

ROOSEVELT



Inventory Marked

COVER SHEET

ROOSEVELT REVISION LIST - STRUCTURAL:

- 1.) DOWNSIZED SOME WINDOW HEADERS TO (2) 2 x 6 OR (2) 2 x 8 (4-17)
- 2.) EXTRA JOIST LOCATIONS (4-17)
- 3.) ADDED HEADER SIZES FOR BRICK OPTIONS (4-17)
- 4.) 3-PLY HEADERS AT GARAGES (4-17)
- 5.) PORTAL FRAMING CHANGES AT CONTINUOUS DOUBLE GARAGE DOOR HEADERS (4-17)
- 6.) REMOVED BALLOON FRAMING FROM REMOVING SECOND FLOOR VAULTS (4-17)
- 7.) ADDED JOIST SERIES/SPACING TO PLANS (4-17)
- 8.) ADDED BASEMENT FRAMING FOR AREA FORMERLY CRAWL SPACE (4-17)
- 9.) SOME RECONFIGURATION OF PIERS ON CRAWL (4-17)

ROOSEVELT REVISION LIST - ARCHITECTURAL:

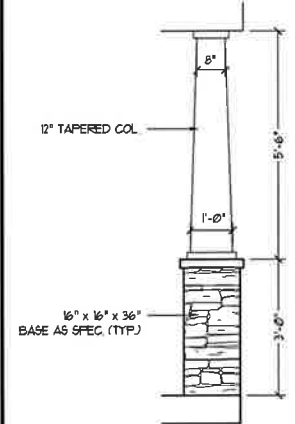
1. UPDATED DATES ON ALL SHEETS (05-01-20)
2. CHANGED ALL NOTES ON ELEVATIONS FOR GARAGE AS SPECIFIED (05-01-20)
3. UPDATED LOCATION AND VERIFIED ALL COACH LIGHTS ON ELEVATIONS (05-01-20)
4. CHANGED CORNER BOARDS ON ALL ELEVATIONS FROM 6" TO 4" (05-01-20)
5. REMOVED GRIDS FROM TRANSOMS AND SIDELIGHTS AROUND FRONT DOOR ON ALL ELEVATIONS (05-01-20)
6. REMOVED GRIDS FROM ALL SIDES AND REAR ELEVATIONS (05-01-20)
7. DIMENSIONED WATER TABLE WHERE APPLICABLE (05-01-20)
8. ADDED SHEETS FOR A-2/A-3, B-2/B-3, & C-2/C-3 WITH BRICK AND WITH STONE (05-01-20)
9. ADDED SHEETS FOR A-4, B-4, & C-4 (05-01-20)
10. UPDATED STONE HATCH TO REPRESENT STONE BETTER (05-01-20)
11. REMOVED DUPLICATE DIMENSIONS FROM A-2/A-3, B-2/B-3, & C-2/C-3 (05-01-20)
12. REMOVED SHINGLE HATCH FROM ALL ELEVATIONS (05-01-20)
13. ADDED COLUMN DETAIL TO ELEVATION B-1 & B-4 ON SHEETS A-2 AND A-2.3 (05-01-20)
14. REMOVED HARDWARE FROM SHUTTERS ON ALL C ELEVATIONS (05-01-20)
15. ADDED DIAGONAL DIMENSIONS TO SLAB INTERFACE PLAN (05-01-20)
16. ADDED OPTIONAL FLOOR OUTLETS TO SLAB INTERFACE PLAN (05-01-20)
17. CREATED PARTIAL PLANS FOR EACH ELEVATION LAYOUT TO SHOW LOCATION OF BRICK/STONE (05-01-20)
18. ADDED OPTIONAL GAS LINE (05-01-20)
19. UPDATED "GOURMET KITCHEN" LAYOUT (05-01-20)
20. VERIFIED AND UPDATED SQUARE FOOTAGE CALCULATIONS WITH AND WITHOUT FULL BRICK VENEER (05-01-20)
21. VERIFIED ALL ROOM DIMENSIONS (05-01-20)
22. ADD HOSE BIB LOCATIONS 2'-0" FROM CORNER OF HOUSE (05-01-20)
23. MOVED ALL OPTIONS TO SEPARATE SHEET (05-01-20)
24. CHANGED STANDARD PATIO AND OPTIONAL PATIO TO SIZE 12x10' (05-01-20)
25. CHANGED ALL EXTERIOR WALLS FROM 2x6 TO 2x4 EXCEPT WHERE SHADED (05-01-20)
26. ADDED 34 1/2" HIGH WALL TO ISLAND IN KITCHEN (05-01-20)
27. VERIFIED VENTILATION AND LIGHT REQUIREMENTS AT OWNER'S BEDROOM MEETS CODE (05-01-20)
28. REMOVED ALL CASED OPENINGS (C.O.) FROM PLAN (05-01-20)
29. UPDATED COLUMNS ON COVERED REAR PORCH TO 8x8 COLUMNS (05-01-20)
30. ADDED SHEET AD-1 WALL SECTIONS AND STAIR DETAIL (05-01-20)
31. REMOVED NUMBER (#) SIGN FROM ALL TITLES (05-01-20)
32. REMOVED ALL NUMBERS FROM STAIRS (05-01-20)
33. NOTED WASHER/ DRYER AS "OPT. W/D" (05-01-20)
34. UPDATED BASEMENT SHEET (05-01-20)
35. CHANGED ALL CEILING FANS TO SHOW STANDARD LIGHT/OPT. FAN/LT PREWIRE (05-01-20)
36. UPDATED ELECTRICAL KEY ON ALL ELECTRICAL SHEETS (05-01-20)
37. CHANGED PENDANT LIGHTS OVER ISLAND TO OPTIONAL (05-01-20)
38. ADDED STANDARD 2-BULB (2x4) FLUORESCENT LIGHT IN KITCHEN (05-01-20)
39. FLOOD LIGHTS SHOWN AS OPTIONAL (05-01-20)
40. VERIFIED COACH LIGHT LOCATIONS (05-01-20)
41. UPDATED TOTAL UNDER ROOF VENT CALCULATIONS (05-01-20)

Oakmont 83

H&H HOMES
ROOSEVELT

DATE: APRIL 26, 2017
REV: MAY 01, 2020
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ENGINEERED BY:
REVIEWED BY:

CS

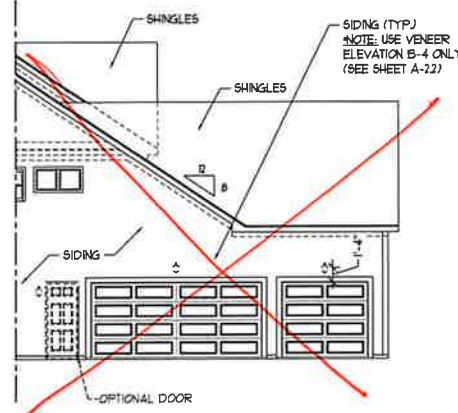


COLUMN DETAIL

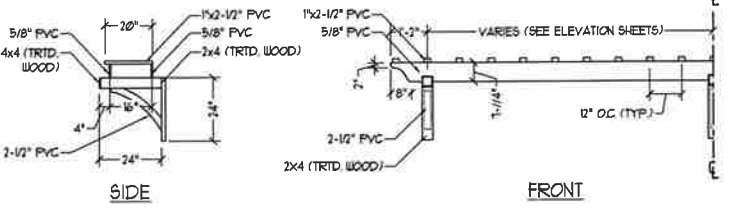
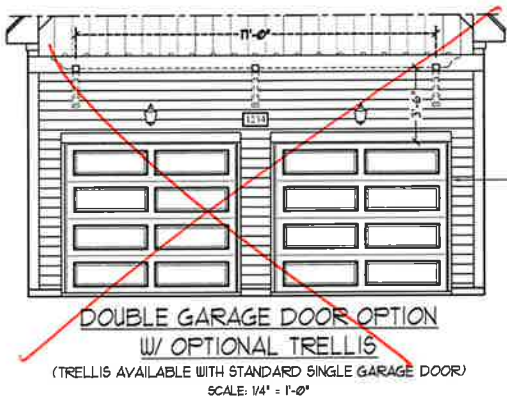
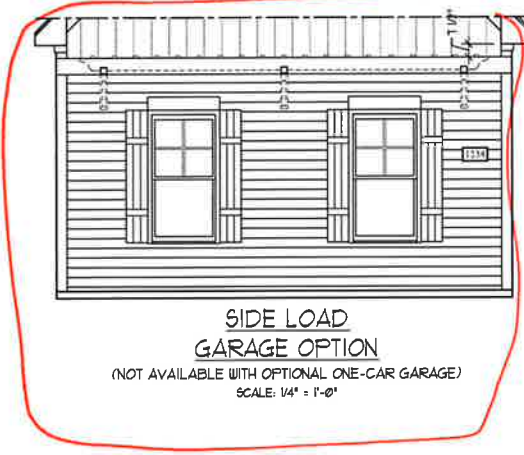
Colonial Raised Panel White door

FRONT ELEVATION-B
SCALE: 1/4" = 1'-0"

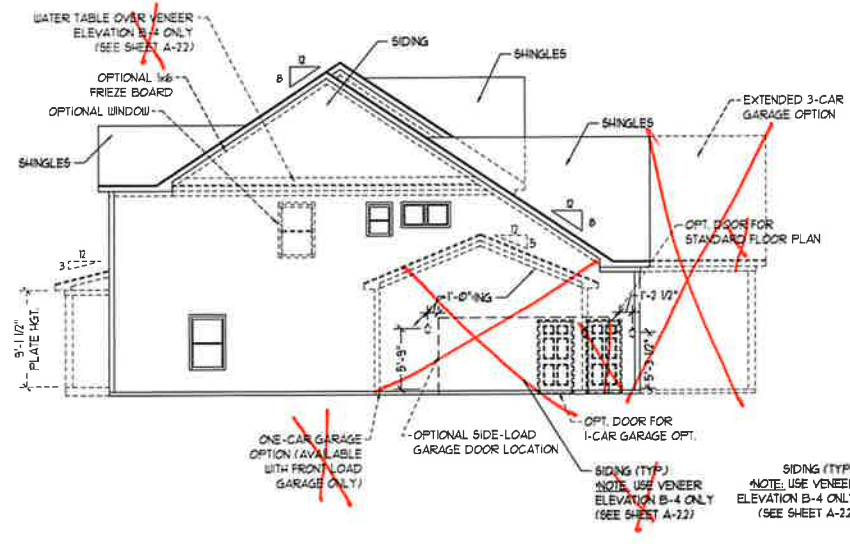
NOTE:
SEE SHEET A-2.1 FOR BRICK FRONT ELEVATIONS
SEE SHEET A-2.2 FOR STONE FRONT ELEVATIONS
SEE SHEET A-2.3 (ALL BRICK) ELEVATIONS



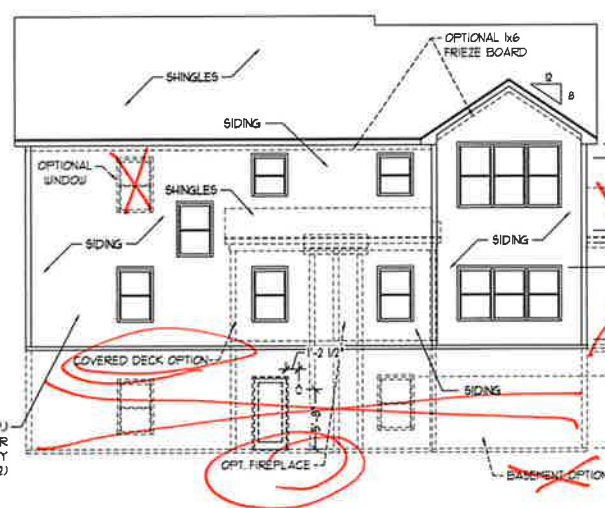
PARTIAL ELEVATION
W/ THREE CAR GARAGE OPTION
SCALE: 1/8" = 1'-0"



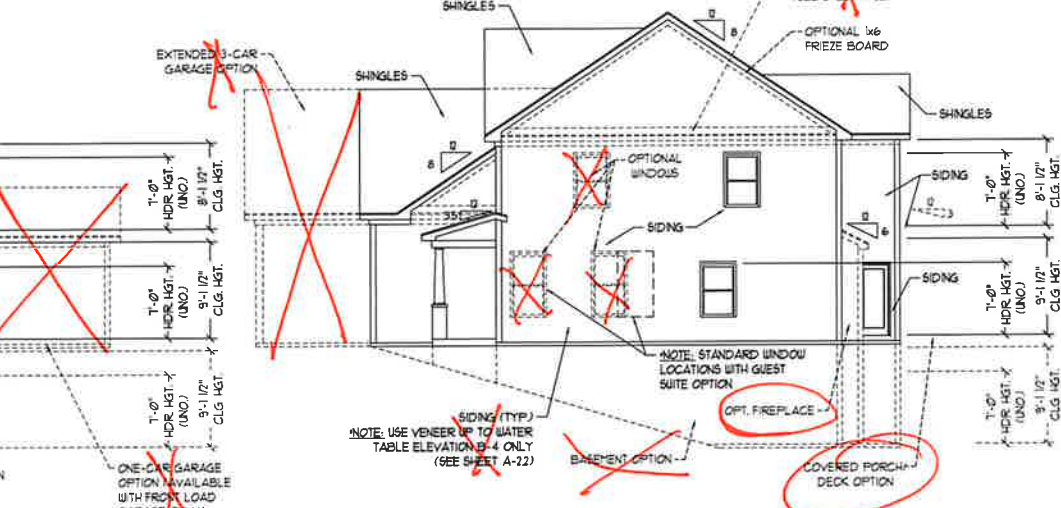
OPTIONAL TRELLIS DETAIL
SCALE NTS



SIDE ELEVATION
SCALE: 1/8" = 1'-0"



REAR ELEVATION
SCALE: 1/8" = 1'-0"



SIDE ELEVATION
SCALE: 1/8" = 1'-0"

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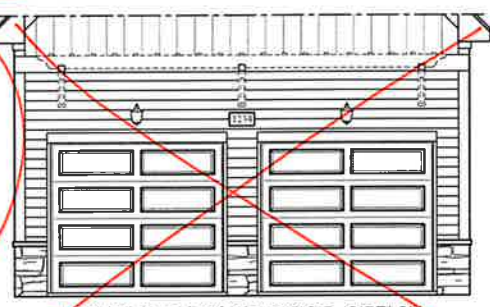
B-1 ELEVATION
A-2



FRONT ELEVATION-B-2
SCALE: 1/4" = 1'-0"



SIDE LOAD GARAGE OPTION
(NOT AVAILABLE WITH OPTIONAL ONE-CAR GARAGE)
SCALE: 1/4" = 1'-0"



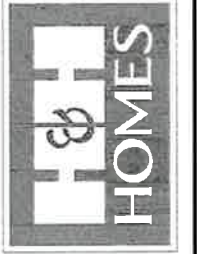
DOUBLE GARAGE DOOR OPTION
W/ OPTIONAL TRELLIS
(TRELLIS AVAILABLE WITH STANDARD SINGLE GARAGE DOOR)
SCALE: 1/4" = 1'-0"



FRONT ELEVATION-B-3
SCALE: 1/4" = 1'-0"

VENEER LEDGE AS SPEC. (TYP.)

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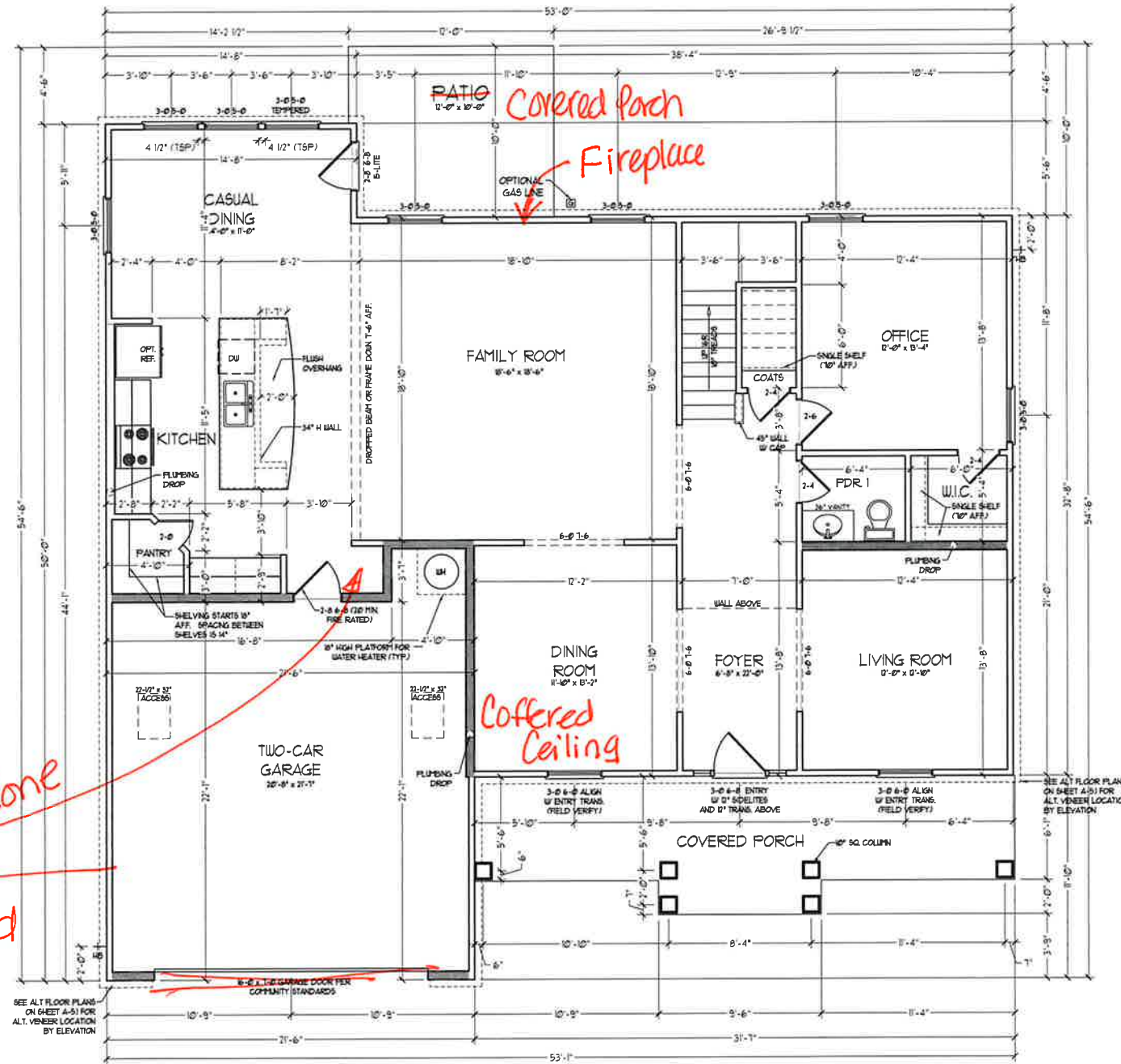


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ROOSEVELT

DATE: APRIL 26, 2017
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B-2 & B-3
ELEVATIONS W/
STONE
A-2.2



Drop Zone
Side load

FIRST FLOOR PLAN
(A-1)

SEE PARTIAL FLOOR PLANS ON SHEET A-5, A-6, A-7 FOR CHANGES TO THE EXTERIOR VENEER FOR ALL ELEVATIONS.

