ROOSEVELT

ROOSEVELT **REVISION LIST - STRUCTURAL:**

- 1.) DOWNSIZED SOME WINDOW HEADERS TO (2) 2 x 6 OR (2) 2 x 8 (4-17)
- 2.) EXTRA JOIST LOCATIONS (4-17)
- 3.) ADDED HEADER SIZES FOR BRICK OPTIONS (4-17)
- 4.) 3-PLY HEADERS AT GARAGES (4-17)
- 5.) PORTAL FRAMING CHANGES AT CONTINUOUS DOUBLE GARAGE DOOR HEADERS (4-17)
- 6.) REMOVED BALLOON FRAMING FROM REMOVING SECOND FLOOR VAULTS (4-17)
- 7.) ADDED I-JOIST SERIES/SPACING TO PLANS (4-17)
- 8.) ADDED BASEMENT FRAMING FOR AREA FORMERLY CRAWL SPACE (4-17)
- 9). SOME RECONFIGURATION OF PIERS ON CRAWL (417)

ROOSEVELT REVISION LIST - ARCHITECTURAL:

- UPDATED DATES ON ALL SHEETS (05-01-20)
- CHANGED ALL NOTES ON ELEVATIONS FOR GARAGE AS SPECIFIED (05-01-20)
- UPDATED LOCATION AND VERIFIED ALL COACH LIGHTS ON ELEVATIONS (05-01-20)
- CHANGED CORNER BOARDS ON ALL ELEVATIONS FROM 6" TO 4" (05-01-20)
- REMOVED GRIDS FROM TRANSOMS AND SIDELIGHTS AROUND FRONT DOOR ON ALL ELEVATIONS (05-01-20)
- REMOVED GRIDS FROM ALL SIDES AND REAR ELEVATIONS (05-01-20)
- DIMENSIONED WATER TABLE WHERE APPLICABLE (05-01-20)
- ADDED SHEETS FOR A-2/A-3, B-2/B-3, & C-2/C-3 WITH BRICK AND WITH STONE (05-01-20)
- ADDED SHEETS FOR A-4, B-4, & C-4 (05-01-20)
- LIPDATED STONE HATCH TO REPRESENT STONE BETTER (05-01-20) 10.
- REMOVED DUPLICATE DIMENSIONS FROM A-2/A-3, B-2/B-3, & C-2/C-3 (05-01-20) 11:
- REMOVED SHINGLE HATCH FROM ALL ELEVATIONS (05-01-20)
- ADDED COLUMN DETAIL TO ELEVATION B-1 & B4 ON SHEETS A-2 AND A-2-3 (05-01-20) 13:
- REMOVED HARDWARE FROM SHUTTERS ON ALL C ELEVATIONS (05-01-20) 14.
- ADDED DIAGONAL DIMENSIONS TO SLAB INTERFACE PLAN (05-01-20) 15.
- 16. ADDED OPTIONAL FLOOR OUTLETS TO SLAB INTERFACE PLAN (05-01-20)
- CREATED PARTIAL PLANS FOR EACH ELEVATION LAYOUT TO SHOW LOCATION OF BRICK/STONE (05-01-20) 17.
- ADDED OPTIONAL GAS LINE (05-01-20) 18.
- UPDATED "GOURMET KITCHEN" LAYOUT (05-01-20) 19.
- VERIFIED AND UPDATED SQUARE FOOTAGE CALCULATIONS WITH AND WITHOUT FULL BRICK VENEER (05-01-20) 20.
- 21. VERIFIED ALL ROOM DIMENSIONS (05-01-20)
- ADD HOSE BIB LOCATIONS 2'-Q" FROM CORNER OF HOUSE (05-01-20) 22.
- 23. MOVED ALL OPTIONS TO SEPARATE SHEET (05-01-20)
- CHANGED STANDARD PATIO AND OPTIONAL PATIO TO SIZE 12'x10' (05-01-20) 24.
- CHANGED ALL EXTERIOR WALLS FROM 2x6 TO 2x4 EXCEPT WHERE SHADED (05-01-20) 25.
- ADDED "34 1\2" HIGH WALL TO ISLAND IN KITCHEN (05-01-20)
- VERIFIED VENTILATION AND LIGHT REQUIREMENTS AT OWNER'S BEDROOM MEETS CODE (05-01-20)
- 28 REMOVED ALL CASED OPENINGS (C.O.) FROM PLAN (05-01-20)
- UPDATED COLUMNS ON COVERED REAR PORCH TO 8x8 COLUMNS (05-01-20)
- ADDED SHEET AD-I WALL SECTIONS AND STAIR DETAIL (05-01-20) 30
- REMOVED NUMBER (#) SIGN FROM ALL TITLES (05-01-20) 31.
- 32. REMOVED ALL NUMBERS FROM STAIRS (05-01-20)
- 33. NOTED WASHER/ DRYER AS "OPT. W/D" (05-01-20)
- LIPDATED BASEMENT SHEET (05-01-20)
- CHANGED ALL CEILING FANS TO SHOW STANDARD LIGHT/OPT. FAN/LT PREWIRE (05-01-20) 35.
- UPDATED ELECTRICAL KEY ON ALL ELECTRICAL SHEETS (05-01-20)
- CHANGED PENDANT LIGHTS OVER ISLAND TO OPTIONAL (05-01-20) 37.
- 38... ADDED STANDARD 2-BULB (2x4) FLUORESCENT LIGHT IN KITCHEN (05-01-20)
- 39 FLOOD LIGHTS SHOWN AS OPTIONAL (05-01-20)
- VERIFIED COACH LIGHT LOCATIONS (05-01-20)
- UPDATED TOTAL UNDER ROOF VENT CALCULATIONS (05-01-20)

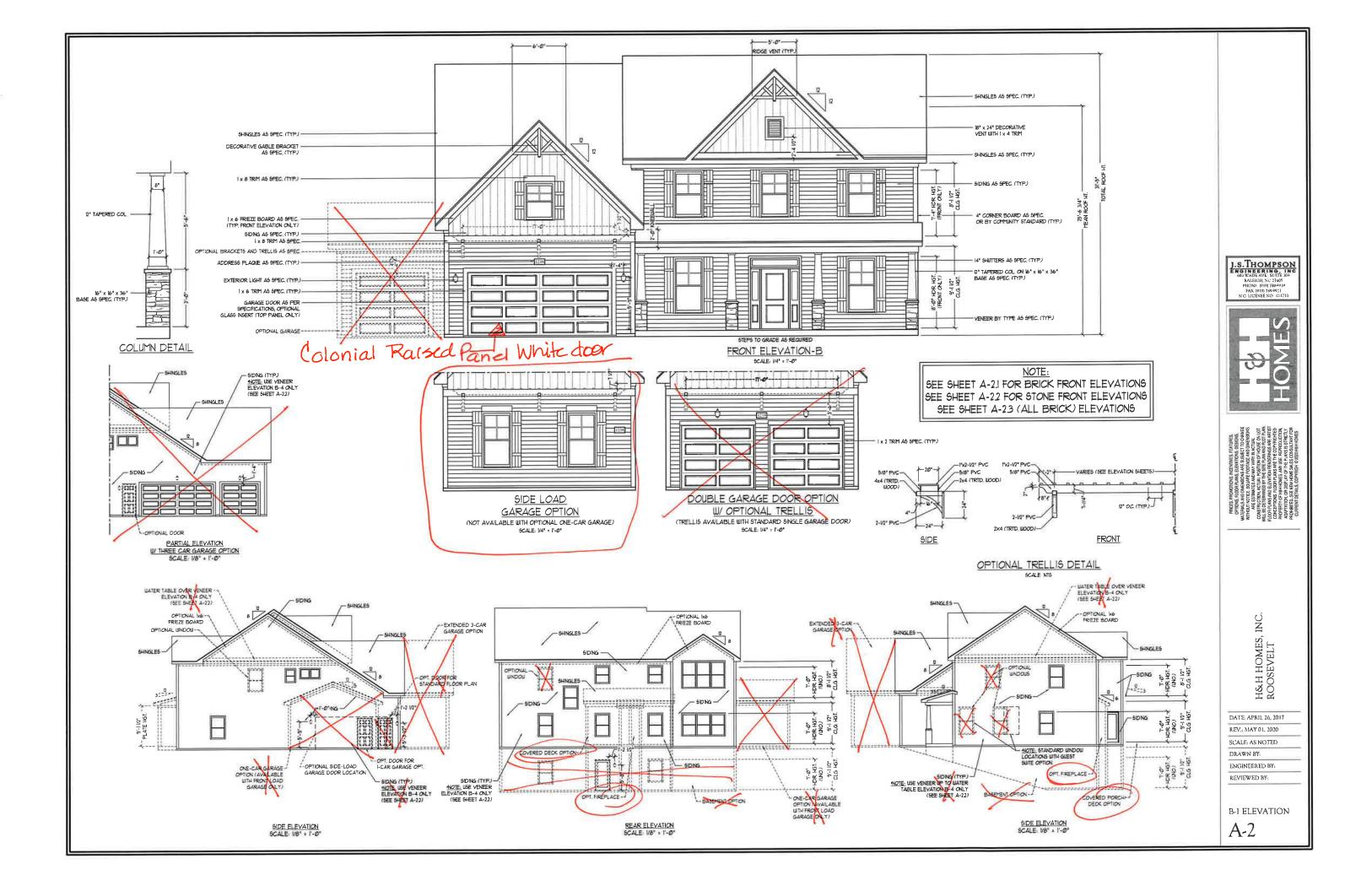
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OVER

