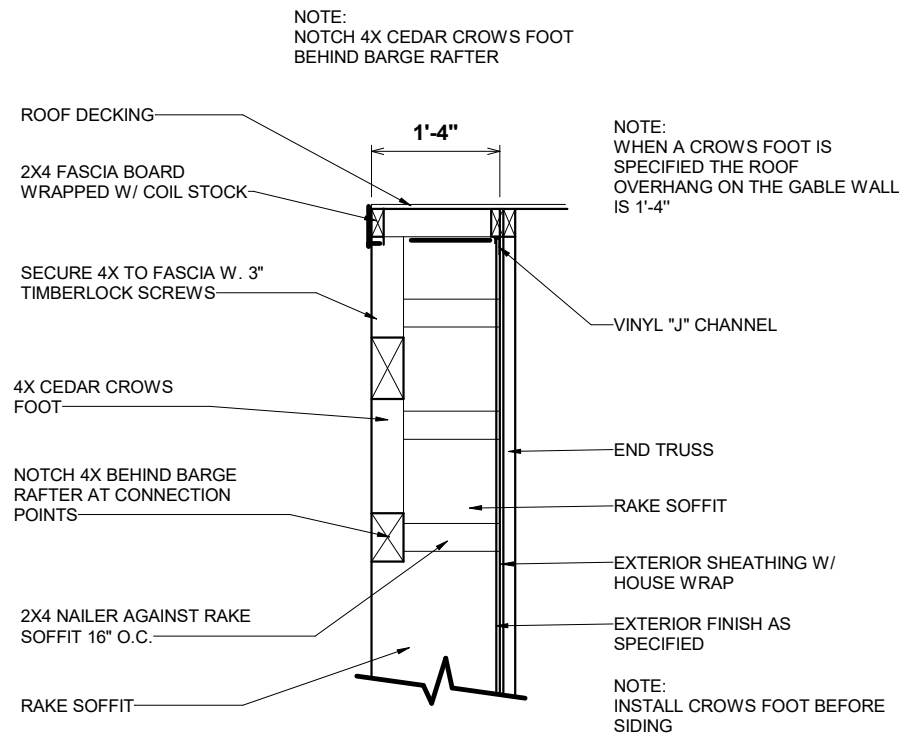


INTERIOR 10" X 10" BOX COLUMN WRAPPED W/ DRYWALL  
ELEVATION VIEW

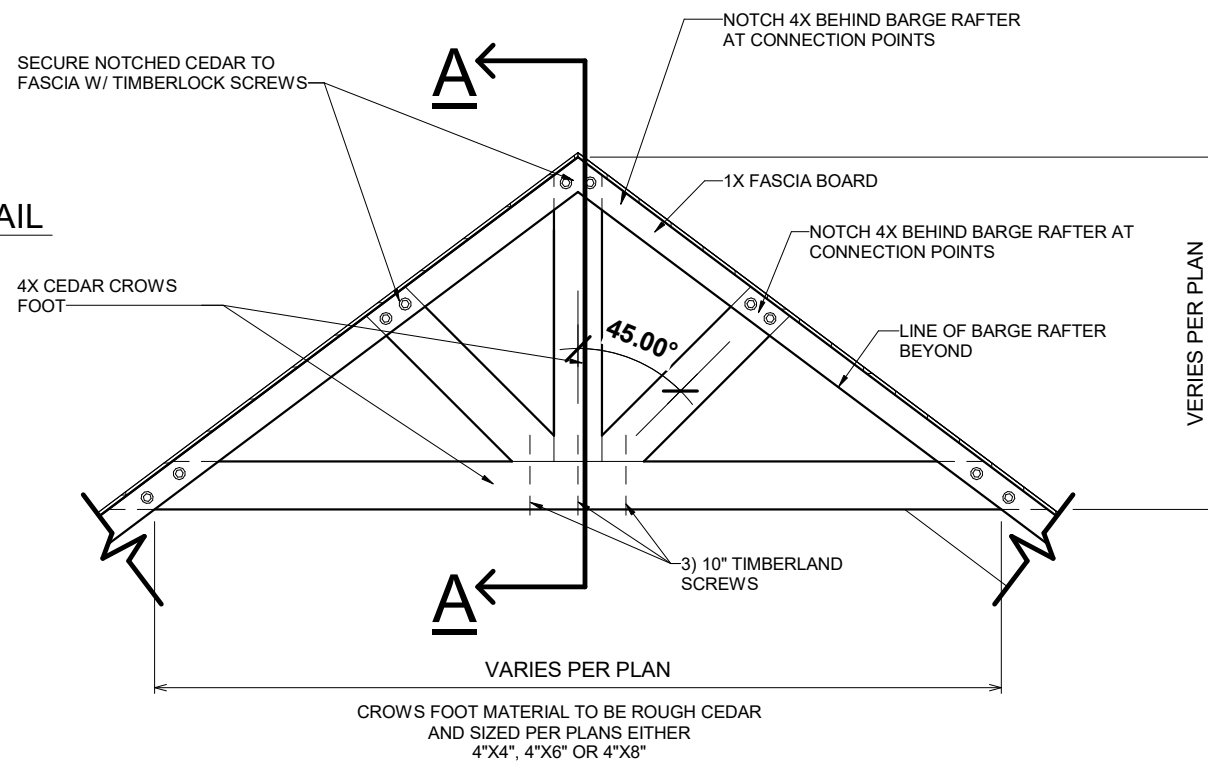
4 890.1a INTERIOR 10" BOX COLUMN DETAIL  
3/8" = 1'-0"