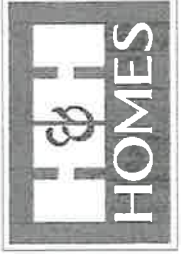
SQUARE FOOTAGE	
1st FLOOR:	1583 SQ. FT.
2nd FLOOR:	1893 SQ. FT.
TOTAL:	3,476 SQ. FT.
GARAGE:	
FRONT PORCH (A ELEVATIONS):	207 SQ. FT.
FRONT PORCH (B ELEVATIONS):	203 SQ. FT.
FRONT PORCH (C ELEVATIONS):	199 SQ. FT.
STANDARD REAR PATIO:	11 SQ. FT.
OPTIONAL BASEMENT:	
1st FLOOR OPTIONS:	1,435 SQ. FT.
OPTIONAL FIREPLACE:	10 SQ. FT.
UNHEATED OPTIONS:	
OPT 1-CAR GARAGE:	240 SQ. FT.
OPT 12'-0" X 10'-0" PATIO:	120 SQ. FT.
OPT COVERED REAR PORCH:	11 SQ. FT.
OPT 3-CAR SIDE ENTRY GARAGE:	1071 SQ. FT.

SQUARE FOOTAGE W/ FULL BRICK VENEER	
1st FLOOR:	1646 SQ. FT.
2nd FLOOR:	1917 SQ. FT.
TOTAL:	3563 SQ. FT.
GARAGE:	
FRONT PORCH (A ELEVATIONS):	207 SQ. FT.
FRONT PORCH (B ELEVATIONS):	203 SQ. FT.
FRONT PORCH (C ELEVATIONS):	199 SQ. FT.
STANDARD REAR PATIO:	11 SQ. FT.
OPTIONAL BASEMENT:	
1st FLOOR OPTIONS:	1,464 SQ. FT.
OPTIONAL FIREPLACE:	11 SQ. FT.
UNHEATED OPTIONS:	
OPT 1-CAR GARAGE:	259 SQ. FT.
OPT 12'-0" X 10'-0" PORCH:	120 SQ. FT.
OPT COVERED REAR PORCH:	11 SQ. FT.
OPT 3-CAR SIDE ENTRY GARAGE:	1460 SQ. FT.

NOTE: ALL EXTERIOR WALLS AND ATTIC WALLS ARE TO BE 2 x 4 @ 16" O.C. (UND). ALL INTERIOR LOAD BEARING WALLS ARE TO BE 2 x 4 @ 16" O.C. (UND) AND NON-LOAD BEARING INTERIOR WALLS ARE TO BE 2 x 4 @ 24" O.C. (UND).
2x6 WALL
* SHADED WALLS ARE TO BE 2 x 6 @ 16" O.C. (LOAD BEARING) OR 2 x 6 @ 24" O.C. (NON-LOAD BEARING) REGARDLESS OF EXTERIOR WALL CONDITION.

* PROVIDE MINIMUM INSULATION IN CEILINGS AND WALLS PER SECTION N 11021

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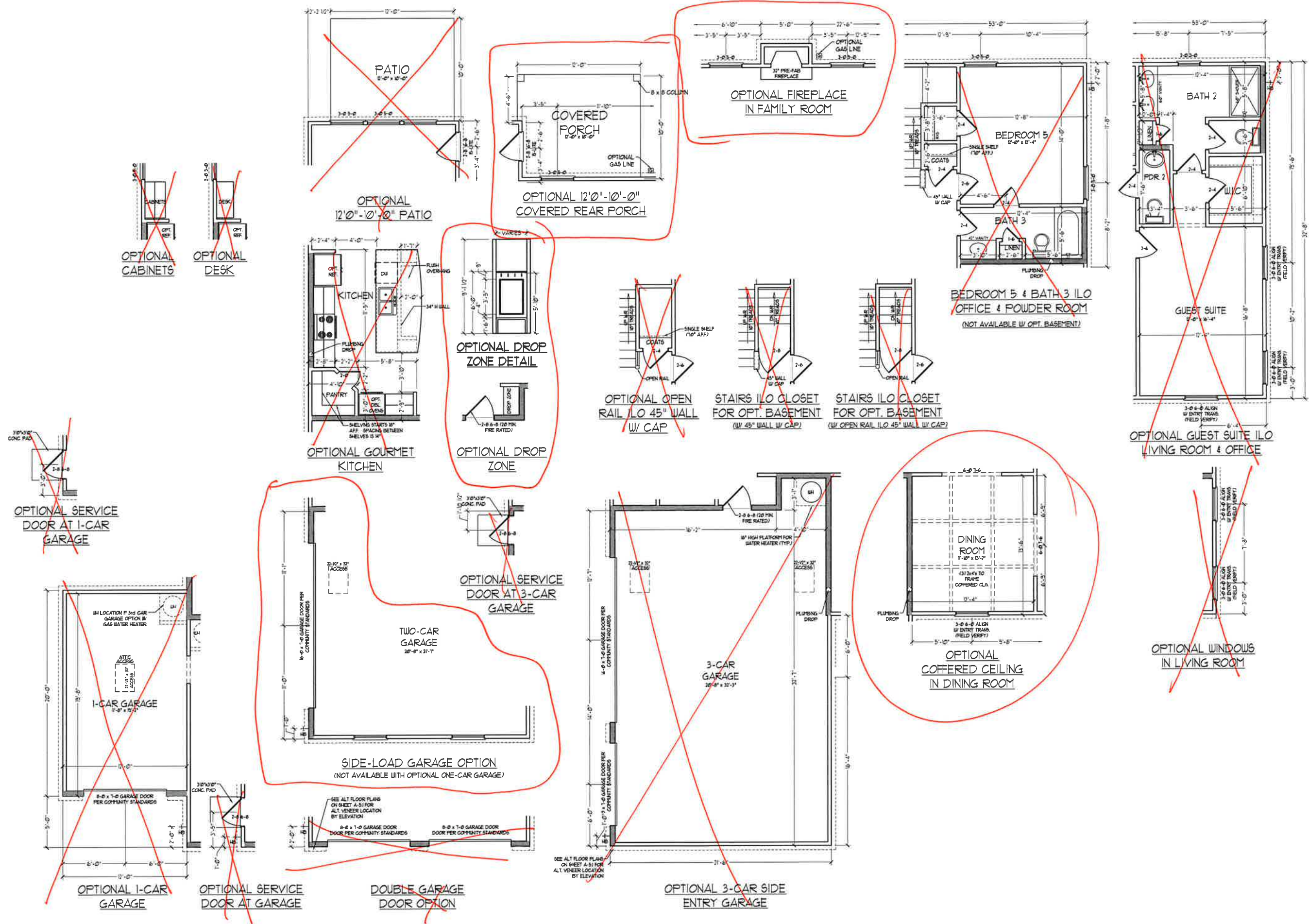


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ROOSEVELT

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REVIEWED BY:

FIRST FLOOR PLAN
A-6



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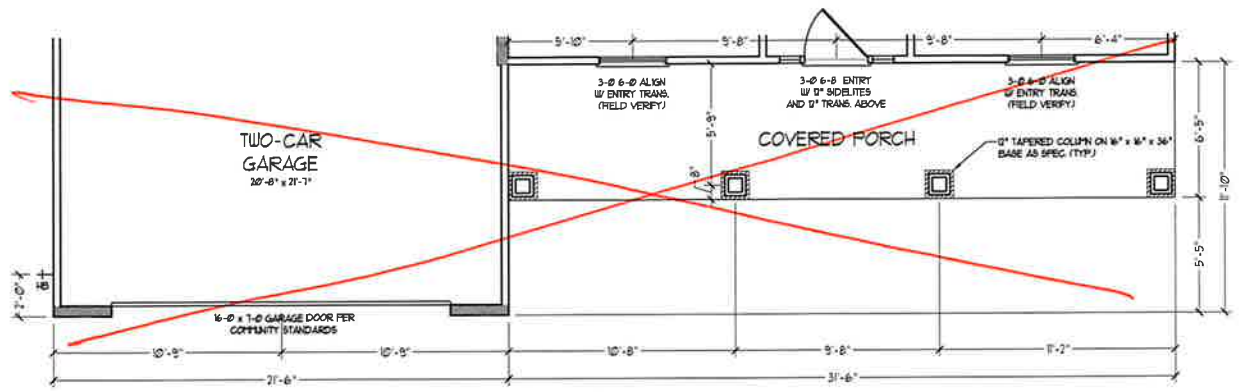


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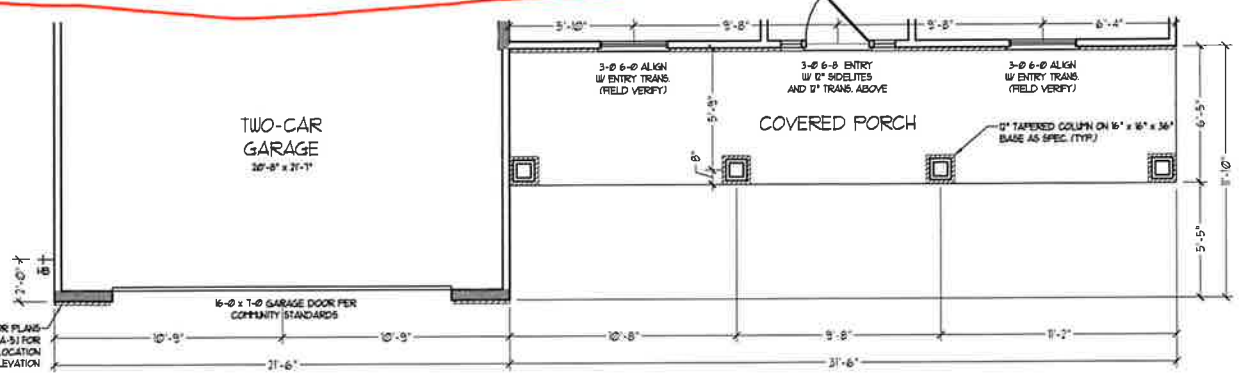
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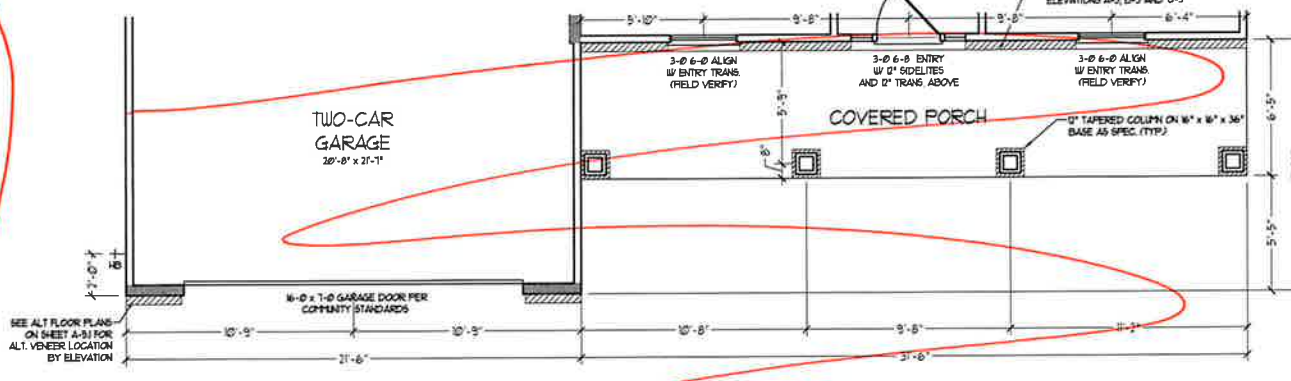
FIRST FLOOR PLAN OPTIONS
A-6.1



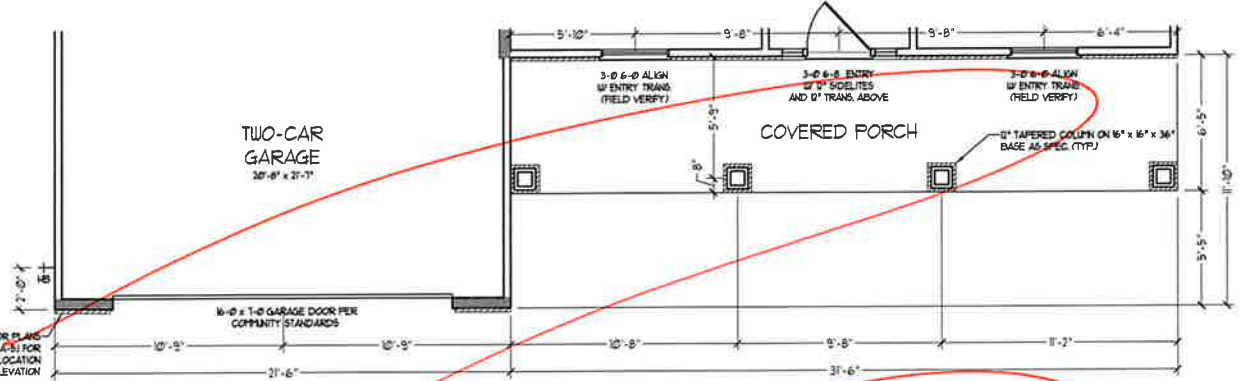
ELEVATION B-1



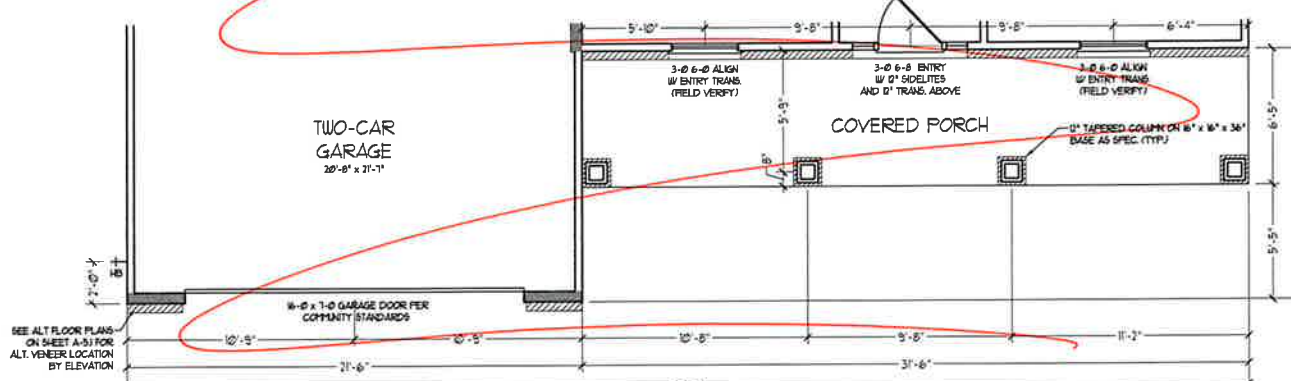
ELEVATION B-2
(WITH STONE)



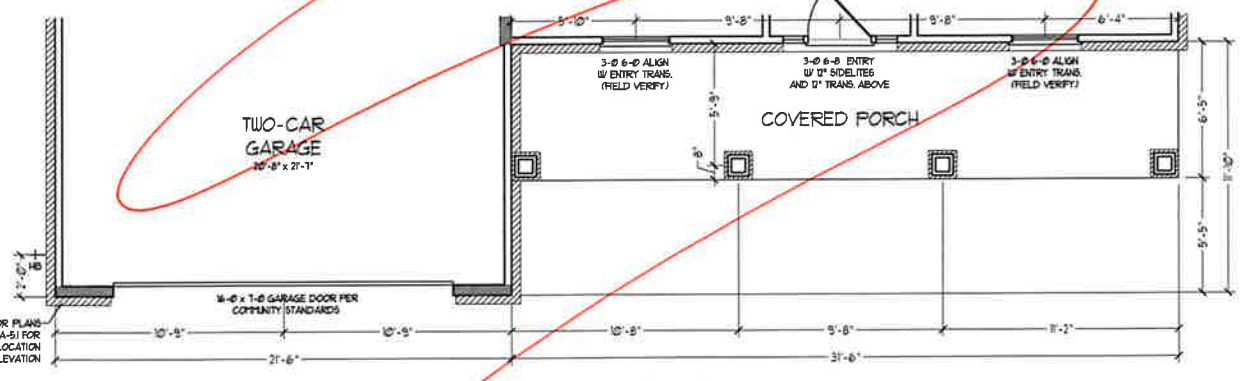
ELEVATION B-2
(WITH BRICK)



ELEVATION B-3
(WITH STONE)

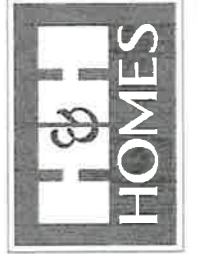


ELEVATION B-3
(WITH BRICK)



ELEVATION B-4
(WITH STONE)