SEVELT

DATE APRIL 26, 2017 REV: MAY 01, 2020

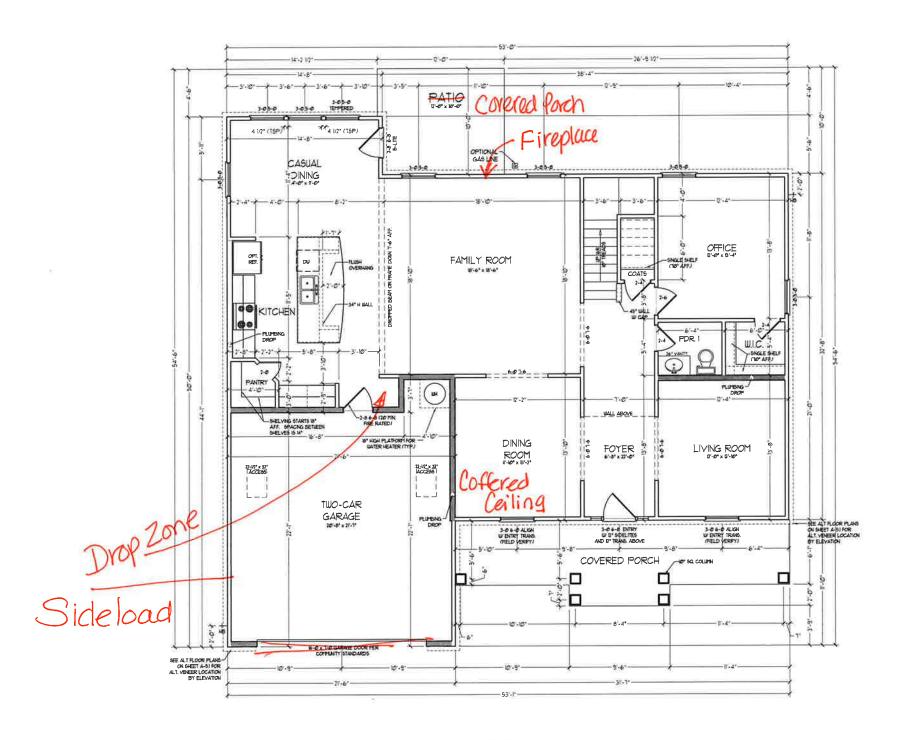
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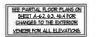




ELEVATIONS W/



FIRST FLOOR PLAN
(A-1)



SOLIARE FOOTAGE

NI FLOORE US3 SQ FT.
767 AL FLOORE US3 SQ FT.

SQUARE FOOTAGE W FULL BRICK VENEER

BI FLOOR

101 FLOOR

102 FLOOR

103 FLOOR

103 FLOOR

105 FLOOR

107 FLOOR

107 FLOOR

107 FLOOR

108 FLOOR

109 FLOOR

1

AUTE ALL EXTERIOR WALLS AND ATTIC WALLS ARE TO BE 2 x 4 ° 16" O.C. GUAD.) ALL INTERIOR LIADO BEARING WALLS ARE TO BE 2 x 4 ° 16" O.C. (INK) AND INCHLOAD BEARING MILES ARE TO BE 3 x 4 ° 24" O.C. (INK) AND INCHLOAD BEARING MILES ARE TO BE 3 x 4 ° 24" O.C. (INK) 200 MILES ARE TO BE 3 X

• BHADED BULLS ARE TO BE 2 x 6 • W OC. (LOAD SEARCH OR 2 x 6 • 34" OC. (NON-LOAD SEARCH) REGARDLESS OF EXTERIOR BULLS ARE TO BE 2 x 6 • W OC. (LOAD SEARCH DATERIOR BULL CONDITION

PROVIDE MINIMUM INSULATION
IN CEILINGS AND WALLS
PER SECTION N 1102.1

ENGINEERING, INC 606 WADE AVE, SUITE 104 RALEIGH NC 27605 PHONE (919)786-9019 FAX (919)784-9019 NC LIECENSE NO. C-1733



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> H&H HOMES, INC. ROOSEVELT

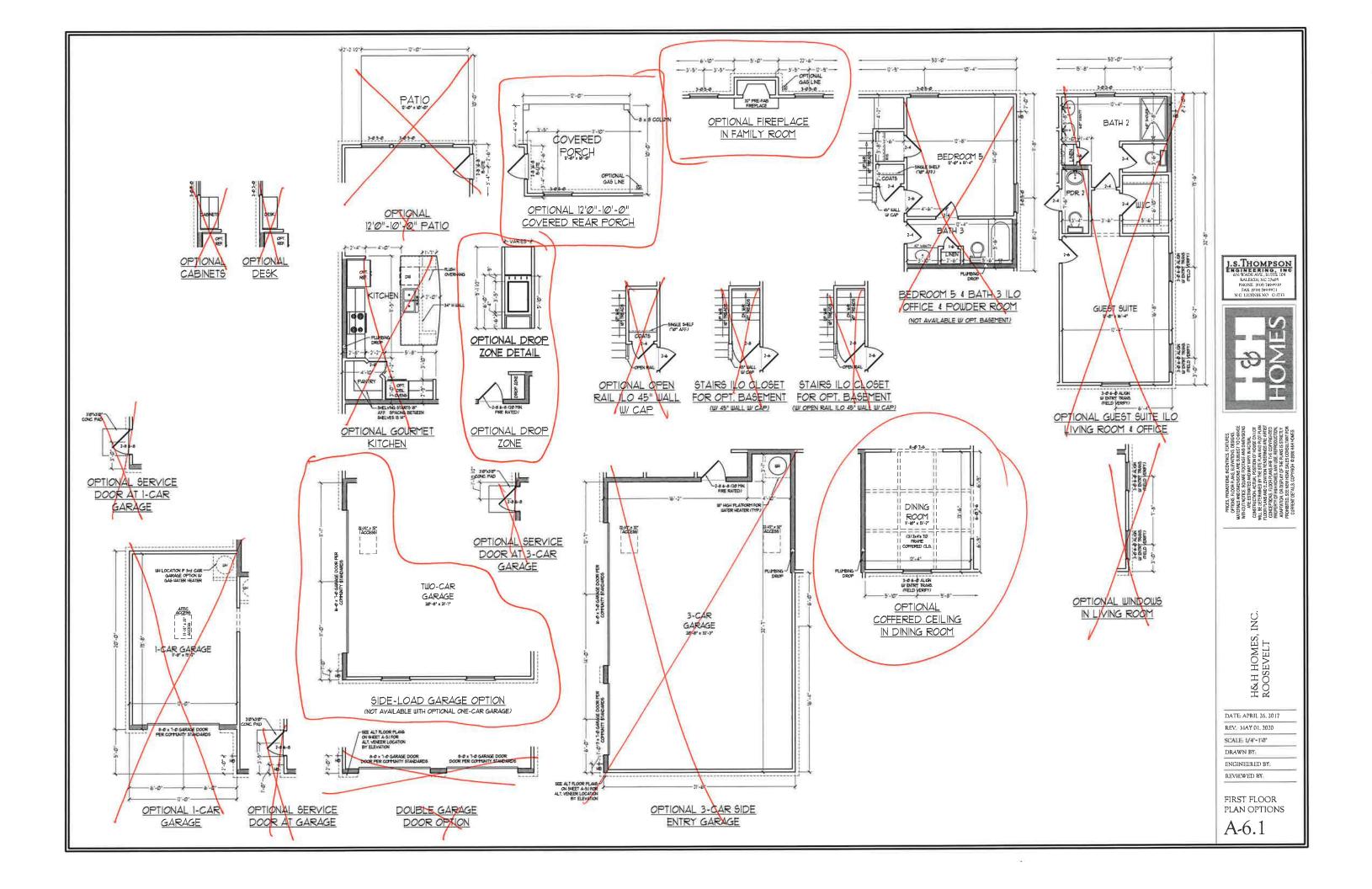
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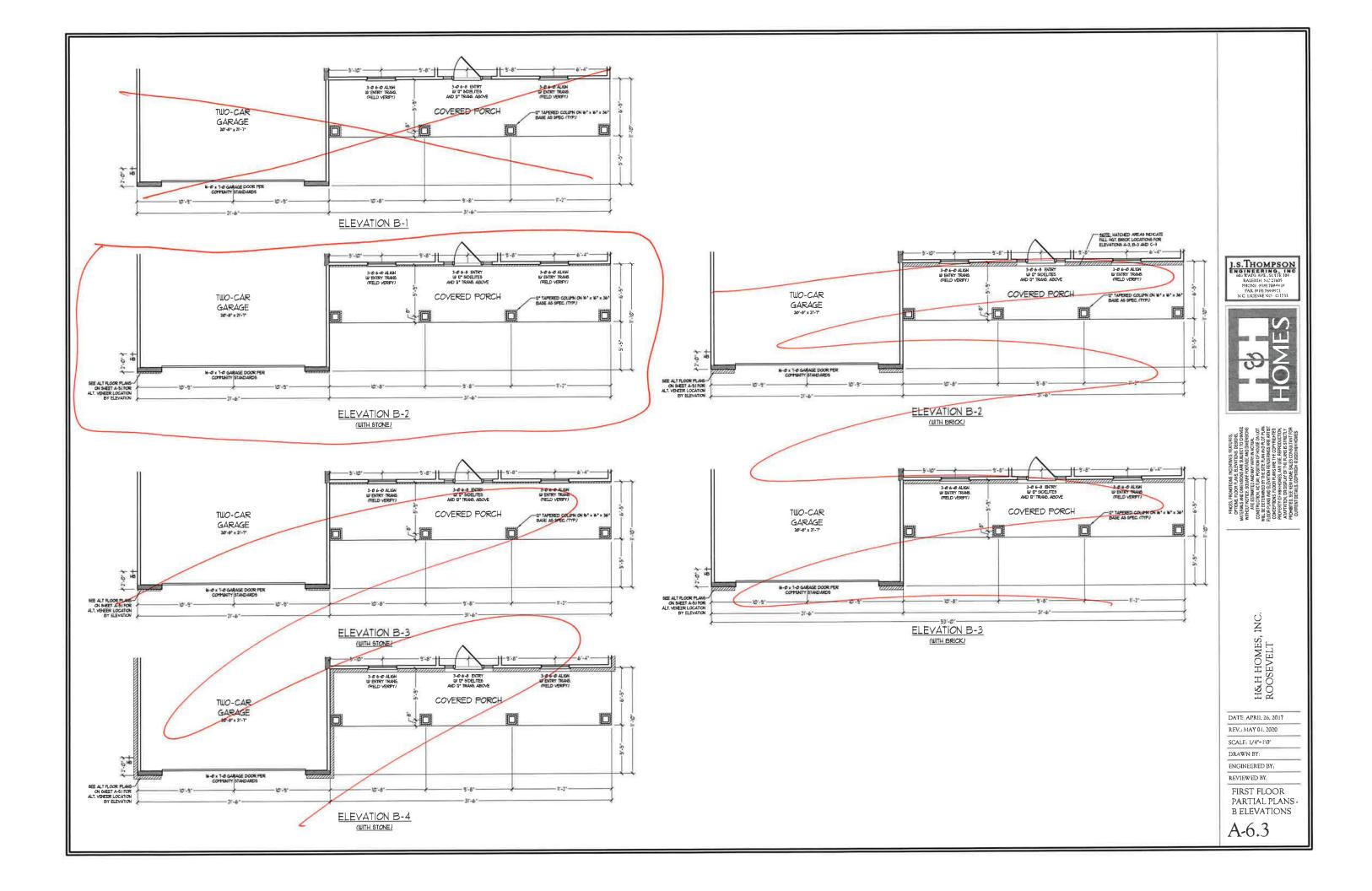
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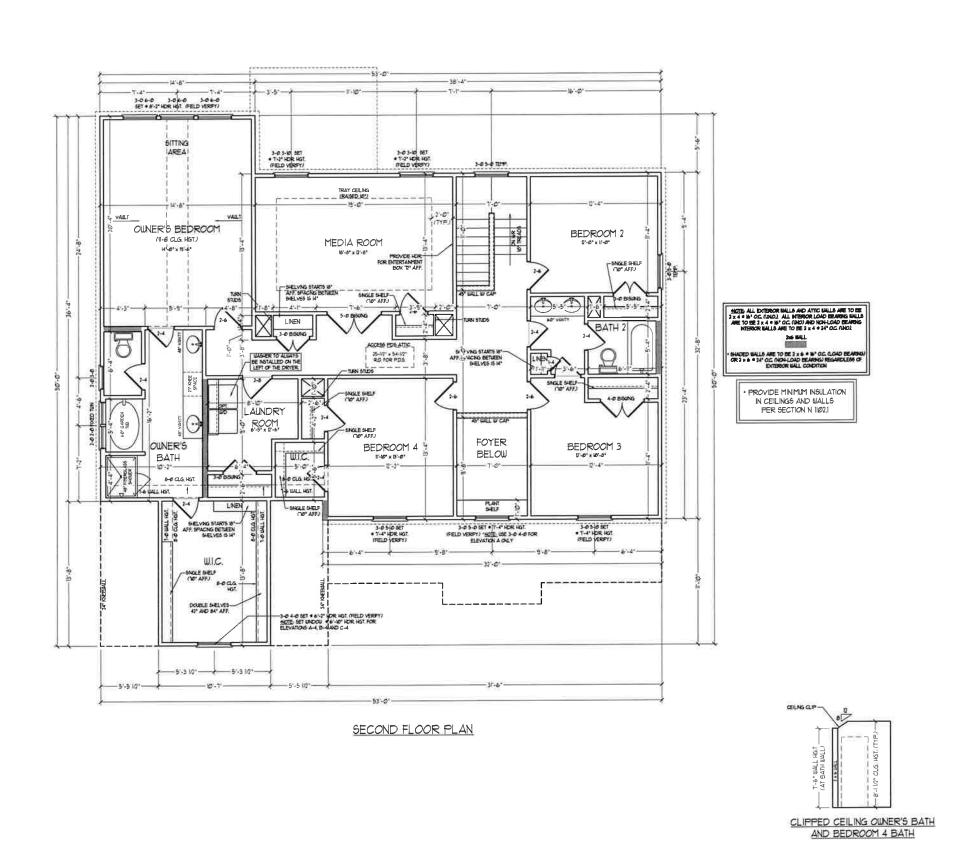
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FIRST FLOOR PLAN

