

ABBREVIATIONS

- ACC. = ACCESS
- BRP = BRACED WALL LINE
- C.O. = CASED OPENING
- C.J. = CEILING JOIST
- CLS. = CLOSING
- COL. = COLUMN
- COMP. = COMPOSITION
- CONT. = CONTINUOUS
- C.M.A. = CARBON MONOXIDE ALARM
- C.M.U. = CONCRETE MASONRY UNIT
- D.H. = DOUBLE HUNG
- D.M. = DIAMETER
- D.J. = DOUBLE JOIST
- DN. = DOWN
- EXH. = EXHAUST
- EXT. = EXTERIOR
- F.L.J. = FLOOR JOIST
- FTG. = FOOTING
- G.F.I. = GROUND FAULT INTERRUPTER
- H.B. = HOSE BIB
- L.V.L. = LAMINATED VENEER LUMBER
- M.O. = MASONRY OPENING
- M.S. = MASONRY
- MAX. = MAXIMUM
- M.C. = MEDICINE CABINET
- M.T.L. = METAL
- M.N. = MINIMUM
- O.C. = ON CENTER
- OSB = ORIENTED STRAND BOARD
- PERF. = PERFORATED
- REC. = RECESSED
- RENF. = REINFORCED
- SCR. = SCORED
- S.D. = SMOKE DETECTOR
- SEC. = SECOND
- SHMR. = SHOWER
- S.Y.P. = SOUTHERN YELLOW PINE
- S.P.F. = SPRUCE/PINE/FIR
- SUSP. = SUSPENDED
- TYP. = TYPICAL
- U.O.N. = UNLESS OTHERWISE NOTED
- WASH. = WASHER
- W.H. = WATER HEATER
- W.P. = WEATHER PROOF
- W.W.M. = WELDED WIRE MESH
- W.D. = WINDOW HEIGHT
- WD. = WOOD

SYMBOLS

- = HOSE BIB
- 3 = SWITCH
- 3/4 = 3-WAY SWITCH
- ⊙ = LIGHT FIXTURE
- ⊞ = EXHAUST FAN & LIGHT
- ⊞ = SMOKE DETECTOR
- ⊞ = SHOWER HEAD
- ⊞ = TELEPHONE JACK
- ⊞ = CONVENIENCE OUTLET
- ⊞ = 220 VOLT OUTLET
- ⊞ = GROUND FAULT INTERRUPTER
- ⊞ = CEILING FAN
- ⊞ = CARBON MONOXIDE ALARM

GENERAL NOTES AND SPECIFICATIONS

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ORIGINAL PURCHASE AGREEMENT

SEE ATTACHED CONSTRUCTION LICENSE FOR INVOICE NUMBER 13009.

BUILDING CODE INFORMATION

THIS PLAN HAS BEEN DRAWN TO CONFORM TO THE NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION (2015 INTERNATIONAL RESIDENTIAL CODE FOR ONE- AND TWO-FAMILY DWELLINGS, CURRENT EDITION) WITH AMENDMENTS UNLESS OTHERWISE NOTED. (SEE ATTACHMENTS)

PRIOR TO CONSTRUCTION

THE CONTRACTOR SHALL REVIEW THE PLAN(S) FOR THIS PARTICULAR BUILDING PROJECT TO ENSURE COMPLIANCE WITH ALL APPLICABLE STATE AND LOCAL CODES, ORDINANCES, REGULATIONS AND ORDINANCES THAT MAY BE REQUIRED BY VA/HH/HD.

THE CONTRACTOR SHALL VERIFY PLAN DIMENSIONS, STRUCTURAL COMPONENTS AND GENERAL SPECIFICATIONS CONTAINED IN THIS SET OF PLANS AND REPORT ANY DISCREPANCIES TO STANDARD HOMES PLAN SERVICE, INC. FOR JUSTIFICATION OR CORRECTION BEFORE PROCEEDING WITH WORK ON HOUSE.

THE CONTRACTOR SHALL DETERMINE ROUGH OPENING SIZES FOR ALL BUILT-IN EQUIPMENT AND/OR FIXTURES AND ADJUST PLAN DIMENSIONS AS REQUIRED.

DO NOT SCALE FROM BLUEPRINTS. REFER TO THE LABELED DIMENSIONS FOR ACTUAL MEASUREMENTS.

IT SHALL BE THE RESPONSIBILITY OF THE OWNER/BUILDER TO PROVIDE FOR THE SERVICES OF A PROFESSIONAL ENGINEER IF REQUIRED BY THE BUILDING CODE OFFICIAL.

SHIPPING DATE : _____

STAMP MUST APPEAR IN RED. PLANS FOR WHICH A BUILDING PERMIT HAS NOT BEEN OBTAINED ONE YEAR FROM THE ABOVE DATE IS SUBJECT TO REVIEW BY STANDARD HOMES PLAN SERVICE, INC. A FEE MAY BE CHARGED FOR THIS SERVICE.

EXCAVATION

EXCAVATE TO UNDISTURBED SOIL. BOTTOM OF FOOTING SHALL EXTEND BELOW ADJACENT GRADE. (PRESUMED 2000 P.S.F. SOIL BEARING CAPACITY).

EXPANSIVE COMPRESSIVE OR SHIFTING SOILS SHALL BE REMOVED TO A DEPTH AND WIDTH SUFFICIENT TO ASSUME A STABLE MOISTURE CONTENT IN EACH ACTIVE ZONE.

FOUNDATION

PROVIDE 1/2" DIA. STEEL ANCHOR BOLTS, 6" O.C., 1'-6" MAX. FROM CORNERS AND 10" MAX. FROM ENDS OF EACH PLATE SECTION, WITH 7" MIN. EMBEDMENT.

PROVIDE FOUNDATION WATERPROOFING AND DRAIN WITH POSITIVE SLOPE TO OUTLET AS REQUIRED BY SITE CONDITIONS.

SLOPE GRADE AWAY FROM FOUNDATION WALLS 6" MINIMUM WITHIN THE FIRST 10 FEET.

PROVIDE PRESSURE TREATED LUMBER FOR SILLS, PLATES, BANDS AND ANY LUMBER IN CONTACT WITH MASONRY.

PROVIDE APPROVED AND BONDED CHEMICAL SOIL TREATMENT AGAINST FOUNDS, TERMITES AND OTHER HARMFUL INSECTS.

CRAWL SPACE

ALL GREGR JOISTS AND RINGS OF GREGRS SHALL REST ON SOLID BEARING WALLS OR BEAMS. PROVIDE 2" MIN. CLEARANCE FROM CONCRETE FILL TOP COURSE CORES OF EXTERIOR FOUNDATION WALL WITH CONCRETE.

FOOTINGS SHALL EXTEND 6" AND SHALL BE 12" THICK UNDER GREGR PILES.

CHIMNEY FOOTING SHALL EXTEND 12" MINIMUM BEYOND EACH SIDE AND SHALL BE AT LEAST 12" THICK.

BASEMENT

ALL GREGR JOISTS SHALL BREAK ON COLUMN CENTER LINES. (TAGGERED) AND ENDS OF GREGRS SHALL REST ON SOLID MASONRY. DOUBLE SILL AND USE LEDGER OVER ALL BASEMENT OPENINGS.

ALL BASE SASH SHALL BE 18/20 2-LT. 3'-3 7/8" X 1'-11 15/16" 3420 HB.

FRAMING

ALL FLOOR JOISTS, CEILING JOISTS, RAFTERS, GIRDERS, HEADERS, SILLS AND BEAMS SHALL BE NO. 2 SPRUCE/PINE/FIR (S.P.F.) UNLESS OTHERWISE INDICATED.

ALL LOAD BEARING WALLS SHALL BE STUD GRADE SPRUCE/PINE/FIR (S.P.F.) UNLESS OTHERWISE INDICATED.

DESIGN SEPARATIONS FOR LAMINATED VENEER LUMBER (LVL) BEAMS AND HEADERS : BRNDG : 2800B-20E

MOE : 230 X 190

SHEAR : 230 X 190

SUPPORT FOR HEADERS: HEADERS SHALL BE SUPPORTED ON EACH END WITH ONE OR MORE JACK STUDS OR WITH APPROVED FRAMING ANCHORS IN ACCORDANCE WITH BUILDING CODE. (SEE PLAN) THE FULL-HEIGHT STUD ADJACENT TO THE END OF THE HEADER SHALL BE FULL-HEIGHT STUD FOR THE ENTIRE HEIGHT OF THE HEADER WITH FOUR-16D NAILS. SEE TABLE BELOW. MINIMUM NUMBER OF FULL HEIGHT STUDS AT EACH END OF HEADERS IN EXTERIOR WALLS:

HEADER SPAN (FEET)	MAXIMUM STUD SPACING (INCHES)
3 FEET OR LESS	1
4 FT.	2
8 FT.	3
12 FT.	5
16 FT.	6

CLIMATIC AND GEOGRAPHICAL DESIGN CRITERIA

ROOF LIVE LOAD (FOUNDS PER SQUARE FOOT) : 20 PSF

ULTIMATE DESIGN WIND SPEED (MILES PER HOUR) : 120 MPH

NOMINAL DESIGN WIND SPEED : 93 MPH

EXPOSURE CATEGORY "B" UNLESS OTHERWISE NOTED

WINDOW DESIGN PRESSURE RATING : DP 25

COMPONENT AND CLADDING LOADS FOR A BUILDING WITH A MEAN ROOF HEIGHT OF 30 FEET OR LESS:

PRESSURE ZONE	115	120	130	140
ZONE 1	13.1, -14.0	14.2, -15.0	16.7, -18.0	19.4, -21.0
ZONE 2	13.1, -16.0	14.2, -18.0	16.7, -21.0	19.4, -24.0
ZONE 3	14.3, -15.0	15.5, -18.0	18.2, -19.0	21.2, -22.0
ZONE 4	14.3, -15.0	15.5, -20.0	18.2, -24.0	21.2, -28.0
ZONE 5	14.3, -19.0	15.5, -20.0	18.2, -24.0	21.2, -28.0

ASSUMED MEAN ROOF HEIGHT: 19'-7"

DESIGN CONDITION BY ZONE : ZONES A AND B

SUBJECT TO DAMAGE FROM WEATHERING : MODERATE

CLIMATE ZONES (UNLESS OTHERWISE NOTED): ZONES 3 AND 4

MINIMUM VALUES FOR ENERGY COMPLIANCE

CEILING R-38, EXTERIOR WALLS R-15, FLOORS R-19

WINDOW U-FACTOR ≤ 0.35; RECOMMENDED SHGC ≤ 0.30

MISCELLANEOUS

LOCATE ALL CONVENIENCE OUTLETS ABOVE KITCHEN BASE CABINETS 42" ABOVE FINISHED FLOOR.

