

**ABBREVIATIONS**

- ACC. = ACCESS
- BRP = BRACED WALL LINE
- C.O. = CASED OPENING
- C.J. = CEILING JOIST
- CLS. = CLOSING
- COL. = COLUMN
- COMP. = COMPOSITION
- CONT. = CONTINUOUS
- C.M.A. = CARBON MONOXIDE ALARM
- C.M.U. = CONCRETE MASONRY UNIT
- D.H. = DOUBLE HUNG
- D.M. = DIAMETER
- D.J. = DOUBLE JOIST
- DN. = DOWN
- EXH. = EXHAUST
- EXT. = EXTERIOR
- F.L.J. = FLOOR JOIST
- FTG. = FOOTING
- G.F.I. = GROUND FAULT INTERRUPTER
- H.B. = HOSE BIB
- L.V.L. = LAMINATED VENEER LUMBER
- M.O. = MASONRY OPENING
- M.S. = MASONRY
- MAX. = MAXIMUM
- M.C. = MEDICINE CABINET
- M.T.L. = METAL
- M.N. = MINIMUM
- O.C. = ON CENTER
- OSB = ORIENTED STRAND BOARD
- PERF. = PERFORATED
- REC. = RECESSED
- RENF. = REINFORCED
- SCR. = SCORED
- S.D. = SMOKE DETECTOR
- SEC. = SECOND
- SHMR. = SHOWER
- S.Y.P. = SOUTHERN YELLOW PINE
- S.P.F. = SPRUCE/PINE/FIR
- SISP. = SUSPENDED
- TYP. = TYPICAL
- U.O.N. = UNLESS OTHERWISE NOTED
- WASH. = WASHER
- W.H. = WATER HEATER
- W.P. = WEATHER PROOF
- W.W.M. = WELDED WIRE MESH
- W.D. = WINDOW HEIGHT
- WD. = WOOD

**SYMBOLS**

- = HOSE BIB
- 3 = SWITCH
- 3/4 = 3-WAY SWITCH
- ⊙ = LIGHT FIXTURE
- ⊠ = EXHAUST FAN & LIGHT
- ⊠ = SMOKE DETECTOR
- ⊠ = SHOWER HEAD
- ⊠ = TELEPHONE JACK
- ⊠ = CONVENIENCE OUTLET
- ⊠ = 220 VOLT OUTLET
- ⊠ = GROUND FAULT INTERRUPTER
- ⊠ = CEILING FAN
- ⊠ = CARBON MONOXIDE ALARM

**GENERAL NOTES AND SPECIFICATIONS**

**COPYRIGHT**

THIS PLAN IS PROTECTED UNDER THE FEDERAL COPYRIGHT ACT. ANY REPRODUCTION OR TRANSMISSION OF THIS PLAN WITHOUT THE PRIOR WRITTEN CONSENT OF HARNETT COUNTY FOR ANY REASON WITHOUT THE PRIOR WRITTEN CONSENT OF HARNETT COUNTY IS STRICTLY PROHIBITED.

**ORIGINAL PURCHASE AGREEMENT**

SEE ATTACHED CONSTRUCTION LICENSE FOR INVOICE NUMBER 13009.

**BUILDING CODE INFORMATION**

THIS PLAN HAS BEEN DRAWN TO CONFORM TO THE NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION (2015 INTERNATIONAL RESIDENTIAL CODE FOR ONE- AND TWO-FAMILY DWELLINGS, CURRENT EDITION) WITH AMENDMENTS UNLESS OTHERWISE NOTED. (SEE ATTACHMENTS)

**PRIOR TO CONSTRUCTION**

THE CONTRACTOR SHALL REVIEW THE PLAN(S) FOR THIS PARTICULAR BUILDING PROJECT TO ENSURE COMPLIANCE WITH ALL APPLICABLE STATE AND LOCAL CODES, ORDINANCES, REGULATIONS AND ORDINANCES THAT MAY BE REQUIRED BY V.A./H.W./D.O.

THE CONTRACTOR SHALL VERIFY PLAN DIMENSIONS, STRUCTURAL COMPONENTS AND GENERAL SPECIFICATIONS CONTAINED IN THIS SET OF PLANS AND REPORT ANY DISCREPANCIES TO STANDARD HOMES PLAN SERVICE, INC. FOR JUSTIFICATION OR CORRECTION BEFORE PROCEEDING WITH WORK ON HOUSE.

THE CONTRACTOR SHALL DETERMINE ROUGH OPENING SIZES FOR ALL BUILT-IN EQUIPMENT AND/OR FIXTURES AND ADJUST PLAN DIMENSIONS AS REQUIRED.

DO NOT SCALE FROM BLUEPRINTS. REFER TO THE LABELED DIMENSIONS FOR ACTUAL MEASUREMENTS.

IT SHALL BE THE RESPONSIBILITY OF THE OWNER/BUILDER TO PROVIDE FOR THE SERVICES OF A PROFESSIONAL ENGINEER IF REQUIRED BY THE BUILDING CODE OFFICIAL.

**SHIPPING DATE :** \_\_\_\_\_

STAMP MUST APPEAR IN RED. PLANS FOR WHICH A BUILDING PERMIT HAS NOT BEEN OBTAINED ONE YEAR FROM THE ABOVE DATE IS SUBJECT TO REVIEW BY STANDARD HOMES PLAN SERVICE, INC. A FEE MAY BE CHARGED FOR THIS SERVICE.

**EXCAVATION**

EXCAVATE TO UNDISTURBED SOIL. BOTTOM OF FOOTING SHALL EXTEND BELOW ADJACENT GRADE. (PRESUMED 2000 P.S.F. SOIL EXPANSIVE CAPACITY).

BRACKENING COMPACT OR SHITTING SOILS SHALL BE REMOVED TO A DEPTH AND WIDTH SUFFICIENT TO ASSUME A STABLE MOISTURE CONTENT IN EACH ACTIVE ZONE.

**FOUNDATION**

PROVIDE 1/2" DIA. STEEL ANCHOR BOLTS 6" O.C. 1'-0" MAX. FROM CORNERS AND 12" MAX. FROM ENDS OF EACH PLATE SECTION, WITH 7" MIN. EMBEDMENT.

PROVIDE FOUNDATION WATERPROOFING AND DRAIN WITH POSITIVE SLOPE TO OUTLET AS REQUIRED BY SITE CONDITIONS.

PROVIDE GRADE AWAY FROM FOUNDATION WALLS 6" MINIMUM WITHIN THE FIRST 10 FEET.

PROVIDE PRESSURE TREATED LUMBER FOR SILLS, PLATES, BANDS AND ANY LUMBER IN CONTACT WITH MASONRY.

PROVIDE APPROVED AND BONDED CHEMICAL SOIL TREATMENT AGAINST FOUNDS, TERMITES AND OTHER HARMFUL INSECTS.

**CRAWL SPACE**

ALL GREGR BUILT CORERS OF FOUNDATION SHALL REST ON SOLID BEARING. FILL TOP COURSE CORERS OF EXTERIOR FOUNDATION WALL WITH CONCRETE.

FOOTINGS SHALL EXTEND 6" AND SHALL BE 12" THICK UNDER GORDER PIERES.

CHIMNEY FOOTING SHALL EXTEND 12" MINIMUM BEYOND EACH SIDE AND SHALL BE AT LEAST 12" THICK.

**BASEMENT**  
ALL GREGR JOISTS SHALL BREAK ON COLUMN CENTER LINES. (FACED) AND ENDS OF GREGRS SHALL REST ON SOLID MASONRY.

DOUBLE SILL AND USE LEDGER OVER ALL BASEMENT OPENINGS.

ALL BASE SASH SHALL BE 18/20 2-LT. 3'-3 7/8" X 1'-11 15/16" 3420 HB.

**FRAMING**

ALL FLOOR JOISTS, CEILING JOISTS, RAFTERS, GIRDERS, HEADERS, SILLS AND BEAMS SHALL BE NO. 2 SPRUCE/PINE/FIR (S.P.F.) UNLESS OTHERWISE INDICATED.

ALL LOAD BEARING WALLS SHALL BE STUD GRADE SPRUCE/PINE/FIR (S.P.F.) UNLESS OTHERWISE INDICATED.

DESIGN SEPARATIONS FOR LAMINATED VENEER LUMBER (LVL) BEAMS AND HEADERS : GRADE : 2800B-20E  
BRACING : 2900  
MODE : 2/0 X 1/0  
SHEAR : 2/0 X 290

SUPPORT FOR HEADERS:  
HEADERS SHALL BE SUPPORTED ON EACH END WITH ONE OR MORE JACK STUDS OR WITH APPROVED FRAMING ANCHORS IN ACCORDANCE WITH BUILDING CODE. (SEE PLAN) THE FULL HEIGHT STUD ADJACENT TO THE BEAM AND THE STUD SHALL BE FULL HEIGHT STUD AND END OF THE HEADER WITH FOUR-160 NAILS. SEE TABLE BELOW.

HEADER SPAN (FEET)	MAXIMUM STUD SPACING (INCHES)
3 FEET OR LESS	24
4 FT.	1
8 FT.	2
12 FT.	3
16 FT.	4

**CLIMATIC AND GEOGRAPHICAL DESIGN CRITERIA**

ROOF LIVE LOAD (FOUNDS PER SQUARE FOOT) : 20 PSF  
ULTIMATE DESIGN WIND SPEED (MILES PER HOUR) : 120 MPH  
NOMINAL DESIGN WIND SPEED : 93 MPH  
EXPOSURE CATEGORY "B" UNLESS OTHERWISE NOTED  
WINDOW DESIGN PRESSURE RATING : DP 25  
COMPONENT AND CLADDING LOADS FOR A BUILDING WITH A MEAN ROOF HEIGHT OF 30 FEET OR LESS:

PRESSURE ZONE	115	120	130	140
ZONE 1	13.1, -14.0	14.2, -15.0	16.7, -18.0	19.4, -21.0
ZONE 2	13.1, -16.0	14.2, -18.0	16.7, -21.0	19.4, -24.0
ZONE 3	14.3, -15.0	15.5, -18.0	18.2, -21.0	21.2, -22.0
ZONE 4	14.3, -15.0	15.5, -20.0	18.2, -24.0	21.2, -28.0
ZONE 5	14.3, -19.0	15.5, -20.0	18.2, -24.0	21.2, -28.0

ASSUMED MEAN ROOF HEIGHT: 19'-7"  
SEISMIC CONDITION BY ZONE : ZONES A AND B  
SUBJECT TO DAMAGE FROM WEATHERING : MODERATE  
CLIMATE ZONES (UNLESS OTHERWISE NOTED): ZONES 3 AND 4  
MINIMUM VALUES FOR ENERGY COMPLIANCE:  
CEILING R-38; EXTERIOR WALLS R-15; FLOORS R-19  
WINDOW U-FACTOR ≤ 0.35; RECOMMENDED SHGC ≤ 0.30

**MISCELLANEOUS**

LOCATE ALL CONVENIENCE OUTLETS ABOVE KITCHEN BASE CABINETS 42" ABOVE FINISHED FLOOR.