A-6











MATERIAR SE MODINESCIONA SER SIMBLET. TO CHAMPITOTI NOTICE SQUARE FOOTAGE AND DIMENSOR

ARE ESTIMITED NO MAY WAYN HAG ACTUAL

CONSTRUCTOM. ACTUAL POSITION AND PARABLE STREAM AND PROPERTIES OF ACTUAL POSITION AND PARABLE STREAM ACTUAL POSITION AND PARABLE POSITION AND PARA

H&H HOMES, INC. ROOSEVELT

DATE: APRIL 26, 2017 REV.: MAY 01, 2020

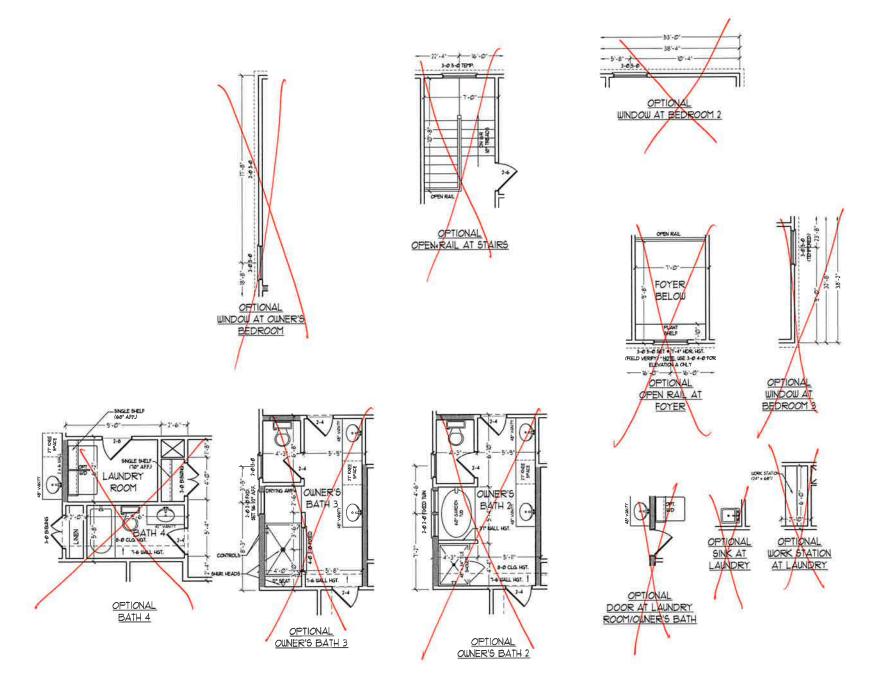
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ENGINEERED BY:

REVIEWED BY

SECOND FLOOR PLAN

A-7







OPTION, A COOR PANK RECHANDRAN ESSEGNIS,
HETHERA, AND DIMENSIONS ARE SUBJECT TO CONNECT
THE COORDINATE OF THE COORDINATE

H&H HOMES, INC. ROOSEVELT

DATE: APRIL 26, 2017 REV. MAY 01, 2020

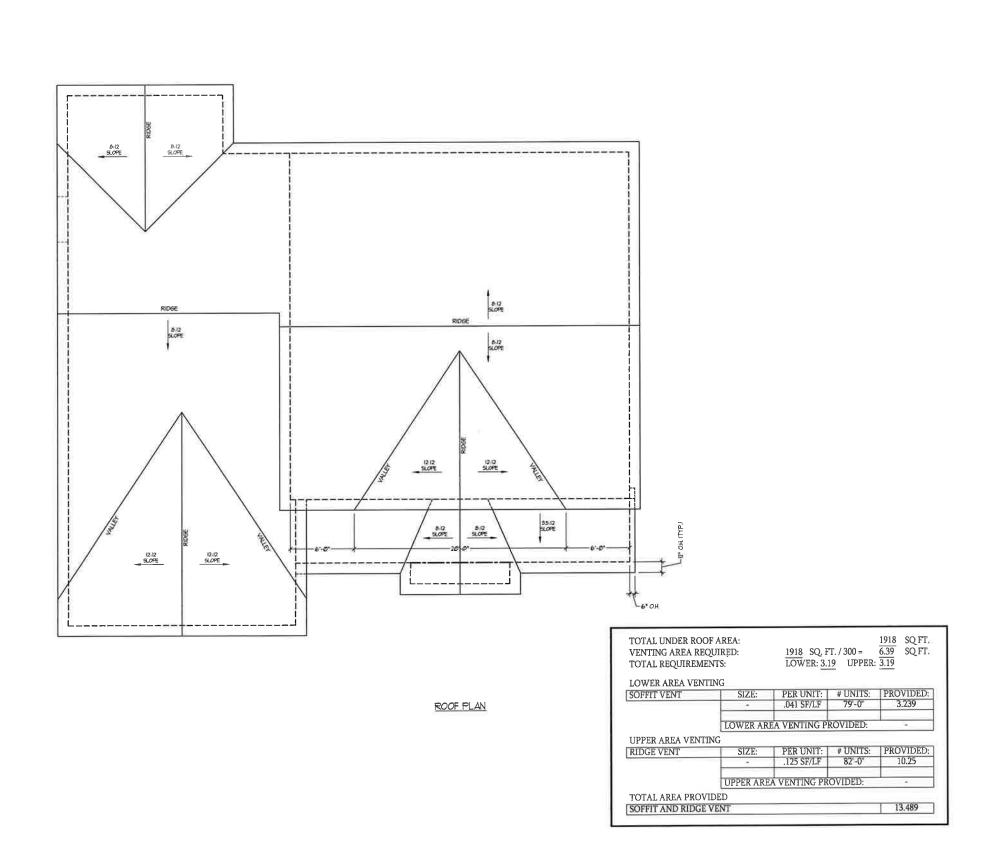
SCALE 1/4"-1"0"