EMERGENCY EGRESS REQUIREMENTS

IT SHALL BE THE RESPONSIBILITY OF THE OWNER/BUILDER TO VERIFY THAT ALL EMERGENCY EGRESS REQUIREMENTS BASED ON SPECIFICATIONS PROVIDED BY WINDOW MANUFACTURER.

2018 NORTH CAROLINA RESIDENTIAL CODE

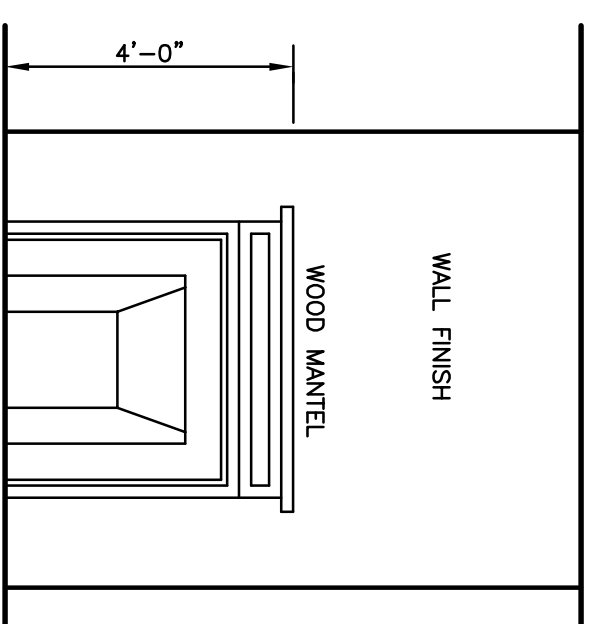
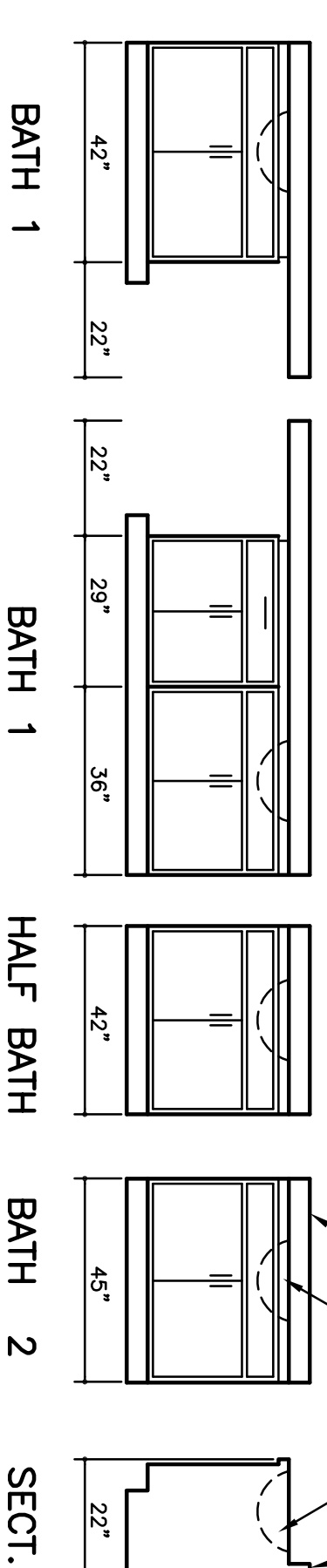
THE REQUIRED EGRESS WINDOW FROM EVERY SLEEPING ROOM SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE FINISHED FLOOR. THE NET CLEAR OPENING HEIGHT SHALL BE AT LEAST 20 INCHES AND THE NET CLEAR OPENING WIDTH SHALL BE AT LEAST 20 INCHES. IN ADDITION THE MINIMUM OPENING AREA SHALL NOT BE LESS THAN 5.0 SQUARE FEET IN THE CASE OF A SECOND STORY WINDOW.

2015 INTERNATIONAL RESIDENTIAL CODE

THE REQUIRED EGRESS WINDOW FROM EVERY SLEEPING ROOM SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE FINISHED FLOOR. ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET ABOVE FINISHED FLOOR. MINIMUM CLEAR OPENING HEIGHT SHALL BE 24 INCHES. THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20 INCHES.

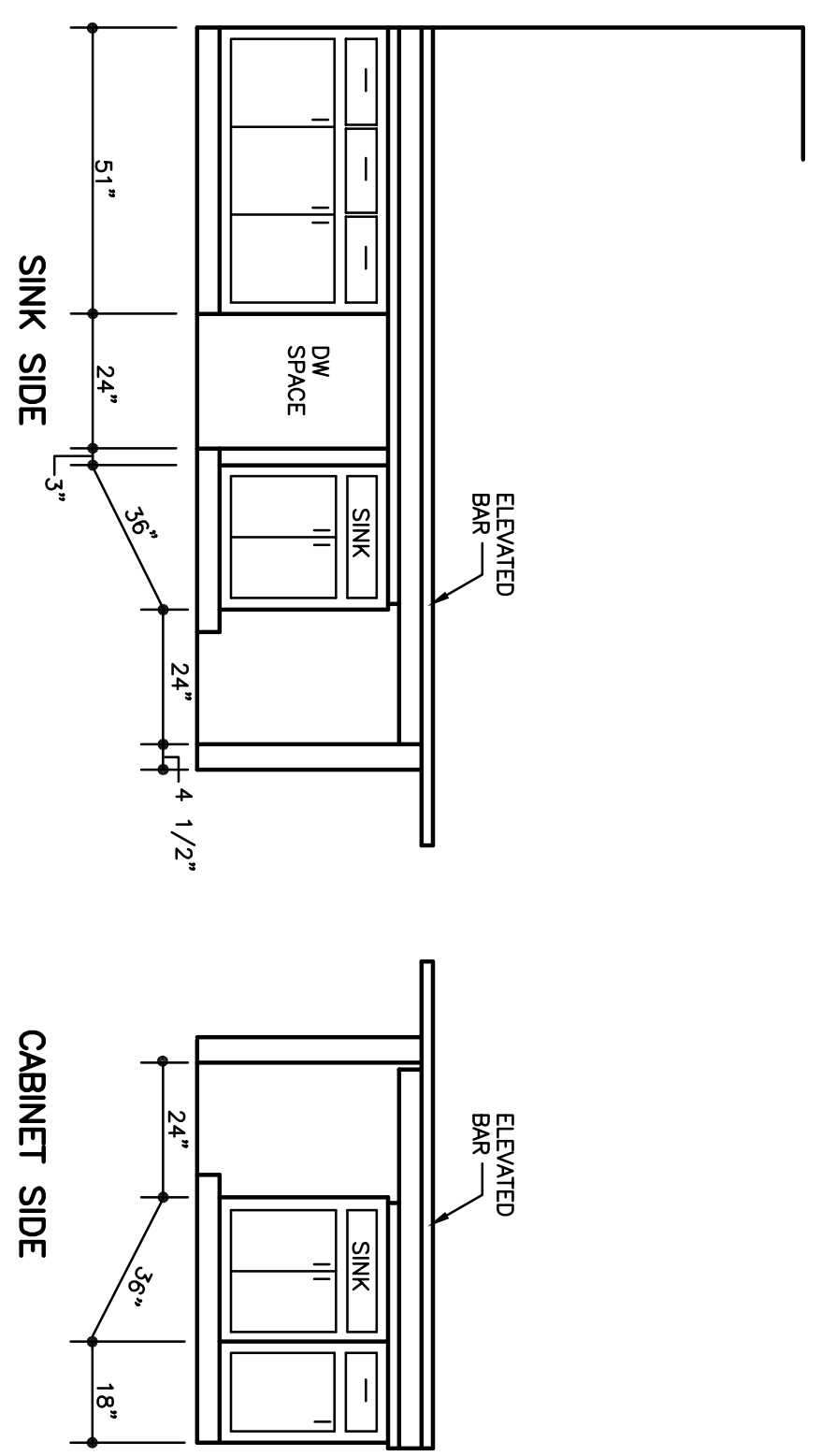
VANITY DETAILS

SCALE : 3/8"=1'-0"