**EMERGENCY EGRESS REQUIREMENTS**

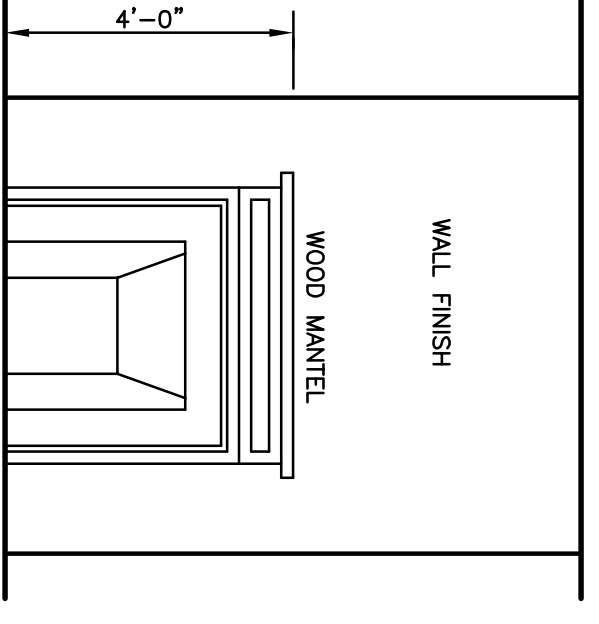
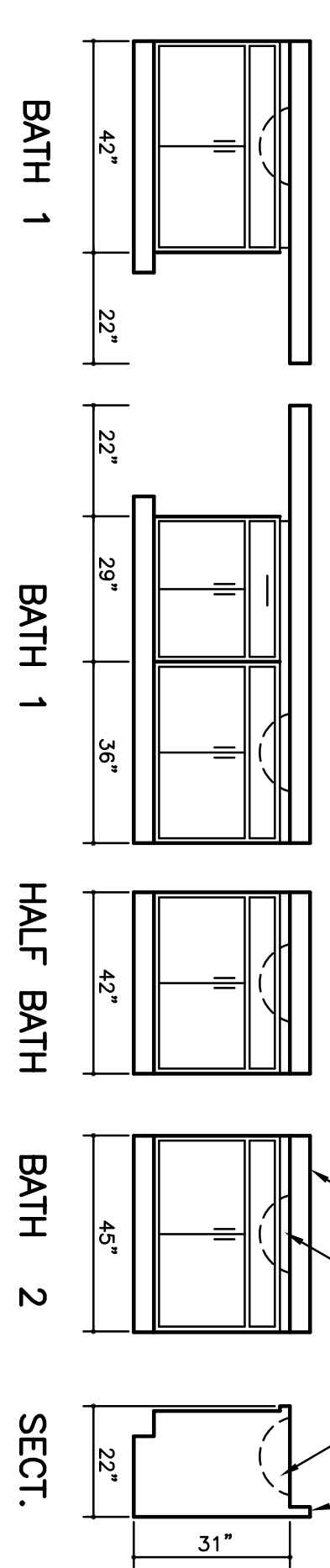
THIS SHALL BE THE RESPONSIBILITY OF THE OWNER/BUILDER TO VERIFY THAT ALL EMERGENCY EGRESS REQUIREMENTS ARE PROVIDED BY WINDOW MANUFACTURER.

2018 NORTH CAROLINA RESIDENTIAL CODE  
THE REQUIRED EGRESS WINDOW FROM EVERY SLEEPING ROOM SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE FINISHED FLOOR. THE NET CLEAR OPENING HEIGHT SHALL BE AT LEAST 20 INCHES AND THE NET CLEAR OPENING WIDTH SHALL BE AT LEAST 20 INCHES. IN ADDITION THE MINIMUM OPENING AREA SHALL NOT BE LESS THAN 5.7 SQUARE FEET IN THE CASE OF A SECOND STORY WINDOW.

2015 INTERNATIONAL RESIDENTIAL CODE  
THE REQUIRED EGRESS WINDOW FROM ENTRY SLEEPING ROOM SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE FINISHED FLOOR. ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 20 SQUARE FEET ABOVE FINISHED FLOOR. MINIMUM CLEAR OPENING HEIGHT SHALL BE 24 INCHES. THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20 INCHES.

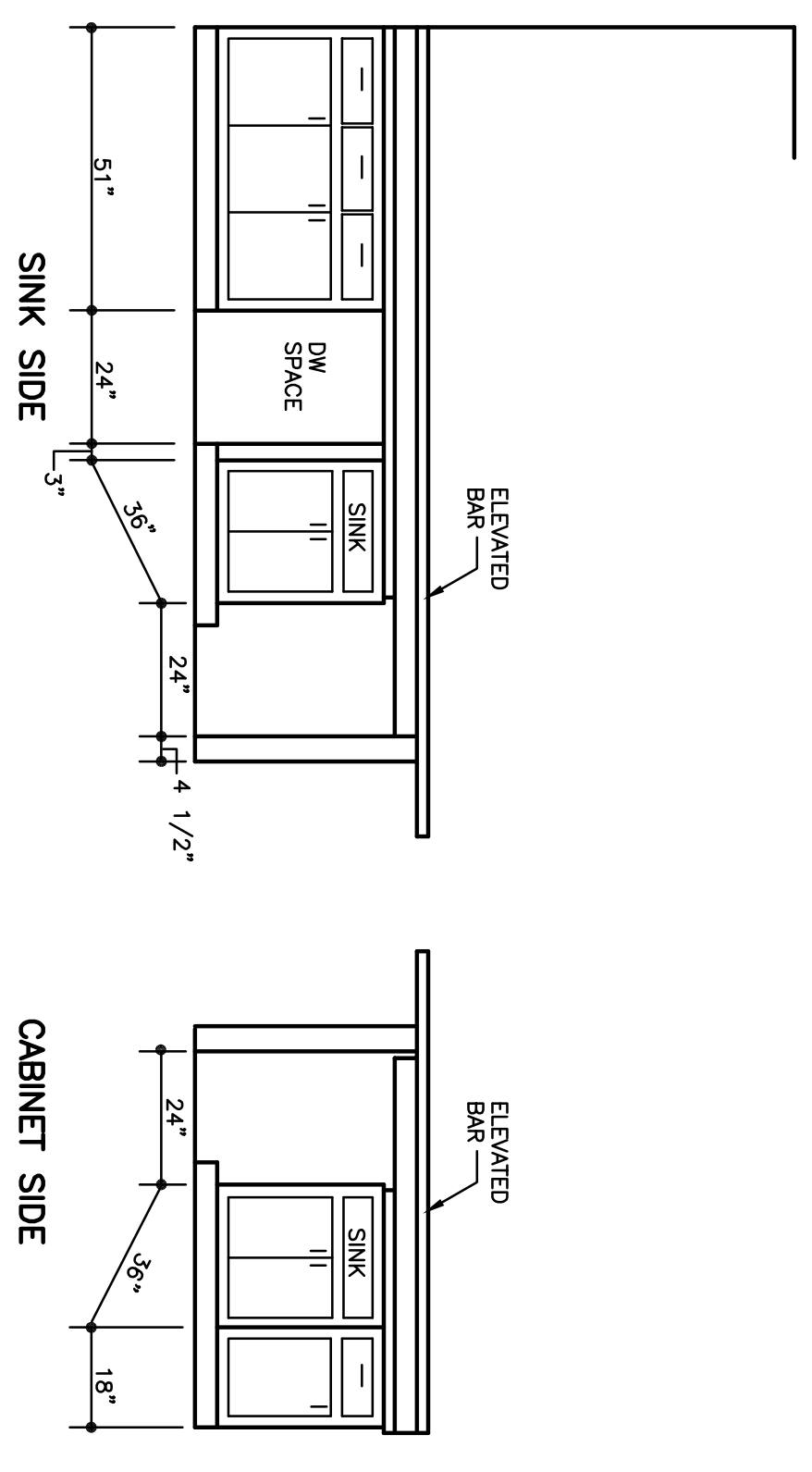
**VANITY DETAILS**

SCALE : 3/8"=1'-0"



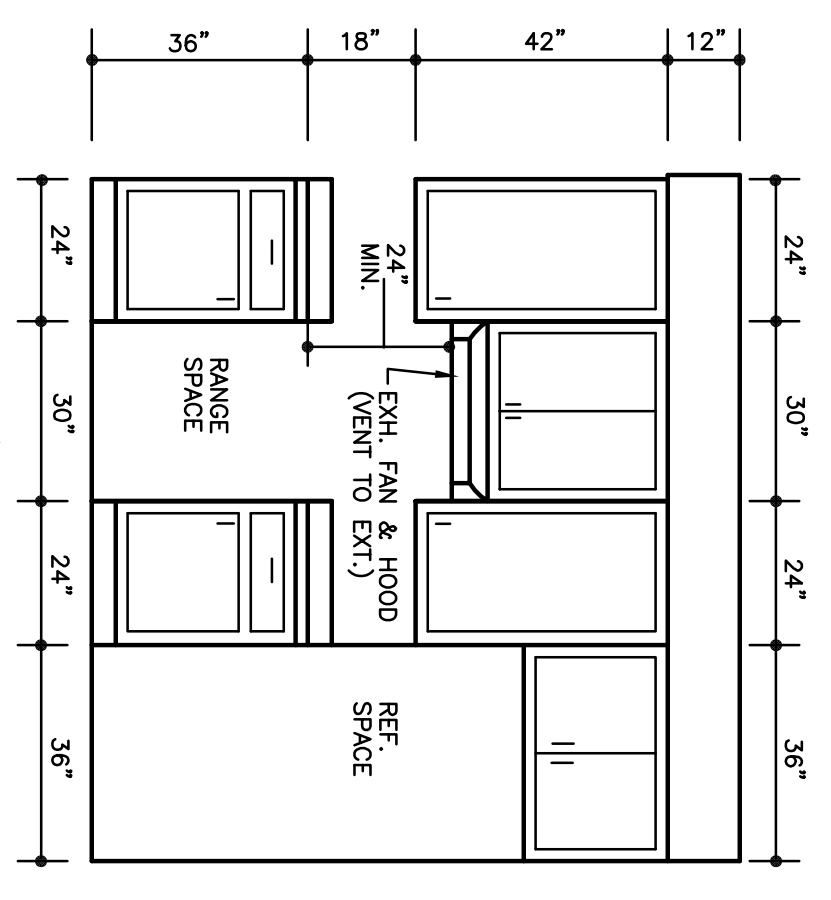
**PREFAB FIREPLACE**

NOTE : PREFAB GAS LOG FIREPLACE - VENT PER MANUFACTURER'S SPECIFICATIONS  
SCALE : 3/8" = 1'-0"