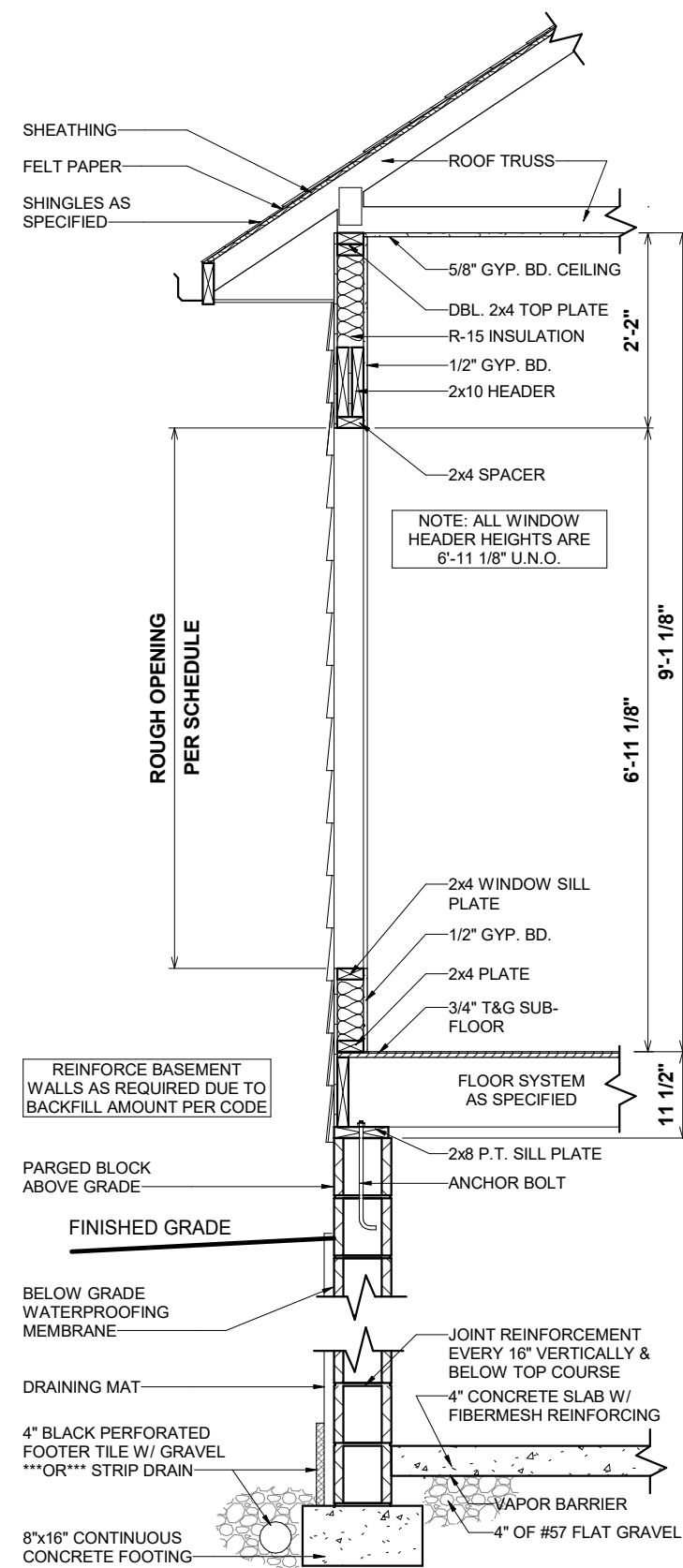
3 900.5 STAIR SECTION THRU STRINGER  
3/4" = 1'-0"



