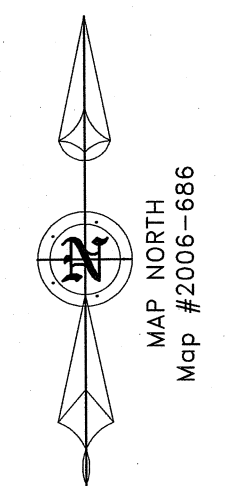


**Harnett County
Minimum Building
Setback Requirements**
RA-20R, RA-20M,
RA-30 & RA-40

FRONT: 35' from R/W
REAR: 25'
SIDE: 10'
CORNER LOT SIDE: 20'
MAXIMUM HEIGHT: 35'

- SYMBOLS & ABBREVIATIONS:**
- EIP/EIS... Existing Iron Pipe or Stake
 - ERB... Existing ReBar Stake
 - ERRS... Existing Rail Road Spike
 - EPK... Existing Parker-Kaylon Nail
 - EMN... Existing Magnetic Nail
 - ECS... Existing Cotton Picker Spindle
 - ⊠ ECM... Existing Concrete Monument
 - AG/BG... Above/Below Ground Surface
 - △ CP... Calculated Point (not set)
 - ⊙ CNTRL... Control Point - Grid Coordinates
 - ISS... Iron Stake Set (#4 rebar)
 - MNS... Magnetic Nail Set
 - ⊙ CSS... Cotton Spindle Set
 - ◆ FH... Fire Hydrant
 - ⊙ PP... Power Pole
 - OHE... Overhead Electric Lines
 - ↔ LH... Land Hook (Property combined)
 - C/L... Centerline of Road or Easement
 - R/W... Right-of-Way
 - D.B... Deed Book
 - P.B/P.C... Plat Book / Plat Cabinet
 - M.B... Map Book
 - NC PIN... Parcel Identifier Number
 - Ac... Acres (Area of property)
 - SF... Square Feet
 - [123]... House Address

- LINE LEGEND:**
- Subject Boundary Surveyed
 - - - Subject Boundary Not Surveyed
 - Adjacent Property Lines
 - ⋯ Abandoned Property Lines
 - Right of Way Lines
 - Center of Right-of-Way
 - Easement Lines
 - Survey Tie Lines
 - Minimum Building Setback
 - OHE Overhead Electric Lines
 - Water Line