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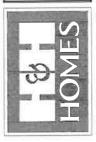
ENGINEERED BY:
REVIEWED BY:

SECOND FLOOR PLAN - OPTIONS

A-7.1



J.S.THOMPSON ENGINEERING, INC 606 WADE AVE, SUITE 104 RALEIGH, NC 27605 PHONE (10)9 7809-09-1 FAX. (0)10) 7809-09-1 NC UCENSENO C1733



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H&H HOMES, INC. ROOSEVELT

DATE: APRIL 26, 2017

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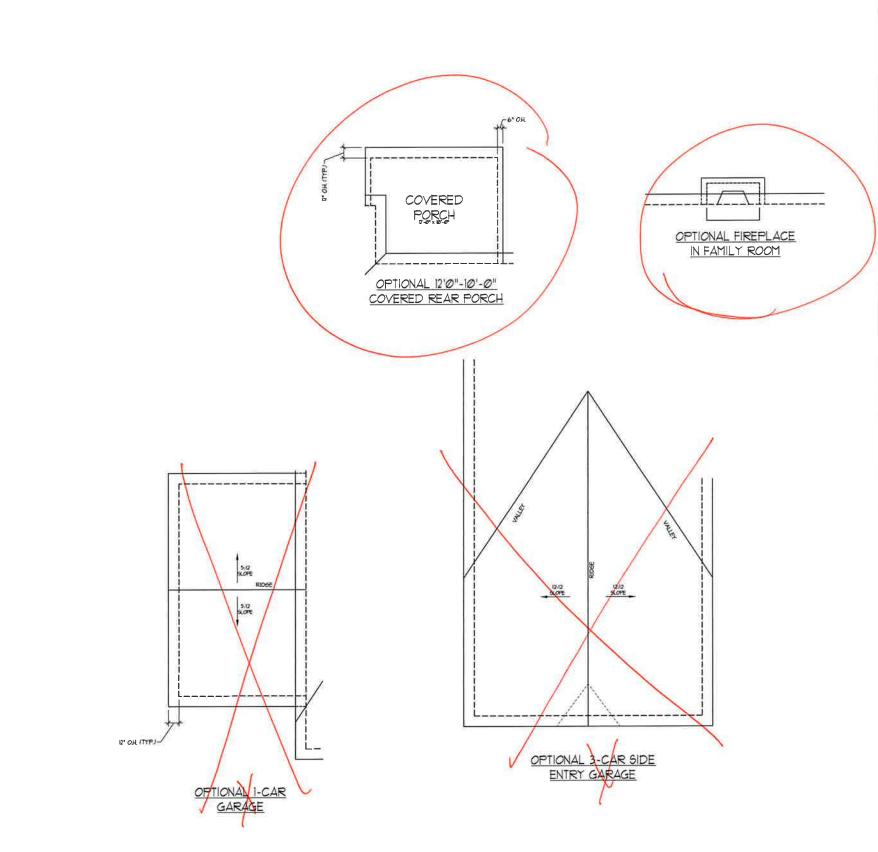
SCALE: 1/4"=1'0"

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ENCINEERED BY:

REVIEWED BY:

ROOF PLAN



I.S.THOMPSON

ENGINEERING, INC
606 WADE AVE. SUITE 104
RALEIGH, NC 27605
PHONE (9.19) 788-9919
FAX (919) 789-991
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H&H HOMES, INC. ROOSEVELT

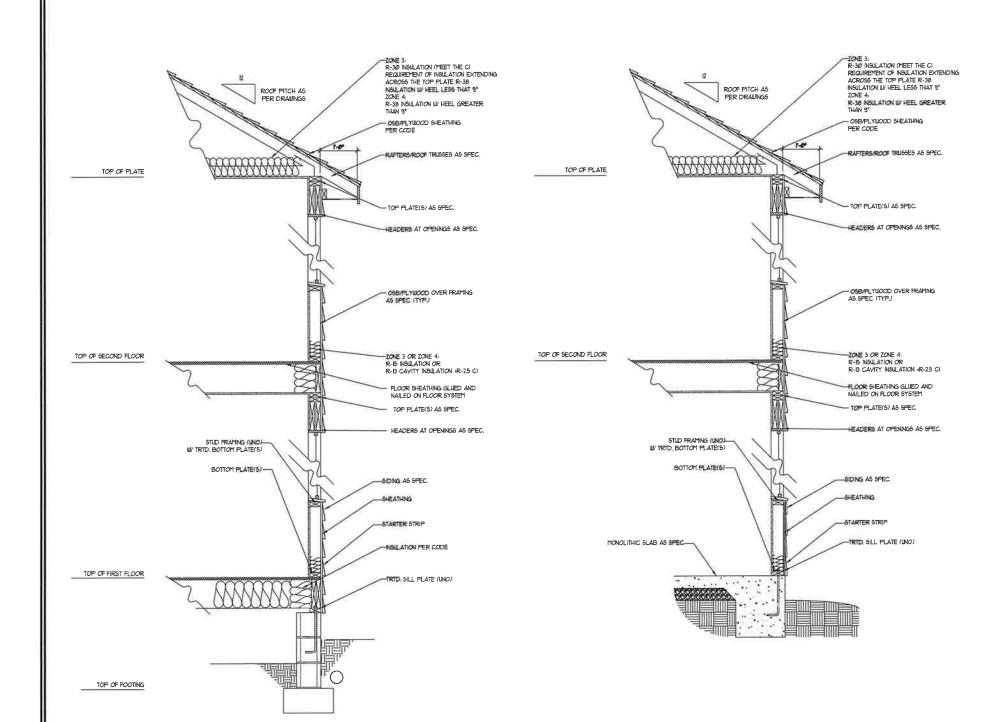
DATE APRIL 26, 2017 REV. MAY 01, 2020

SCALE: 1/4"=1'-0"

DRAWN BY: ENGINEERED BY:

REVIEWED BY

roof plans options A-8.2



BEAM

BEAM

A2" H.

LOU WALL

3/4" PLYIUD.
DECKING

FLOOR SYSTEM BEYOND

FLOOR SYSTEM

CONTINUOUS
GRASPABLE
RAILING IN
THE STATE OF THE

TYPICAL STAIR DETAIL (NTS)

STAIR NOTES

RAILING:

BALUSTERS SHALL BE SPACED SO THAT A 4" SPHERE CANNOT PASS THROUGH

THE TRIANGULAR OPENINGS FOR TED BY THE RISER TREAD AND BOTTOM RAIL. OF A GUARD AT THE OPEN SIDE OF A STAIRIUMY ARE PERFUTTED TO BE A SUCH A SIZE THAT A SPHERE OF 6 INCLES CANNOT PASS THROUGH

OPENINGS FOR REQUIRED GUARDS ON THE SIDES OF STAIR
TREADS SHALL NOT ALLOW A SPIERE 4 3/6 INCHES TO PASS
THROUGH HANDRALLS.

HAIDRALE FOR STAIRLIAYS SHALL BE CONTINUOUS FOR THE RILL LEWSTH OF THE RIGHT ROOM A POINT DIRECTLY ABOVE THE TOP RISER OF THE RIGHT TO A POINT DIRECTLY ABOVE THE LOUEST RISER HAIDRALE DIDS SHALL BE RETURNED OF SHALL TERMINATE IN NEUEL POSTS OR SAFETY TERMINALS. HAIDRALLS SAUCENT TO A BILL SHALL HAVE A SPACE OF NOT LESS THAN INZ. MCH BETWEEN THE WALL AND HANDRALLS.

CONTINUOUS GRASPABLE HANDRAIL MUST MEET TYPE ONE OR TYPE TIJD CRITIENIA

WALL SECTION W/ CRAWL SPACE W/ STD. SIDING SHOWN (NTS)

WALL SECTION W/ SLAB W/ STD. SIDING SHOWN (NTS) J.S.THOMPSON ENGINEERING, INC 606 WADE AVE, SUITE 104 RALEIGH, NC 27005 PHONE (919) 789/4919 FAX (919) 789/4921



ETHINGS, GLOPE AND ESTIMATION SIGNAN SIGNAN ESTIMATION SIGNAN SIGNAN

H&H HOMES, INC. ROOSEVELT

DATE: APRIL 26, 2017

REV.: MAY 01, 2020 SCALE: 1/4"-1'-0"

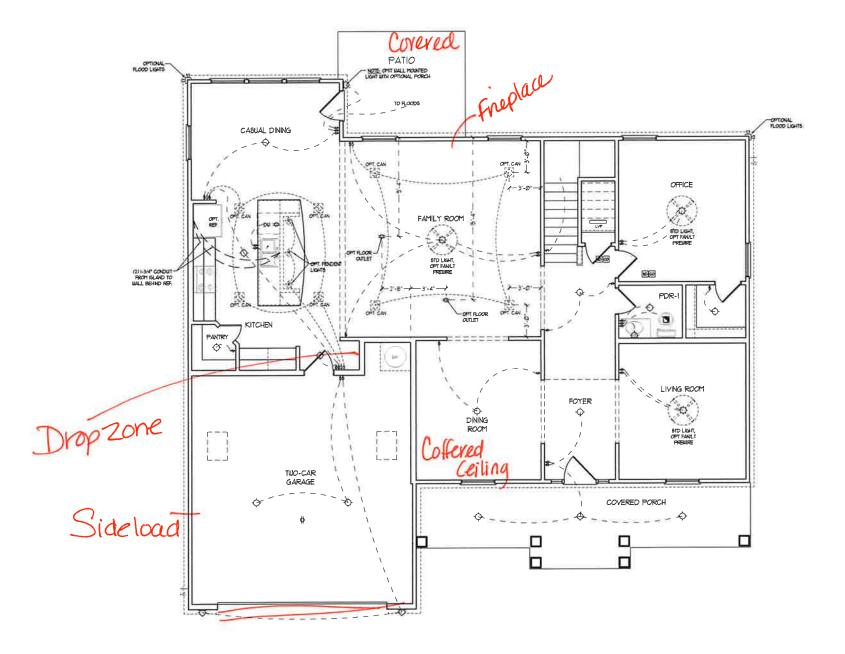
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ENGINEERED BY:

REVIEWED BY:

WALL SECTIONS AND STAIR DETAIL

AD-1



ELECTRICAL LAYOUT NOTES.