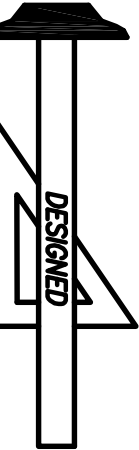
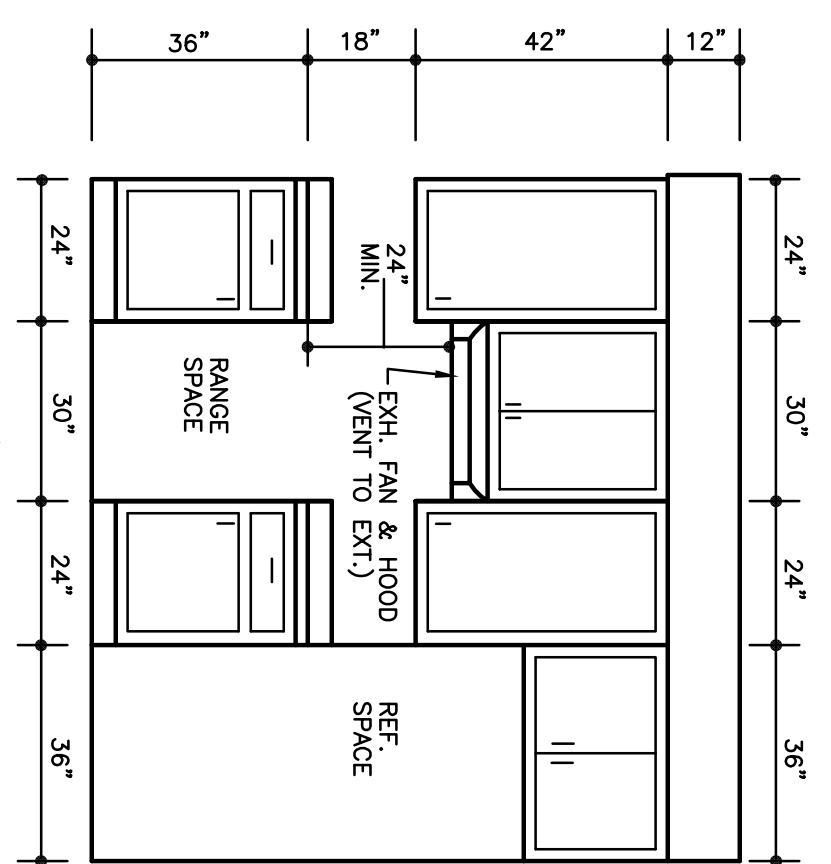
PREFAB FIREPLACE

NOTE : PREFAB GAS LOG FIREPLACE - VENT PER MANUFACTURER'S SPECIFICATIONS

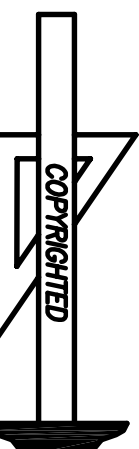


KITCHEN CABINET ELEVATIONS

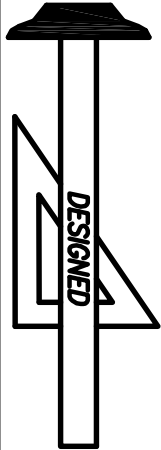
SCALE : 3/8"=1'-0"
FOR SECTION THROUGH CABINETS, SEE DETAIL ON COVER SHEET.



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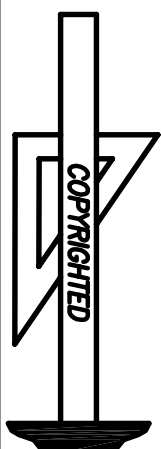


DESIGNED FOR	PLAN	NO.	MAT'L	SHOWN	SHEET
SIDNEY MCGLEAN	RACHAEL	2	SID.		1 OF 7



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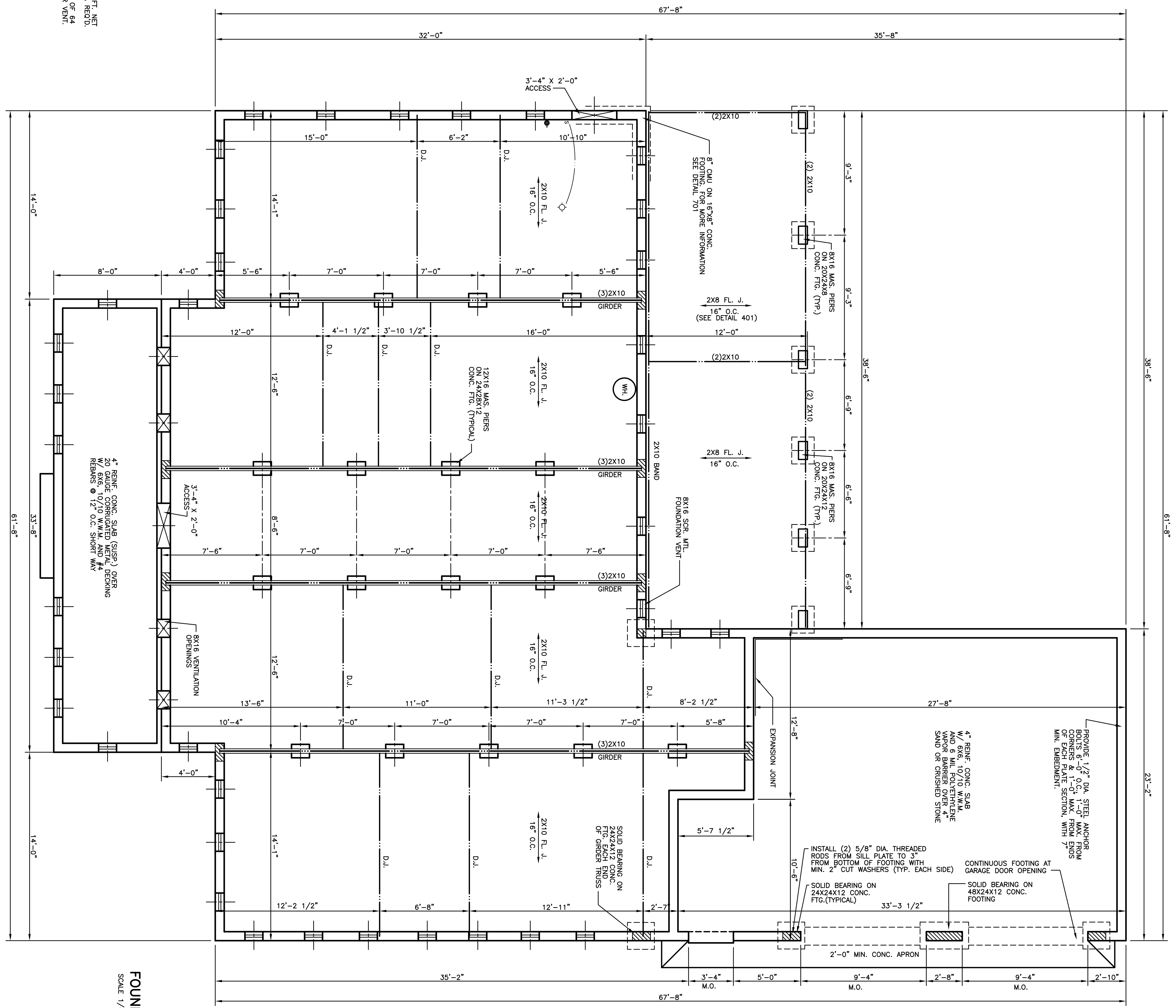
DESIGNED FOR
SIDNEY MCLAN

PLAN
RACHAEL

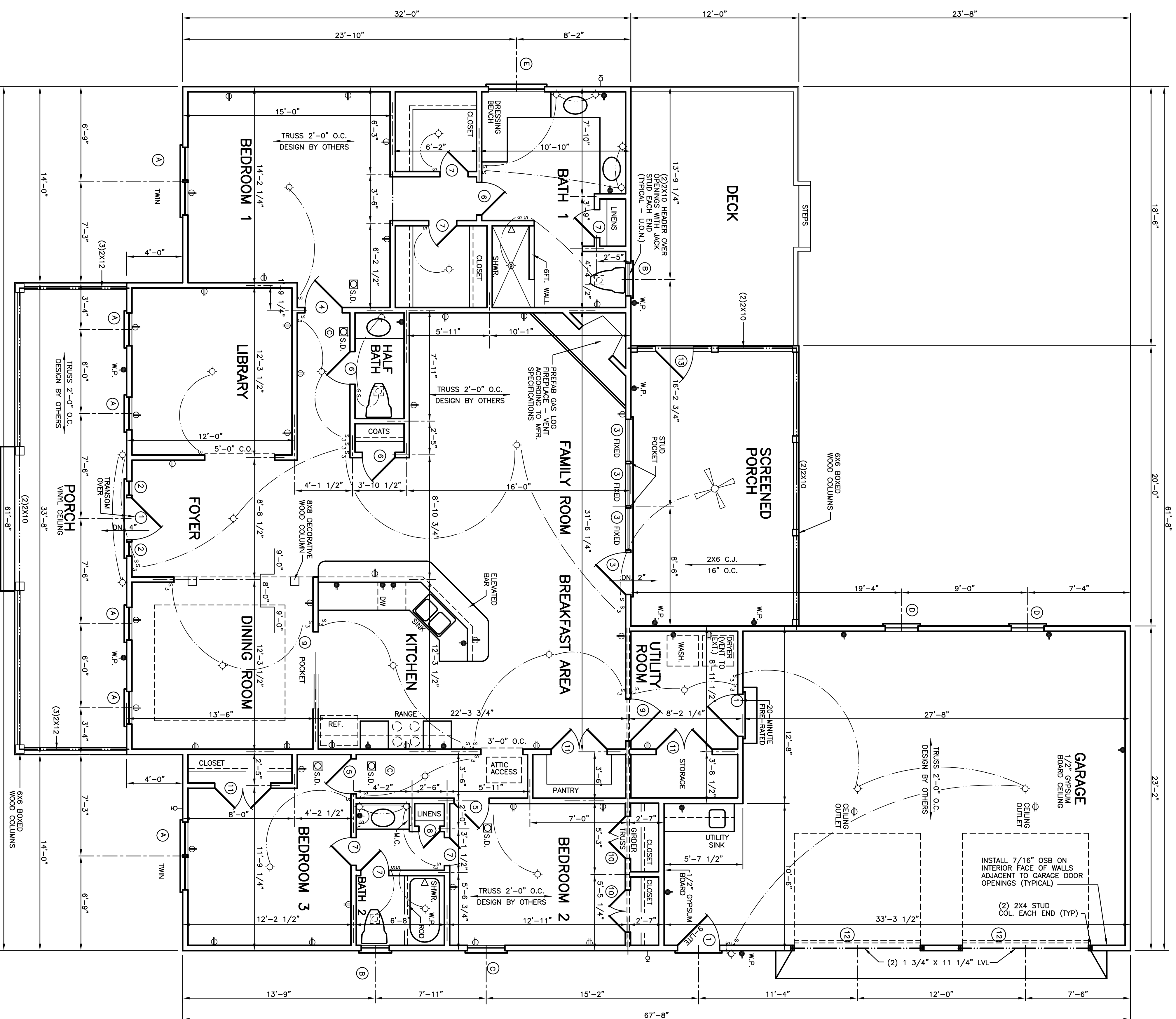
NO.	MAT'L.	SHOWN	SHEET
2	SID.		2 OF 7

TRUSS CONSTRUCTION
 REVISED 03-08-23

FOUNDATION VENTILATION REQUIREMENTS:
 2505 SQ. FT. +/- 150 = 16.7 SQ. FT. NET
 PROVIDE 37 VENTS WITH A MINIMUM OF 64
 SQUARE INCHES NET FREE AREA PER VENT.