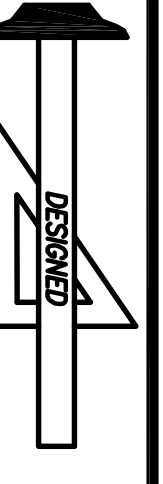


**KITCHEN CABINET ELEVATIONS**

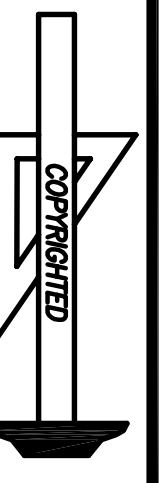
SCALE : 3/8"=1'-0"  
FOR SECTION THROUGH CABINETS, SEE DETAIL ON COVER SHEET.



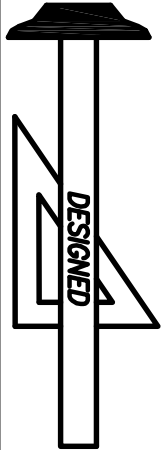
**RANGE/REF. SIDE**



**Standard Homes Plan Service, Inc.**  
7200 SUNSET LAKE ROAD FLOUAY-VARINA, NC 27526  
SEE HOME DESIGN REQUIREMENTS ONLINE AT WWW.STANDARDHOMES.COM  
(919)552-5677

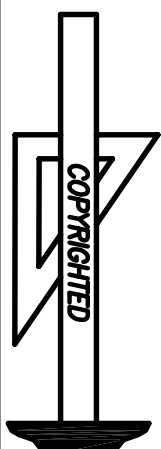


DESIGNED FOR	PLAN	NO.	MAT'L	SHOWN	SHEET
SIDNEY MCGAIN	RACHAEL	2	SID.		1 OF 7



# Standard Homes Plan Service, Inc.

7200 SUNSET LAKE ROAD FLOUQUA-VARINA, NC 27526  
 (919)552-5677



DESIGNED FOR  
SIDNEY MCLAN

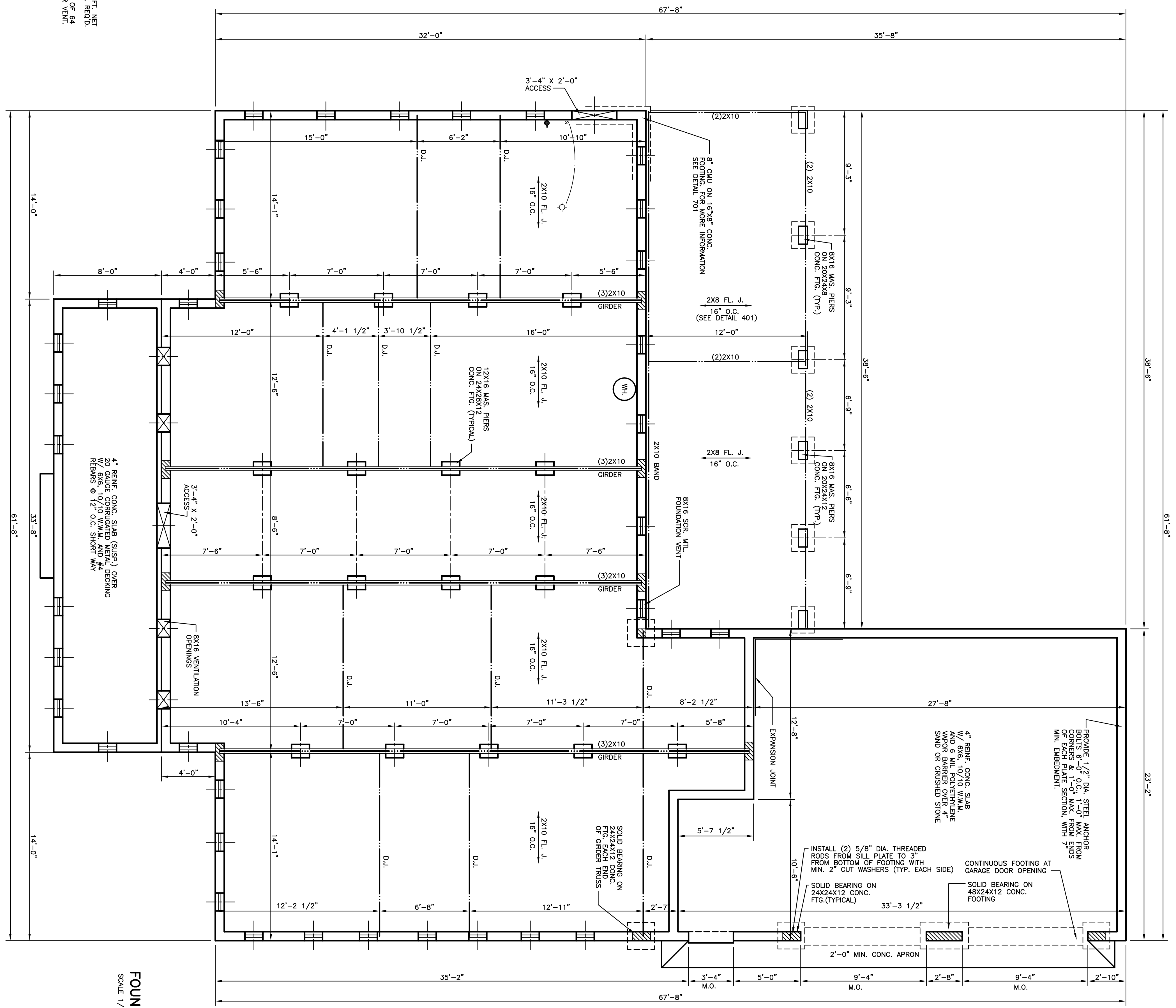
PLAN  
RACHAEL

NO.	MAT'L.	SHOWN	SHEET
2	SID.		2 OF 7

TRUSS CONSTRUCTION  
 REVISED 03-08-23

FOUNDATION VENTILATION REQUIREMENTS:  
 2505 SQ. FT. +/- 150 = 16.7 SQ. FT. NET  
 PROVIDE 37 VENTS WITH A MINIMUM OF 64  
 SQUARE INCHES NET FREE AREA PER VENT.

FOUNDATION PLAN  
 SCALE 1/4" = 1'-0"