U BLOOK AND WIRE FOR ALL
CEL NAS FAISE FOR PLAN.
2) VANITY LIGHTS TO BE SET
9 SOY AFF. (TP)

3) ADDITIONAL EXTENIOR CUTLETO
REQUIRED BY LECTRICALA

4.) PLACE SUITCHES B* (MIN.) PROM ROUGH OPENINGS

ELECTRICAL LEGEND

+	NØ ∨ ØUTLET
Ω	BIALL MOUNT LIGHT
0	CEILING HOUNT LIGHT
•	PENDANT LIGHT
Ø	RECESSED CAN LIGHT
Ø	MINI GAN LIGHT
(i)	EYEBALL LIGHT
	FLILORESCENT LIGHT
	2 LAMP, 4' FLUORESCENT LIGHT
译	FLOOD LIGHT
ł	SWITCH
j.	3-WAY SWITCH
š	4-BAY SUITCH
8	DIHMER SUITCH
a-	CONDUIT FOR COMPONENT
(F)	6PEAKER
e-	DOORBELL CHIME
10	No v SMOKE DETECTOR
@	GO DETECTOR
	EXHAUST FAN

LOW VOLTAGE PANEL

0

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H&H HOMES, INC. ROOSEVELT

DATE: APRIL 26, 2017 REV. MAY 01, 2020

SCALE: 1/4"=1'-0"

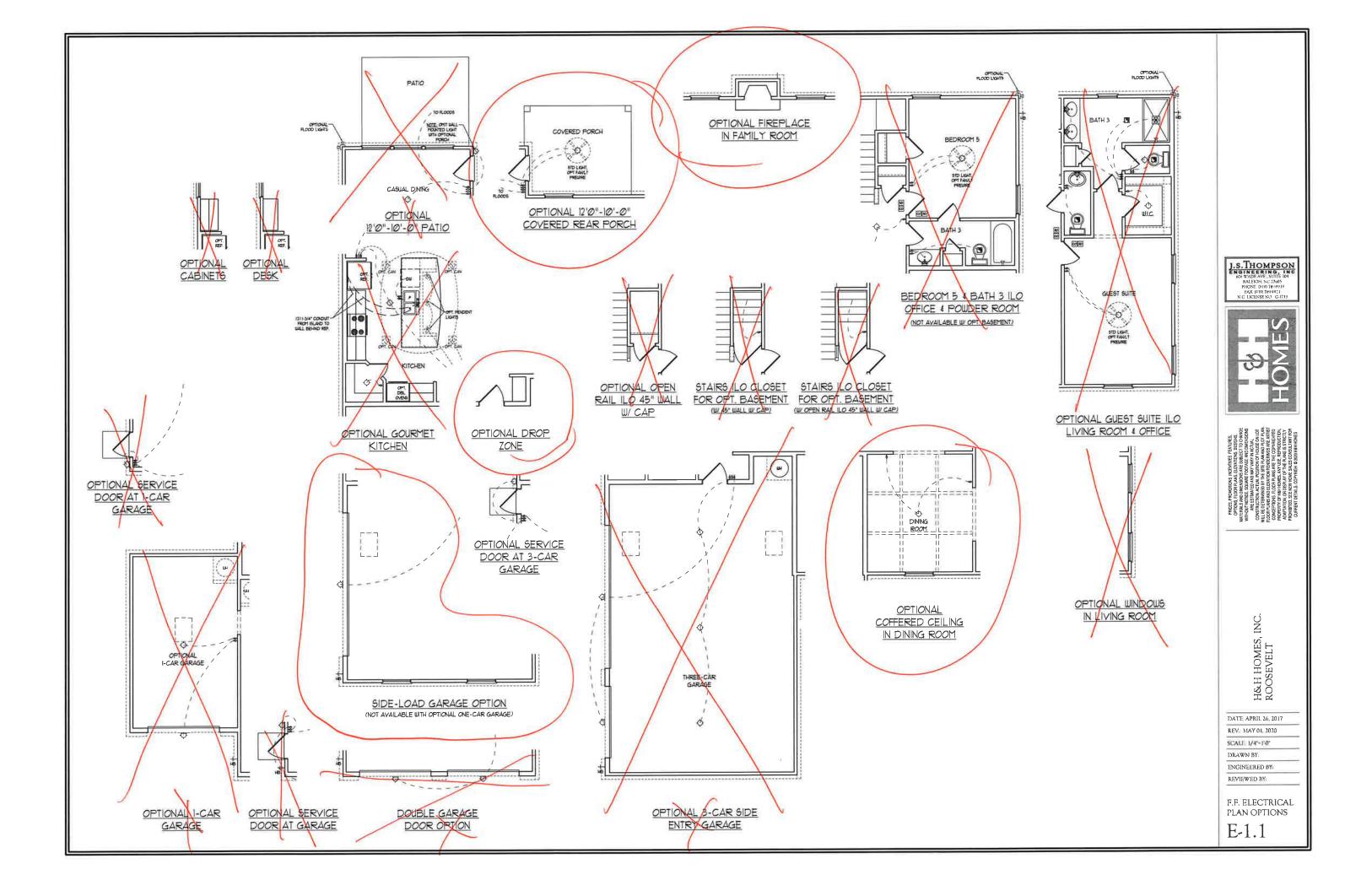
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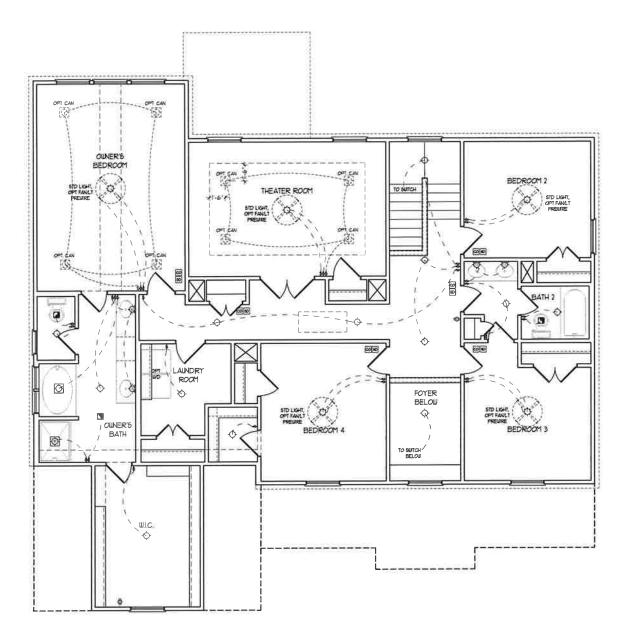
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FIRST FLOOR ELECTRICAL PLAN

E-1

FIRST FLOOR PLAN





SECOND FLOOR PLAN

ELECTRICAL LAYOUT NOTES

U BLOCK AND WIRE FOR ALL CELING FAME PER PLAN

90° AFF. (TYP)

3) ADDITIONAL EXTERIOR CUTLETO REQUIRED BY CODE TO BE LOCATED BY ELECTRICAN

4.) PLACE SUITCHES B" (MINU FROM ROUGH OFFENINGS.

ELECTRICAL LEGEND No v outlet MALL HOUNT LIGHT CEILING HOUNT LIGHT RECESSED CAN LIGHT MINI CAN LIGHT EYEBALL LIGHT 썁 FLOOD LIGHT SWITCH 3-WAY SWITCH DIMMER SUTCH
CONDUIT FOR COMPONENT
LIMING
SPEAKER DOORBELL CHIME 16 V SHOKE DETECTOR CO DETECTOR EXHAUST FAN LOU VOLTAGE PANEL CEILING FAN CEILING FAN ILV LIGHT

J.S.THOMPSON ENGINEERING, INC 605 WADE AVE, SUITE 104 605 WADE AVE, SUITE 104 FILCOME (916) 780-9019 FAX. (919) 180-9021 N.C. LICENSE NO. C-1733



H&H HOMES, INC. ROOSEVELT

DATE: APRIL 26, 2017

REV = MAY 01+ 2020

SCALE: 1/4"=1'0" DRAWN BY:

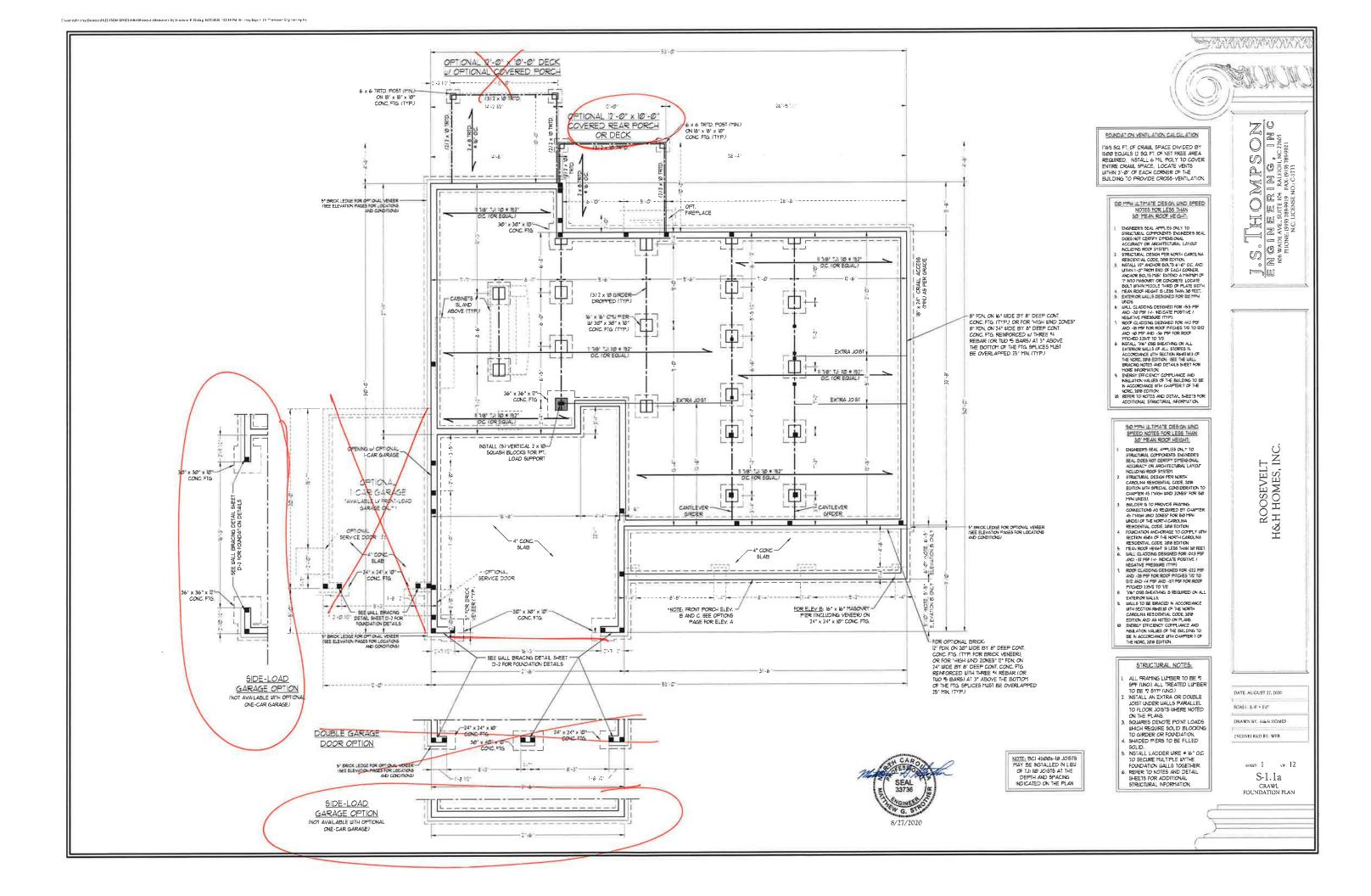
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REVIEWED BY:

SECOND FLOOR ELECTRICAL PLAN

E-2

DATE



SIDE-LOAD GARAGE OPTION (NOT AVAILABLE WITH OPTIONAL ONE-CAR GARAGE)

BRACED MALL DESIGN NOTES

- BRACED WALL DESIGN FER SECTION RE0210 OF THE NORG

RECTANGLE A SIDE IA (FRONT LOAD)
PETHOD CS-USP/FF
TOTAL REQUIRED LENGTH 15.76

SIDE 34 (SIDE LOAD)

SIZE OF LINTEL

L 3 1/2 x 3 1/2 x 1/4

L 5 x 3 l/2 x 5/l6 LLV

8 AND GREATER L 6 x 4 x 5/16 LLV

LINTEL SCHEDULE APPLIES TO ALL

OPENINGS IN BRICK VENEER (UNO), SEE ARCH DIUGS, FOR SIZE AND LOCATION OF

OPENINGS
(LLV) = LONG LEG VERTICAL
LENGTH = CLEAR OPENING
EMBED ALL ANGLE IRONS MIN 4" EACH
SIDE INTO VENER TO PROVIDE BEARING
FOR ALL HEADERS 8"-0" AND GREATER
N. LENGTH, ATTACH STEEL ANGLE TO
HEADER III VI?" LAG SCREUS 8 12" O.C.

STAGGERED.
FOR ALL BRICK SUPPORT & ROOF LINES.

FASTEN (2) 2 x 10 BLOCKING BETWEEN STUDS w/ (4) 12d NAILS PER PLY, FASTEN

STUDS W (4) 724 NALS PER PLY, FASTEN A 6' x 4' x 5/6' STEEL ANGLE TO (21) z 1/2 MB ELOCKING W (2) I/2' LAG SCREUS # I2' OC. STAGGETED. SEE SECTION RY03821 OF THE 20'8 NORC FOR ADDITIONAL BRICK SUPPORT INFORMATION FRECAST REINFORCED CONCRETE ANGLE AND ANGLE STAGGET AND ANGLE STAGGET AND ANGLE STAGGET ANGLE STAGGET AND ANGLE STAGGET AND

LINTELS ENGINEERED BY OTHERS MAY BE USED IN LIEU OF STEEL LINTELS.

BCI 4500s-18 JOISTS MAY BE INSTALLED

IN LIEU OF TJI NO JOISTS AT THE DEPTH AND SPACING INDICATED ON THE PLAN

BCI 6000s-18 JOISTS MAY BE INSTALLED

IN LIFT OF THE 230 HOISTS AT THE DEPTH AND SPACING INDICATED ON THE PLAN

LENGTH (FT.)

UP TO 4 FT.

BRICK SUPPORT NOTES

OPENINGS.

RECTANGLE B

2092 2005 2005 2005

IOMI EERIN SUITE 104 RALEI 1789-9919 FAX: (91

S. TH (

Z 8 \longrightarrow \mathbb{M}

ROOSEVELT H&H HOMES, INC.

00 | G | EIGH, | 9919) 78

SIDE IB
METHOD C5-W59/PF
TOTAL REQUIRED LENGTH 236'
TOTAL PROVIDED LENGTH 6' SIDE 2E 10D, C5-IISP TOTAL REQUIRED LENGTH 238 TOTAL PROVIDED LENGTH 238

SIDE 35 METHOD C5-W5T TOTAL REQUIRED LENGTH 2' TOTAL PROVIDED LENGTH 558 SIDE 48 / 34 COMBINED

METHOD CS-USP

METHOD CS-USP/GB

TOTAL REQUIRED LENGTH 1463

TOTAL PROVIDED LENGTH: 1175

"OTAL PROVIDED LENGTH: 406"

STRUCTURAL NOTES:

- TREATED LIMBER TO BE SYE 7 (UNO.)
- PARALLEL TO FLOOR JOISTS WHERE NOTED ON
- INE PLANS.

 UNDOW AND DOOR HEADERS TO BE SUPPORTED

 U/(I) JACK STUD AND (I) KING STUD EA. END

 (UNO.) SEE TABLE R602.15 FOR ADDITIONAL KING
- SOLID BLOCKING TO GIRDER OR FOUNDATION.
- SOLID BLOCKING ID GINDER OF POSICIATION ALL SCALES TO BE (2) STUDS (LIND.)
 FOR HIGH WIND ZONES, ALL EXTERIOR WALLS TO BE SHEATHED WITH 1/16" OSB SHEATHING WITH JOINTS BLOCKED AND SECURED WITH 8d NAILS AT
- FOR HIGH WIND ZONES, SECURE ALL EXTERIOR
 WALL SHEATHING PANELS TO DOUBLE TOP
 PLATES, BANDS, JOISTS, AND GIRDERS WITH (2)
 ROUS OF BU NAILS STAGGERED AT 3" OC. PANELS SHALL EXTEND IZ" BEYOND CONSTRUCTION JOINTS AND SHALL OVERLAP GIRDERS AND DOUBLE SILL PLATES THEIR BULL DEPTH
- ALL 4 x 4 POSTS SHALL BE ANCHORED TO SLABS W/SIMPSON ABUA4 POST BASES (OR EQUAL) AND 6 x 6 POSTS W/ABU66 POST BASES (OR EQUAL) (UNO). ALL 4 x 4 AND 6 x 6 POSTS TO BE INSTALLED WITH 100 LB CAPACITY UPLIFT
- FOR FIBERGLASS, ALLUMINUM, OR COLUMN ENG BY OTHERS, SECURE TO SLAB W/ (2) METAL ANGLES USING 2" CONC. SCREUS, FASTEN ANGLES TO COLUMNS W/ 1/4" THROUGH BOLTS W/ NUTS AND IIIASHERS, LOCATE ANGLES ON OPPOSITE SIDES



DRAWN BY, H&H HOMES ENGINEERED BY WFB

DATE AUGUST 27, 2020

SCALE 1/4" = 1/0"

or 12 SHEET 9 S-2a SECOND FLOOR FRAMING PLAN

PRACED MALL DEBIGN FER SECTION REGISTION FOR THE NORCE
2018 EDITION
C5-MEP REFERS TO "CONTINUOUS SHEATING - MOOD
ON ALL EXTERIOR MALLS ATACHED MY 80 VALES PRACED 6"
ON ALL EXTERIOR MALLS ATACHED MY 80 VALES PRACED 6"
ON ALCAS PANEL EDGES AND 1" ON INTHE FIELD
MY MINY SYPERM MALL BOARD LOTRECTOR 15 TO INSTALL
10" MINY SYPERM MALL BOARD LOTRECTOR 15 TO INSTALL
10" MINY SYPERM MALL BOARD LOTRECTOR 15 TO INSTALL
10" MINY SYPERM MALL BOARD LOTRE MOTEO ON THE PLANS
145 THE SE MITH MY "SCREAD OR 159" KINS SPACED 1" OC
ALONG PANEL EDGES AND IN THE FIELD INCLIDING TOP AND

BOTTOM PLATES BRACED WALL DESIGN 4PPLED IN WIND ZONES JP TO 30 MPH

TOR HIGH JUD ZONES BRACE MALLS ARE TO BE CONSTRUCTED IN ACCORDANCE IN THE CHAPTER 45 OF THE NORS 2018 ED TICN SEE NOTES AND DETAIL SHEETS FOR ADDITIONAL BRACED MALL NFORMATION.