FOUNDATION PLAN
 SCALE 1/4" = 1'-0"



WINDOW SCHEDULE

A	2'-4" X 5'-2" WD. D.H.	D	2'-0" X 5'-2" WD. D.H.	G		P	
B	2'-0" X 4'-2" WD. D.H.	E	4'-0" X 4'-2" GLASS BLOCKS	H		Q	
C	2'-8" X 5'-2" WD. D.H.	F		K		R	
				L			
				M			
				N			

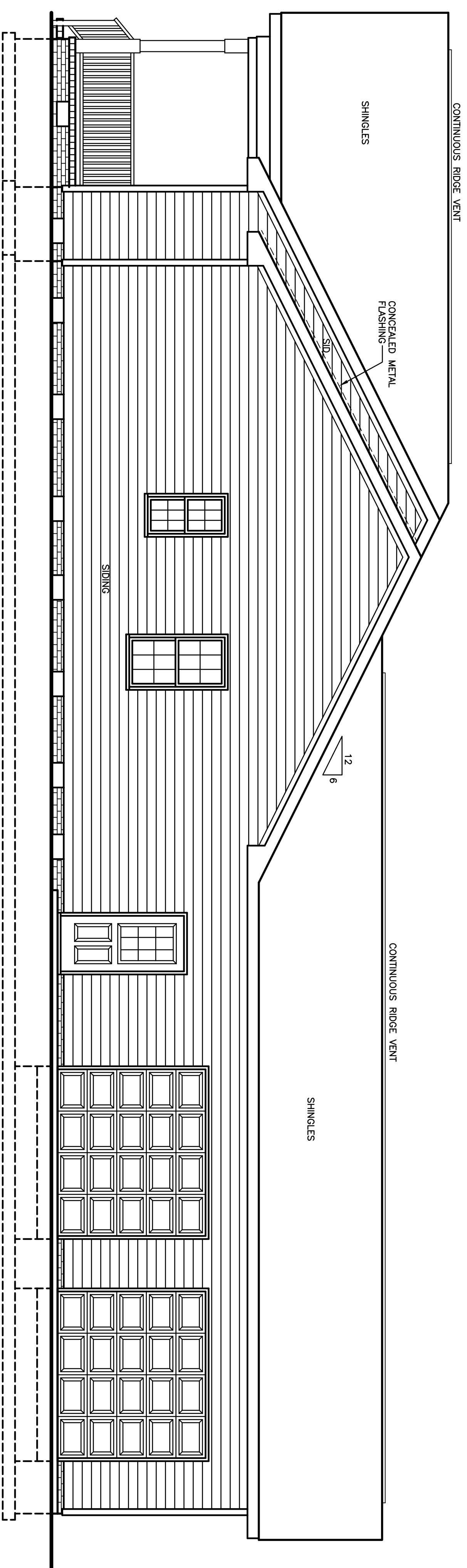
DOOR SCHEDULE

1	3'-0" X 6'-8" X 1 3/4" SIDELITES	4	2'-8" X 6'-8" X 1 3/8"	7	2'-0" X 6'-8" X 1 3/8"	10	3'-0" X 6'-8" X 1 3/8" DOUBLE OPENING	13	SCREENED DOOR	16	SCREENED DOOR
2	1'-0" X 6'-8" X 1 3/4"	5	2'-6" X 6'-8" X 1 3/8"	8	1'-6" X 6'-8" X 1 3/8"	11	4'-0" X 6'-8" X 1 3/8" DOUBLE OPENING	14	SCREENED DOOR	17	SCREENED DOOR
3	3'-0" X 6'-8" X 1 3/4"	6	2'-4" X 6'-8" X 1 3/8"	9	3'-0" X 6'-8" X 1 3/8"	12	9'-0" X 8'-0" GARAGE DOOR	15	SCREENED DOOR	18	SCREENED DOOR

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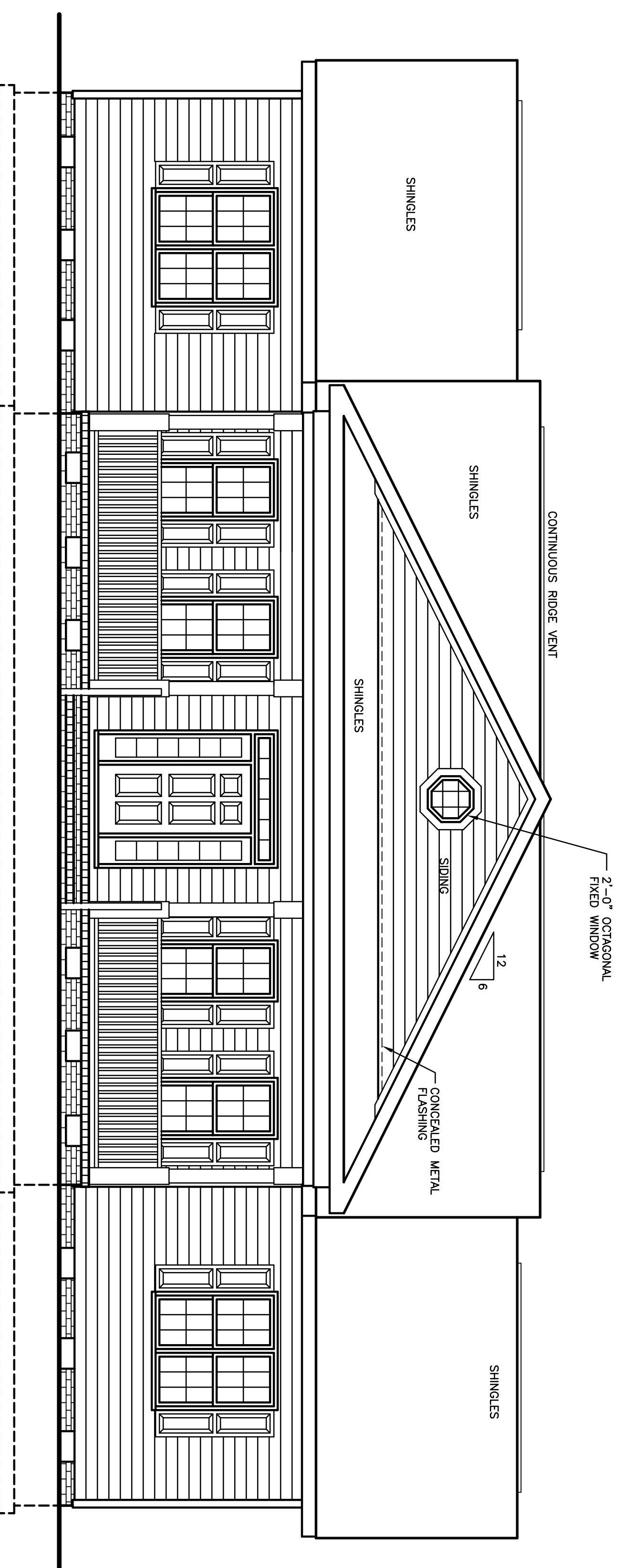
DESIGNED FOR: SIDNEY MCLAN
 DRAWN BY: RACHAEL
 NO. 2
 SHEET 3 OF 7

FLOOR PLAN
 SCALE: 1/4"=1'-0"
 HEATED AREA: 2236 SQ. FT.
 GARAGE: 699 SQ. FT.
 FRONT PORCH: 269 SQ. FT.
 SCREENED PORCH: 240 SQ. FT.
 NOTE: 9' CEILING THROUGHOUT ENTIRE HOUSE.

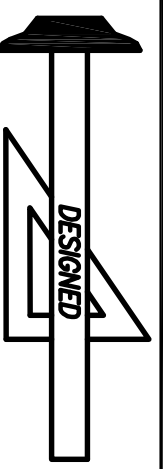


RIGHT SIDE ELEVATION
SCALE 1/4" = 1'-0"

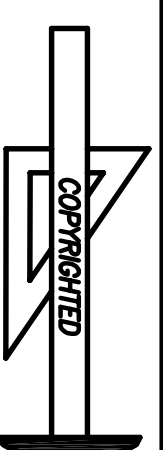
PROVIDE GUTTERS, DOWNSPOUTS AND SPASHPADS
ACCORDING TO LOCAL CODE AND RAINFALL CONDITIONS.
ALL SPASHPADS SHALL CARRY WATER 60"
FROM BUILDING.