DESIGNED BY  
SIDNEY MCLAN

PLAN  
RACHAEL

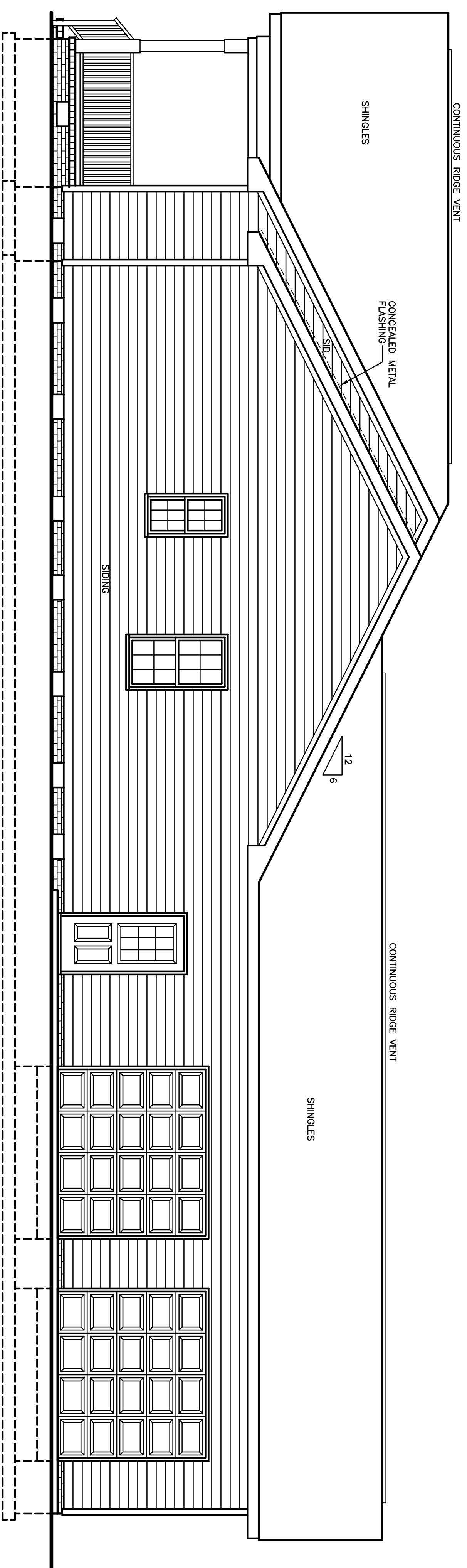
NO.	MAT'L.	SHOWN	SHEET
2	SID.		2 OF 7

TRUSS CONSTRUCTION  
 REVISED 03-08-23



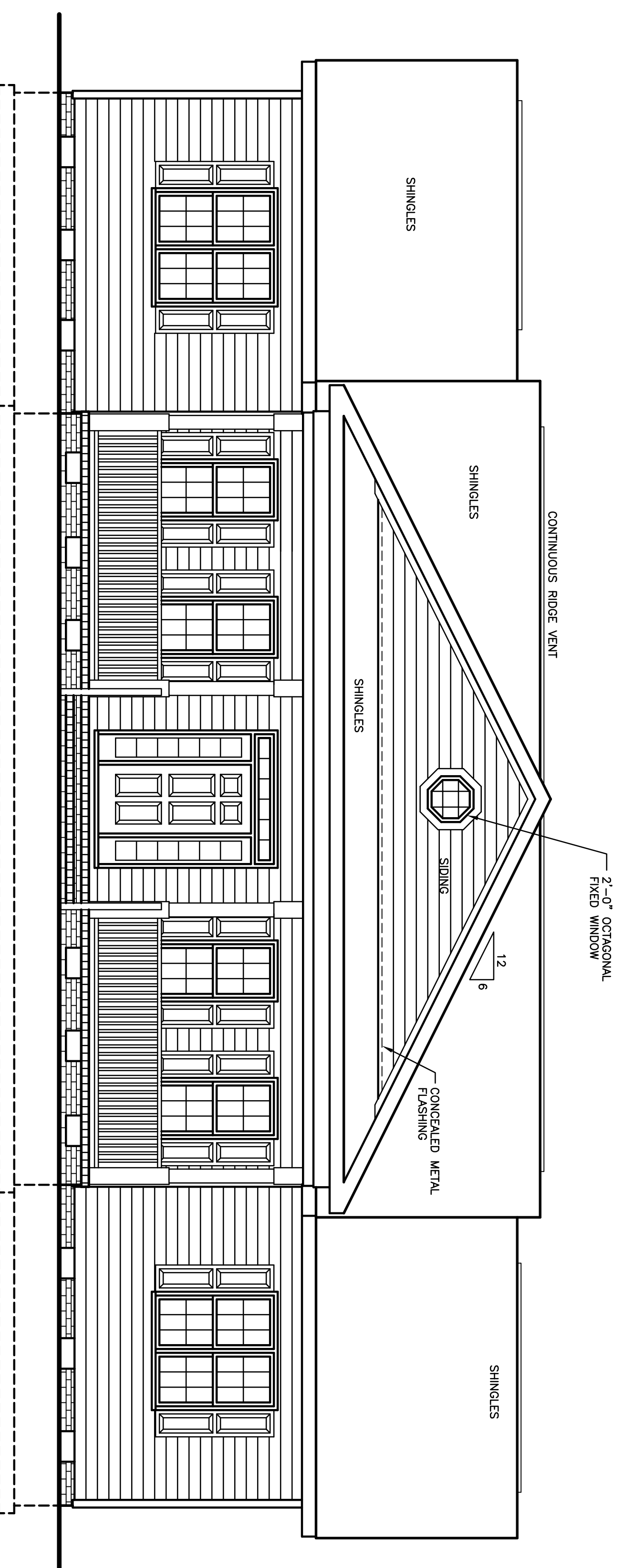




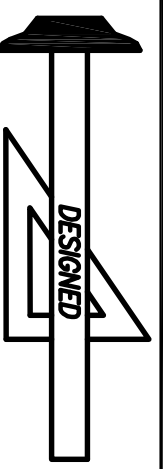


**RIGHT SIDE ELEVATION**  
SCALE 1/4" = 1'-0"

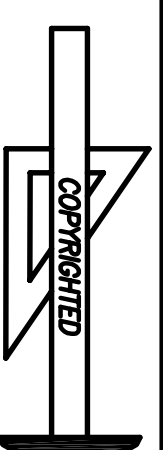
PROVIDE GUTTERS, DOWNSPOUTS AND SPASHPADS  
ACCORDING TO LOCAL CODE AND RAINFALL CONDITIONS.  
ALL SPASHPADS SHALL CARRY WATER 60"  
FROM BUILDING.



**FRONT ELEVATION**  
SCALE 1/4" = 1'-0"



**Standard Homes Plan Service, Inc.**  
7200 SUNSET LAKE ROAD FLOUAY-VARINA, NC 27526  
SEE HOME DESIGN REQUIREMENTS ONLINE AT WWW.STANDARDHOMES.COM  
(919)552-5677



DESIGNED FOR  
SIDNEY MCLENN

PLAN  
RACHAEL

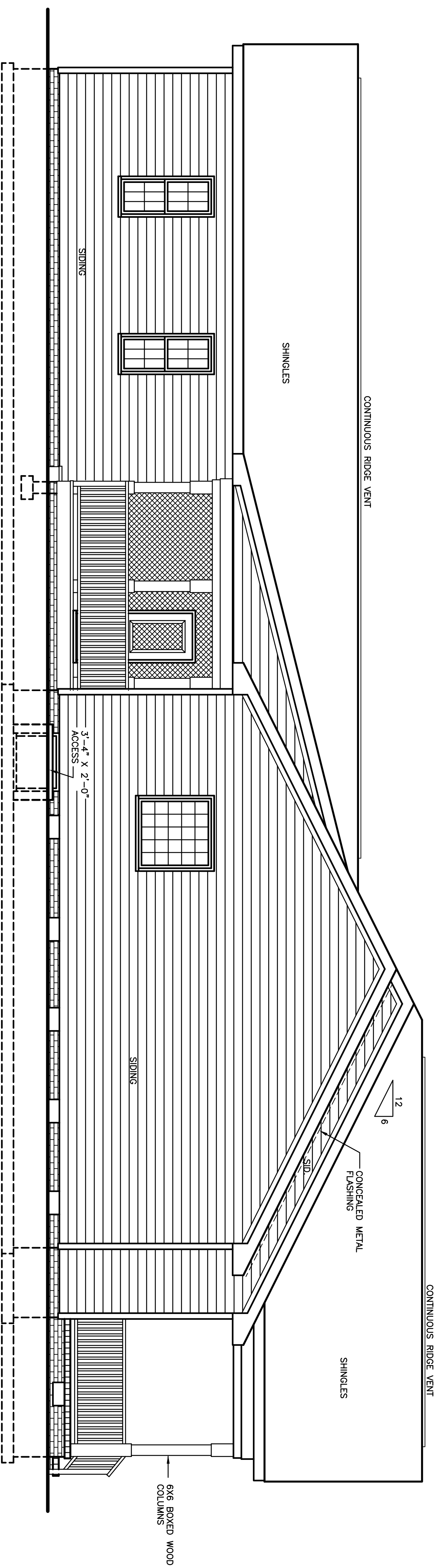
NO.  
2

MAT'L.  
SID.

SHOWN

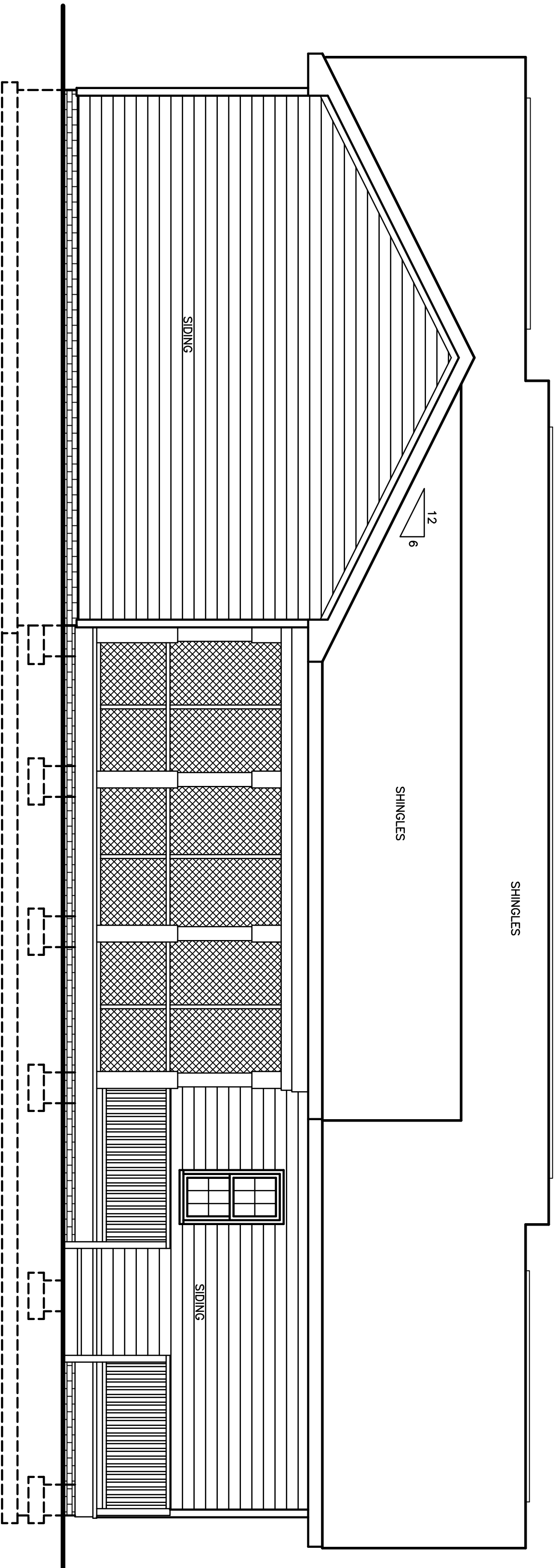
SHEET  
5 OF 7

TRUSS CONSTRUCTION  
REVISED 05-08-23



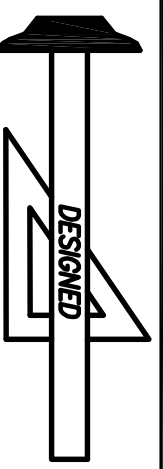
LEFT SIDE ELEVATION

SCALE 1/4" = 1'-0"

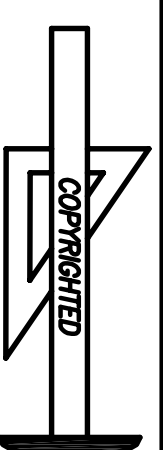


REAR ELEVATION

SCALE 1/4" = 1'-0"



**Standard Homes Plan Service, Inc.**  
 7200 SUNSET LAKE ROAD FUQUAY-VARINA, NC 27526  
 SEE HOME DESIGN PRESENTS ONLINE AT WWW.STANDARDHOMES.COM  
 (919)552-5677



DESIGNED FOR  
 SIDNEY MCLEAN

PLAN  
 RACHAEL

NO.  
 2

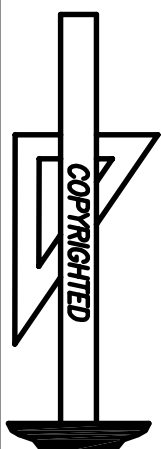
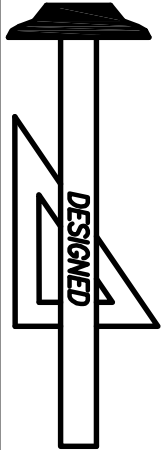
MAT'L.  
 SID.