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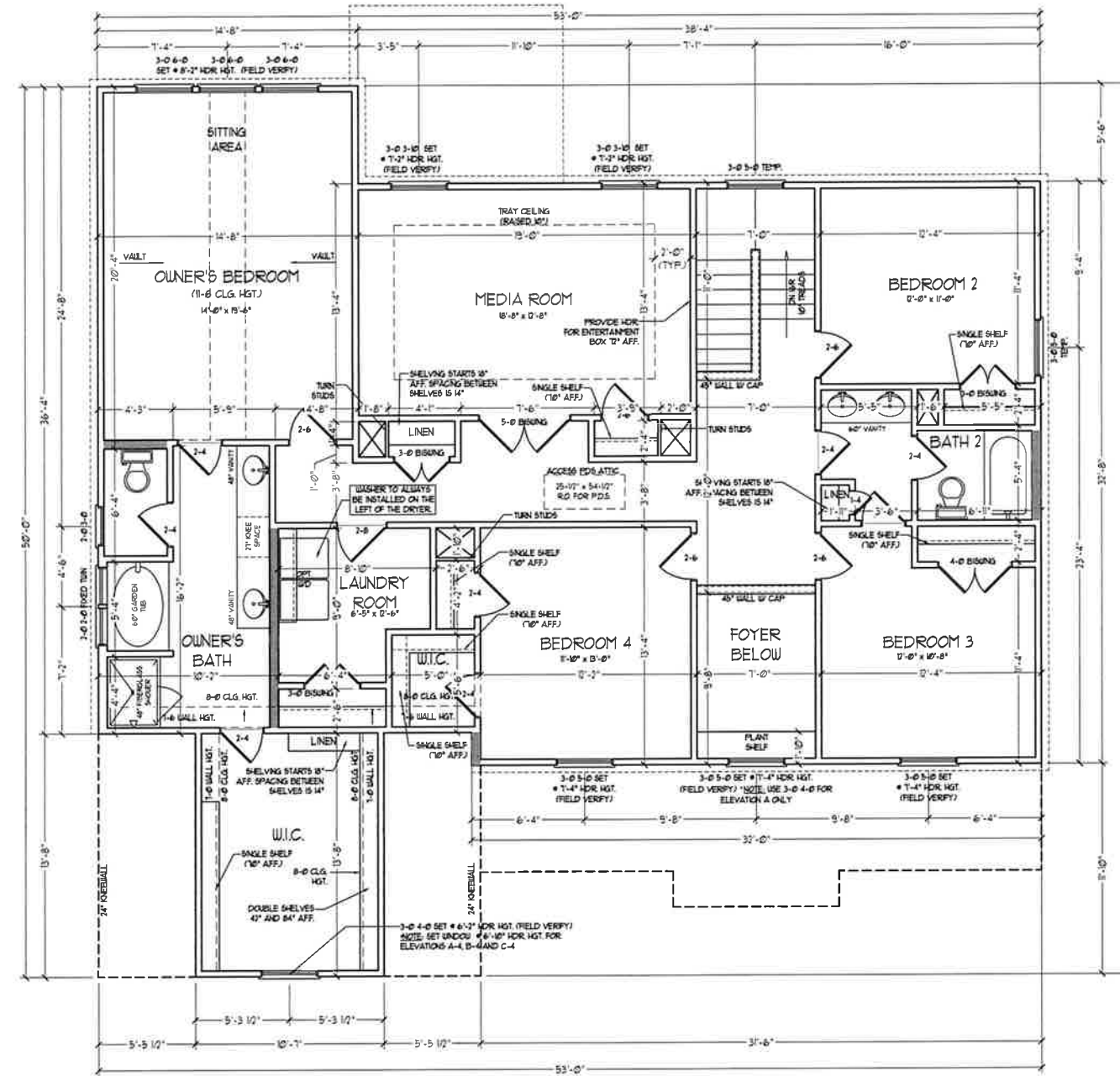


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 ROOSEVELT

DATE: APRIL 26, 2017
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 DRAWN BY:
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 FIRST FLOOR
 PARTIAL FLOOR PLANS -
 B ELEVATIONS

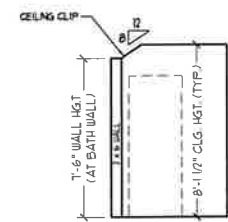
A-6.3



SECOND FLOOR PLAN

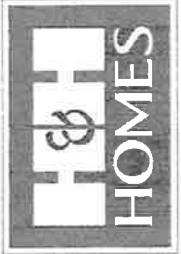
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2nd WALL

PROVIDE MINIMUM INSULATION IN CEILING AND WALLS PER SECTION N 1102J



CLIPPED CEILING OWNER'S BATH AND BEDROOM 4 BATH

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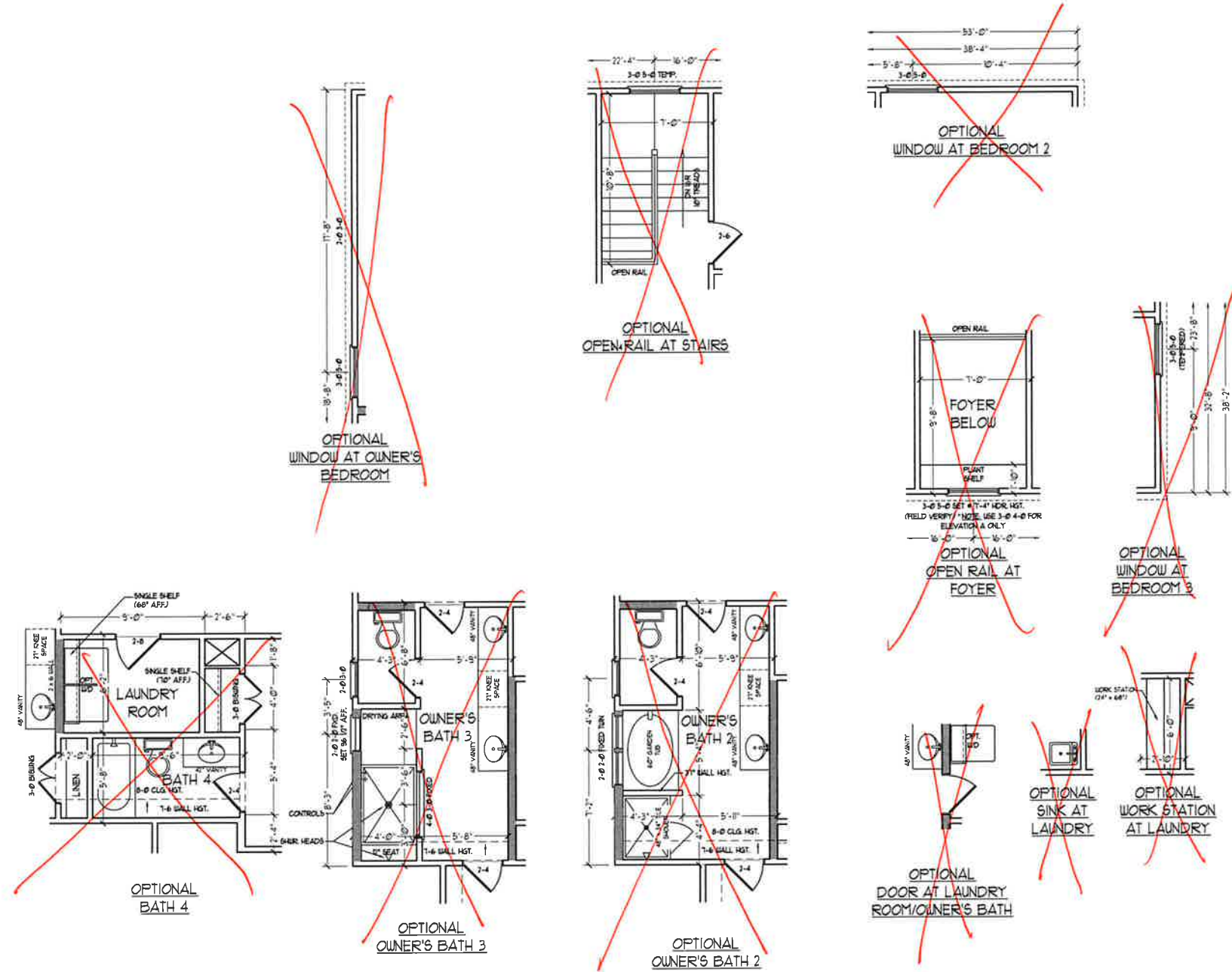


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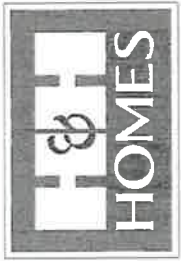
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REVIEWED BY:

SECOND FLOOR PLAN
A-7



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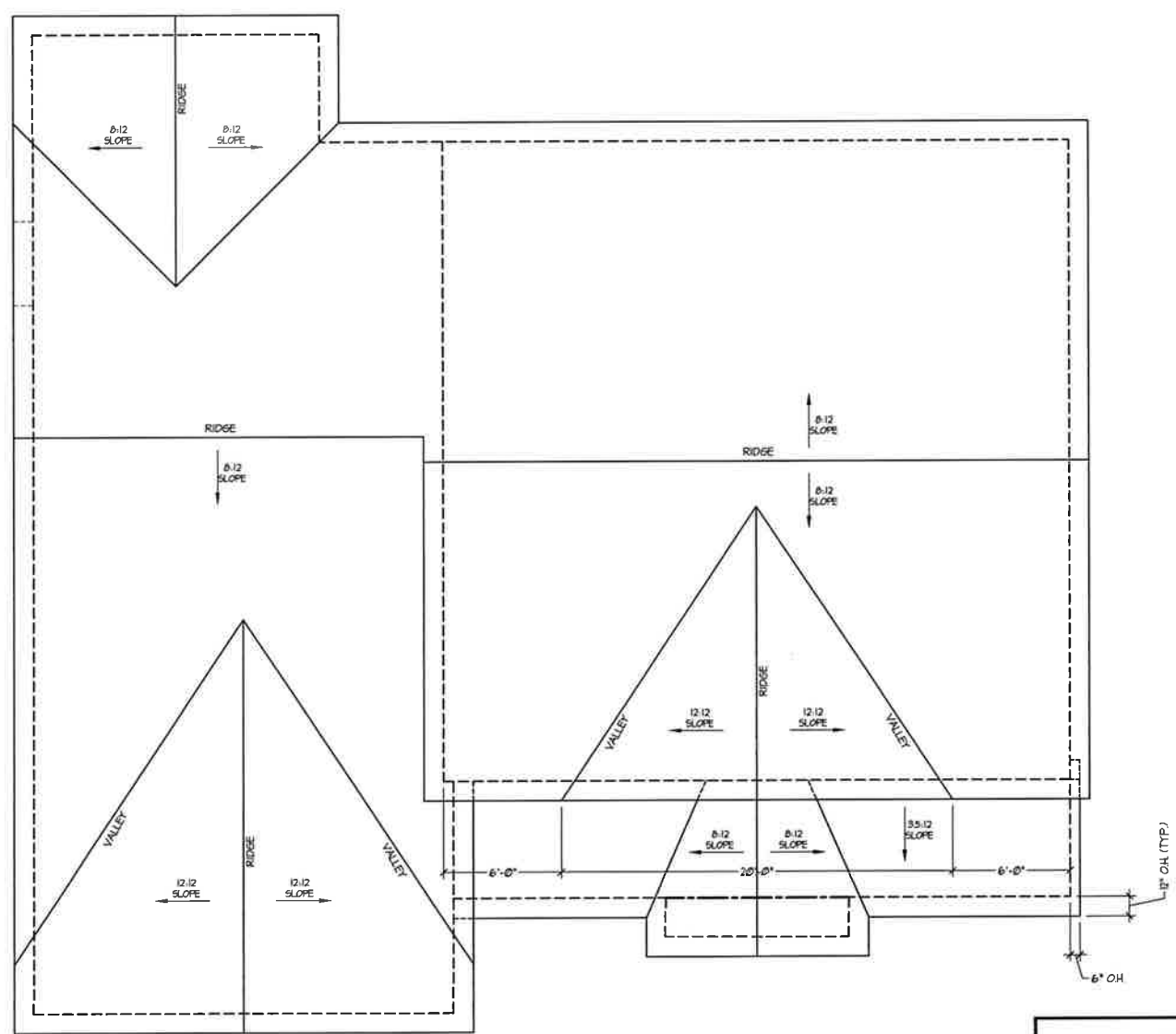


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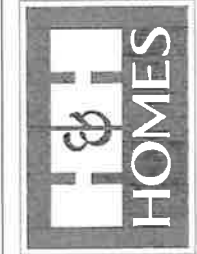
SECOND FLOOR
 PLAN - OPTIONS
 A-7.1



ROOF PLAN

TOTAL UNDER ROOF AREA:		1918	SQ. FT.
VENTING AREA REQUIRED:	1918 SQ. FT. / 300 =	6.39	SQ. FT.
TOTAL REQUIREMENTS:	LOWER: 3.19	UPPER: 3.19	
LOWER AREA VENTING			
SOFFIT VENT	SIZE:	PER UNIT:	# UNITS: PROVIDED:
	-	.041 SF/LF	79'-0" 3.239
LOWER AREA VENTING PROVIDED:			-
UPPER AREA VENTING			
RIDGE VENT	SIZE:	PER UNIT:	# UNITS: PROVIDED:
	-	.125 SF/LF	82'-0" 10.25
UPPER AREA VENTING PROVIDED:			-
TOTAL AREA PROVIDED			
SOFFIT AND RIDGE VENT			13.489

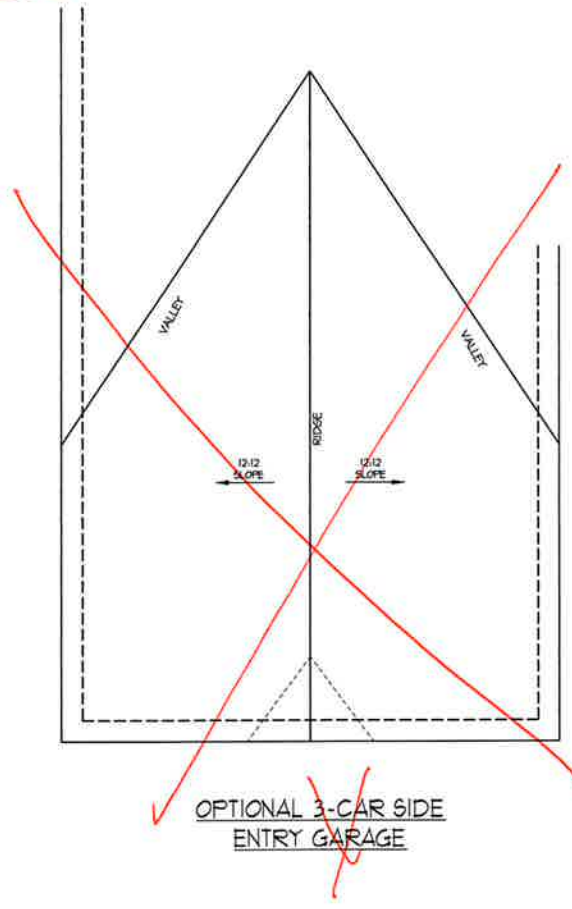
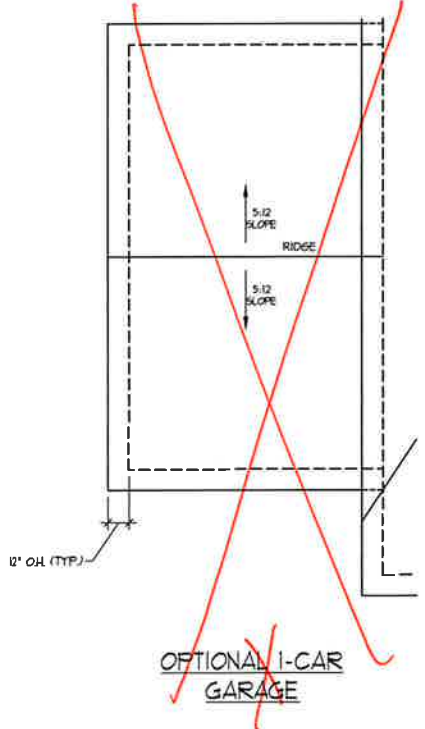
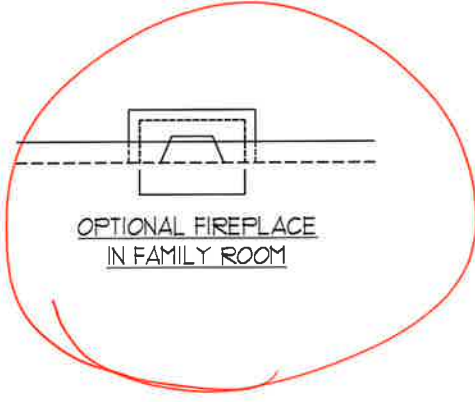
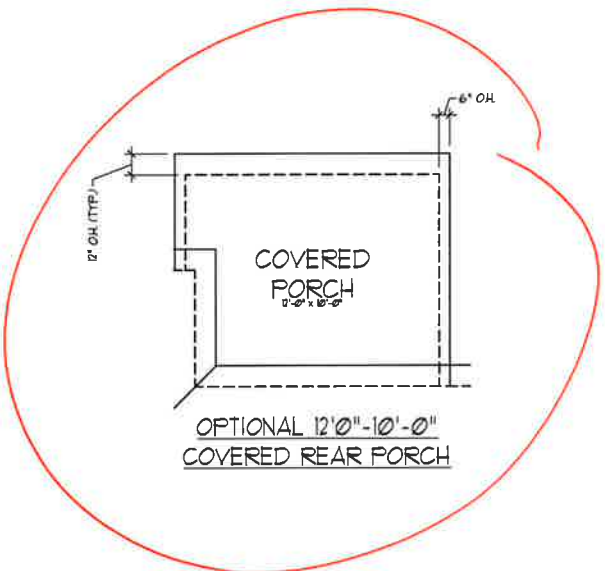
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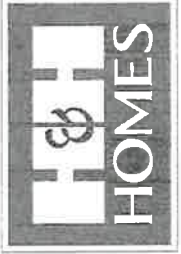
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H&H HOMES, INC.
 ROOSEVELT

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 ENGINEERED BY:
 REVIEWED BY:



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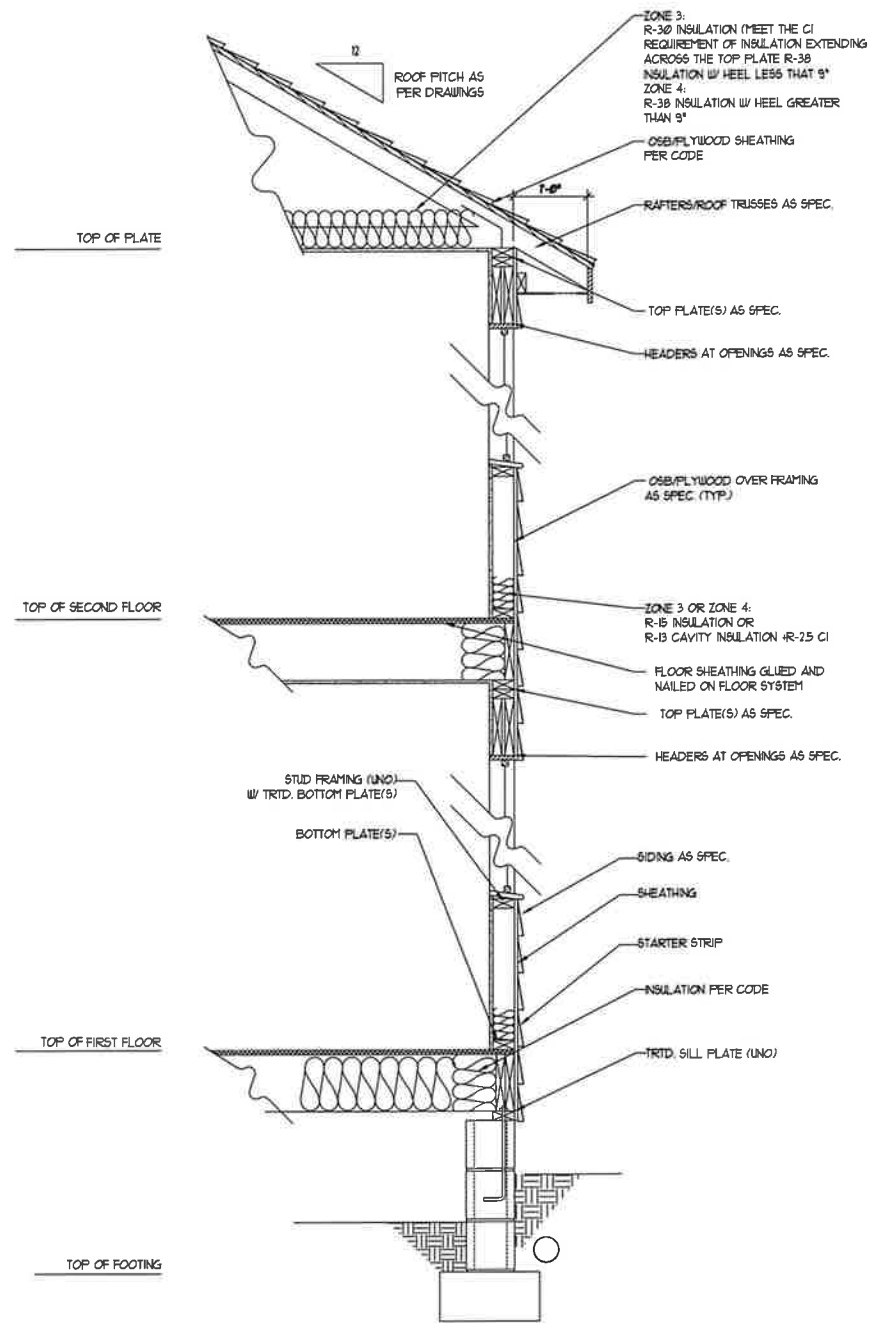


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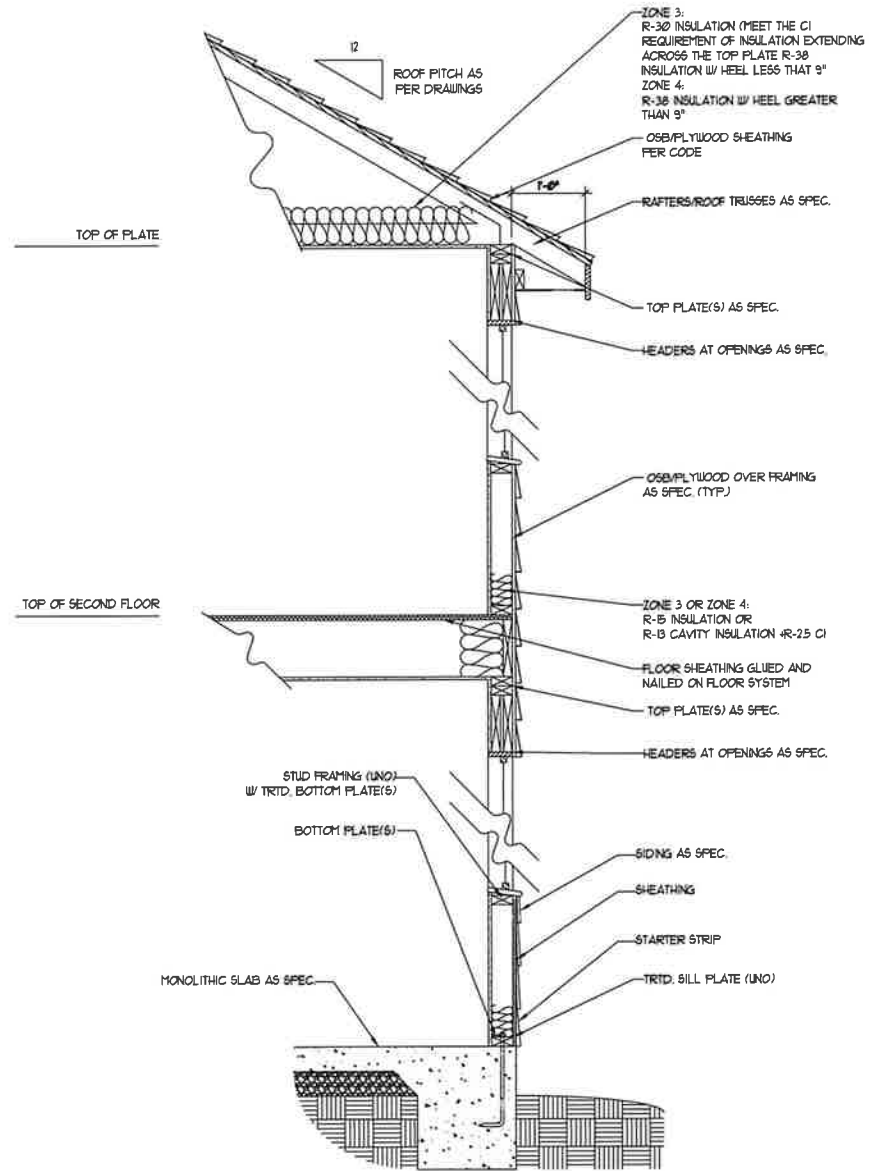
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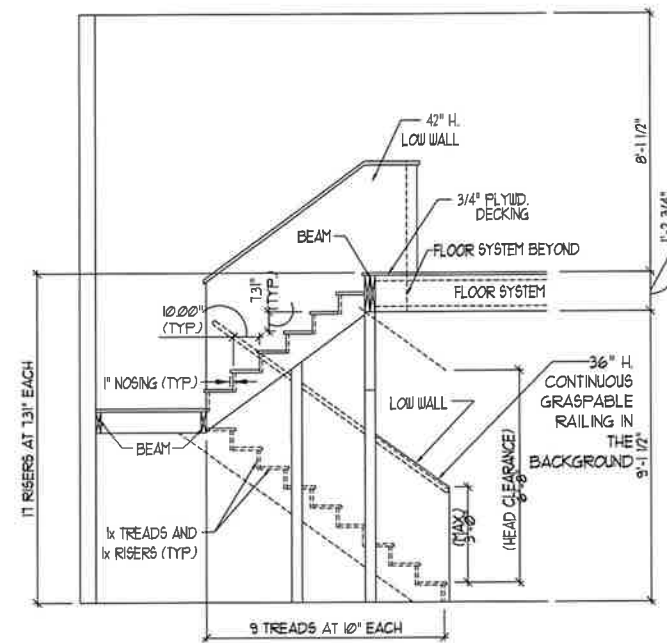
ROOF PLANS -
OPTIONS
A-8.2



WALL SECTION W/ CRAWL SPACE
W/ STD. SIDING SHOWN (NTS)



WALL SECTION W/ SLAB
W/ STD. SIDING SHOWN (NTS)



TYPICAL STAIR DETAIL
(NTS)

* * * * *

STAIR NOTES

RAILING:

BALUSTERS SHALL BE SPACED SO THAT A 4" SPHERE CANNOT PASS THROUGH.

THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD AT THE OPEN SIDE OF A STAIRWAY ARE PERMITTED TO BE A SUCH A SIZE THAT A SPHERE OF 6 INCHES CANNOT PASS THROUGH.

OPENINGS FOR REQUIRED GUARDS ON THE SIDES OF STAIR TREADS SHALL NOT ALLOW A SPHERE 4 3/8 INCHES TO PASS THROUGH.

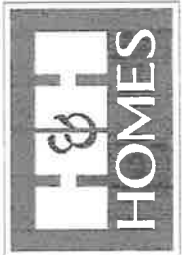
HANDRAILS:

HANDRAILS FOR STAIRWAYS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT, FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A POINT DIRECTLY ABOVE THE LOWEST RISER. HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEUSE POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1-1/2 INCH BETWEEN THE WALL AND HANDRAILS.

CONTINUOUS GRASPABLE HANDRAIL MUST MEET TYPE ONE OR TYPE TWO CRITERIA

* * * * *

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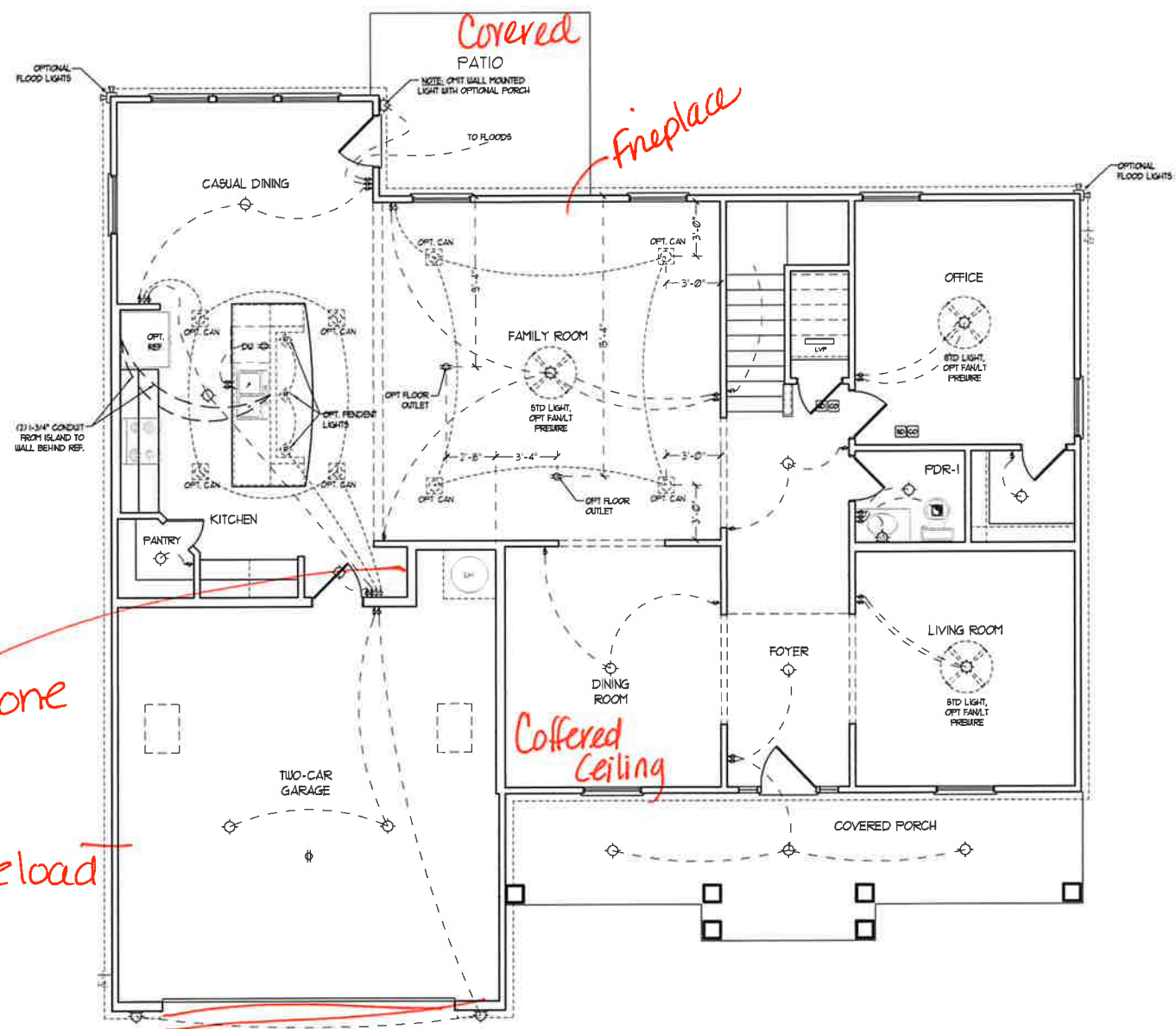
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DRAWN BY:
ENGINEERED BY:
REVIEWED BY:

WALL SECTIONS
AND STAIR
DETAIL

AD-1



- ELECTRICAL LAYOUT NOTES:**
- 1) BLOCK AND WIRE FOR ALL CEILING FANS PER PLAN
 - 2) VANDY LIGHTS TO BE SET @ 50" AFF. (TYP.)
 - 3) ADDITIONAL EXTERIOR OUTLETS REQUIRED BY CODE TO BE LOCATED BY ELECTRICIAN
 - 4) PLACE SWITCHES 8" MINU FROM ROUGH OPENINGS

ELECTRICAL LEGEND

	NO V OUTLET
	WALL MOUNT LIGHT
	CEILING MOUNT LIGHT
	PENDANT LIGHT
	RECESSED CAN LIGHT
	MINI CAN LIGHT
	EYEBALL LIGHT
	FLUORESCENT LIGHT
	2 LAMP, 4' FLUORESCENT LIGHT
	FLOOD LIGHT
	SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	DIMMER SWITCH
	CONDUIT FOR COMPONENT WIRING
	SPEAKER
	DOORBELL CHIME
	NO V SMOKE DETECTOR
	CO DETECTOR
	EXHAUST FAN
	LOW VOLTAGE PANEL
	CEILING FAN
	CEILING FAN W/ LIGHT

FIRST FLOOR PLAN
(A-1)