FRONT ELEVATION
SCALE 1/4" = 1'-0"



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DESIGNED FOR
SIDNEY MCLENN

PLAN
RACHAEL

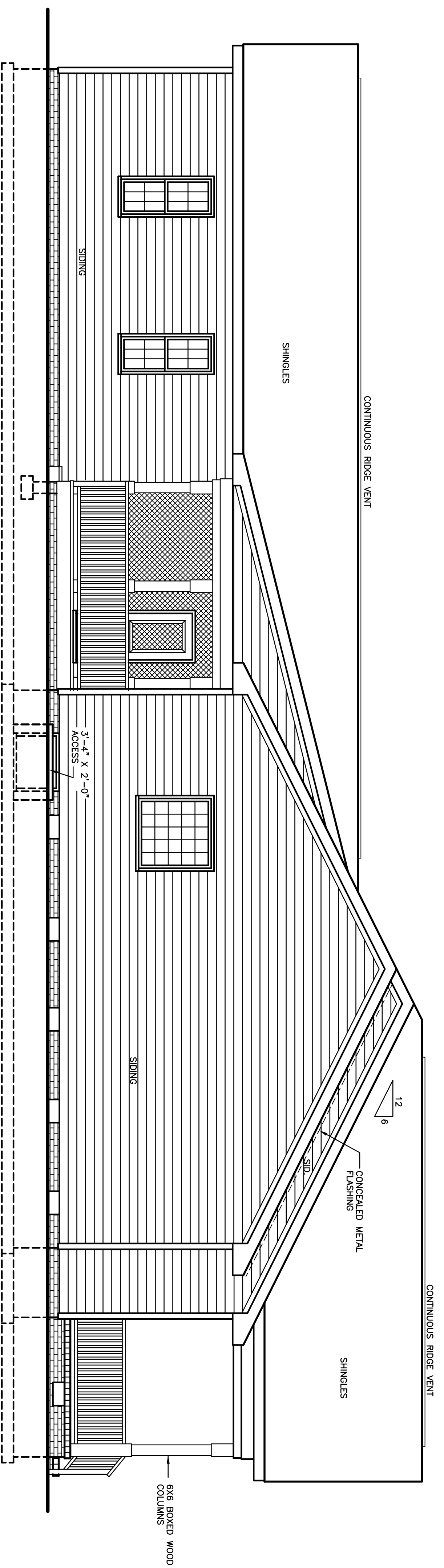
NO.
2

MAT'L.
SID.

SHOWN

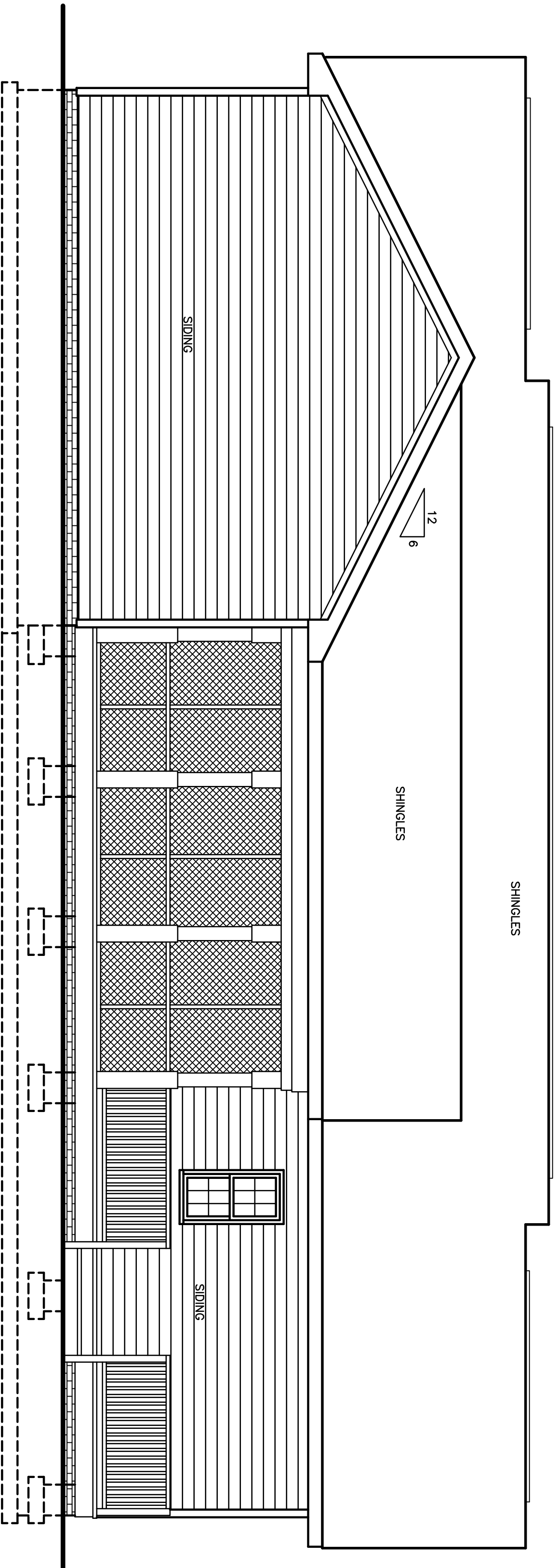
SHEET
5 OF 7

TRUSS CONSTRUCTION
REVISED 05-08-23



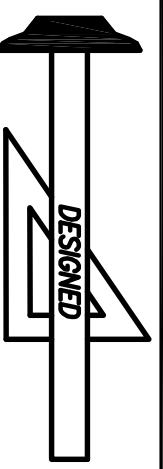
LEFT SIDE ELEVATION

SCALE 1/4" = 1'-0"

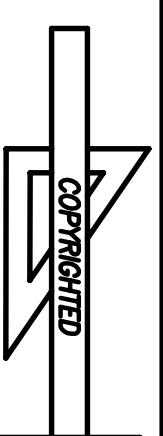


REAR ELEVATION

SCALE 1/4" = 1'-0"



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DESIGNED FOR
 SIDNEY MCLENN

PLAN
 RACHAEL

NO.
 2

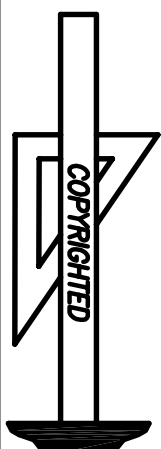
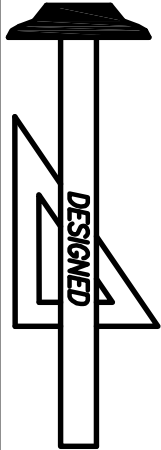
MAT'L.
 SID.