**SECTION A-A**



1 485.1 CROWS FOOT DETAIL at VINYL SIDING  
1/2" = 1'-0"



2 1-STORY-BSMT W/2X4-SIDING-WALL SECTION2  
1/2" = 1'-0"

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%  
**FINAL CONSTRUCTION PLANS**

Revision Number	Revision Description	Revision Date

AREAS:	FIRST FLOOR HEATED	2,763 SF
GARAGE	647 SF	
FRONT PORCH	43 SF	
BONUS ROOM	301 SF	
BASEMENT	2,744 SF	
<b>TOTAL UNDER ROOF</b>	<b>6,498 SF</b>	

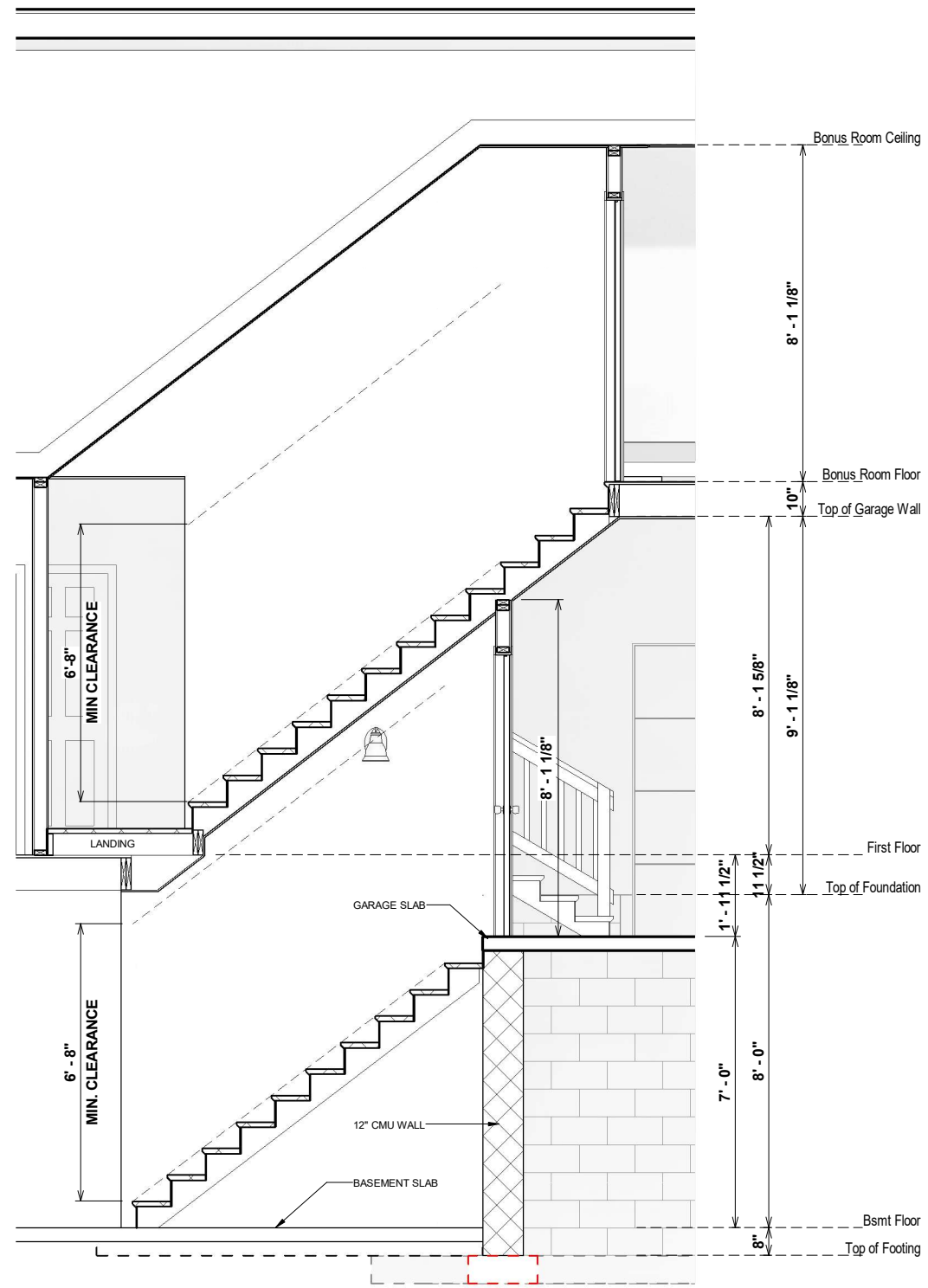
**TITLE: BROOKWOOD MFH**  
**FOR: STACI & JASON FLORENCE**  
**378 SKYCROFT DRIVE SANFORD, NC 27332**  
**OFFICE: FAYETTEVILLE SALES**  
**SOLD BY:**