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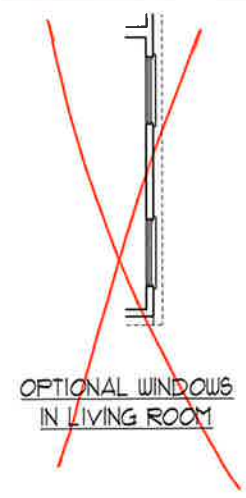
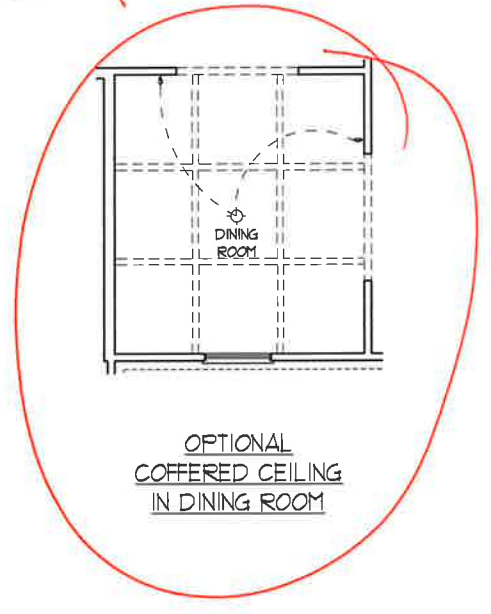
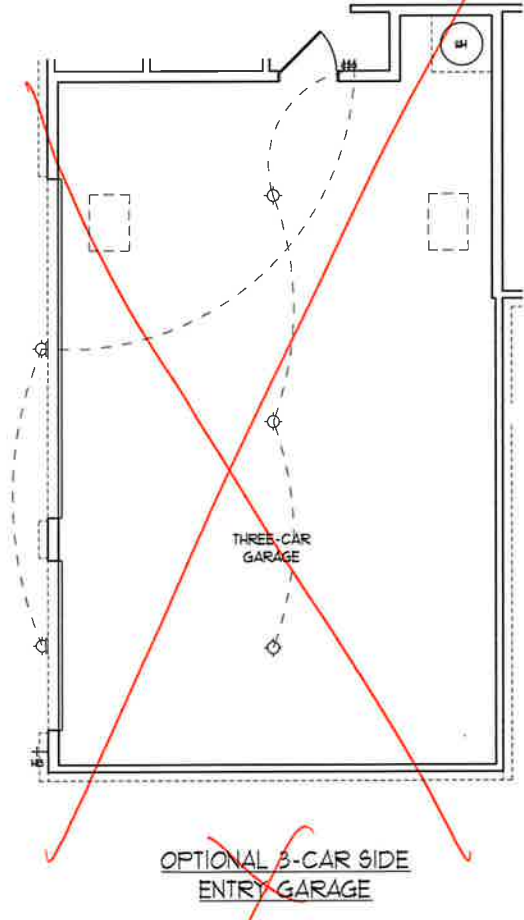
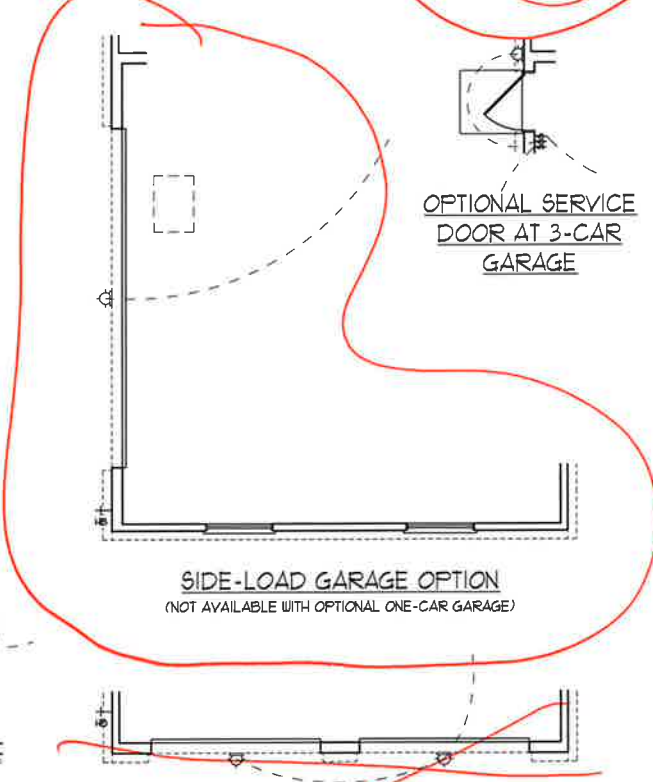
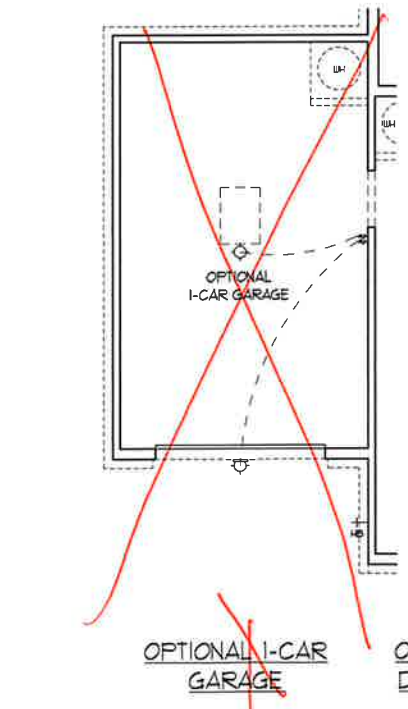
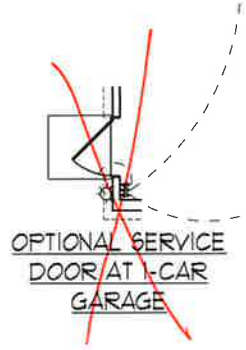
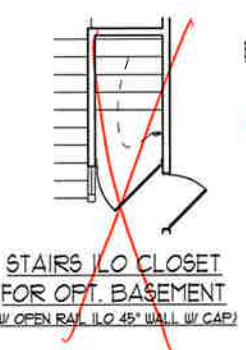
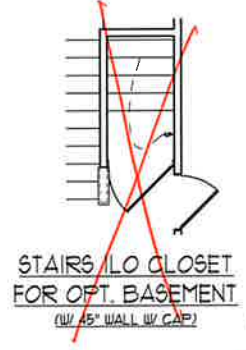
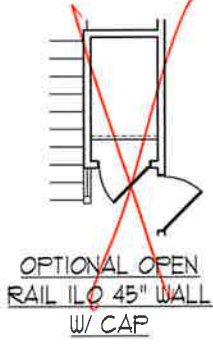
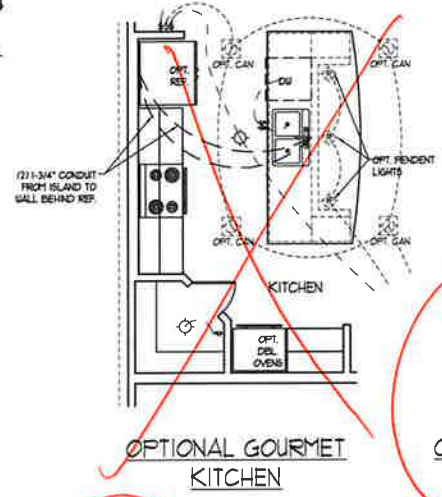
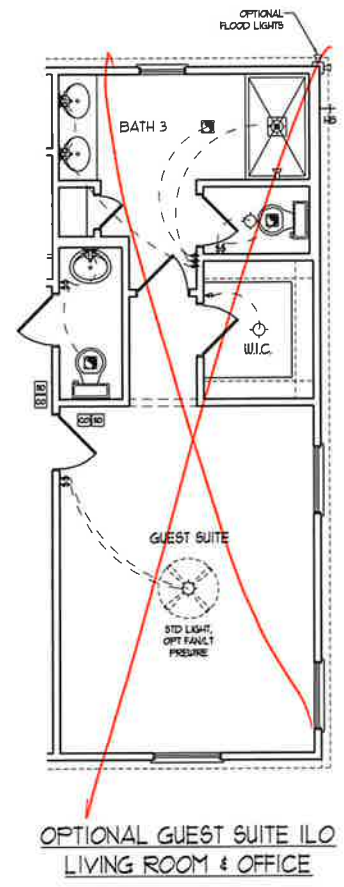
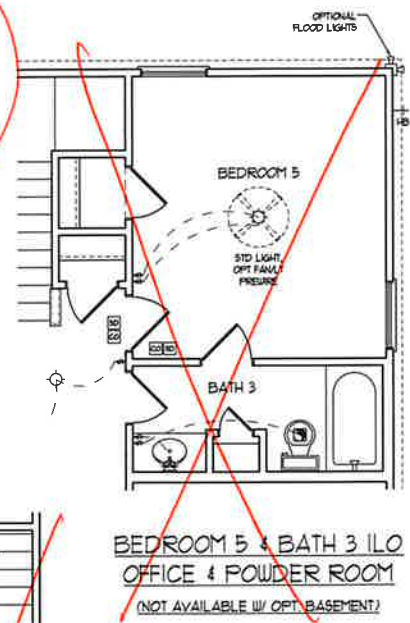
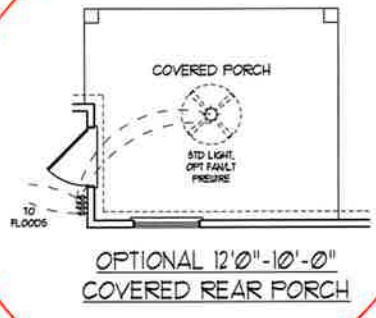
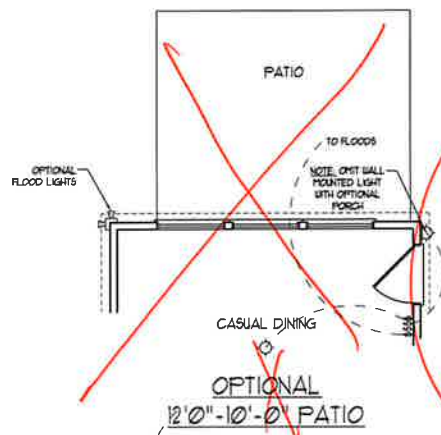
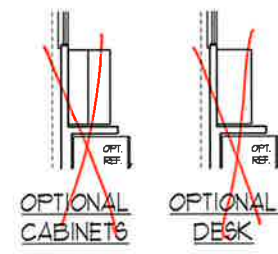
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ROOSEVELT

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 ENGINEERED BY:
 REVIEWED BY:

FIRST FLOOR ELECTRICAL PLAN

E-1



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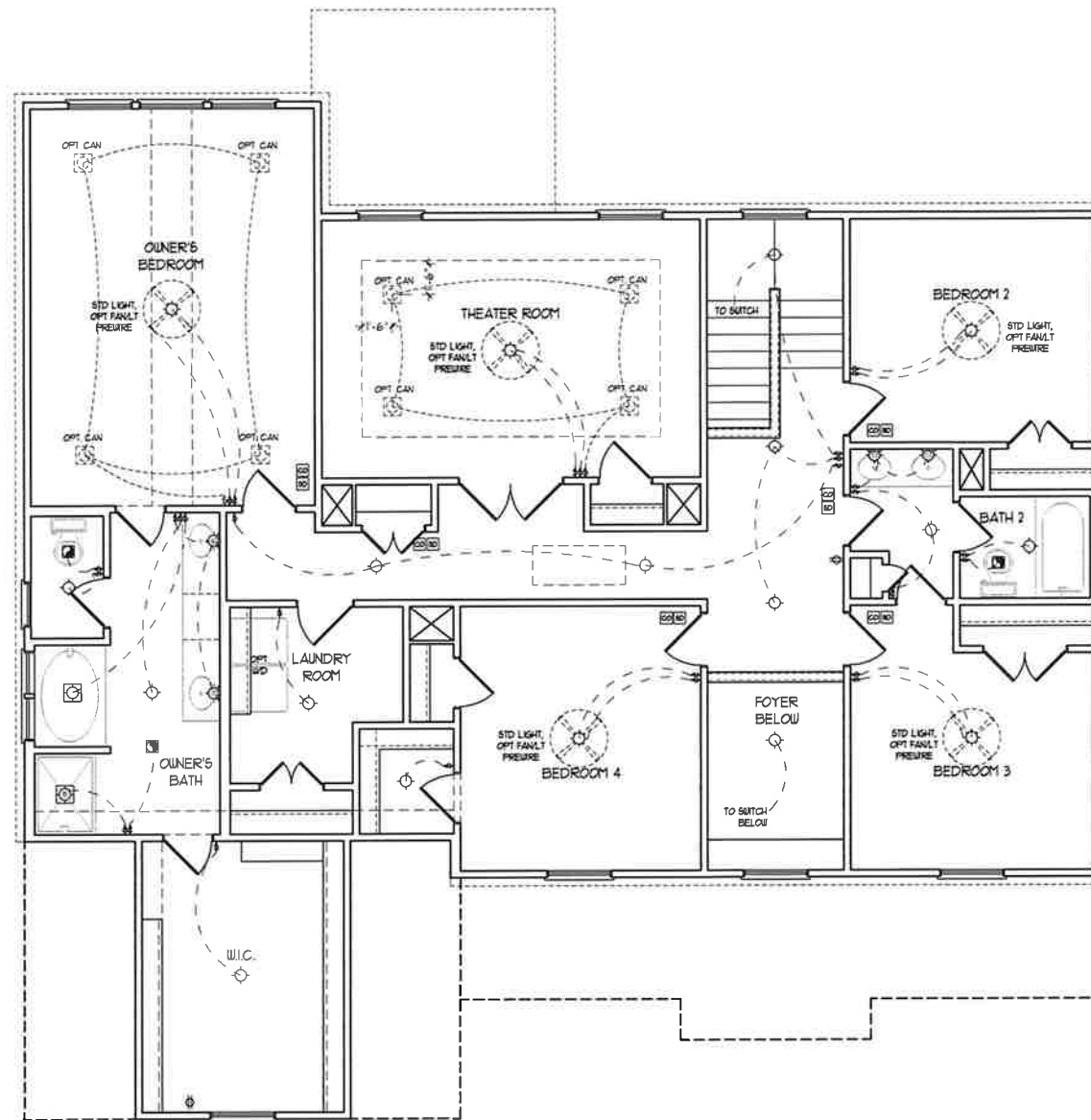


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ENGINEERED BY:
REVIEWED BY:

F.F. ELECTRICAL
PLAN OPTIONS
E-1.1



SECOND FLOOR PLAN

- ELECTRICAL LAYOUT NOTES:**
- 1) BLOCK AND WIRE FOR ALL CEILING FANS PER PLAN.
 - 2) VANITY LIGHTS TO BE SET @ 30" AFF. (TYP.)
 - 3) ADDITIONAL EXTERIOR OUTLETS REQUIRED BY CODE TO BE LOCATED BY ELECTRICIAN.
 - 4) PLACE SWITCHES 8" FROM ROUGH OPENINGS.

ELECTRICAL LEGEND	
	120 V OUTLET
	WALL MOUNT LIGHT
	CEILING MOUNT LIGHT
	PENDANT LIGHT
	RECESSED CAN LIGHT
	MINI CAN LIGHT
	EYEBALL LIGHT
	FLUORESCENT LIGHT
	7 LAMP, 4' FLUORESCENT LIGHT
	FLOOD LIGHT
	SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	DIMMER SWITCH
	CONDUIT FOR COMPONENT WIRES
	SPEAKER
	DOORBELL CHIME
	120 V SMOKE DETECTOR
	CO DETECTOR
	EXHAUST FAN
	LOW VOLTAGE PANEL
	CEILING FAN
	CEILING FAN W/ LIGHT

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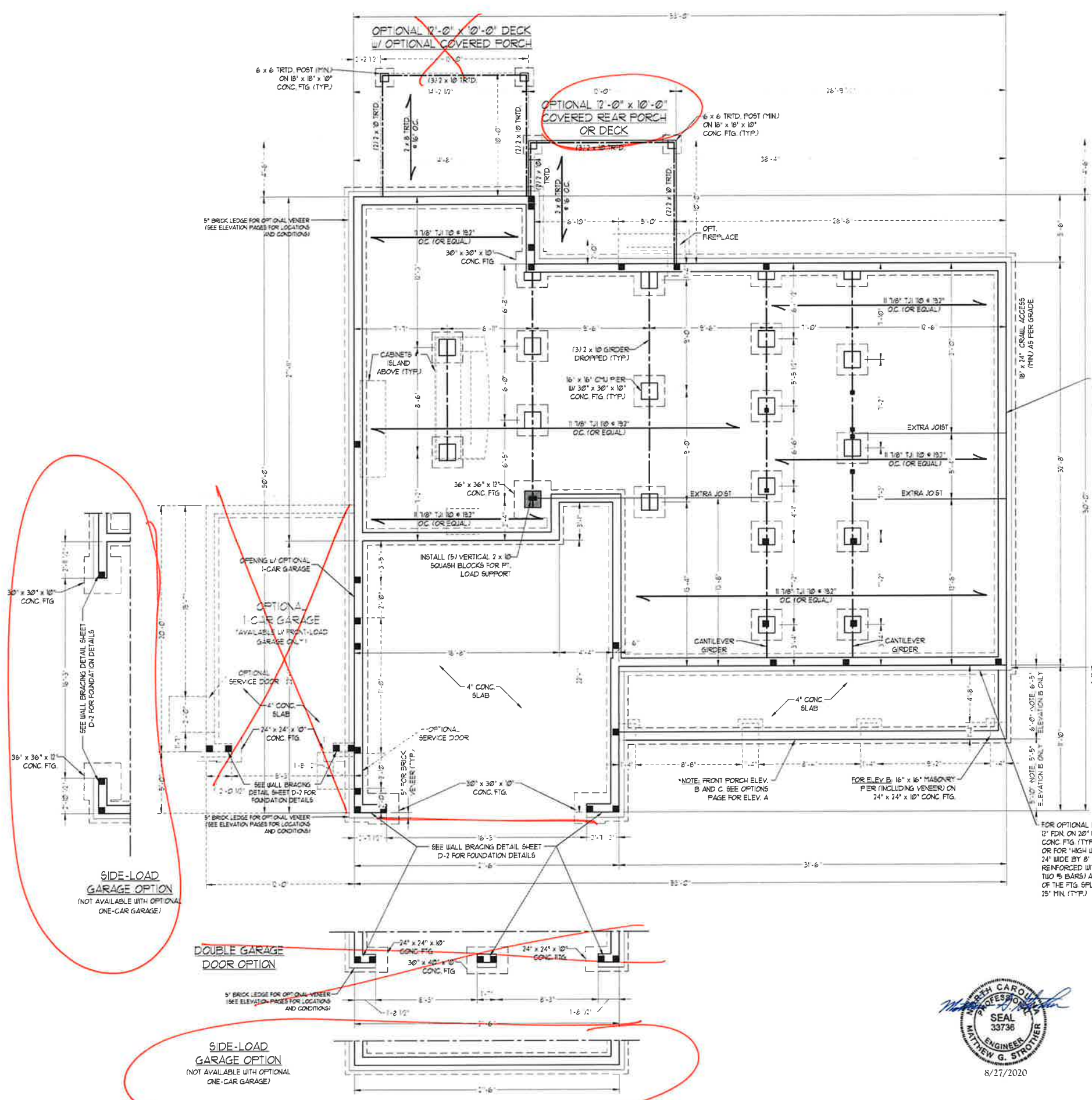


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SECOND FLOOR ELECTRICAL PLAN



FOUNDATION VENTILATION CALCULATION
 1769 SQ. FT. OF CRAWL SPACE DIVIDED BY 500 EQUALS 3.54 SQ. FT. OF NET FREE AREA REQUIRED. INSTALL 6 MIL. POLY TO COVER ENTIRE CRAWL SPACE. LOCATE VENTS WITHIN 3'-0" OF EACH CORNER OF THE BUILDING TO PROVIDE CROSS-VENTILATION.

80 MPH ULTIMATE DESIGN WIND SPEED NOTES FOR LESS THAN 30' MEAN ROOF HEIGHT

- ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS. ENGINEER'S SEAL DOES NOT CERTIFY DIMENSIONAL ACCURACY OR ARCHITECTURAL LAYOUT INCLUDING ROOF SYSTEM.
- STRUCTURAL DESIGN PER NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION.
- INSTALL 1/2" ANCHOR BOLTS 6'-0" O.C. AND WITHIN 1'-0" FROM END OF EACH CORNER. ANCHOR BOLTS MUST EXTEND A MINIMUM OF 1" INTO MASONRY OR CONCRETE. LOCATE BOLT WITH MIDDLE THIRD OF PLATE WIDTH.
- MEAN ROOF HEIGHT IS LESS THAN 30 FEET.
- EXTERIOR WALLS DESIGNED FOR 80 MPH WINDS.
- WALL CLADDING DESIGNED FOR +5.5 PSF AND -18 PSF (-4" INDICATE POSITIVE / NEGATIVE PRESSURE (TYP)).
- ROOF CLADDING DESIGNED FOR 44.7 PSF AND -18 PSF FOR ROOF PITCHES 1/2 TO 2/12 AND 1/4 PSF AND -34 PSF FOR ROOF PITCHES 2/12 TO 1/12.
- INSTALL 7/8" OSB SHEATHING ON ALL EXTERIOR WALLS OF ALL STOREYS IN ACCORDANCE WITH SECTION R607.3 OF THE NRC, 2018 EDITION. SEE THE WALL BRACING NOTES AND DETAILS SHEET FOR MORE INFORMATION.
- ENERGY EFFICIENCY COMPLIANCE AND INSULATION VALUES OF THE BUILDING TO BE IN ACCORDANCE WITH CHAPTER 11 OF THE NRC, 2018 EDITION.
- REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.