SHOWN

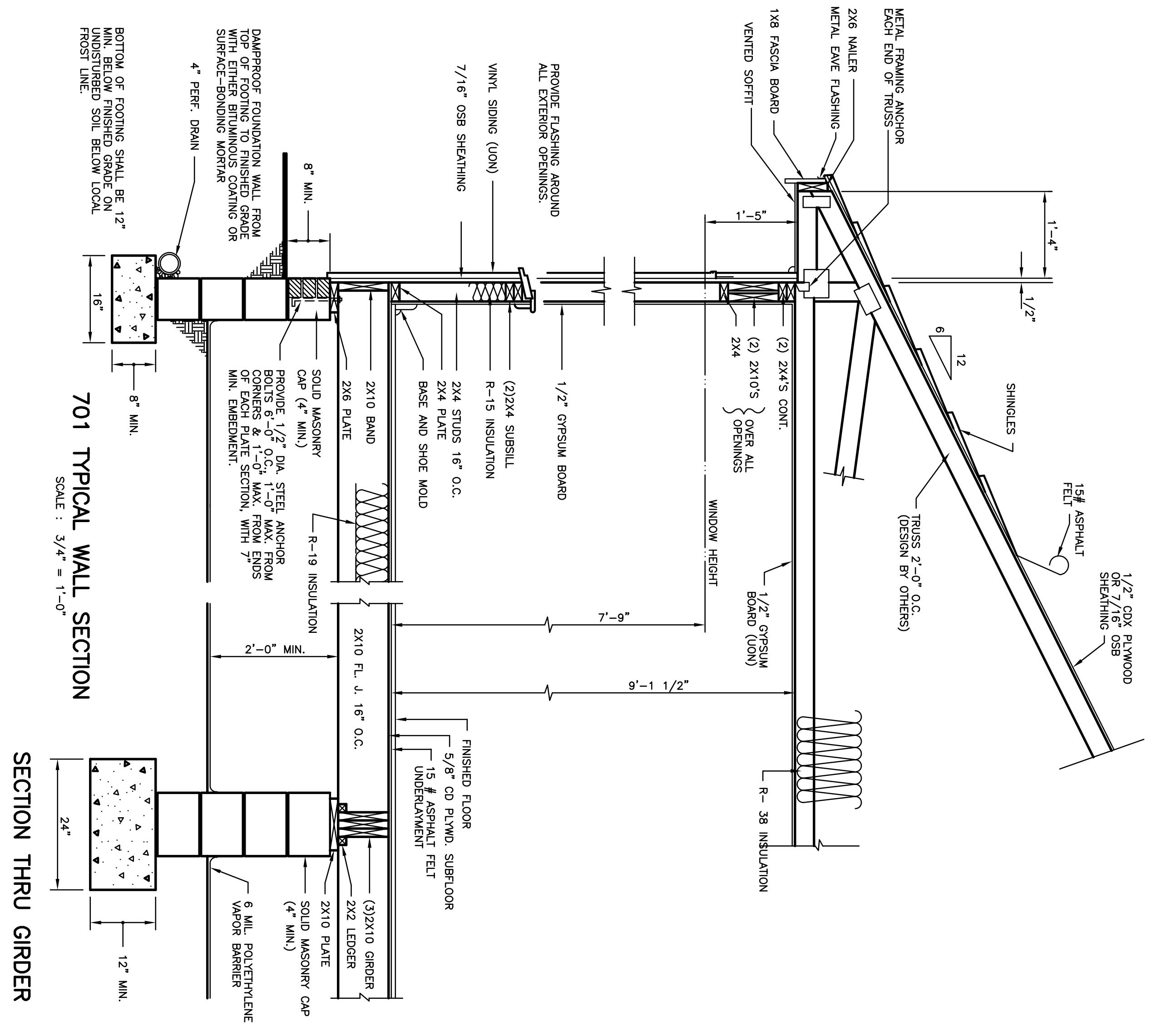
SHEET
 6 OF 7

TRUSS CONSTRUCTION
 REVISED 05-08-23

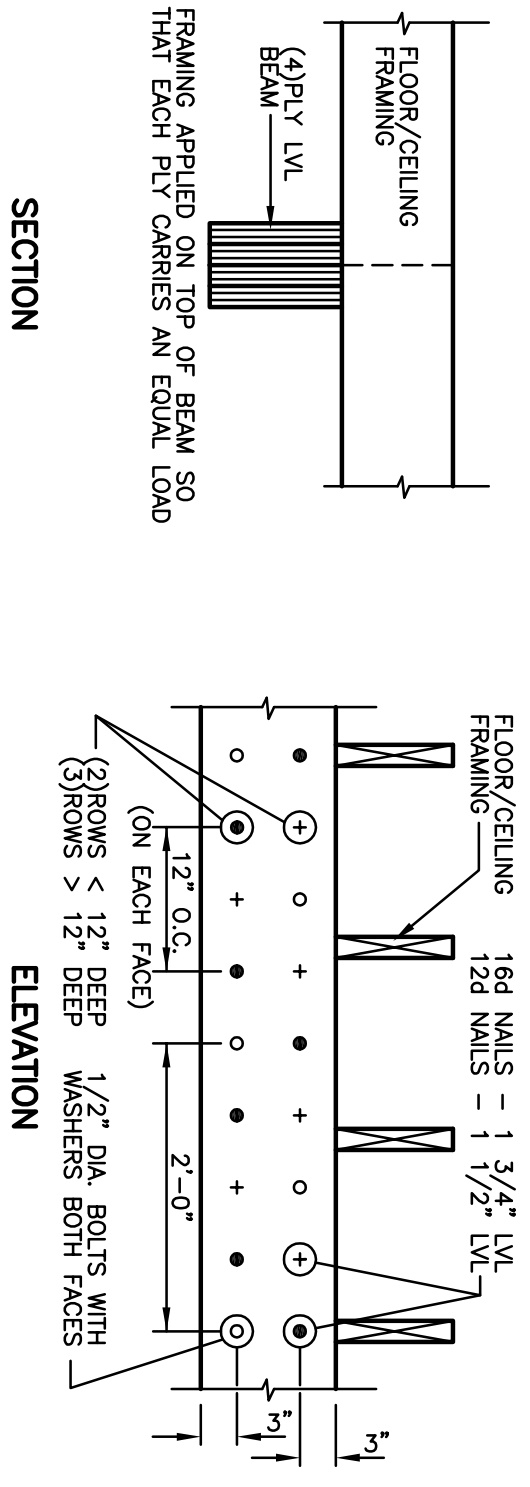
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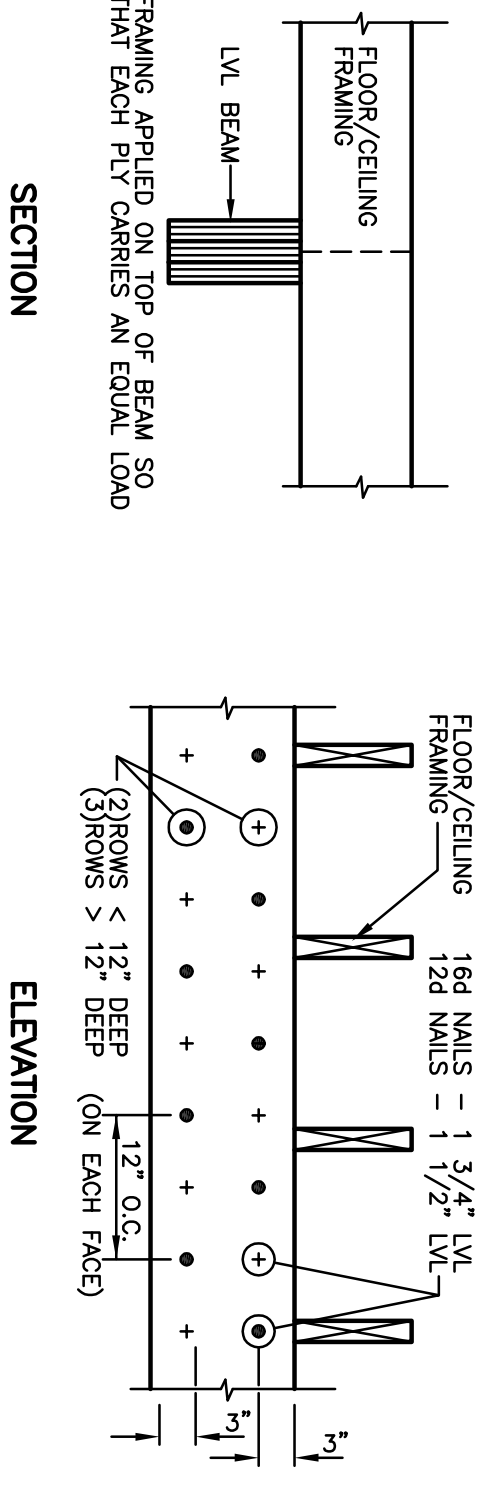
DESIGNED FOR	PLAN	NO.	MAT'L	SHOWN	SHEET
SIDNEY MCLEAN	RACHAEL	2	SID.		7 OF 7



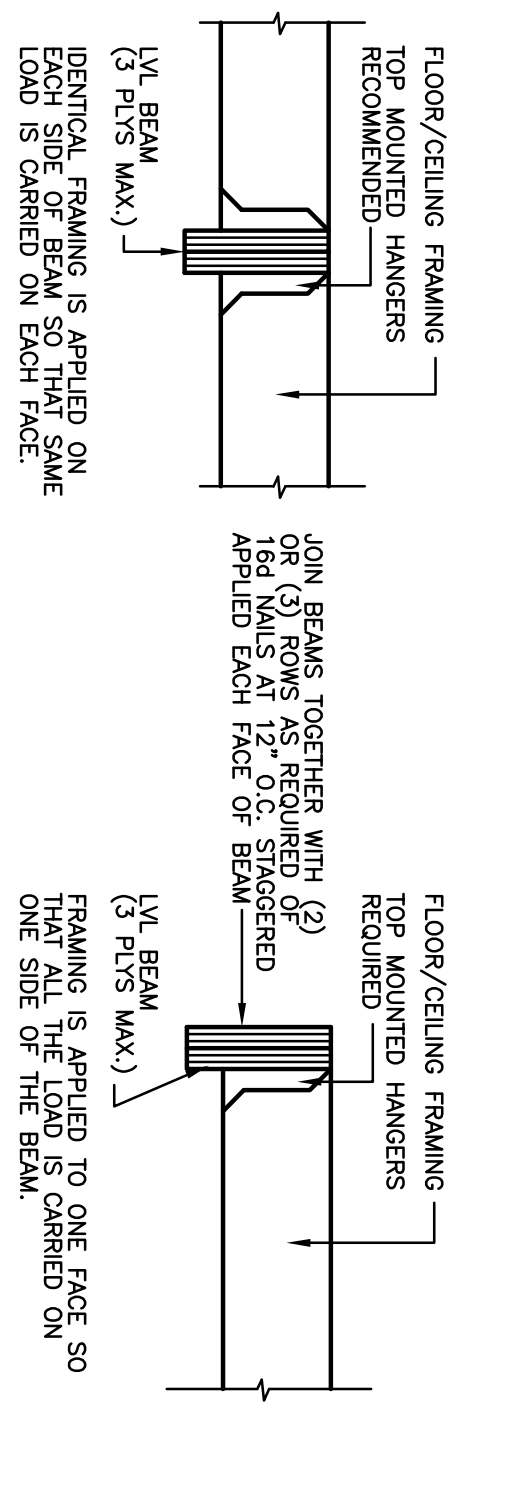
CONNECTION OF MULTIPLE PLY BEAMS
(INSTALLATION & CONNECTION OF BEAMS SHALL BE ACCORDING TO MANUFACTURERS SPECIFICATIONS)



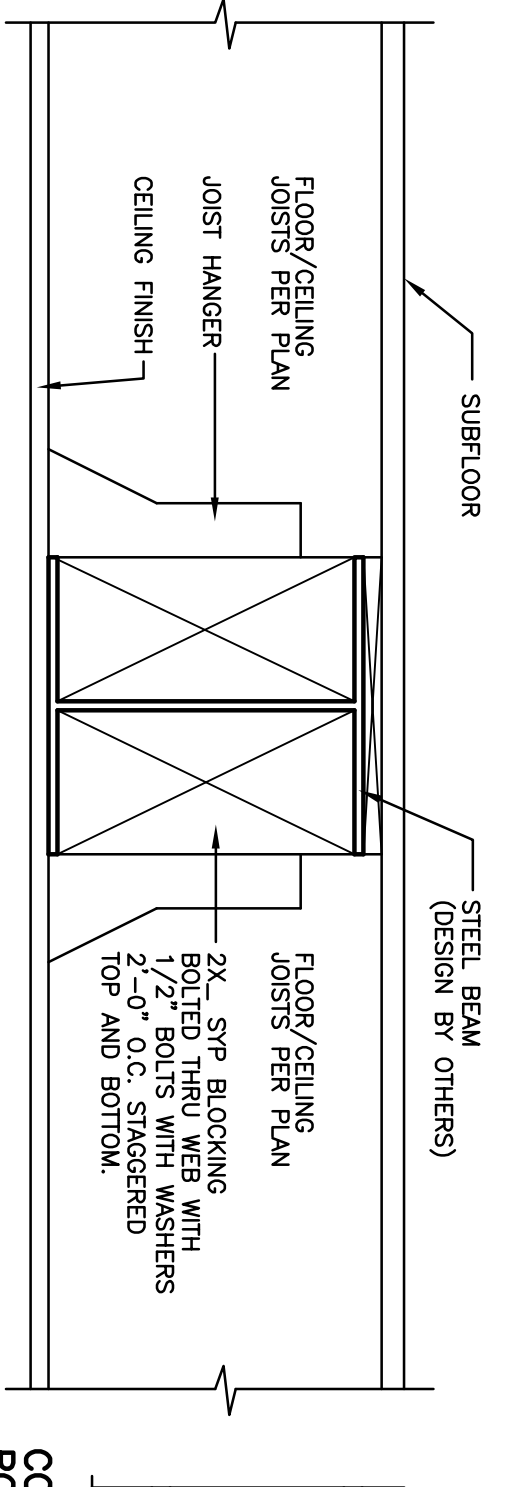
D001
TOP LOADED (4 PILES)