**JOB#: 141-21-023**  
**2x4 EXTERIOR WALLS**  
**FOUNDATION TYPE: BASEMENT**

**DRAWN BY: AP**  
**CHECKED BY: JS**  
**PRINT DATE: 8/21/2022 9:58:03 AM**




**SHEET NUMBER: S-1**  
**WALL SECTION & DETAILS**



2 STAIR SECTION  
1/4" = 1'-0"

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%

FINAL CONSTRUCTION PLANS

SHEET NUMBER: <b>S-2</b>	PROPERTY OF:  © COPYRIGHT - 2018	DRAWN BY: AP	JOB# 141-21-023	THE: <b>BROOKWOOD MFH</b>	AREAS: FIRST FLOOR HEATED GARAGE FRONT PORCH BONUS ROOM BASEMENT TOTAL UNDER ROOF	Revision Schedule Rev. #
		CHECKED BY: JS	2x4 EXTERIOR WALLS UNLESS OTHERWISE NOTED FOUNDATION TYPE: BASEMENT	FOR: <b>STACI &amp; JASON FLORENCE</b> 378 SKYCROFT DRIVE SANFORD, NC 27332		2,763 SF 647 SF 43 SF 301 SF 2,744 SF 6,498 SF
PAPER SIZE: 11" x 17"		SCALE: 1/4" = 1'-0"		OFFICE: FAYETTEVILLE SALES		
				SOLD BY:		

ROUGH OPENINGS FOR PLY-GEM VINYL S/H WINDOWS

**SINGLE WINDOW UNITS**

CALL SIZE	ACTUAL SIZE	ROUGH OPENING SIZE
2-0 X 3-0	23 1/2" X 35 1/2"	24" X 36"
2-0 X 4-0	23 1/2" X 47 1/2"	24" X 48"
2-8 X 4-0	31 1/2" X 47 1/2"	32" X 48"
2-8 X 5-0	31 1/2" X 59 1/2"	32" X 60"
2-8 X 6-0	31 1/2" X 71 1/2"	32" X 72"
3-0 X 3-0	35 1/2" X 35 1/2"	36" X 36"
3-0 X 4-0	35 1/2" X 47 1/2"	36" X 48"
3-0 X 5-0	35 1/2" X 59 1/2"	36" X 60"
3-0 X 5-2	35 1/2" X 61 1/2"	36" X 62"
3-0 X 6-0	35 1/2" X 71 1/2"	36" X 72"
3-0 X 6-2	35 1/2" X 73 1/2"	36" X 74"
3-4 X 4-0	39 1/2" X 47 1/2"	40" X 48"
4-0 X 4-0	47 1/2" X 47 1/2"	48" X 48"

**TWIN/TRIPLE WINDOW UNITS**

2-8 X 5-0 TWIN	63 1/2" X 59 1/2"	64" X 60"
2-8 X 6-0 TWIN	63 1/2" X 71 1/2"	64" X 72"
3-0 X 5-0 TWIN	71 1/2" X 59 1/2"	72" X 60"
3-0 X 6-0 TWIN	71 1/2" X 71 1/2"	72" X 72"
3-0 X 5-0 TRIPLE	107 1/2" X 59 1/2"	108" X 60"
3-0 X 6-0 TRIPLE	107 1/2" X 71 1/2"	108" X 72"
1-8 / 3-0 / 1-8 X 6-0	75 1/2" X 71 1/2"	76" X 72"
2-0 / 3-0 / 2-0 X 6-0	83 1/2" X 71 1/2"	84" X 72"

**TRANSOM WINDOW UNITS**

3-0 HALF-ROUND (18" TALL)	CALL SIZE + 18" TO HGT. OF WINDOW
12" TRANSOM	CALL SIZE + 12" TO HGT. OF WINDOW
2-8 ARCH TRAN. (14" TALL)	CALL SIZE + 14" TO HGT. OF WINDOW
3-0 ARCH TRAN. (16" TALL)	CALL SIZE + 16" TO HGT. OF WINDOW
2-8 TW ARCH TRAN. (20" TALL)	CALL SIZE + 20" TO HGT. OF WINDOW
2-8 TW ARCH TRAN. (20" TALL)	CALL SIZE + 20" TO HGT. OF WINDOW
2-8 HALF-ROUND (16" TALL)	CALL SIZE + 16" TO HGT. OF WINDOW