50 MPH ULTIMATE DESIGN WIND SPEED NOTES FOR LESS THAN 30' MEAN ROOF HEIGHT

- ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS. ENGINEER'S SEAL DOES NOT CERTIFY DIMENSIONAL ACCURACY OR ARCHITECTURAL LAYOUT INCLUDING ROOF SYSTEM.
- STRUCTURAL DESIGN PER NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION WITH SPECIAL CONSIDERATION TO CHAPTER 45 ("HIGH WIND ZONES" FOR 50 MPH WINDS).
- BUILDER IS TO PROVIDE FRAMING CONNECTIONS AS REQUIRED BY CHAPTER 45 ("HIGH WIND ZONES" FOR 50 MPH WINDS) OF THE NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION.
- FOUNDATION ANCHORAGE TO COMPLY WITH SECTION 4504 OF THE NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION.
- MEAN ROOF HEIGHT IS LESS THAN 30 FEET.
- WALL CLADDING DESIGNED FOR +4.3 PSF AND -32 PSF (-4" INDICATE POSITIVE / NEGATIVE PRESSURE (TYP)).
- ROOF CLADDING DESIGNED FOR 42.2 PSF AND -18 PSF FOR ROOF PITCHES 1/2 TO 2/12 AND 1/4 PSF AND -31 PSF FOR ROOF PITCHES 2/12 TO 1/12.
- 7/8" OSB SHEATHING IS REQUIRED ON ALL EXTERIOR WALLS.
- WALLS TO BE BRACED IN ACCORDANCE WITH SECTION R607.3 OF THE NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION AND AS NOTED ON PLANS.
- ENERGY EFFICIENCY COMPLIANCE AND INSULATION VALUES OF THE BUILDING TO BE IN ACCORDANCE WITH CHAPTER 11 OF THE NRC, 2018 EDITION.

STRUCTURAL NOTES:

- ALL FRAMING LUMBER TO BE #2 SPF (UND). ALL TREATED LUMBER TO BE #1 SPF (UND).
- INSTALL AN EXTRA OR DOUBLE JOIST UNDER WALLS PARALLEL TO FLOOR JOISTS WHERE NOTED ON THE PLANS.
- SQUARES DENOTE POINT LOADS WHICH REQUIRE SOLID BLOCKING TO GIRDER OR FOUNDATION. SHADED PIERS TO BE FILLED SO, I.D.
- INSTALL LADDER WIRE # 16" O.C. TO SECURE MULTIPLE W/ THE FOUNDATION WALLS TOGETHER.
- REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.

NOTE: BCI 4500s-10 JOISTS MAY BE INSTALLED IN LIEU OF TJI 110 JOISTS AT THE DEPTH AND SPACING INDICATED ON THE PLAN

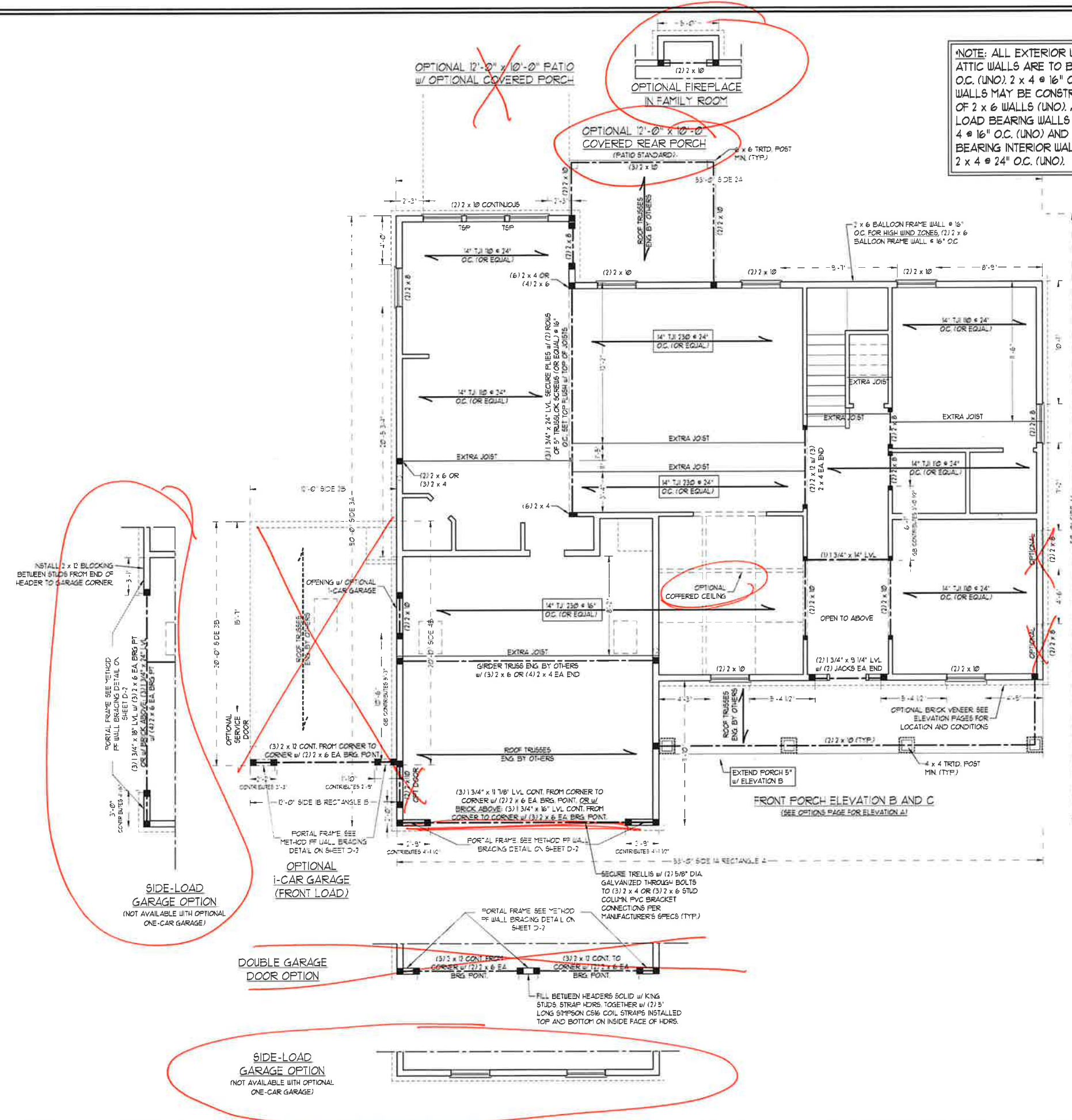


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ROOSEVELT H&H HOMES, INC.

DATE: AUGUST 27, 2020
 SCALE: 1/4" = 1'-0"
 DRAWN BY: H&H HOMES
 ENGINEERED BY: WJR

SHEET 1 OF 12
 S-1.1a
 CRAWL FOUNDATION PLAN



NOTE: ALL EXTERIOR WALLS AND ATTIC WALLS ARE TO BE 2 x 6 @ 16" O.C. (UNO). 2 x 4 @ 16" O.C. EXTERIOR WALLS MAY BE CONSTRUCTED IN LIEU OF 2 x 6 WALLS (UNO). ALL INTERIOR LOAD BEARING WALLS ARE TO BE 2 x 4 @ 16" O.C. (UNO) AND NON-LOAD BEARING INTERIOR WALLS ARE TO BE 2 x 4 @ 24" O.C. (UNO).

BRACED WALL DESIGN NOTES
1. BRACED WALL DESIGN PER SECTION R602.12 OF THE NRC 2018 EDITION.
2. CS-UBP REFERS TO CONTINUOUS SHEATHING - WOOD STRUCTURAL PANELS. CONTRACTOR IS TO INSTALL 7/16" OSB ON ALL EXTERIOR WALLS ATTACHED W/ 8d NAILS SPACED 6" O.C. ALONG PANEL EDGES AND 12" O.C. IN THE FIELD.

Table with 2 columns: RECTANGLE A and RECTANGLE B. Rows list side lengths and required/provided lengths for different methods (CS-UBP/PF).

Table: LINTEL SCHEDULE FOR BRICK/NATURAL STONE SUPPORT. Columns: LENGTH (FT.), SIZE OF LINTEL. Rows: UP TO 4 FT., 4-8, 8 AND GREATER.

BRICK SUPPORT NOTES
1. LINTEL SCHEDULE APPLIES TO ALL OPENINGS IN BRICK VENEER (UNO). SEE ARCH DETAILS FOR SIZE AND LOCATION OF OPENINGS.

STRUCTURAL NOTES
1. ALL FRAMING LUMBER TO BE SFF #2 (UNO). ALL TREATED LUMBER TO BE SFF #2 (UNO).
2. ALL LOAD BEARING HEADERS TO BE (2) 2 x 6 (UNO).

Table: TABLE R602.15 MINIMUM NUMBER OF FULL HEIGHT STUDS AT EACH END OF HEADERS IN EXTERIOR WALLS. Columns: HEADER SPAN (FEET), MAXIMUM STUD SPACING (INCHES) (PER TABLE R602.15).

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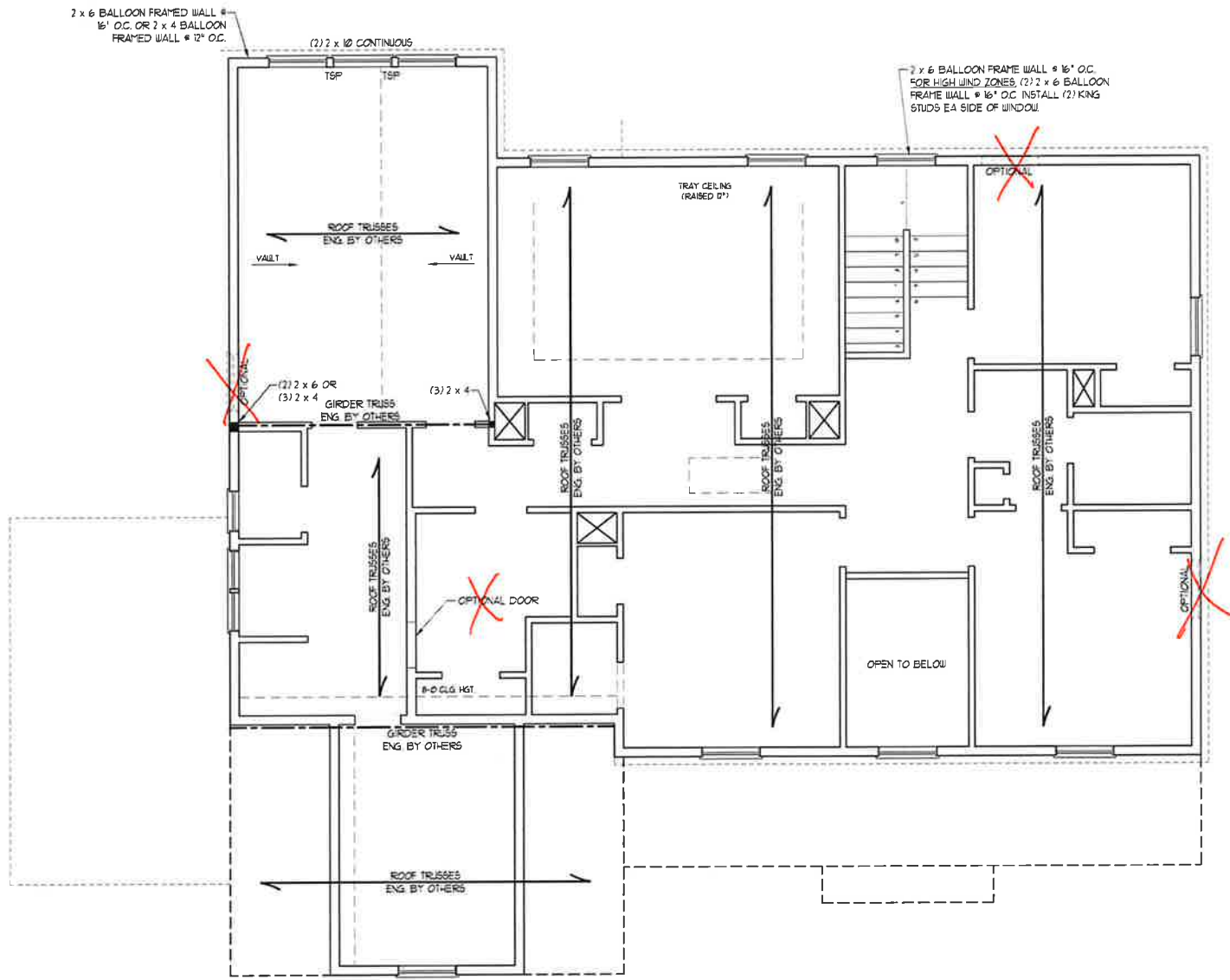
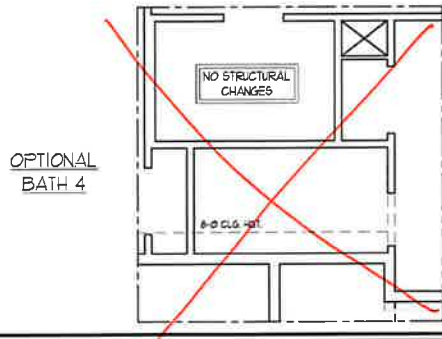
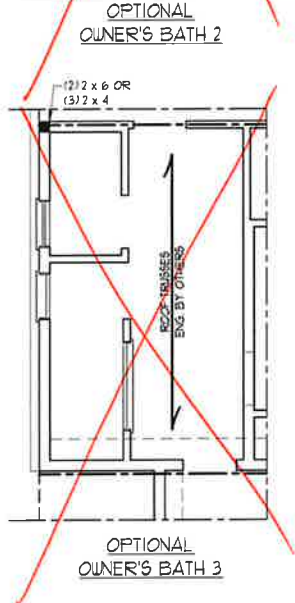
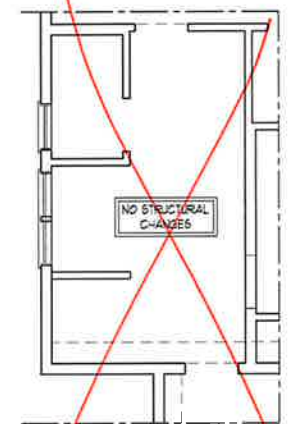
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SCALE: 1/4" = 1'-0"
DRAWN BY: H&H HOMES
ENGINEERED BY: WFB

- BRACED WALL DESIGN NOTES**
- BRACED WALL DESIGN PER SECT ON R602.10 OF THE NRC 2018 EDITION
 - CS-UBS REFERS TO CONTINUOUS SHEATHING - WOOD STRUCTURAL PANELS CONTRACTOR IS TO INSTALL 1/2" OSB ON ALL EXTERIOR WALLS ATTACHED W/ 8d NAILS SPACED 6" O.C. ALONG PANEL EDGES AND 12" O.C. IN THE FIELD.
 - GB REFERS TO GYPSUM BOARD CONTRACTOR IS TO INSTALL 1/2" (MIN.) GYPSUM WALL BOARD WHERE NOTED ON THE PLANS. FASTEN GB WITH 1 1/4" SCREWS OR 1 5/8" NAILS SPACED 12" O.C. ALONG PANEL EDGES AND IN THE FIELD INCLUDING TOP AND BOTTOM PLATES
 - BRACED WALL DESIGN APPLIED IN WIND ZONES UP TO 130 MPH. FOR HIGH WIND ZONES BRACE WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH CHAPTER 45 OF THE NRC 2018 EDITION. SEE NOTES AND DETAIL SHEETS FOR ADDITIONAL BRACED WALL INFORMATION

- NOTE:**
- PER SECTION R602.03.2 OF THE 2018 NRC THE AMOUNT OF BRACING ON THE SECOND FLOOR EXCEEDS THE AMOUNT REQUIRED FOR THE FIRST FLOOR AND NO BRACED WALL ANALYSIS IS REQUIRED
 - SHEATH ALL EXTERIOR WALLS WITH 1/2" OSB SHEATHING ATTACHED WITH 8d NAILS 2" @ 6" O.C. ALONG PANEL EDGES AND 12" O.C. IN THE FIELD.