SHOWN

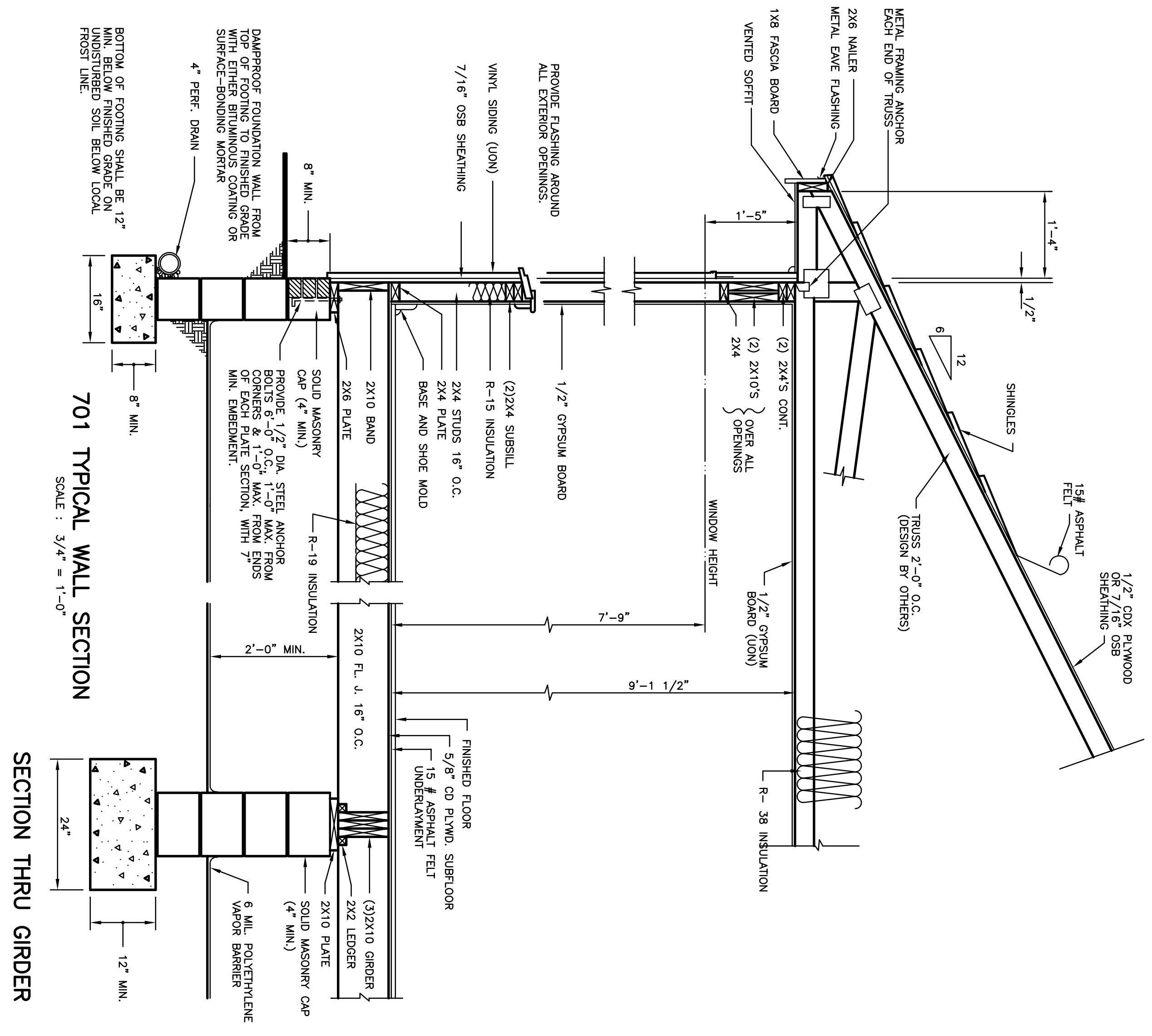
SHEET  
 6 OF 7

TRUSS CONSTRUCTION  
 REVISED 05-08-23

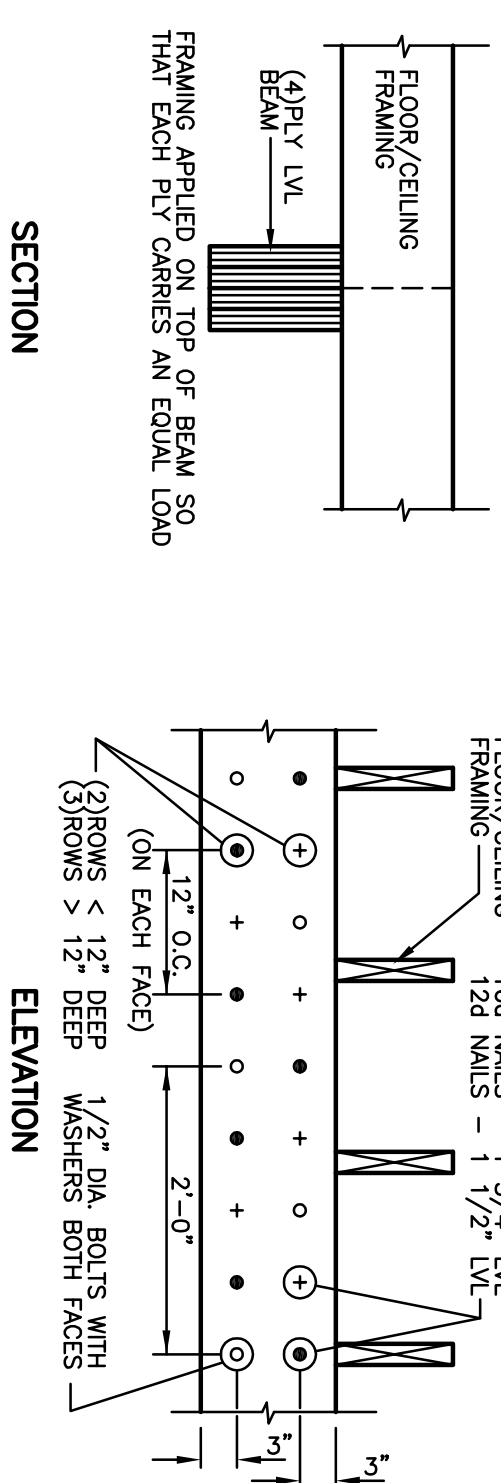
© 2023 STANDARD HOMES PLAN SERVICE, INC.



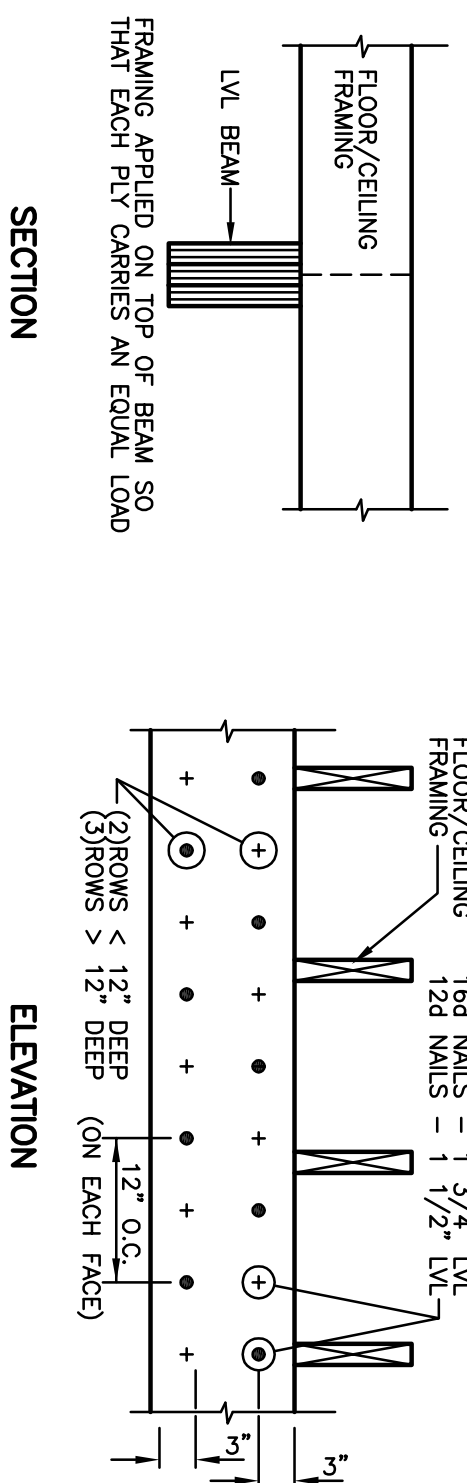
DESIGNED FOR	PLAN	NO.	MAT'L	SHOWN	SHEET
SIDNEY MCLEAN	RACHAEL	2	SID.		7 OF 7



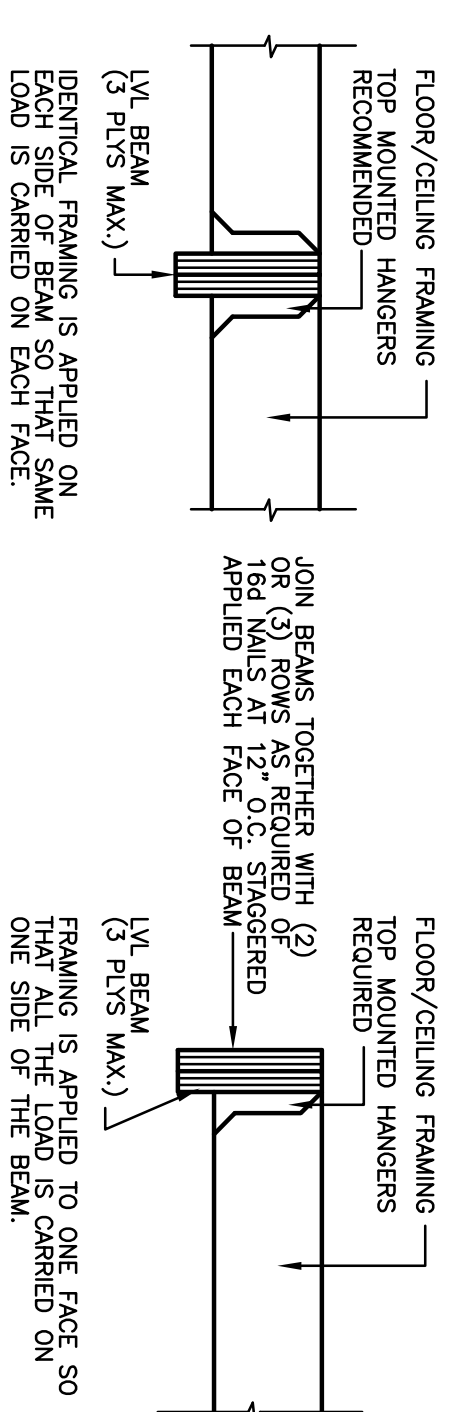
**CONNECTION OF MULTIPLE PLY BEAMS**  
(INSTALLATION & CONNECTION OF BEAMS SHALL BE ACCORDING TO MANUFACTURERS SPECIFICATIONS)