**SPECIALTY WINDOWS**

4-0 X 5-0 EYEBROW	48" X 60"
3-0 X 4-0 PALLADIAN	36" X 48"
3-0 X 5-0 PALLADIAN	60" X 72"

1. TRANSOM SAMPLE. 3-0 X 6-0 W/ HALF-ROUND TRANSOM. CALL SIZE 3060 + 18" TALL TRANSOM EQUALS A ROUGH OPENING SIZE OF 36" X 90"
2. CALL SUPERINTENDENT FOR ANY WINDOW SIZE THAT IS NOT SHOWN HERE PRIOR TO FRAMING THE OPENING

ROUGH OPENINGS FOR MASONITE ENTRY DOORS

**INSWING UNITS**

2-8 X 6-8	34 1/2" X 82 1/2"
3-0 X 6-8	38 1/2" X 82 1/2"
3-0 X 6-8 W/ (2) 12" S.L.	65 1/4" X 82 1/2"
3-0 X 6-8 W/ 12" TRAN.	38 1/2" X 96"
3-0 X 6-8 W/ (2) 12" S.L. & 12" TRAN	65 1/4" X 96"

**OUTSWING UNITS**

2-8 X 6-8	34 1/2" X 81"
3-0 X 6-8	38 1/2" X 81"
3-0 X 6-8 W (2) 12" S.L.	65 1/4" X 81"
3-0 X 6-8 W/ 12" TRAN.	38 1/2" X 94 1/2"
3-0 X 6-8 W (2) 12" S.L. & 12" TRAN.	65 1/4" X 94 1/2"