***NOTE: ALL EXTERIOR WALLS AND ATTIC WALLS ARE TO BE 2 x 6 @ 16" O.C. (UNO). 2 x 4 @ 16" O.C. EXTERIOR WALLS MAY BE CONSTRUCTED IN LIEU OF 2 x 6 WALLS (UNO). ALL INTERIOR LOAD BEARING WALLS ARE TO BE 2 x 4 @ 16" O.C. (UNO) AND NON-LOAD BEARING INTERIOR WALLS ARE TO BE 2 x 4 @ 24" O.C. (UNO).**

LINTEL SCHEDULE FOR BRICK/NATURAL STONE SUPPORT

LENGTH (FT.)	SIZE OF LINTEL
UP TO 4 FT.	L 3 1/2 x 3 1/2 x 1/4
4-8	L 5 x 3 1/2 x 5/16 LLV
8 AND GREATER	L 6 x 4 x 5/16 LLV

- BRICK SUPPORT NOTES:**
- LINTEL SCHEDULE APPLIES TO ALL OPENINGS IN BRICK VENEER (UNO) SEE ARCH DETAILS FOR SIZE AND LOCATION OF OPENINGS
 - (LLV) = LONG LEG VERTICAL
 - LENGTH = CLEAR OPENING
 - EMBED ALL ANGLE IRONS MIN 4" EACH SIDE INTO VENEER TO PROVIDE BEARING.
 - FOR ALL HEADERS 8"-8" AND GREATER IN LENGTH, ATTACH STEEL ANGLE TO HEADER W/ 1/2" LAG SCREWS @ 12" O.C. STAGGERED.
 - FOR ALL BRICK SUPPORT @ ROOF LINES, FASTEN (2) 2 x 10 BLOCKING BETWEEN STUDS W/ (4) 12d NAILS PER PLY. FASTEN A 6" x 4" x 5/16" STEEL ANGLE TO (2) 2 x 10 BLOCKING W/ (2) 1/2" LAG SCREWS @ 12" O.C. STAGGERED. SEE SECTION R103.8.21 OF THE 2018 NRC FOR ADDITIONAL BRICK SUPPORT INFORMATION.
 - PRECAST REINFORCED CONCRETE LINTELS ENGINEERED BY OTHERS MAY BE USED IN LIEU OF STEEL LINTELS

- STRUCTURAL NOTES:**
- ALL FRAMING LUMBER TO BE SFF #2 (UNO)
 - ALL TREATED LUMBER TO BE SYP #2 (UNO)
 - ALL LOAD BEARING HEADERS TO BE (2) 2 x 6 (UNO).
 - WINDOW AND DOOR HEADERS TO BE SUPPORTED W/ (1) JACK STUD AND (1) KING STUD EA END (UNO). SEE TABLE R602.15 FOR ADDITIONAL KING STUD REQUIREMENTS.
 - SQUARES DENOTE POINT LOADS WHICH REQUIRE SOLID BLOCKING TO GIRDER OR FOUNDATION. ALL SQUARES TO BE (2) STUDS (UNO)
 - FOR HIGH WIND ZONES, ALL EXTERIOR WALLS TO BE SHEATHED WITH 1/2" OSB SHEATHING WITH JOINTS BLOCKED AND SECURED WITH 8d NAILS AT 3" O.C. ALONG EDGES AND 6" O.C. IN THE FIELD.
 - FOR HIGH WIND ZONES, SECURE ALL EXTERIOR WALL SHEATHING PANELS TO DOUBLE TOP PLATES, BANDS, JOISTS, AND GIRDERS WITH (2) ROWS OF 8d NAILS STAGGERED AT 3" O.C. PANELS SHALL EXTEND 12" BEYOND CONSTRUCTION JOINTS AND SHALL OVERLAP GIRDERS AND DOUBLE BILL PLATES THEIR FULL DEPTH.
 - SUPPORT GABLE WALLS NOT BRACED BY CEILING JOISTS OR FLOOR SYSTEM WITH 2 x 4 LATERAL BRACING INSTALLED ON TOP OF CEILING JOISTS OR TRUSS BOTTOM CHORDS AT 8'-0" O.C. AND EXTEND INWARD FROM GABLE WALLS 8'-0" MIN.
 - REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.

TSP - TRIPLE STUD POCKET

TABLE R602.15 MINIMUM NUMBER OF FULL HEIGHT STUDS AT EACH END OF HEADERS IN EXTERIOR WALLS

HEADER SPAN (FEET)	MAXIMUM STUD SPACING (INCHES) (PER TABLE R602.3.5)	
	16	24
UP TO 3'	1	1
4'	2	1
8'	3	2
12'	5	3
16'	6	4

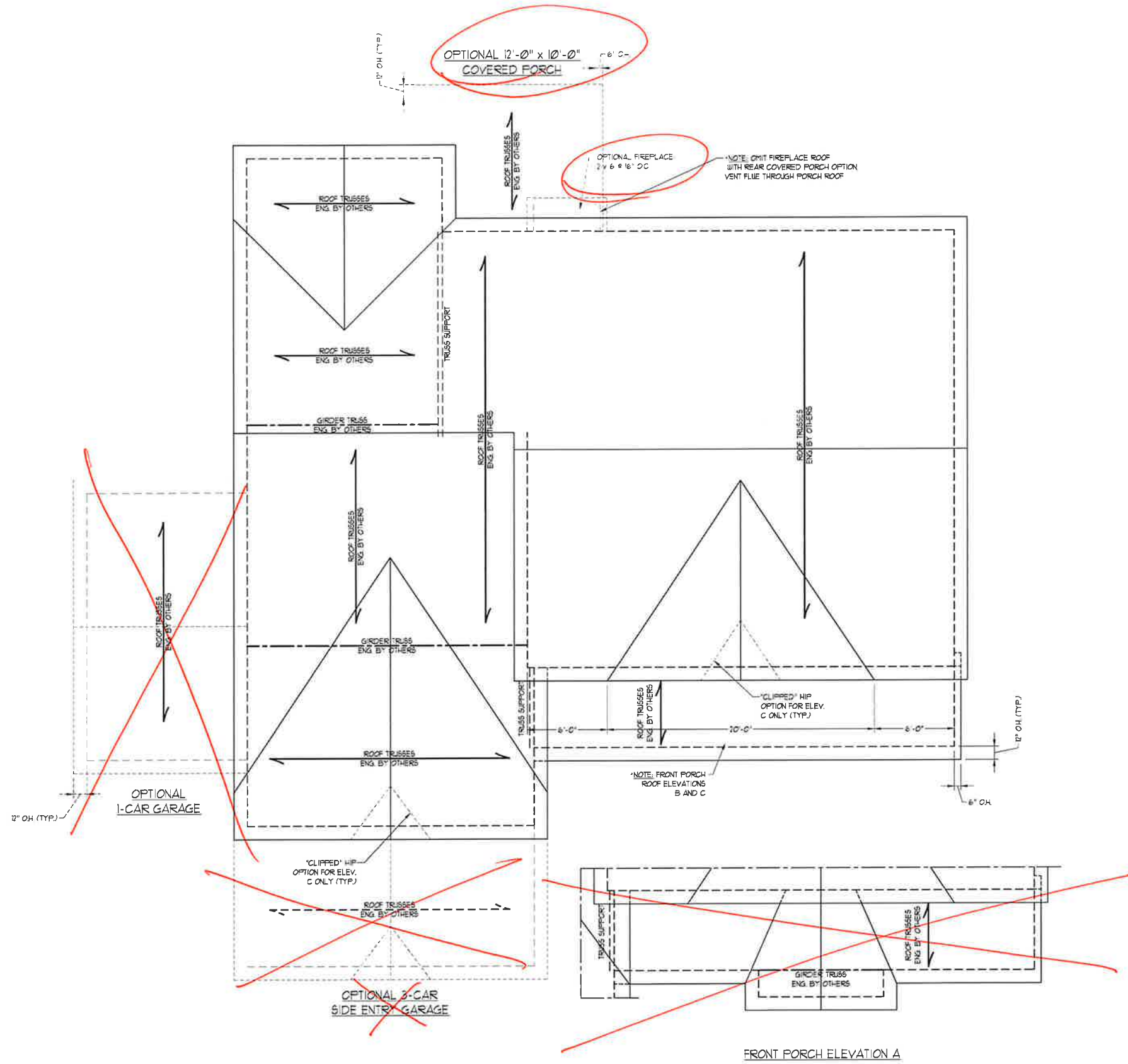


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 N.C. LICENSE NO. C-171

ROOSEVELT H&H HOMES, INC.

DATE: AUGUST 27, 2020
 SCALE: 1/4" = 1'-0"
 DRAWN BY: H&H HOMES
 ENGINEERED BY: WFB

SHEET 11 OF 12
S-3
 ATTIC FLOOR FRAMING PLAN



BRICK SUPPORT NOTE:

1. FASTEN (2) 2 x 10 BLOCKING BETWEEN WALL STUDS w/ (4) 12d NAILS PER PLY. FASTEN A 6" x 4" x 5/16" STEEL ANGLE TO (2) 2 x 10 BLOCKING w/ (2) 1/2" LAG SCREWS @ 12" OC STAGGERED. SEE SECTION R103B2.1 OF THE 2018 NRC FOR ADDITIONAL BRICK SUPPORT INFORMATION.
2. WHERE ROOF SLOPES EXCEED 1:10, INSTALL 3" x 3" x 1/4" STEEL PLATE STOPS AT 24" OC PER SECTION R103B2.1 OF THE NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION.

STRUCTURAL NOTES:

1. ALL FRAMING LUMBER TO BE #2 SPF (UND).
2. CIRCLES DENOTE (3) 2 x 4 POSTS FOR ROOF SUPPORT.
3. FRAME DORMER WALLS ON TOP OF DOUBLE OR TRIPLE RAFTERS.
4. HIP SPICES ARE TO BE SPACED A MIN. OF 8'-0". FASTEN MEMBERS WITH THREE ROWS OF 12d NAILS @ 16" OC (TYP).
5. STICK FRAME OVER-FRAMED ROOF SECTIONS w/ 2 x 8 RIDGES, 2 x 6 RAFTERS @ 16" OC AND FLAT 2 x 10 VALLEYS OR USE VALLEY TRUSSES.
6. FASTEN FLAT VALLEYS TO RAFTERS OR TRUSSES WITH SIMPSON H2.5A HURRICANE TIES @ 32" OC MAX. PASS HURRICANE TIES THROUGH NOTCH IN ROOF SHEATHING. EACH RAFTER IS TO BE FASTENED TO THE FLAT VALLEY WITH A MIN. OF (6) 12d TOE NAILS.
7. REFER TO SECTION R802.11 OF THE 2018 NRC FOR REQUIRED UPLIFT RESISTANCE AT RAFTERS AND TRUSSES.
8. REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.



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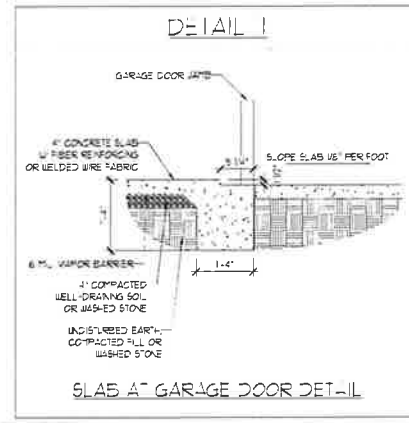
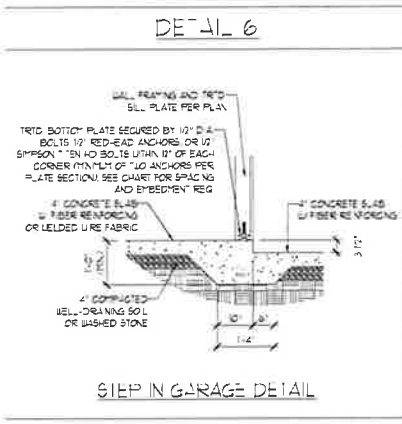
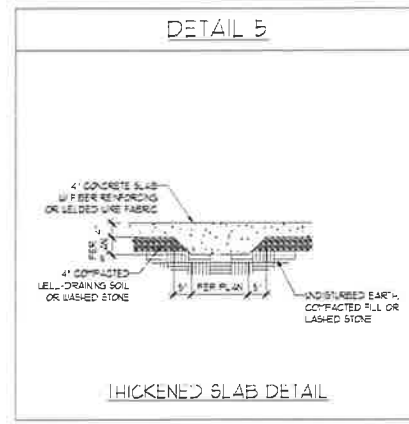
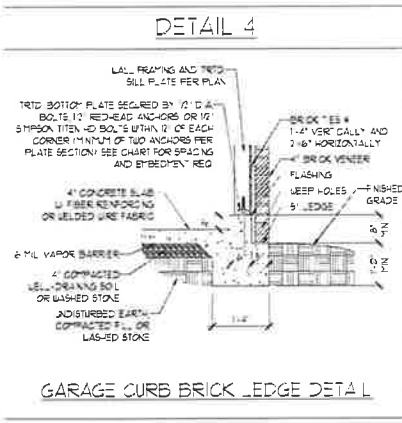
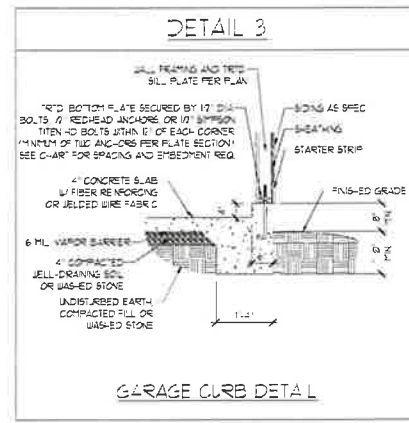
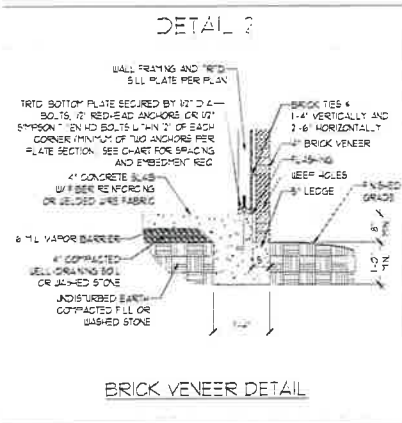
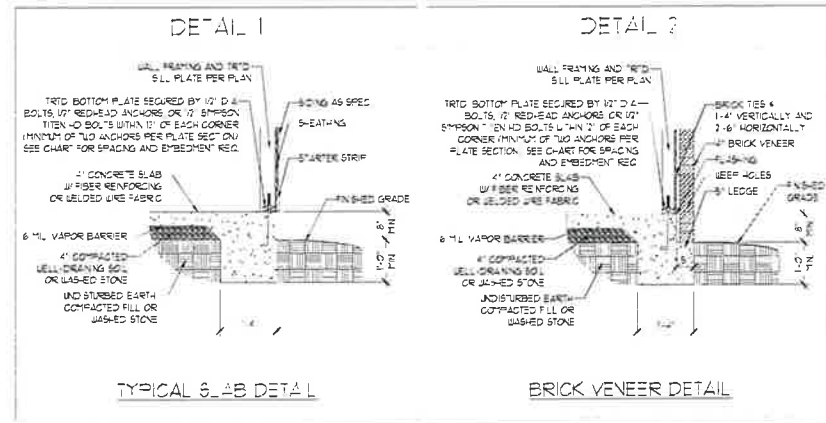
ROOSEVELT H&H HOMES, INC.

DATE: AUGUST 21, 2020
 SCALE: 1/4" = 1'-0"
 DRAWN BY: H&H HOMES
 ENGINEERED BY: WFB

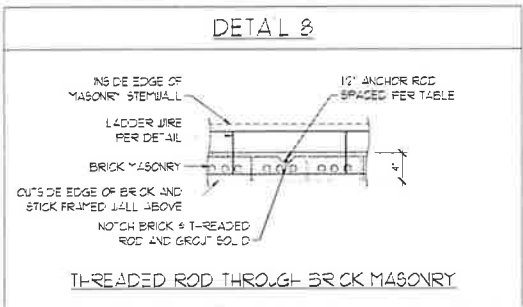
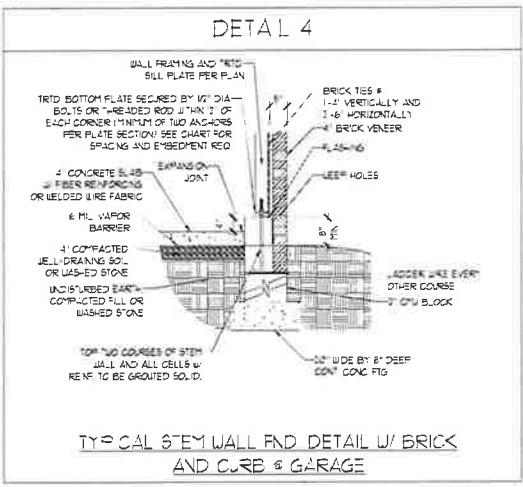
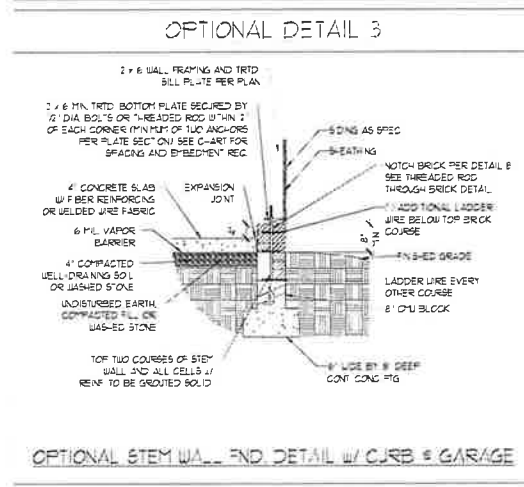
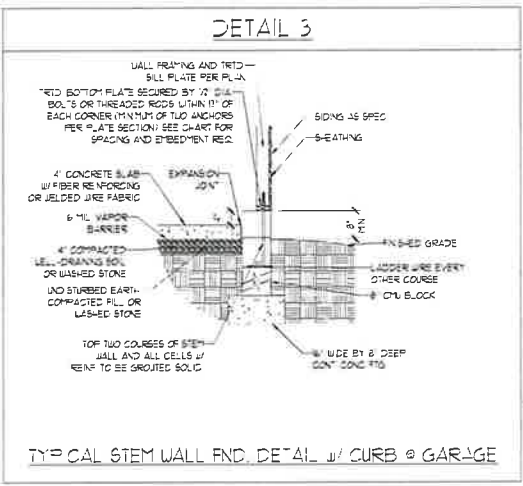
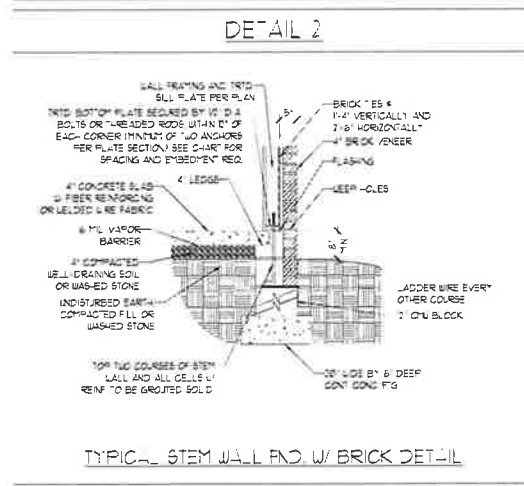
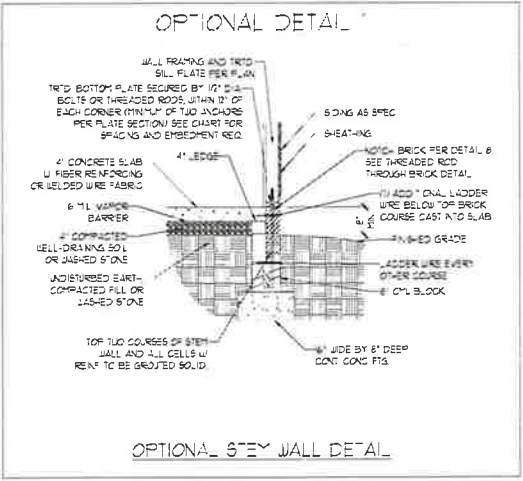
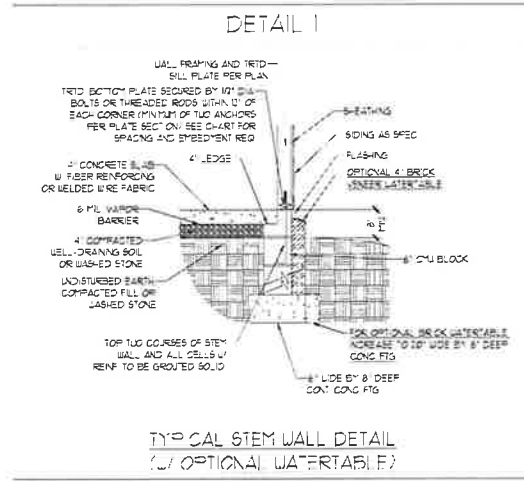
SHEET 12 OF 12
S-4
 ROOF FRAMING PLAN