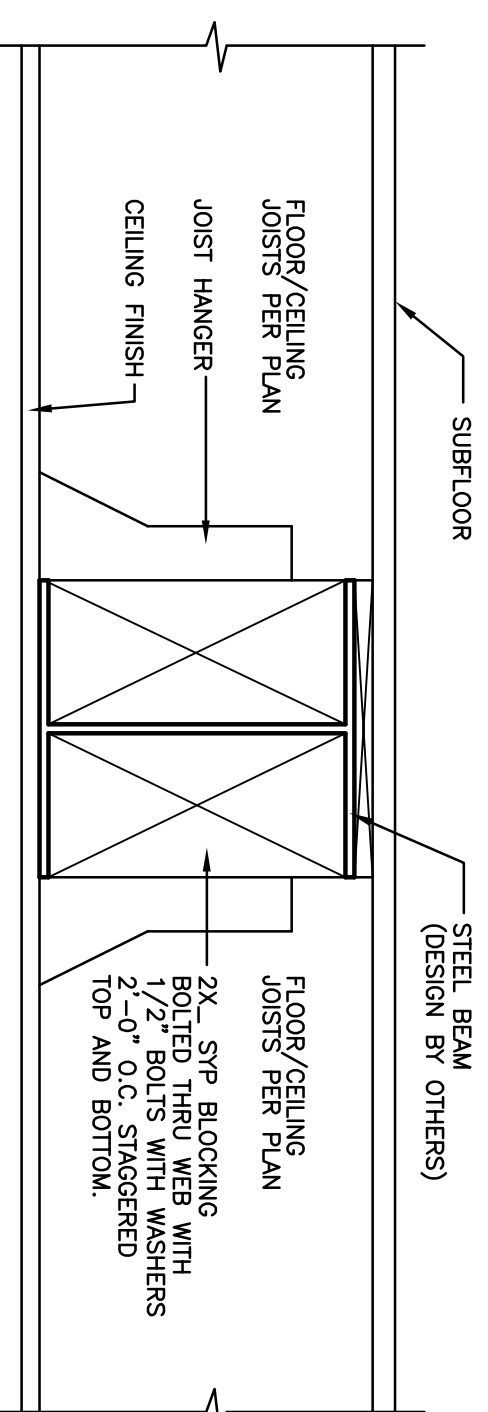
**D001**  
TOP LOADED (4 PILES)



**D002**  
TOP LOADED (3 PILES MAXIMUM)



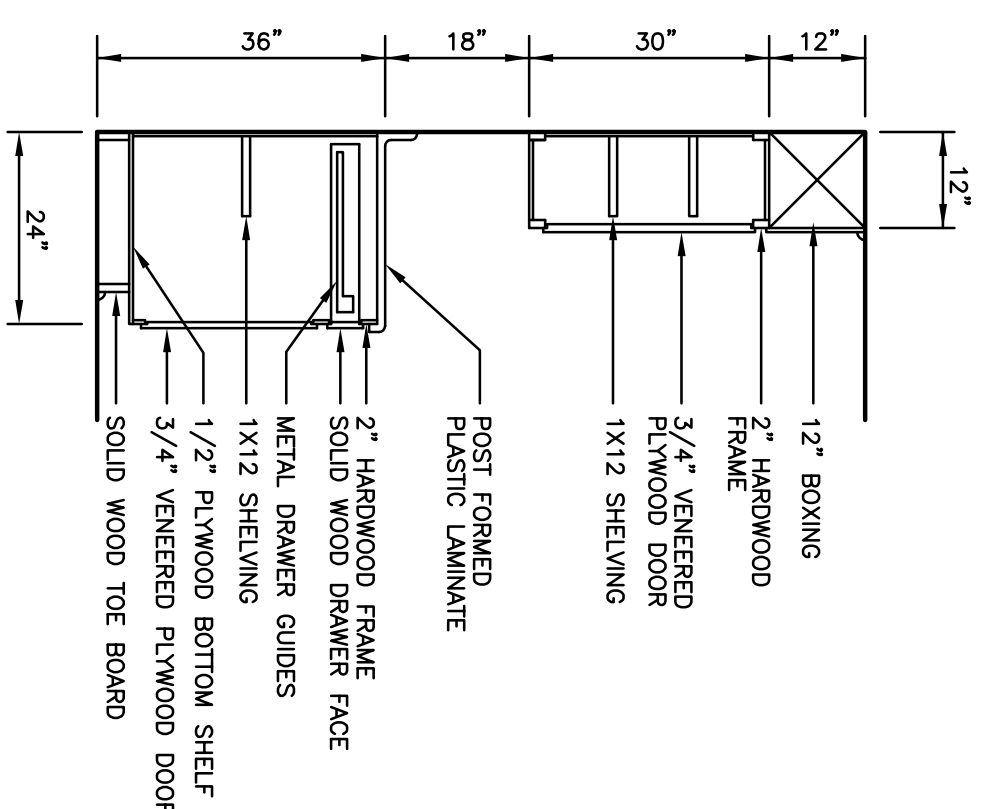
**D003**  
SIDE LOADED



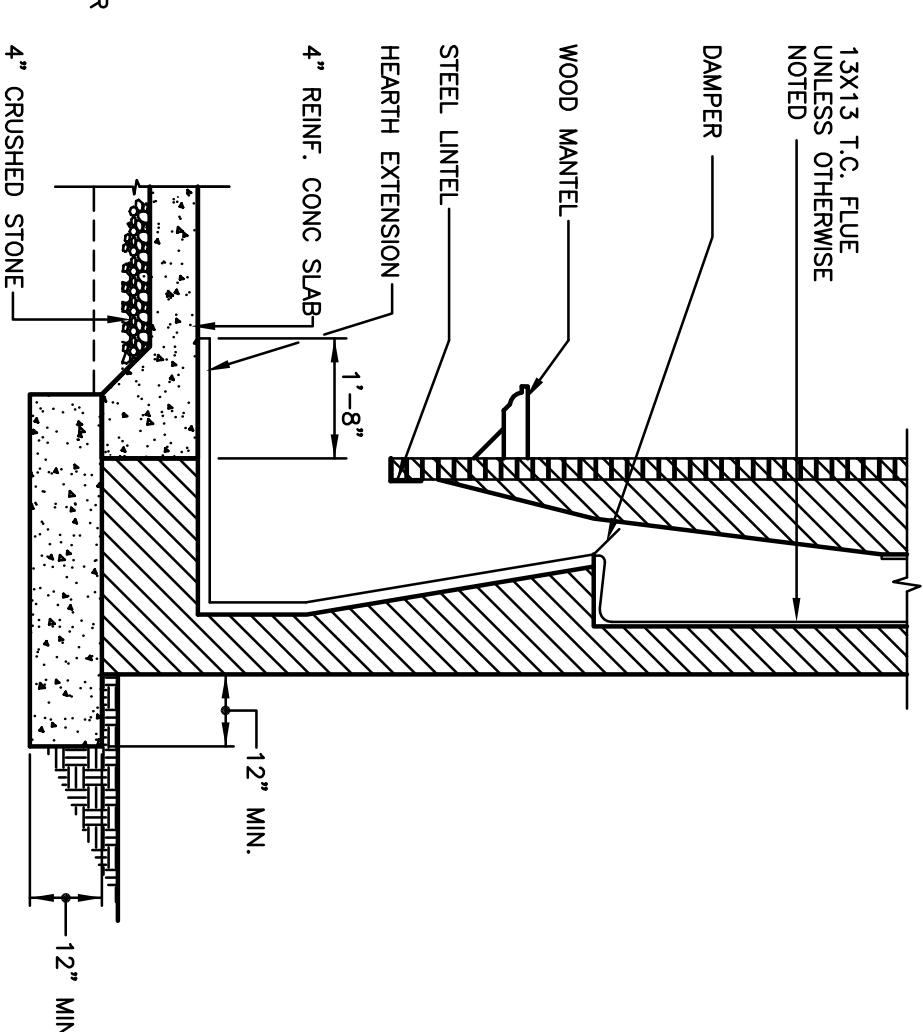
**D004**  
SECTION THRU STEEL BEAM

MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS (PSF)	USE	LIVE LOAD
UNINHABITABLE ATTICS WITHOUT STORAGE		10
UNINHABITABLE ATTICS WITH LIMITED STORAGE		20
HABITABLE ATTICS AND ATTICS SERVED WITH FIXED STAIRS		30
BALCONIES AND DECKS		40
ROOMS OTHER THAN SLEEPING ROOMS		40
SLEEPING ROOMS		30
STAIRS		40
FIRE ESCAPES		40
GUARDS AND HANDRAILS		200
GUARD IN-FILL COMPONENTS		50
PASSENGER VEHICLE GARAGES		50