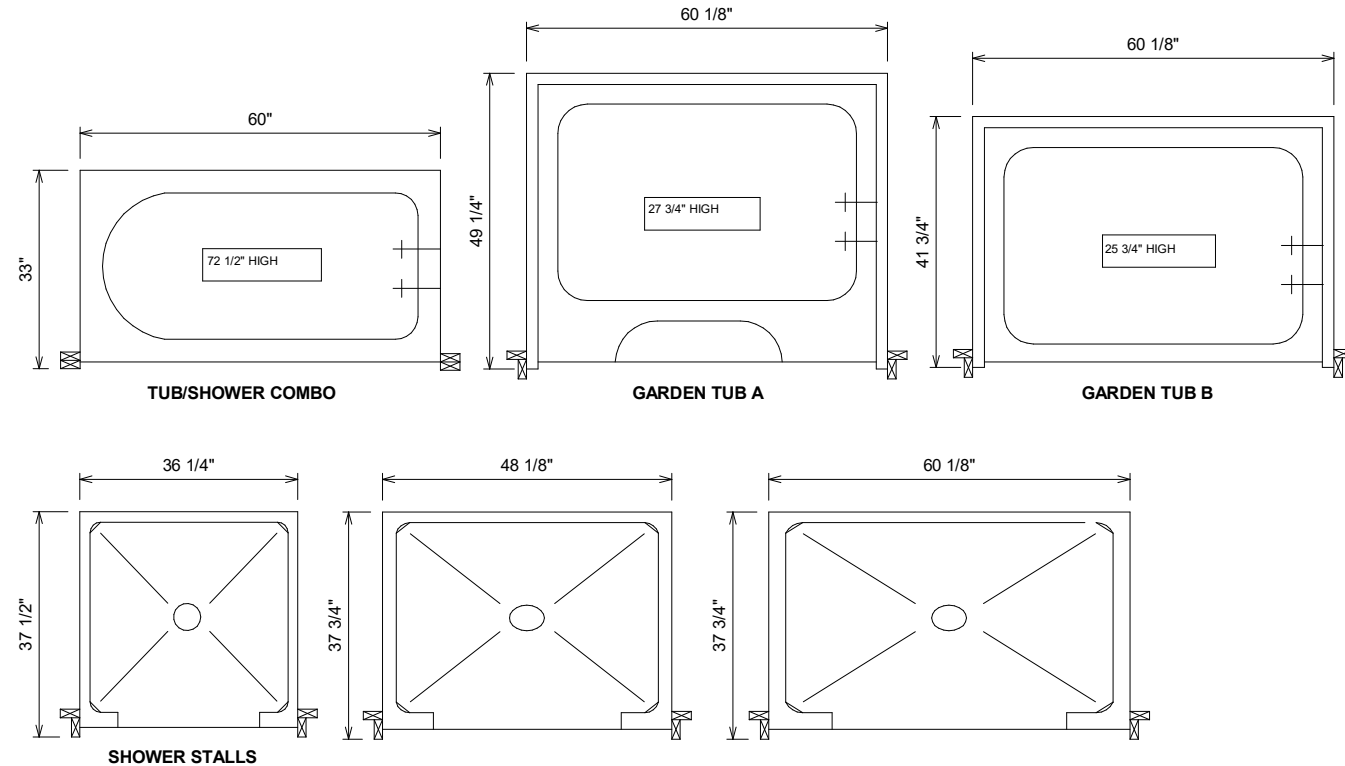
**CENTER HINGED/ FRENCH DOOR...**

6-0 X 6-8 CENTER HINGED(INSWING)	75 5/8" X 82 1/2"
6-0 X 6-8 FRENCH (INSWING)	75 1/4" X 82 1/2"
6-0 X 6-8 INSWING W/ 12" TRAN.	75 5/8" X 96"
6-0 X 6-8 FRENCH W/ 12" TRAN.	75 1/4" X 96"

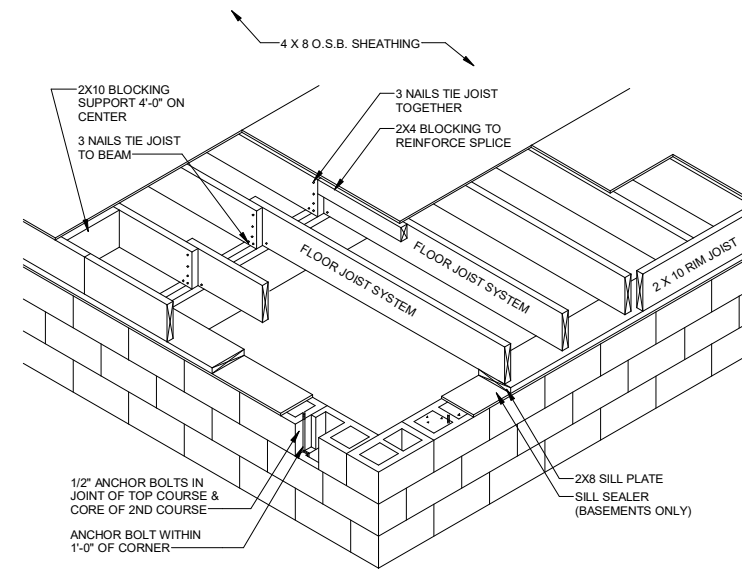
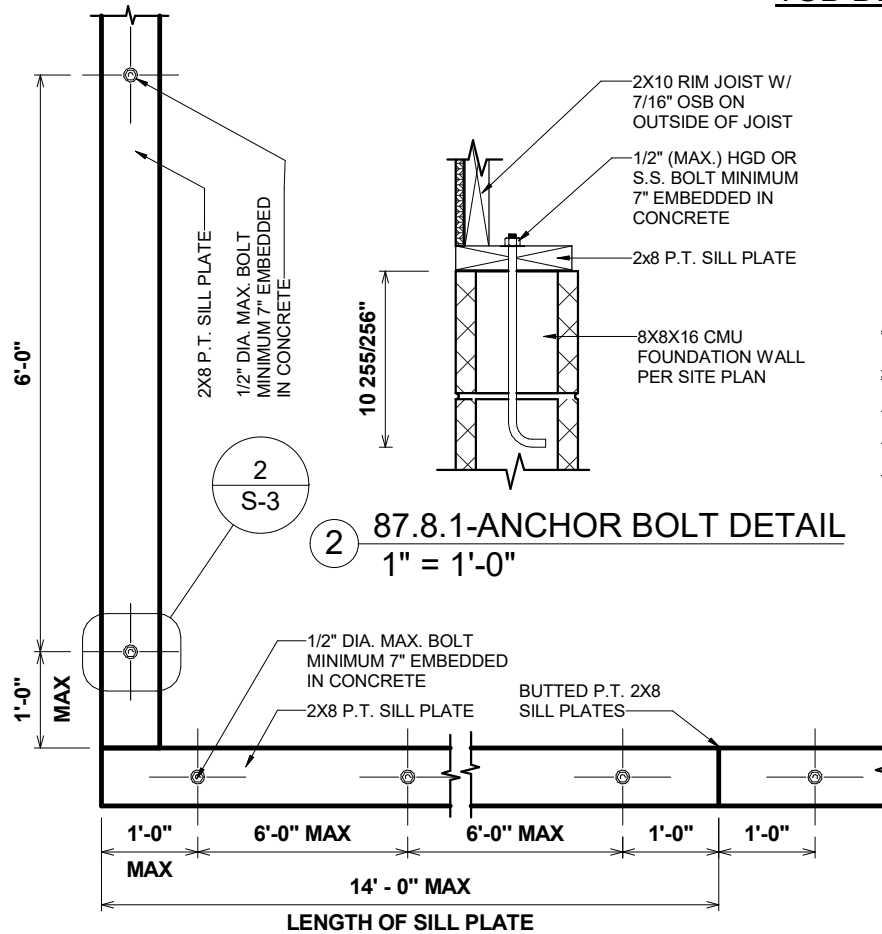
**SLIDING GLASS DOORS**