D002
TOP LOADED (3 PILES MAXIMUM)



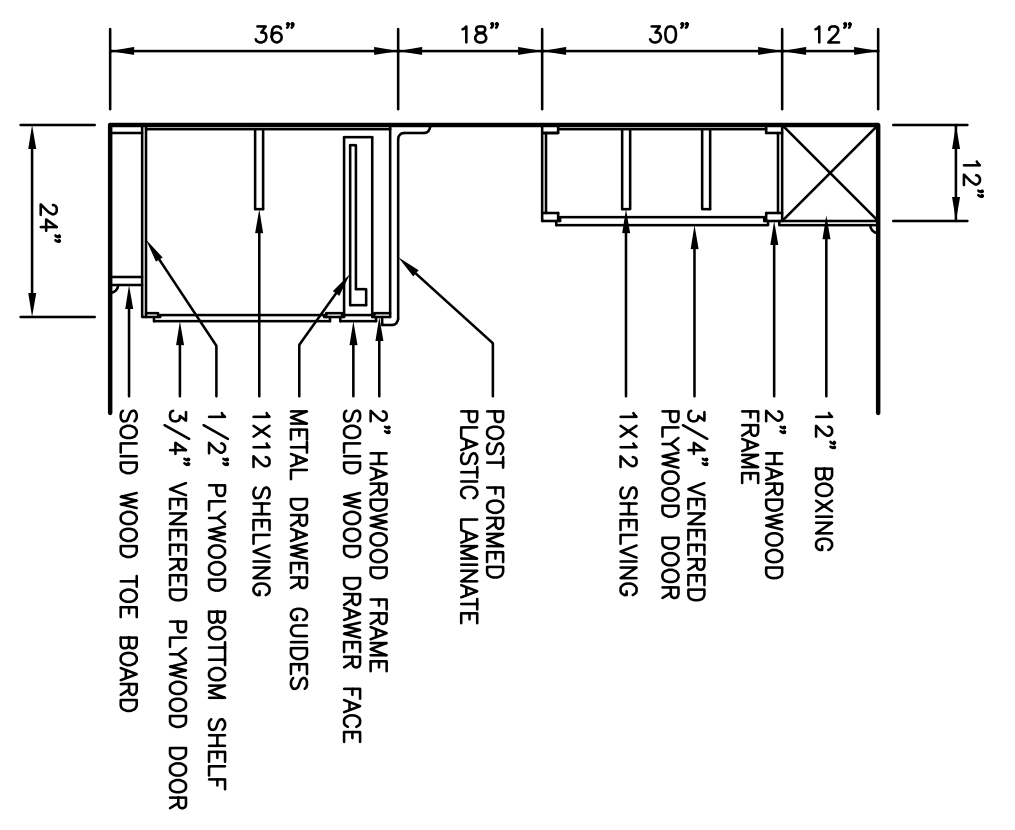
D003
SIDE LOADED



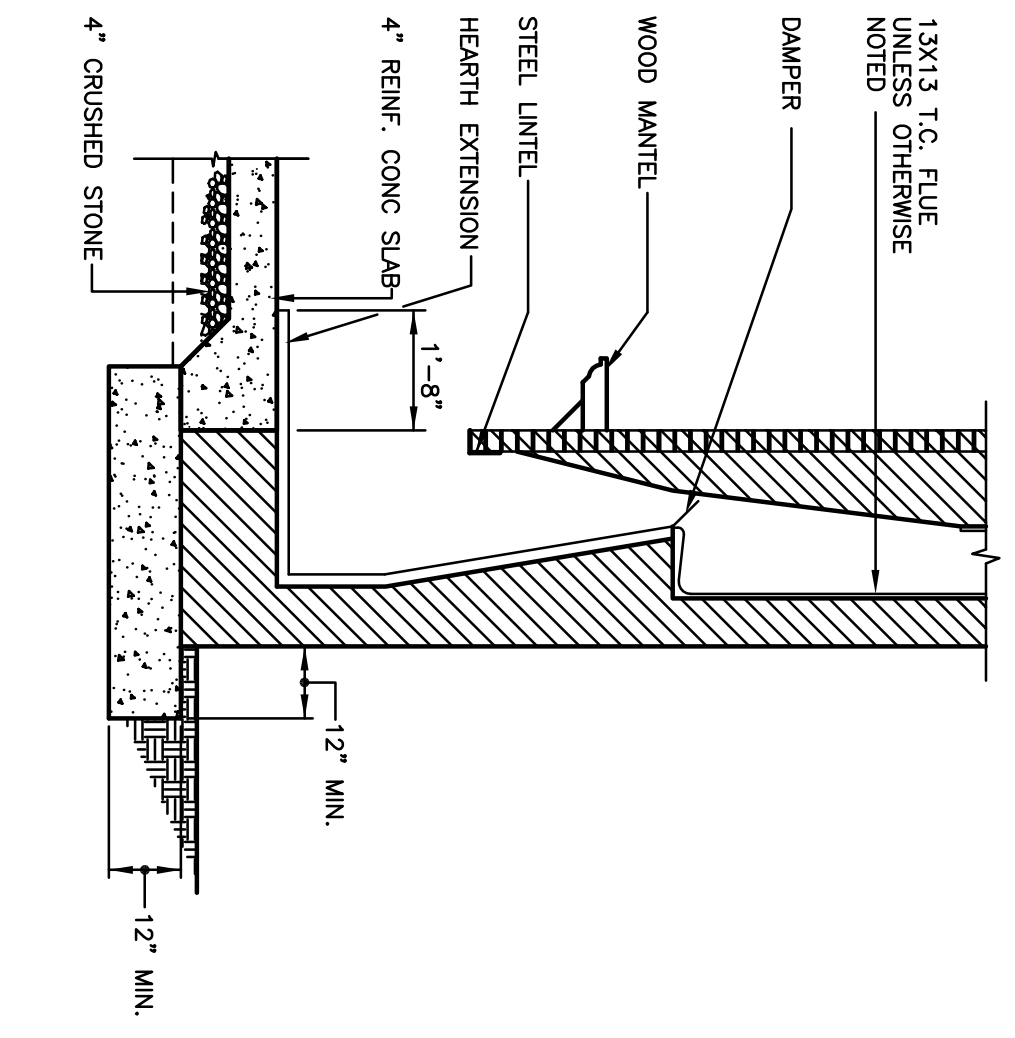
D004
SECTION THRU STEEL BEAM

MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS (PSF)	USE	LIVE LOAD
UNINHABITABLE ATTICS WITHOUT STORAGE		10
UNINHABITABLE ATTICS WITH LIMITED STORAGE		20
HABITABLE ATTICS AND ATTICS SERVED WITH FIXED STAIRS		30
BALCONIES AND DECKS		40
ROOMS OTHER THAN SLEEPING ROOMS		40
SLEEPING ROOMS		30
STAIRS		40
FIRE ESCAPES		40
GUARDS AND HANDRAILS		200
GUARD IN-FILL COMPONENTS		50
PASSENGER VEHICLE GARAGES		50