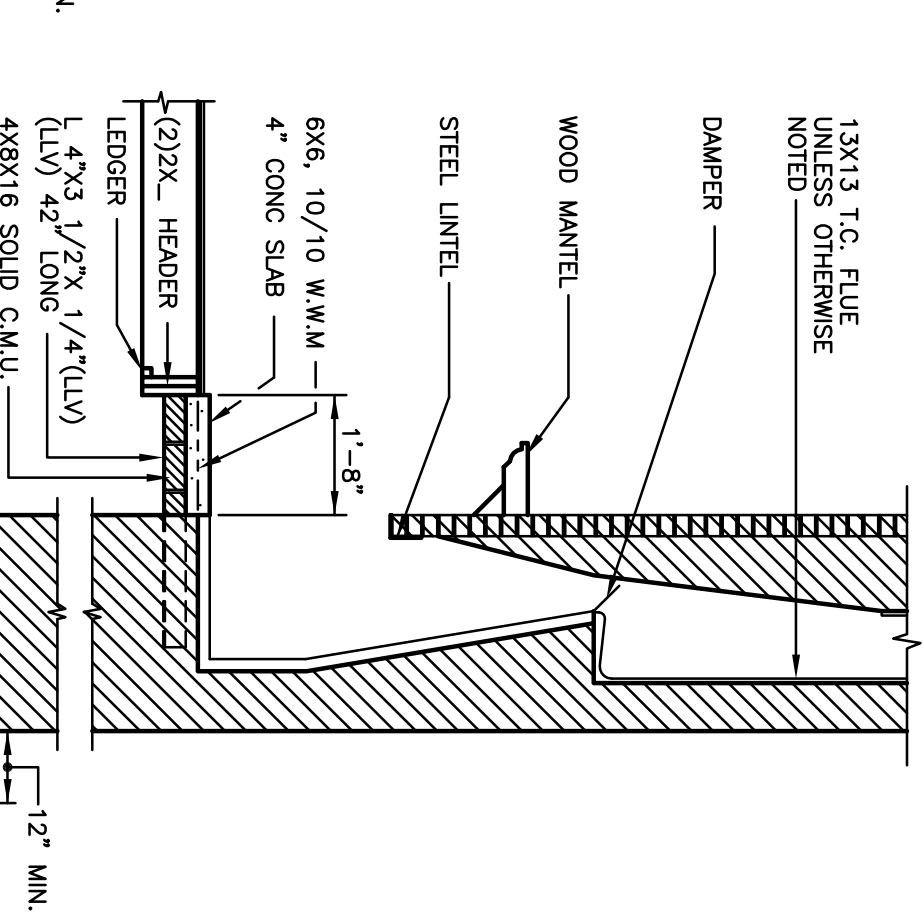
ALLOWABLE DEFLECTION OF STRUCTURAL MEMBERS	STRUCTURAL MEMBER	ALLOWABLE DEFLECTION
(NOTE : L = SPAN LENGTH ; H = SPAN HEIGHT)		
	RATERS (RANS SLOPES GREATER THAN 3:12 WITH FINISHED CEILING NOT ATTACHED TO RATERS)	L/180
	FLOORS	L/360
	CEILINGS WITH BRITTLE FINISHES (INCLUDING PLASTER)	L/360
	CEILINGS WITH FLEXIBLE FINISHES (INCLUDING GYP/SUM BOARD)	L/240
	ALL OTHER STRUCTURAL MEMBERS	L/240
	UNLETS SUPPORTING MASONRY VENEER WALLS	L/600
	INTERIOR WALLS AND PARTITIONS	H/180
	EXTERIOR WALLS - WIND LOADS WITH PLASTER OR STUCCO FINISH	H/360
	EXTERIOR WALLS - WIND LOADS WITH OTHER FINISHES	H/240
	EXTERIOR WALLS - WIND LOADS WITH FLEXIBLE FINISHES	H/120



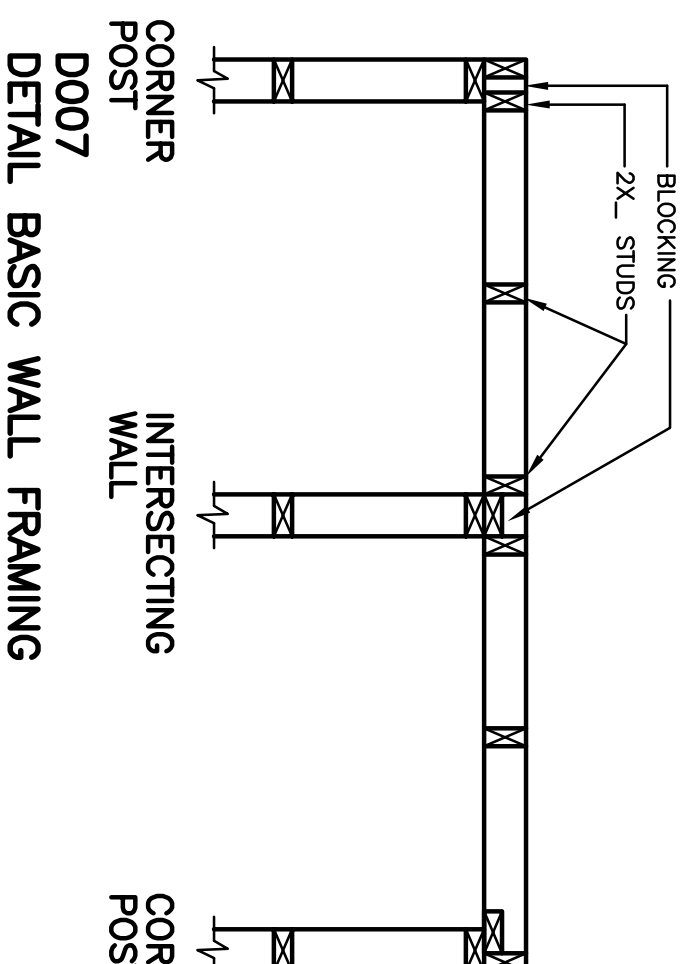
**D005**  
SECTION THRU KITCHEN CABINETS



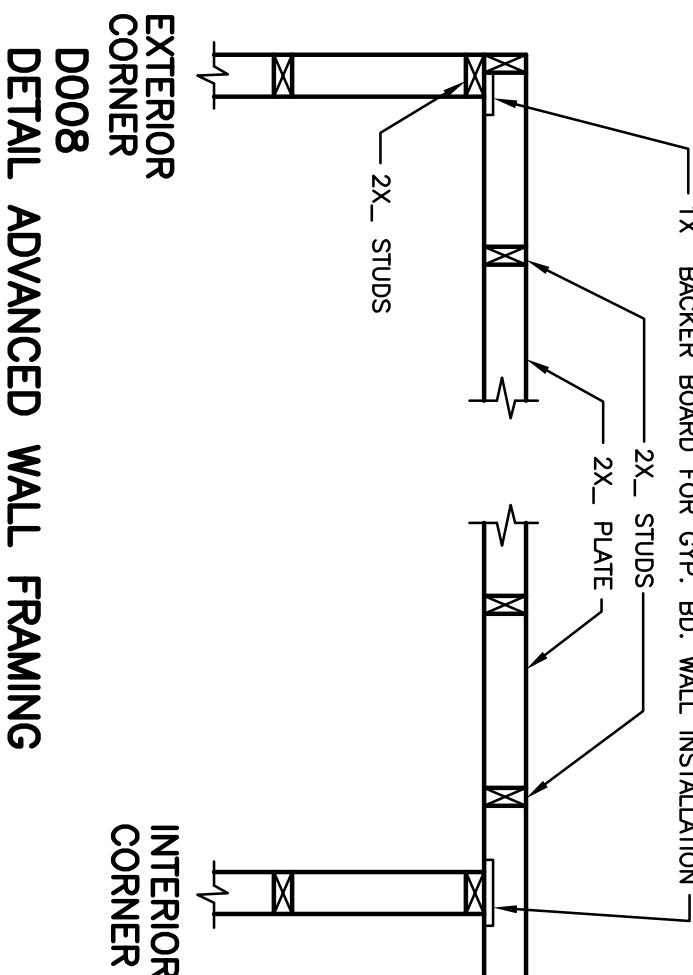
**D006**  
SECT. THRU FIREPLACE ON CONCRETE SLAB



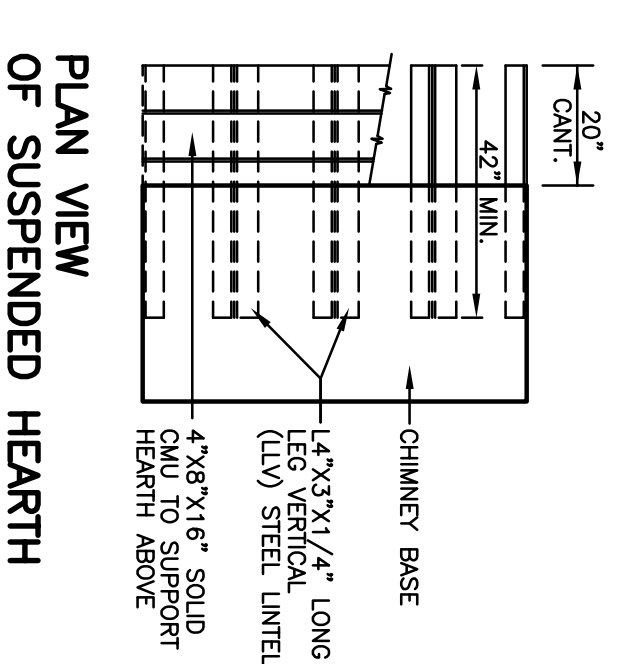
**D007**  
SECT. THRU FIREPLACE ON WOOD FLOOR



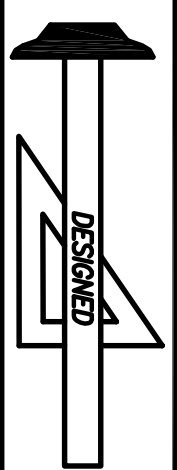
**D007**  
CORNER POST INTERSECTING WALL