5-0 X 6-8 SLIDER	60 1/4" X 80 1/2"
6-0 X 6-8 SLIDER	72 1/4" X 80 1/2"

\*\*\* FOR OUTSWING DOORS, DEDUCT 1" FROM HEIGHT OF UNIT\*\*\*



**TUB DETAILS**



**GENERAL NOTES:**

- 1) MINIMUM ALLOWABLE BEARING FOR FLOOR JOIST IS 1 1/2".
- 2) ALL REQUIRED NAILING PATTERNS ARE PER PRINT AND/OR SPECS.

**FLOOR FRAMING DETAIL**

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%

**FINAL CONSTRUCTION PLANS**

Revision Number	Revision Description	Revision Date

AREAS:	2,763 SF	647 SF	43 SF	301 SF	2,744 SF	6,498 SF
FIRST FLOOR HEATED GARAGE	2,763 SF	647 SF	43 SF	301 SF	2,744 SF	6,498 SF
FRONT PORCH						
BONUS ROOM						
BASEMENT						
TOTAL UNDER ROOF						

**THE: BROOKWOOD MFH**  
**FOR: STACI & JASON FLORENCE**  
 378 SKYCROFT DRIVE  
 SANFORD, NC 27332  
 OFFICE: FAYETTEVILLE SALES  
 SOLD BY:

**JOB# 141-21-023**  
**2x4 EXTERIOR WALLS**  
**FOUNDATION TYPE: BASEMENT**  
 DRAWN BY: AP  
 CHECKED BY: JS  
 PRINT DATE: 8/21/2022 9:58:06 AM

PROPERTY OF: **AMERICA'S HOME PLACE**  
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SHEET NUMBER: **S-3**  
**FRAMING DETAILS**



# ROOF & FLOOR TRUSSES & BEAMS

Reilly Road Industrial Park  
Fayetteville, N.C. 28309  
Phone: (910) 864-8787  
Fax: (910) 864-4444

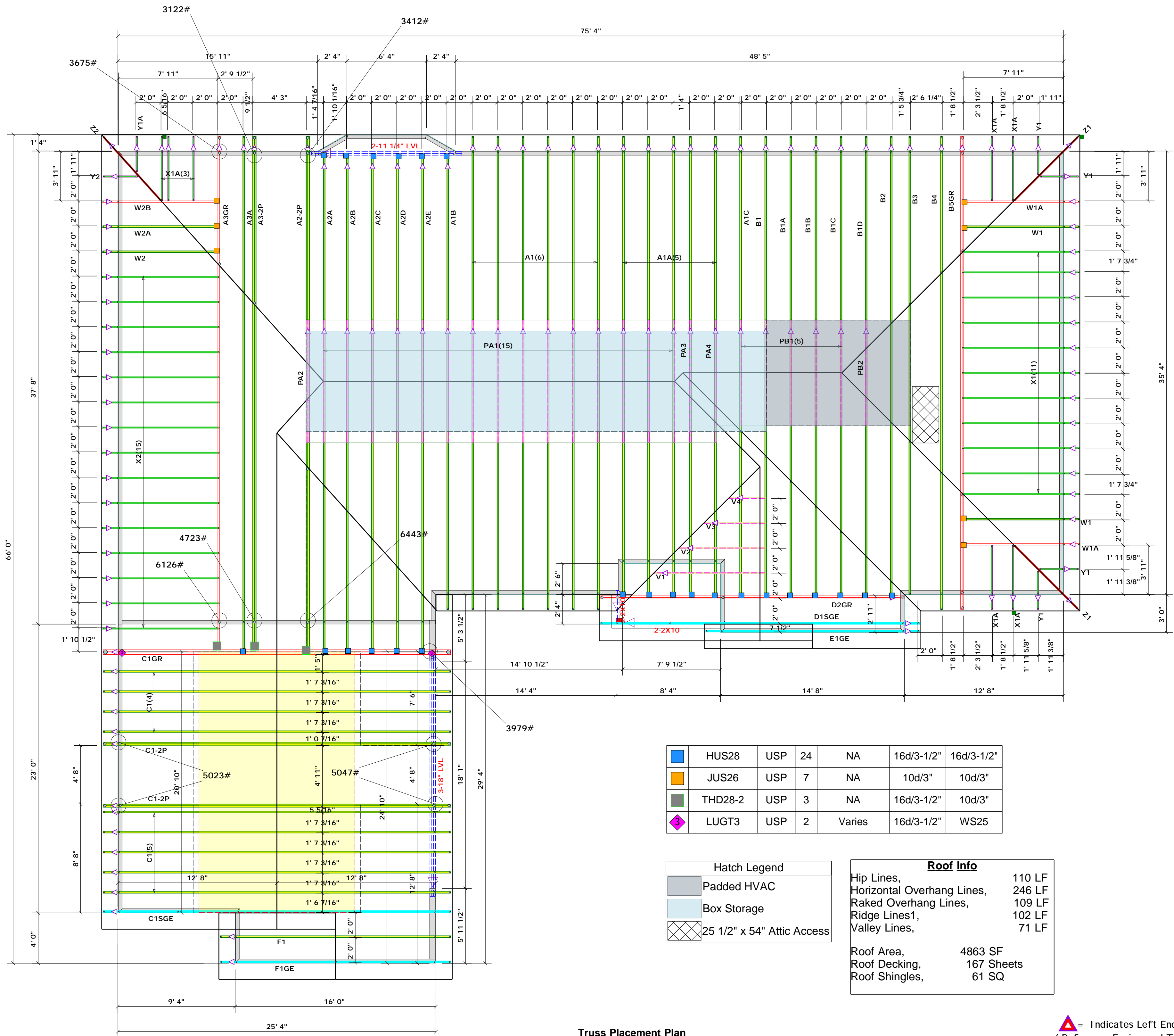
Bearing reactions less than or equal to 3000# are deemed to comply with the prescriptive code requirements. The contractor shall refer to the attached Tables (derived from the prescriptive code requirements) to determine the minimum foundation size and number of wood studs required to support reactions greater than 3000# but not greater than 15000#. A registered design professional shall be retained to design the support system for any reaction that exceeds those specified in the attached Tables. A registered design professional shall be retained to design the support system for all reactions that exceed 15000#.