BRACED WALL DESIGN

TOTAL FROVIDED LEVETH 28 SIDE 74 WETHOD CS-WSP TOTAL REQUIRED LENGTH 1318 TOTAL PROVIDED LENGTH 1318

> METHOD: CS-WSP/PT TOTAL REQUEED LENGTH 1463 TOTAL PROVIDED LENGTH: 4966"

LINTEL SCHEDULE FOR BRICKNATURAL STONE SUPPORT

ALL FRAMING LUMBER TO BE SET ™ (UNO) ALL

- 3 INSTALL AN EXTRA JOIST UNDER WALLS
- THE PLANS.
- STUD REQUIREMENTS: SQUARES DENOTE POINT LOADS WHICH REQUIRE
- 3" O.C. ALONG EDGES AND 6" O.C. IN THE FIELD.
- CONNECTORS AT TOP (UNO.)
- OF COLUMN, THROUGH BOLTS MUST BE INSTALLED PRIOR TO SETTING COLUMN.

 REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.

TSP - TRIPLE STUD POCKET

TABLE R602.75 MINIMUM NUMBER OF FULL HEIGHT STUDS AT EACH END OF HEADERS IN EXTERIOR WALLS

HEADER SPAN (FEET)	MAXIMUM STUD SPACING (INCHE (PER TABLE REGISSE)	
	W.	74
UP TO 3	- 1	1
4'	2	1
a·	3	2
D'	5	3
16'		4



- BRACED WALL DESIGN PER SECTION R60210 OF THE NORC
- BRACED WALL DESIGN PER SECTION R602 to OF THE NORCIZO & BIDTION

 SSHIGH REFERS TO "CON"INDUCE SHEATHING WOOD

 STRUCTURAL PANELS!" CONTRACTION 15 TO INSTITUTION OF SITE AT THE NORD

 NILLE MYTEROR WALL SO AT TOURD WIFE ON THE FELLO.

 CO ALLONG PANEL EDGES AND WIFE OF MINISTRACTION 15 TO INSTALL

 12" (THIN) SYPENH WALL BOARD! CONTRACTION 15 TO INSTALL

 12" (THIN) SYPENH WALL BOARD WHERE NOTED ON THE FLANS,

 FASTEN GO SITH THIS "SOCIETIES ON TIBE" NALL SPACED TO OC

 ALONG PANEL EDGES AND IN THE FIELD INCLUDING TOP AND

 BOTTOM PLATES

 BRACED WALL DESIGN APPLIED IN LIND ZONES AND TO BO MMH

 FOR HIGH WIND ZONES BRACE WALLS FAR TO BE CONSTRUCTED

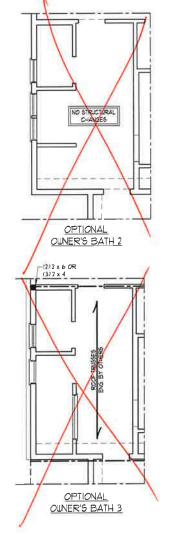
 NACCORDANCE WITH CHAPTER 45 OF THE NORCE 2008 ED TION

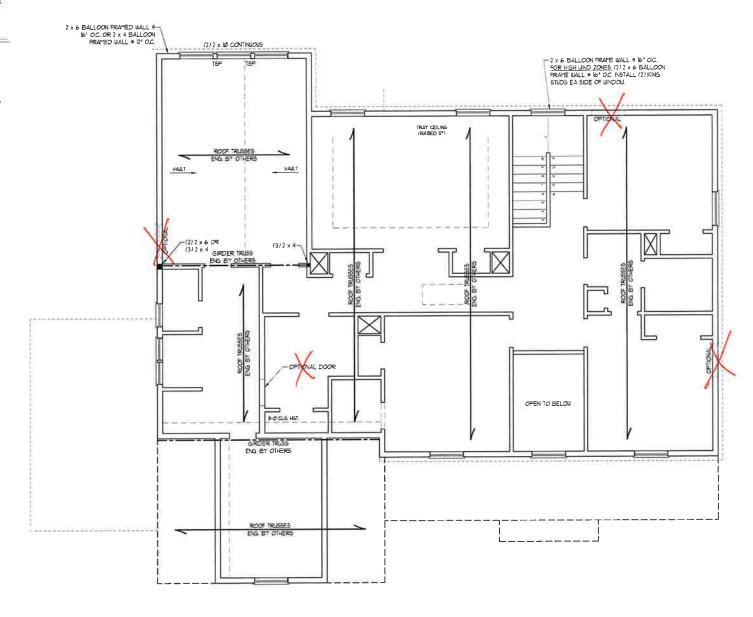
 SEE NOTES AND DETAIL SHEETS FOR ADDITIONAL BRACED

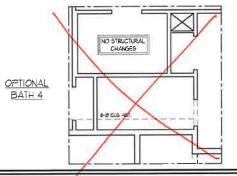
 WALL INCOMPATED
- JALL INFORMATION

NOTE

- PER SECTION R802 032 OF THE 2018 NCRC. THE AMOINT OF SRACING ON THE SECOND FLOOR EXCEEDS THE AMOINT OF FIRST FLOOR EXCEEDS AND REACED JULL ANALYSIS IS REQUIRED
- ENDEL FOR IN RECORD HALLS WITH THE 10SE SHEATHING ATTACHED WITH 30 NAILS AT 6" OS ALONG PANEL EDGES AND IT OC IN THE FELD.









NOTE: ALL EXTERIOR WALLS AND ATTIC WALLS ARE TO BE 2 x 6 9 16" O.C. (UNO). 2 x 4 @ 16" O.C. EXTERIOR WALLS MAY BE CONSTRUCTED IN LIEU OF 2 x 6 WALLS (UNO). ALL INTERIOR LOAD BEARING WALLS ARE TO BE 2 X 4 . 16" O.C. (UNO) AND NON-LOAD BEARING INTERIOR WALLS ARE TO BE 2 x 4 @ 24" O.C. (UNO).

LINTEL SCHEDULE FOR BRICK/NATURAL STONE SUPPORT		
LENGTH (FT.) SIZE OF LINTEL		
UP TO 4 FT.	L 3 1/2 x 3 1/2 x 1/4	
4-8	⊥ 5 x 3 1/2 x 5/16 LLV	
8 AND GREATER	L 6 x 4 x 5/16 LLV	

BRICK SUPPORT NOTES:

- RICK SUPPORT NOTES.

 LNTEL SCHEDULE APPLIES TO ALL
 OPENNAS TO BRICK VENEER (INVO). SEE
 ARCH DIJLS. FOR SIJE AND LOCATION OF
 OPENNAS

 (LLV) = LONG LEG VERTICAL
 LENGTH = CLEAR OPENNA
 EMBED ALL ANGLE IRONS MIN 4" EACH
 SIDE INTO VENEER TO PROVIDE BEARING.
 FOR ALL HEADERS 9".0" AND GREATER
 IN LENGTH, ATTACH STEEL ANGLE TO
 HEADER WIT "LAS GSCREUS 9" OC.
 STAGGERED.
 FOR ALL BRICK SUPPORT 0 ROOF LINES,
 FASTEN (2) 7 x 10 BLOCKING BETJEEN
 STUDS WI (4) 12d ANGLE FER PLY, FASTEN
 A 6" x 4" x 306" STEEL ANGLE TO (7) 7 x
 B BLOCKING WIC) 10" LAS SCREUS 6 1"
 OC. STAGGERED. SEE SECTION RIPS. 91
 OC. STAGGERED. SEE SECTION RIPS. 92
 OC. STAGGERED. SEE SECTION RIPS. 93
 OC. STAGGERED. SEE SECTION RIPS. 94
 OC. STAGGERED. 94
 OC. S
- BRICK SUPPORT INFORMATION
 PRECAST REINFORCED CONCRETE
 LINTELS ENGINEERED BY OTHERS MAY BE USED IN LIEU OF STEEL LINTELS

STRUCTURAL NOTES:

- ALL FRAMING LUMBER TO BE SIT ? (UNO). ALL TREATED LUMBER TO BE 5YP ? (UNO) ALL LOAD BEARING HEADERS TO BE (2) 2 x

- ALL LOAD EXAMBLE (10 DE 17 / TUND)

 ALL LOAD EXAMS HEADERS TO BE (2) ? X
 6 (1/O),

 WINDOW AND DOOR HEADERS TO BE
 SUPPORTED W (1) JACK STUD AND (1) KING
 STUD ALB DOU (NO.) SEE TABLE REGATS
 FOR ADDITIONAL KING STUD REQUIREMENTS.

 SAURES DENOTE POINT LOADS WHICH
 REQUIRES SOLID BLOCKING TO GIRDER OR
 FOUNDATION. ALL SALMARES TO BE (2)

 STUDS (1/O).

 FOR HIGH WIND ZONES, ALL EXTERIOR WALLS
 TO BE SHEATHED WITH TWE OBB SHEATHING
 WITH JOINTS BLOCKED AND SECURED WITH
 BEI NAILS AT 3" OC. A LONG EDGES AND 6"

 OC. IN THE FIELD.

 FOR HIGH WIND ZONES, SECURE ALL
 EXTERIOR WALLS SHEATHING FAMELS TO
 DOUBLE TOP PLATES, BANDS, JOISTS, AND
 GIRCORES WITH (2) POUS OF BEI VAILE
 STAGGERED AT 3" OC. PANELS SHALL
 EXTEND "BEYOND CONSTRUCTION JOINTS
 AND SHALL OVER AP GIRCDERS AND
 DOUBLE SILL PLATES THEIR PILL DEPTH
 SUPPORT GABLE WALLS NOT BRACED BY
- DOUBLE SILL PLATES THEM FULL DEPTH SUPPORT GABLE WALL NOT BRACED BY CEILING JOISTS OR FLOOR SYSTEM WITH 2 x 4 LATERAL BRACING INSTALLED ON TOP OF CEILING JOISTS OR TRUSS BOTTOM CHORDS AT 8-0" OC. AND EXTEND INWARD FROM GABLE WALLS 8'-0' MIN. REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.