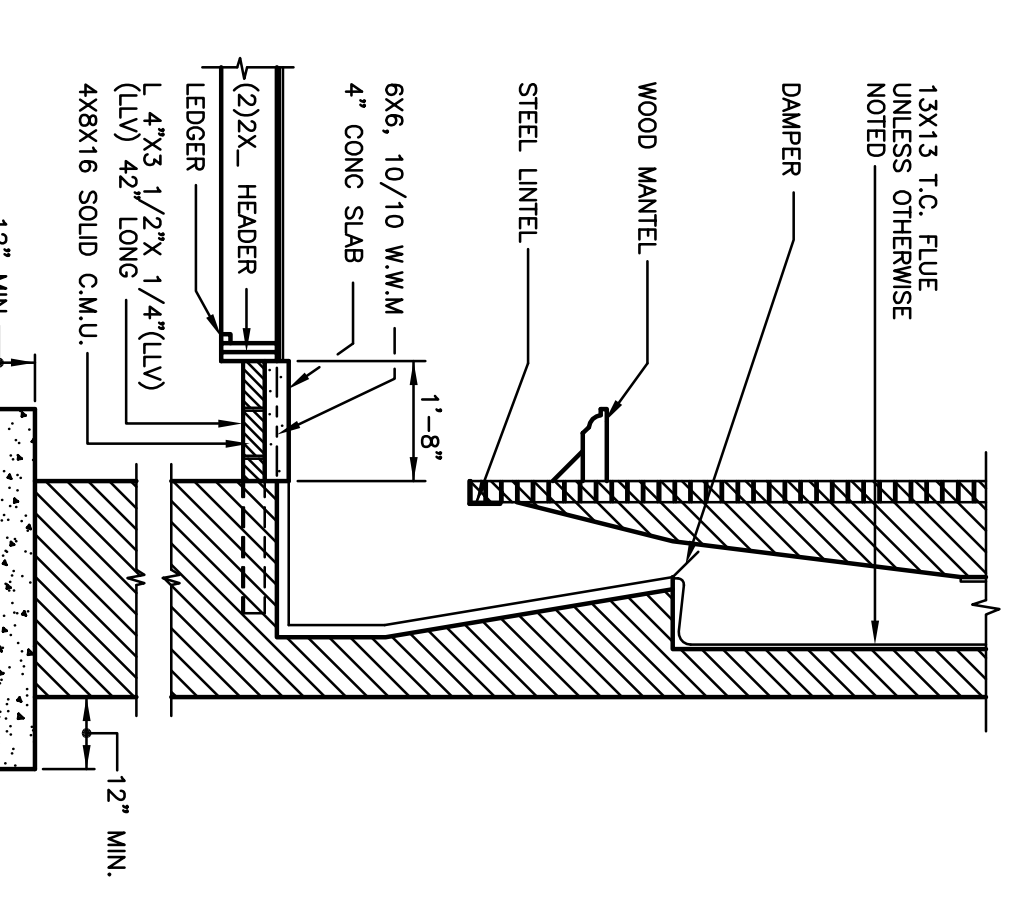
ALLOWABLE DEFLECTION OF STRUCTURAL MEMBERS	STRUCTURAL MEMBER	ALLOWABLE DEFLECTION
(NOTE : L = SPAN LENGTH ; H = SPAN HEIGHT)	RATERS (RANS SLOPES GREATER THAN 3:12 WITH FINISHED CEILING NOT ATTACHED TO RATERS)	L/180
	FLOORS	L/360
	CEILINGS WITH BRITTLE FINISHES (INCLUDING PLASTER BOARD)	L/360
	CEILINGS WITH FLEXIBLE FINISHES (INCLUDING GYP/SUM BOARD)	L/240
	ALL OTHER STRUCTURAL MEMBERS	L/240
	UNLETS SUPPORTING MASONRY VENEER WALLS	L/600
	INTERIOR WALLS AND PARTITIONS	H/180
	INTERIOR WALLS - WIND LOADS WITH PLASTER OR STUCCO FINISH	H/360
	EXTERIOR WALLS - WIND LOADS WITH OTHER FINISHES	H/240
	EXTERIOR WALLS - WIND LOADS WITH FLEXIBLE FINISHES	H/120



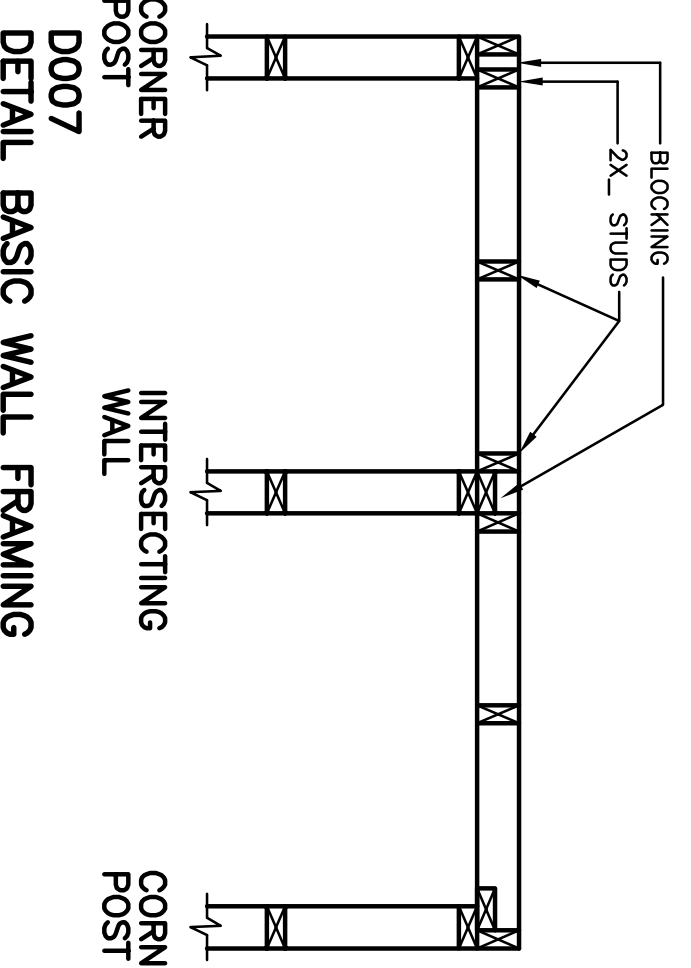
D005
SECTION THRU KITCHEN CABINETS



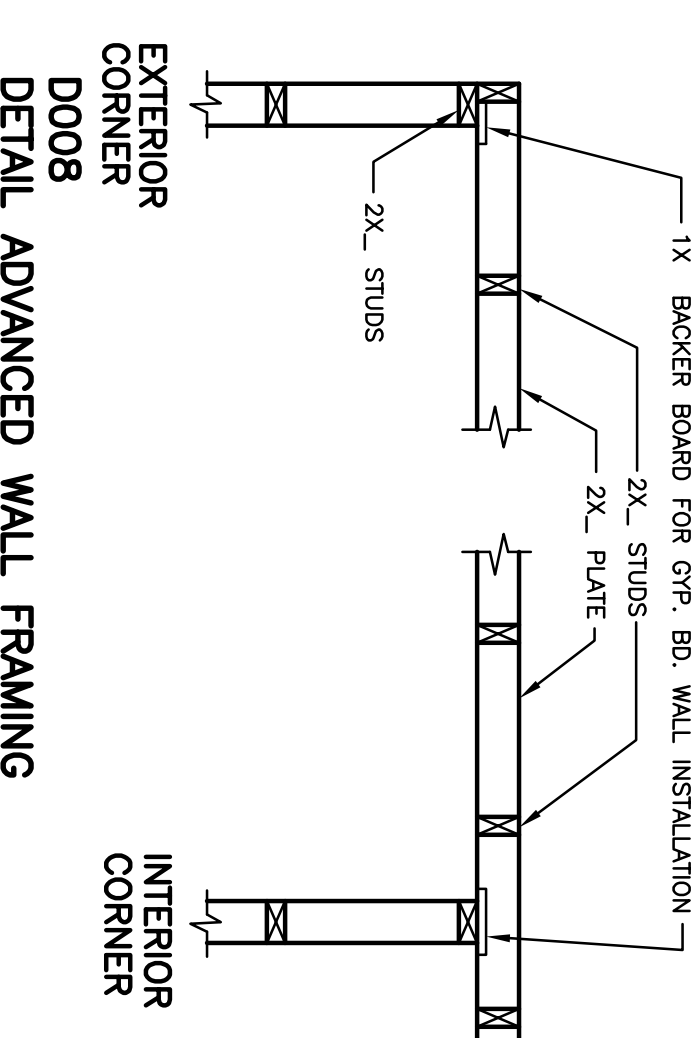
D006
SECT. THRU FIREPLACE ON CONCRETE SLAB



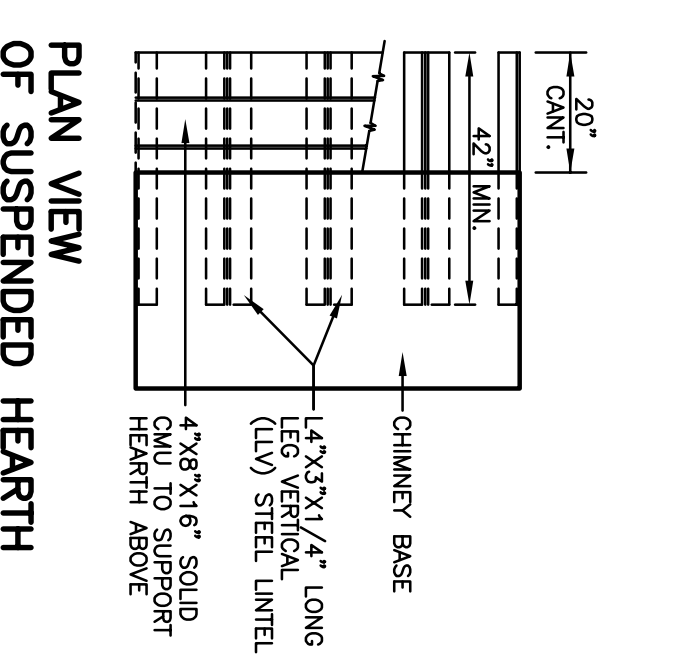
D007
SECT. THRU FIREPLACE ON WOOD FLOOR



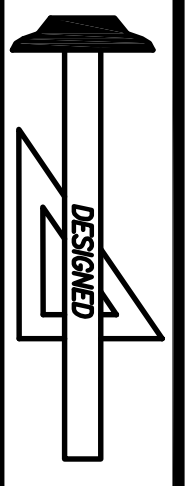
D007
CORNER POST INTERSECTING WALL DETAIL BASIC WALL FRAMING



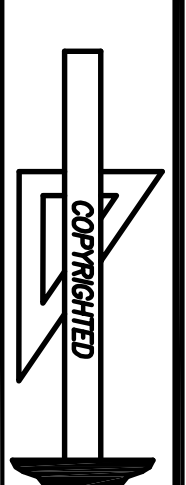
D008
CORNER POST EXTERIOR CORNER DETAIL ADVANCED WALL FRAMING



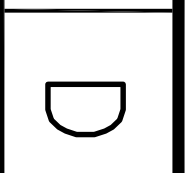
D009
PLAN VIEW OF SUSPENDED HEARTH



Standard Homes Plan Service, Inc.
7200 SUNSET LAKE ROAD
FUQUAY-VARINA, NC 27526
(919)552-5677



STANDARD CONSTRUCTION DETAILS



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