

FOR REGISTRATION
Kimberly S. Hargrove
REGISTER OF DEEDS
Harnett County, NC
2015 FEB 03 03:49:04 PM
BK:3280 PG:118-119
FEE:\$26.00
INSTRUMENT # 2015001531

HARNETT COUNTY TAX ID#

13-0621-0108

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This Deed Prepared by Reginald B. Kelly, Attorney at Law , P.O. Box 1118, Lillington, NC 27546
The attorney preparing this instrument has made no record search or title examination of the property described herein, and expresses no opinions as to title or tax consequences, unless contained in a separate written certificate.

PID# 130621 0108

REVENUE STAMPS: -0-

STATE OF NORTH CAROLINA
COUNTY OF HARNETT

**WARRANTY
DEED**

This **WARRANTY DEED** is made the 28th day of January, 2015, by and between **Sidney McLean, Administrator for the Estate of Wayne McLean and Leola McNeill**, unmarried of 114-B Black River Drive, Angier, NC 27501 (hereinafter referred to in the neuter singular as "the Grantor") and **Sidney McLean** of 388 Eisler Drive, Lillington, NC 27546 (hereinafter referred to in the neuter singular as "the Grantee");

WITNESSETH:

THAT said Grantor, for valuable consideration, receipt of which is hereby acknowledged, has given, granted, bargained, sold and conveyed, and by these presents does hereby give, grant, bargain, sell and convey unto said Grantee, its heirs, successors, administrators and assigns, all of that certain piece, parcel or tract of land situate, lying and being in Upper Little River Township of said County and State, and more particularly described as follows:

BEGINNING AT A NAIL AND CAP IN THE CENTER OF S. R. 1250, A CORNER IN HARRINGTON MORRISON LINE; AND RUNS THENCE AS HIS LINE NORTH 78 DEGREES EAST 403.33 FEET TO AN IRON STAKE; THENCE SOUTH 32 DEGREES EAST 110.0 FEET TO AN IRON STAKE; THENCE SOUTH 78 DEGREES WEST 403.33 FEET TO A NAIL AND CAP IN THE CENTER OF S. R. 1250; THENCE AS CENTER LINE OF SAID ROAD NORTH 32 DEGREES WEST 110 FEET TO THE POINT OF BEGINNING, CONTAINING 1.0 ACRES.

For further reference to chain of title see Book 2191, Page 541, Harnett County Registry. See also estate for Wayne McLean filed in 14 E 655, Harnett County Clerk of Court Office.

**The property herein described is () or is not (x) the primary residence of the Grantor (NCGS 105-317.2)

TO HAVE AND TO HOLD the above-described lands and premises, together with all appurtenances thereunto belonging, or in anywise appertaining, unto the Grantee, its heirs, successors, administrators and assigns forever, but subject always, however, to the limitations set out above.

AND the said Grantor covenants to and with said Grantee, its heirs, successors, administrators and assigns that it is lawfully seized in fee simple of said lands and premises, and has full right and power to convey the same to the Grantee in fee simple (but subject, however, to the limitations set out above) and that said lands and premises are free from any and all encumbrances, except as set forth above, and that it will, and its heirs, successors, administrators and assigns shall forever warrant and defend the title to the same lands and premises, together with the appurtenances thereunto appertaining, unto the Grantee, its heirs, successors, administrators and assigns against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, the Grantor has hereunto set its hand and seal and does adopt the printed word "SEAL" beside its name as its lawful seal.

GRANTOR

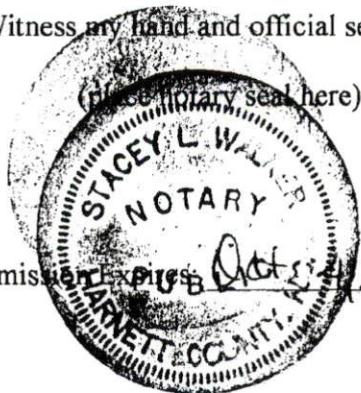
Sidney McLean (SEAL)
Sidney McLean, Administrator for the
Estate of Wayne McLean

Leola McNeill (SEAL)
Leola McNeill

STATE OF North Carolina
COUNTY OF Harnett

I, a Notary Public of the County and State aforesaid, certify that **Sidney McLean, Administrator for the Estate of Wayne McLean and Leola McNeill** personally appeared before me this day and acknowledged the due execution of the foregoing instrument.

Witness my hand and official seal, this 30 day of January 2015.



Stacey L. Walker
Notary Public

My Commission Expires Oct 2016