**Richard G. Beacham
Rose Marie Beacham
DB 4107, Pg. 881
Map #2006-686
(Lot 11)**

10.35 Acres

**Kathrina Walkerrell
DB 2343, Pg. 333
Map #2006-686
(Lot 9)**

**Richard G. Beacham
Rose Marie Beacham
DB 4107, Pg. 881
Map #2006-686
(Lot 10)**

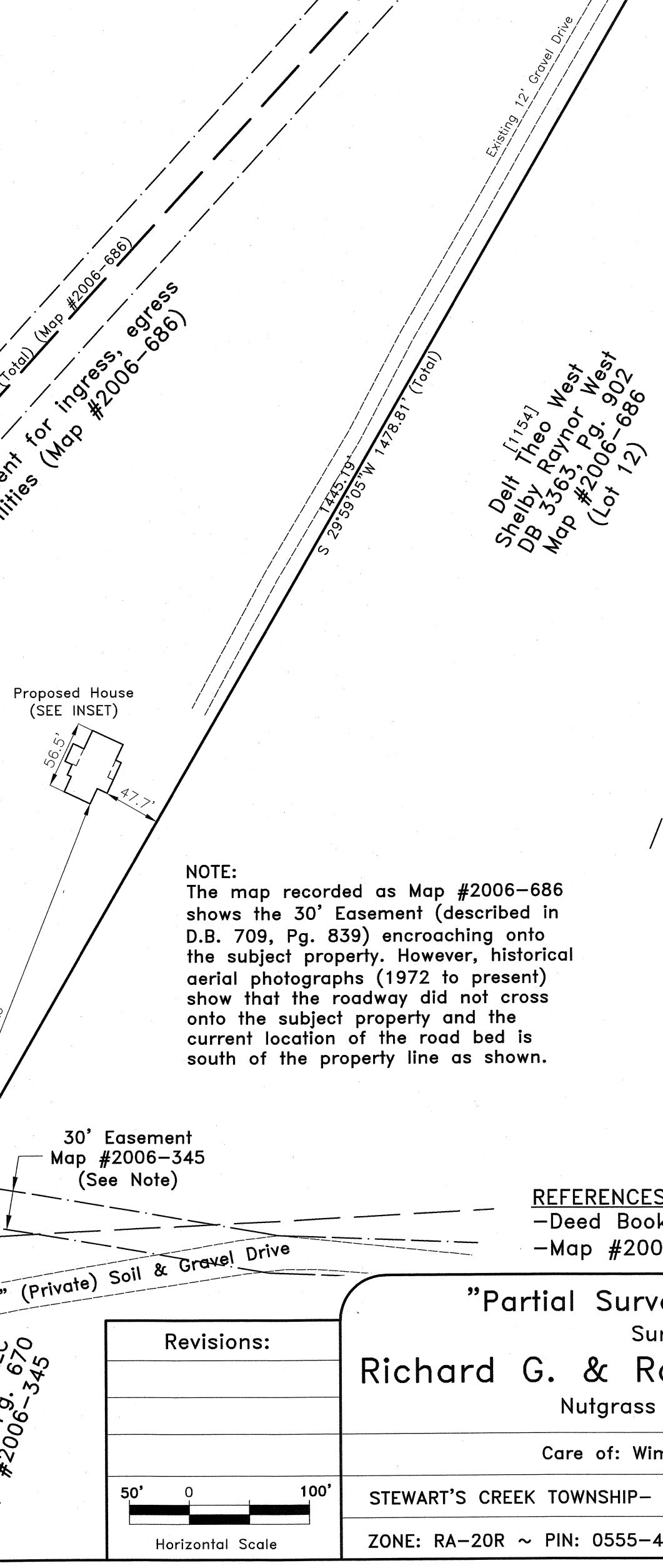
**Larrie James McLean
DB 305, Pg. 395**

**Eldridge McNeill
DB 2278, Pg. 406
Map #2006-686
(Lot 8)**

**Richard G. Beacham
Rose Marie Beacham
DB 4107, Pg. 881
Map #2006-686
(Lot 11)**

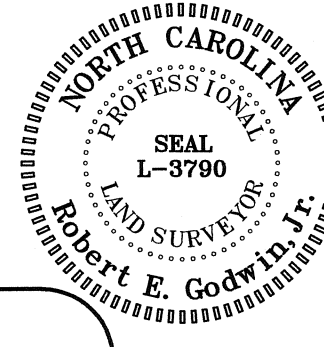
**Yvonne Crawford
DB 3167, Pg. 408
Map #98-321**

**Northwyn
Development LLC
DB 3483, Pg. 670
Map #2006-345**



NOTE:
The map recorded as Map #2006-686 shows the 30' Easement (described in D.B. 709, Pg. 839) encroaching onto the subject property. However, historical aerial photographs (1972 to present) show that the roadway did not cross onto the subject property and the current location of the road bed is south of the property line as shown.

- REFERENCES:**
- Deed Book 4107, Pg. 881
 - Map #2006-686 (Lot 11)



FEMA FLOOD HAZARD STATEMENT
The subject property shown on this plat is located within the FEMA "Zone X" (Minimal Flood Risk) Area as shown on FIRM Number: 3720054600J Effective date: 10/3/2006 FIRM Number: 3720054400K Effective date: 1/5/2007

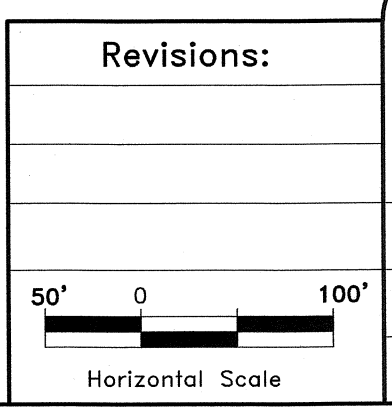
North Carolina
Harnett County

I, Robert E. Godwin, Jr., hereby certify that this plat was drawn under my supervision from an actual survey made under my supervision per deed description recorded in Book 4107, Page 881; That the boundaries not surveyed are shown as broken lines plotted from references as shown hereon; That the ratio of precision meets or exceeds Class B standards; That there were no encroachments across surveyed property lines unless otherwise shown hereon;

And that this survey was conducted in accord with The Standards of Practice for Land Surveying in North Carolina (21 NCAC 56.1600) and this map may not meet all statutory mapping requirements for recordation.

Witness my original signature, license number, and seal this the 16th day of JUNE, A.D. 2022

Robert E. Godwin, Jr., P.L.S.
License Number: L-3790



"Partial Survey for Plot Plan"

Survey For:
Richard G. & Rose Marie Beacham
Nutgrass Rd., Bunnlevel

Care of: Wimberly Builders, LLC

STEWART'S CREEK TOWNSHIP- HARNETT COUNTY - NORTH CAROLINA

ZONE: RA-20R ~ PIN: 0555-49-4721.000 ~ PID: 120565 0252 10

STREAMLINE LAND SURVEYING, Inc.
NC FIRM C-1898
870 NC 55 W, Coats, N.C. 27521
Phone: 910-897-7715

SURVEY DATE: JUNE 10, 2022

SCALE: 1" = 100' SURVEYED BY: REG DRAWN BY: MGG

FILE: E:\0555\220610BE.dwg (PlotPlan)