Signature: Sales Area  
Sales Area

END REACTION (UP TO)	REQ'D STUDS FOR EACH END OF HEADERS/STRODS	END REACTION (UP TO)	REQ'D STUDS FOR EACH END OF HEADERS/STRODS
1700	1	2550	1
3400	2	5100	2
5100	3	7650	3
6800	4	10200	4
8500	5	12750	5
10200	6	15300	6
11900	7		
13600	8		
15300	9		

BUILDER	JOB NAME	PLAN	SEAL DATE	QUOTE #	JOB #
AMERICA'S HOME PLACE	FLORENCE, STACI & JASON	BROOKWOOD MFH	4.4.22 PLAN DATE	Quote #	J0522-2459

CITY / CO.	SANFORD / LEE
ADDRESS	378 SKYCROFT DR
MODEL	ROOF
DATE REV.	05/09/22
DRAWN BY	Sales Area
SALES REP.	Bob Lewis



Material	Species	Grade	Quantity	Notes	Length	Width
	HUS28	USP	24	NA	16d/3-1/2"	16d/3-1/2"
	JUS26	USP	7	NA	10d/3"	10d/3"
	THD28-2	USP	3	NA	16d/3-1/2"	10d/3"
	LUGT3	USP	2	Varies	16d/3-1/2"	WS25

	Padded HVAC
	Box Storage
	25 1/2" x 54" Attic Access

Hip Lines,	110 LF
Horizontal Overhang Lines,	246 LF
Raked Overhang Lines,	109 LF
Ridge Lines <sup>1</sup> ,	102 LF
Valley Lines,	71 LF
<b>Roof Area,</b>	<b>4863 SF</b>
Roof Decking,	167 Sheets
Roof Shingles,	61 SQ

Truss Placement Plan  
SCALE: NTS

= Indicates Left End of Truss  
(Reference Engineered Truss Drawing)  
Do NOT Erect Truss Backwards

THIS IS A TRUSS PLACEMENT DIAGRAM ONLY. These trusses are designed as individual building components to be incorporated into the building design at the specification of the building designer. See individual design sheets for each truss design identified on the placement drawing. The building designer is responsible for temporary and permanent bracing of the roof and floor system and for the overall structure. The design of the truss support structure including headers, beams, walls, and columns is the responsibility of the building designer. For general guidance regarding bracing, consult BCSI-B1 and BCSI-B3 provided with the truss delivery package or online @ sbcindustry.com