8/27/2020

MONO THIC SLAB DETAILS



STEM WALL DETAILS



MASONRY STEM WALL SPECIFICATIONS

WALL HEIGHT (FEET)	MASONRY WALL TYPE			
	8" CMU	4" BRICK AND 4" CMU	4" BRICK AND 8" CMU	3" CMU
2 AND BELOW	UNGRADED	GROUT SOLID	UNGRADED	UNGRADED
3	UNGRADED	GROUT SOLID	UNGRADED	UNGRADED
4	GROUT SOLID	GROUT SOLID w/ #4 REBAR @ 48" OC	GROUT SOLID	GROUT SOLID w/ #4 REBAR @ 64" OC
5	GROUT SOLID w/ #4 REBAR @ 36" OC	NOT APPLICABLE	GROUT SOLID w/ #4 REBAR @ 36" OC	GROUT SOLID w/ #4 REBAR @ 64" OC
6	GROUT SOLID w/ #4 REBAR @ 36" OC	NOT APPLICABLE	GROUT SOLID w/ #4 REBAR @ 24" OC	GROUT SOLID w/ #4 REBAR @ 64" OC
7 AND GREATER	ENGINEERED DESIGN BASED ON SITE CONDITIONS			

STRUCTURAL NOTES:

- WALL HEIGHT MEASURED FROM TOP OF FOOTING TO TOP OF THE WALL.
- TIE MULTIPLE JOINTS TOGETHER WITH LADDER WIRE AT 6" OC VERTICALLY.
- CHART APPLICABLE FOR HOUSE FOUNDATION ONLY. CONSULT ENGINEER FOR DESIGN OF GARAGE FOUNDATION NOT COMMON TO HOUSE.
- BACKFILL OF CLEAN #7 1/2" WASHED STONE IS ALLOWABLE.
- BACKFILL OF WELL DRAINED OR SAND-GRAVEL MIXTURE SOL. 5:1 AS PER 5.01.01 BEYOND GRADE IS CLASSIFIED AS GROUP 1 ACCORDING TO UNIFIED SOILS CLASSIFICATION SYSTEM IN ACCORDANCE WITH TABLE 2002.1 OF THE 2018 INTERNATIONAL RESIDENTIAL CODE ARE ALLOWABLE.
- FREP SLAB PER 5.01.02 AND 5.01.03 BASE OF THE 2018 INTERNATIONAL RESIDENTIAL CODE. MINIMUM 2" LAP SPlice LENGTH.
- LOCATE REBAR IN CENTER OF FOUNDATION WALL.
- WHERE REQUIRED, FILL BLOCK SOLID WITH TYPE 3" MORTAR OR 3000 PSI GROUT. USE OF "LOW JET GROUTING" METHOD REQUIRED WHEN FILLING WALLS WITH GROUT AT HEIGHTS OF 8' AND GREATER.

ANCHOR SPACING AND EMBEDMENT

	20 MPH	30 MPH
SPACING	6'-0" OC	4'-0" OC
EMBEDMENT	7"	15" INTO MASONRY 7" INTO CONCRETE

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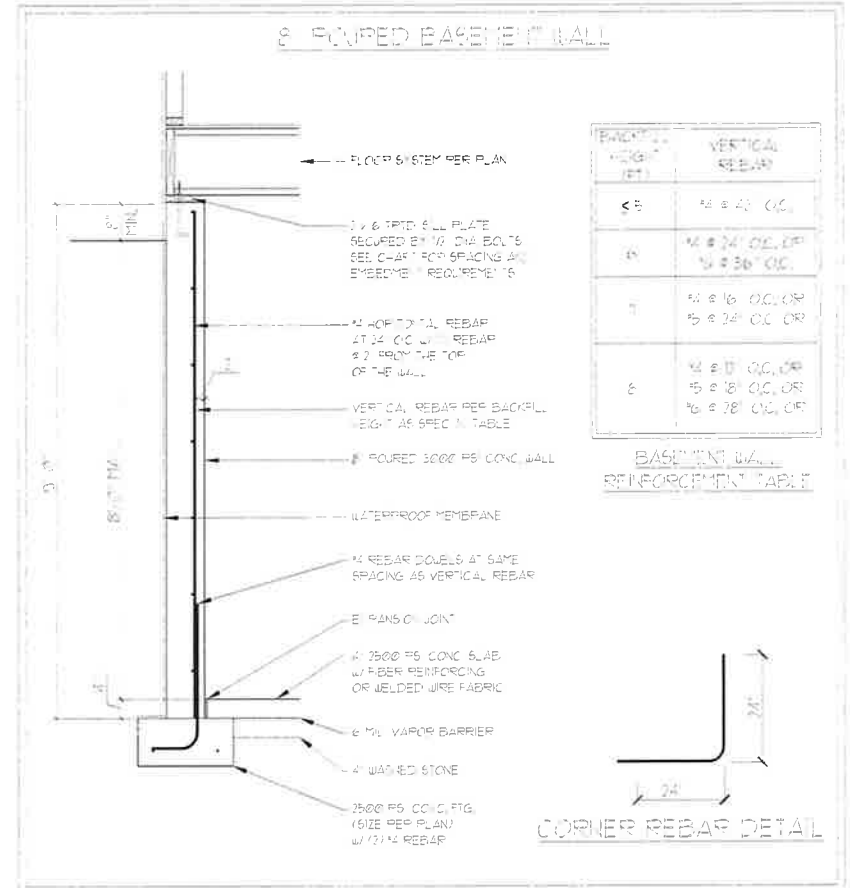
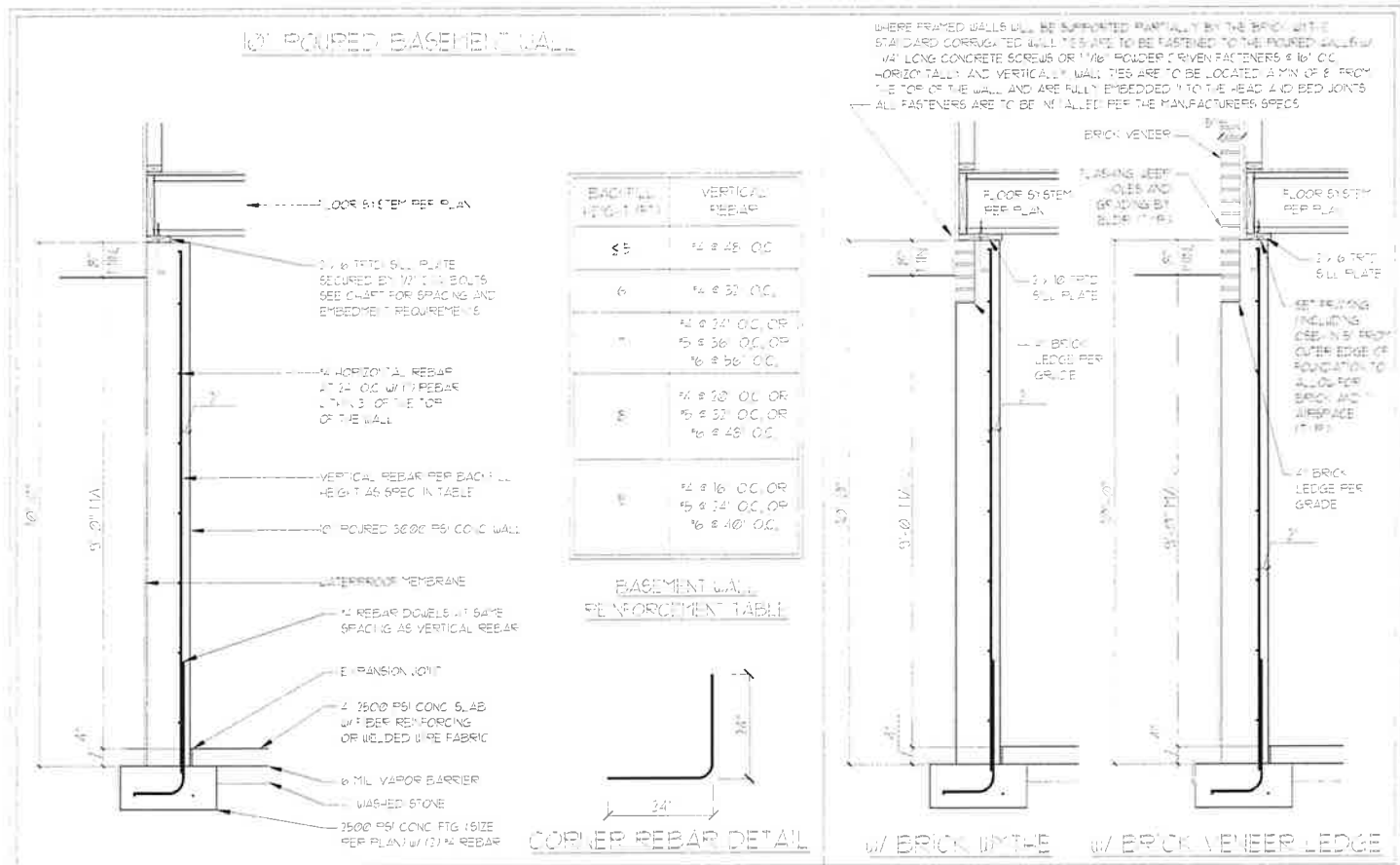
120 MPH - 130 MPH ULTIMATE DESIGN WIND SPEED
FOUNDATION DETAILS

DATE: NOVEMBER 14, 2018
SCALE: NTS
DRAWN BY: JST
ENGINEERED BY: JES



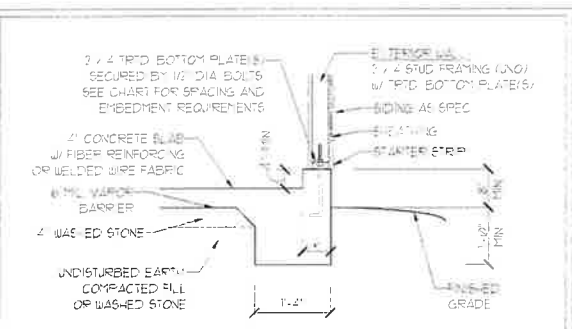
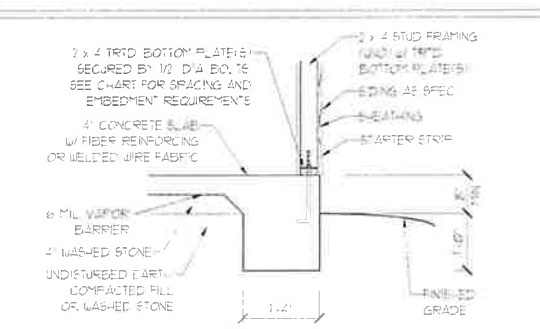
8/27/2020

D-1
FOUNDATION DETAILS



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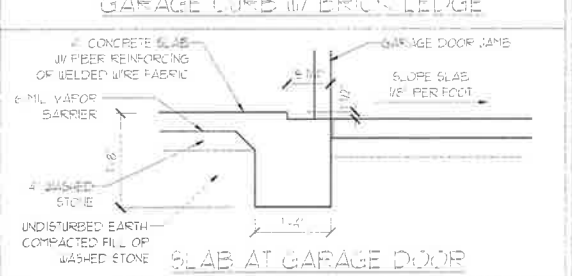
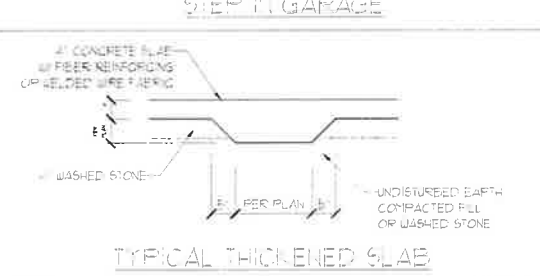
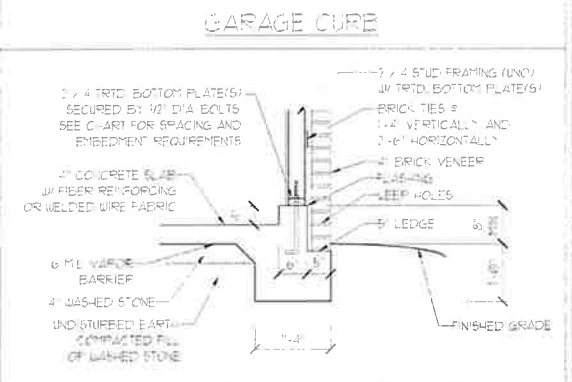
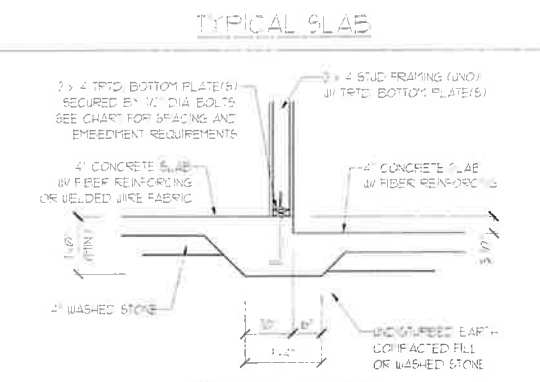
POURED WALL BASEMENT FOUNDATION DETAILS



ANCHOR SPACING AND EMBEDMENT

WIND ZONE	10' MPH	130 MPH
SPACING	6'-0" OC, INSTALL MIN. (3) ANCHORS PER PLATE SECTION AND (7) ANCHOR WITHIN 2' OF CORNERS	4'-0" OC, INSTALL MIN. (3) ANCHORS PER PLATE SECTION AND (7) ANCHOR WITHIN 2' OF CORNERS
EMBEDMENT	1"	5" INTO MASONRY 3" INTO CONCRETE

NOTE: THREADED ROD WITH EPOXY, SIMPSON TITEN HD, OR APPROVED ANCHORS SPACED AS REQUIRED TO PROVIDE EQUIVALENT ANCHORAGE TO 1/2" DIAMETER ANCHOR BOLTS. MAY BE USED IN LIEU OF 1/2" ANCHOR BOLTS.



IMPORTANT NOTE:

FOUNDATIONS AS DENOTED IN THESE DETAILS ARE NOT SUITABLE FOR SUPPORT OF ADDITIONAL SURCHARGE, LOADING FROM ADJACENT STRUCTURES OR DRIVEWAYS. FOUNDATIONS WITH EXTRA LATERAL LOADING IN THESE SCENARIOS WILL REQUIRE, ON SPECIFIC DESIGN ON A CASE BY CASE BASIS, CONSULT THE LICENSED OR REGISTERED ARCHITECT OR ENGINEER TO BUILD IN CLOSE PROXIMITY TO THE FOUNDATION AS WE WILL NOT BE HELD LIABLE FOR FOUNDATION FAILURE. SEE PARAGRAPHS OF THE 2018 NCGS FOR ADDITIONAL INFORMATION.

- ### STRUCTURAL NOTES:
- FOR 1/2" REBAR 24" MINIMUM REBAR LAP SPlice LENGTH. FOR 5/8" REBAR 30" MINIMUM REBAR LAP SPlice LENGTH. FOR 3/4" REBAR 36" MINIMUM REBAR LAP SPlice LENGTH.
 - REBAR TO MAINTAIN A MINIMUM CONCRETE COVER OF 3" (UNC)
 - REBAR TO BE 45° MIN ABOVE GRADE 60°
 - 60° BEARING CAPACITY IS REQUIRED TO BE 1000 PSF MIN.
 - INSTALL 1/2" L-BARS AT ALL WALL CORNERS AT SAME SPACING AS HORIZ STEEL. SEE DETAIL.
 - THE FLOOR FRAMING IS TO BE INSTALLED AND A MIN OF SEVEN DAYS IS REQUIRED TO ALLOW THE CONCRETE TO CURE BEFORE THE BACKFILL CAN BE INSTALLED. THE BACKFILL IS RECOMMENDED TO BE PLACED IN 12" LIFTS AND CAREFULLY TAMPED.
 - A 2" LEDGE IS TO BE PROVIDED FOR THE PORCH SLAB. THE WALLS ARE REQUIRED TO BE BONDED TO THE SLABS USING 1/2" x 3/4" REBAR DOUBLES @ 24" OC EMBEDDED INTO THE CONC USING EPOXY.
 - WHERE THE FLOOR JOISTS ARE PARALLEL TO THE WALLS 2" x 4 BLOCKS IS TO BE INSTALLED @ 24" OC BETWEEN THE BOTTOM FLANGES OF THE JOISTS FOR A MIN. OF 6'-0" AWAY FROM THE WALL OR DIAGONAL 2" x 4 BLOCKS MAY BE INSTALLED @ 24" OC FROM THE EDGE OF THE SLL PLATE TO THE TOP FLANGE AND SUBFLOORING ATTACHED WITH 12d NAILS EACH END.

NOTE TO FOUNDATION CONTRACTOR:

ALTERNATE REINFORCED CONCRETE POURED WALL DESIGNS ENGINEERED BY OTHERS MAY BE CONSTRUCTED. NO CONTINUOUS FOOTINGS OR LUG FOOTINGS MAY BE REDUCED IN SIZE.



8/27/2020

DATE: JULY 17, 2020
 SCALE: NTS
 DRAWN BY: HJS/JST
 ENGINEERED BY: ES/JST

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FOUNDATION DETAILS