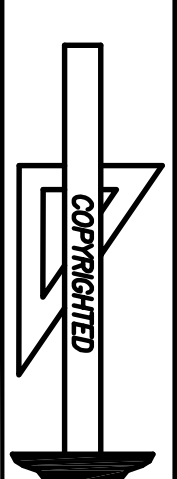
**D008**  
EXTERIOR CORNER



**D009**  
PLAN VIEW OF SUSPENDED HEARTH



**Standard Homes Plan Service, Inc.**  
7200 SUNSET LAKE ROAD  
FUQUAY-VARINA, NC 27526  
(919)552-5677



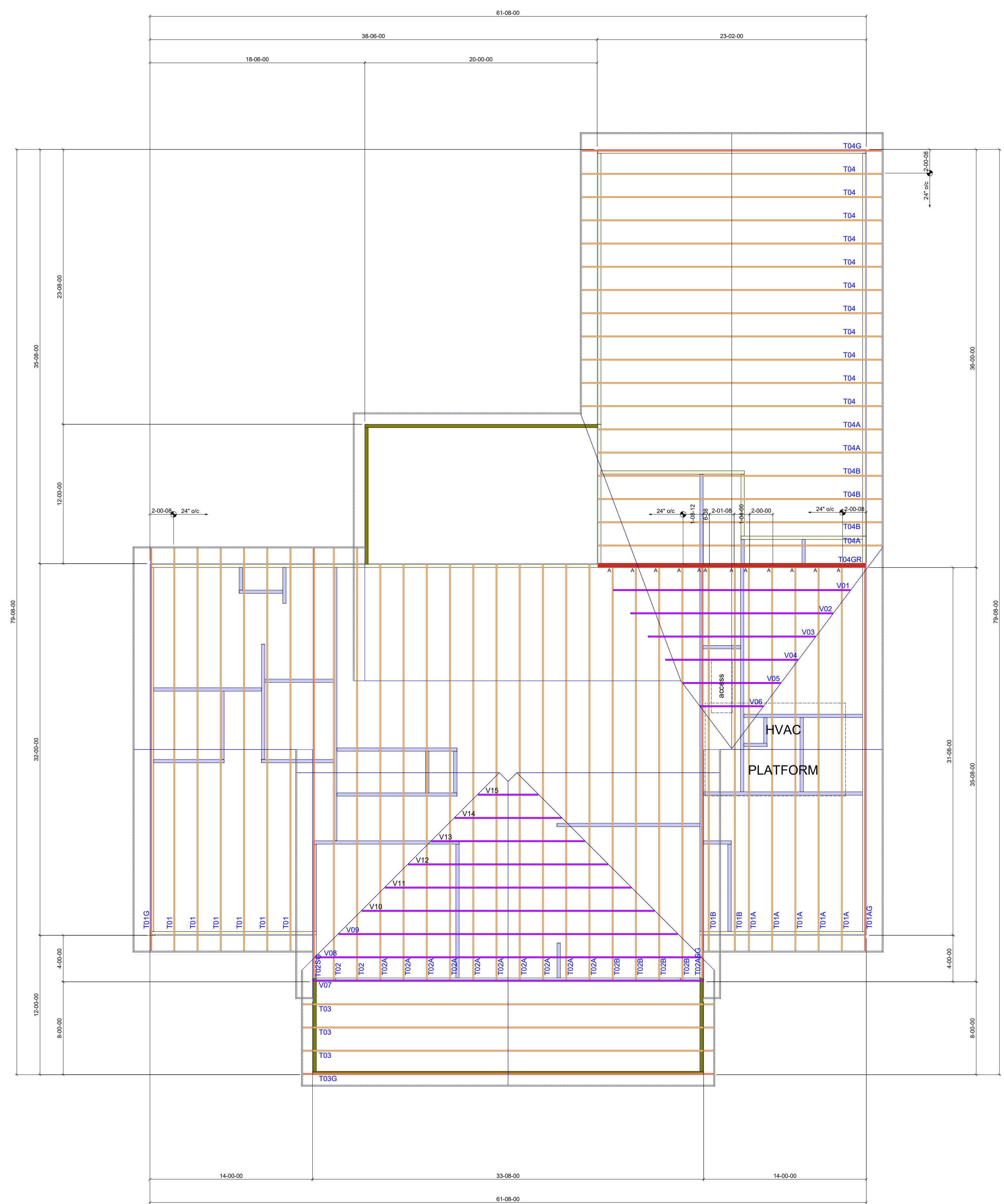
STANDARD CONSTRUCTION DETAILS





ROOF AREA SQ FT	4398
RIDGE LINE LF	145.31
HIP LINE LF	2.25
MINOR DMLF	206.92 ft
MAJE DMLF	280.27 ft
1ST DECK SQ FT	0
2ND DECK SQ FT	0

THIS LAYOUT IS INTENDED FOR THE PURPOSE OF TRUSS LOCATION AND PLACEMENT ONLY.  
REFER TO THE BUILDING PLANS FOR THE ACTUAL BUILDING CONSTRUCTION.



**TRUSS PLACEMENT PLAN**  
Note: All dimensions shown 00-00-00 are in Feet-Inches-Sixteenths

**All Truss LLC**

Customer: GFB Builders  
 330 Name: Rachael Plan  
 City: .  
 Revision: .  
 Date: .  
 Scale: 3/16  
 Drawn/Date: 10/12/23  
 PLO Number: .  
 Other No: .

**Main Truss Plant**  
 409 N Main Street  
 Mt Gilead, NC 27306

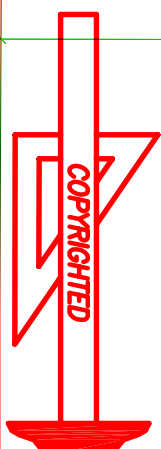
Project: .  
 Title: .  
 Date: .  
 Scale: .  
 Drawn/Date: .  
 PLO Number: .  
 Other No: .

QTY	MARK	TYPE
12	A	HUSZ6
.	B	.
.	C	.
.	D	.
.	E	.
.	F	.



# Standard Homes Plan Service, Inc.

7200 SUNSET LAKE ROAD FLOUQUA-VARINA, NC 27526  
 (919)552-5677



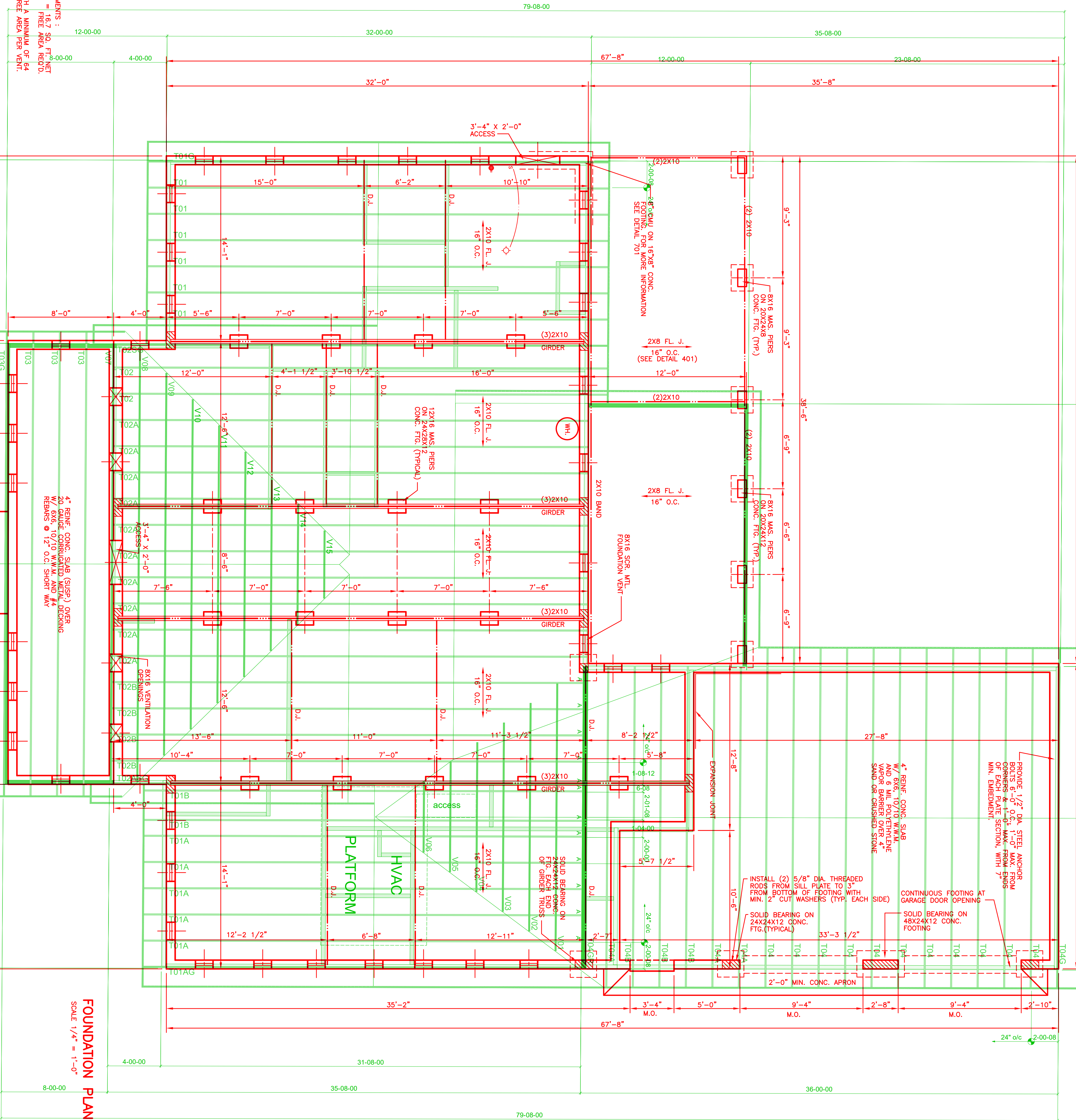
DESIGNED FOR  
SIDNEY MCLAN

PLAN  
RACHAEL

NO. 2  
 MAT'L. SID.  
 SHOWN SHEET 2 OF 7

TRUSS CONTRIBUTION  
 REVISED 05-08-23

FOUNDATION VENTILATION REQUIREMENTS:  
 2505 SQ. FT. ± = 150 = 16.7 SQ. FT. NET  
 FREE AREA REQ'D.  
 PROVIDE 37 VENTS WITH A MINIMUM OF 64  
 SQUARE INCHES NET FREE AREA PER VENT.



**FOUNDATION PLAN**  
 SCALE 1/4" = 1'-0"