TSP - TRIPLE STUD POCKET

TABLE R602.75 MINIMUM NUMBER OF FULL HEIGHT STUDS AT EACH END OF HEADERS IN EXTERIOR WALLS

HEADER SPAN	MAXIMUM STUD !	PACING (INCHES. REØ23(5)	
IFEE IV	16	74	
UP TO 3"	1	1	
4'	2	1.0	
8'	3	1	
12'	5	3	
16'	6	4	

SON 1, 1 N C 1, NC 27605 789.9921 W HOMPS

LERING

NECKINE 104 RALEGILIA

(919) 789-9919 FAX: (919) 789

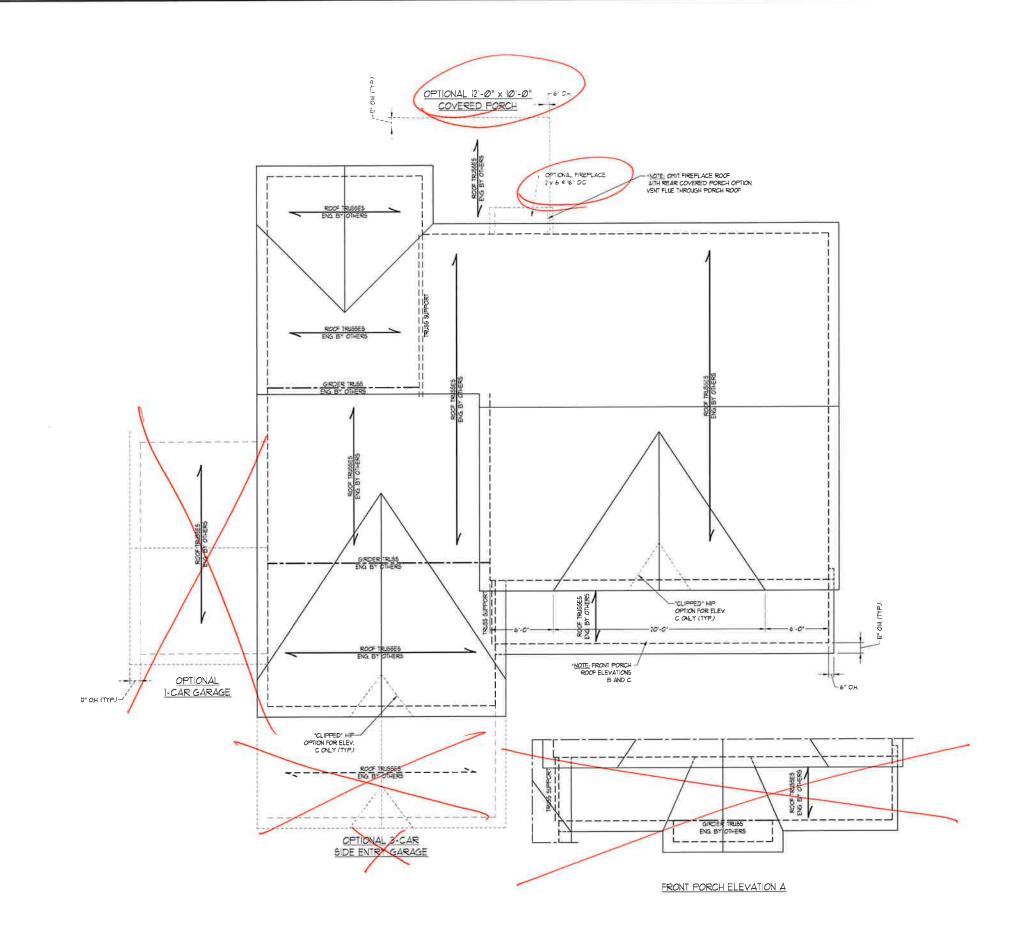
NC. LICENSE NO. C. 1733 S, TH N G I N E 606 WADE AVE, SI PHONE (919) 7 \rightarrow \mathbb{H}

ROOSEVELT H&H HOMES, INC.

DATE AUGUST 27, 2020 SCALE, 1/4" = 1'0"

DRAWN BY: U&H LIOMES ENGINEERED BY WFB

SHEET 11 OF 12 S-3 ATTIC FLOOR FRAMING PLAN





- FASTEN (2) 2 x 10 BLOCKING BETWEEN WALL STUDS W (4) 12d NAILS PER PLY, FASTEN A 6' x 4' x 5/16' STEEL ANGLE TO (2) 2 x 10 BLOCKING W (2) 12' 1 LO SCREUS 0 P' OC STAGGERED SEE SECTION RY03321 OF THE 2/08 NORGE POR ADDITIONAL BRICK SUPPORT INFORMATION WHERE ROOF SLOPES EXCEED 1:12, INSTALL 3" x 3" x 14" STEEL PLATE STOPS AT 24" OC PER SECTION RY03321 OF THE NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION

STRUCTURAL NOTES:

- STRUCTURAL NOTES:

 1. ALL FRAMING LUMBER TO BE 72
 5F (UNO).
 2. CIRCLES DENOTE (3) 2 x 4 POSTS
 FOR ROOF SUPPORT
 3. PRAME DORTHE WALLS ON TOP
 OF DOUBLE OR TRIPLE RAFTERS
 4. HIP SPLICES ARE TO BE SPACED
 A MIN OF 8'-9'. FASTEN
 12D MINERS WITH THREE ROUS OF
 12D MAILS 9 16' DC. (TYP)
 3. STICK FRAME OVER-FRAMED
 ROOF SECTIONS W 2' x 8 RIDGES,
 2 x 6 RAFTERS 9 16' O.C. AND
 FLAT 2 x 10 VALLEYS OR USE
 VALLEY TRISSES.
 6. FASTEN FLAT VALLEYS OR USE
 VALLEY TRISSES WITH
 SIMPSON ALSA HURRICANE TIES 14 ROUGH NOTCH IN ROOF
 SHEATHING. EACH RAFTER 16 TO
 BE FASTENED TO THE FLAT
 VALLEY WITH A MIN OF (6) 120
 TOE MAILS.
 1. REFER TO SECTION RAD211 OF THE
 220 N CREC FOR REQUIRED UPLIFI
 RESISTANCE AT RAFTERS AND
 TRUSSES FOR ADDITIONAL
 SHEETS FOR ADDITIONAL
 STRUCTURAL INFORMATION.

ROOSEVELT H&H HOMES, INC.

CHARRANT CONTROLL CONTROLL CONTROLL CONTROLL CONTROLL CONTROLL CONTROLL CONTROL CONTRO

J.S. THOMPSON ENGINEERING, INC 668 WAYDE AVE. SUTE 104 RALEGIL NC. 7605 PILONE (919) 785-9919 FAX.(919) 789-9921 N.C. LICENSE NO. C. C. 1773

DATE AUGUST 27, 2020

SCALE: 1/4" - 1'0"

DRAWN BY, H&H HOMES ENGINEERED BY, WFB

> SHEFT 12 OF 12 S-4 ROOF FRAMING PLAN



4" CONCRETE SLAB IN FISER RENFORCING OR WELDED WIRE FASER C

4" CO" LOTED LELL DRANNG SOIL OR LIAS-ED STONE

6 MI VAROR RAFFIER

UND STURBED EARTH COMPACTED FILL OR BASHED STONE

TYPICAL SLAB DETAIL

GARAGE CURBIDETAL

BRICK VENEER DETAIL

GARAGE CURB BRICK LEDGE DETAL

DETAIL 3 DETAIL 4 SIL PLATE FER PLAN SILL PLATE FER PLAN PRID BOTTOM PLATE SECURED BY A TO A BOUTE TO THE SECURED BY A TO BOTTOM FOR THE SECURED BY A SEC SEE CHARLED SPACKS AND EMBEDMENT RED SOLTO W. RECHEAD TRUMP IT OF EACH COASES WHICH HO BOUTS THIN IT OF EACH COASES HOW HOW IN THE SECTION IN SEE CHARLED TRUMPING AND EMBEDMENT RED TO BOTTOM FLAT SECURED BY IN 19 SEE CHARLED TRUMPING AND EMBEDMENT RED TO BOTTOM FLAT SECURED BY IN 19 SEE CHARLED TRUMPING AND EMBEDMENT RED TO BOTTOM FLAT SECURED BY IN 19 SEE CHARLED TRUMPING AND EMBEDMENT RED TO BOTTOM FLAT SECURED BY IN 19 SEE CHARLED TRUMPING AND EMBEDMENT RED TO BOTTOM FLAT SECURED BY IN 19 SEE CHARLED TRUMPING AND EMBEDMENT RED TO BOTTOM FLAT SECURED BY IN 19 SEE CHARLED TRUMPING AND EMBEDMENT RED TO BOTTOM FLAT SECURED BY IN 19 SEE CHARLED TRUMPING AND EMBEDMENT RED TO BOTTOM FLAT SECURED BY IN 19 SEE CHARLED TRUMPING AND EMBEDMENT RED TO BOTTOM FLAT SECURED BY IN 19 SEE CHARLED TRUMPING AND EMBEDMENT RED TO BOTTOM FLAT SECURED BY IN 19 SEE CHARLED TRUMPING AND EMBEDMENT RED TO BOTTOM FLAT SECURED BY IN 19 SEE CHARLED TRUMPING AND EMBEDMENT RED TO BOTTOM FLAT SECURED BY IN 19 SEE CHARLED TRUMPING AND EMBEDMENT RED TO BOTTOM FLAT SECURED BY IN 19 SEE CHARLED TRUMPING AND EMBEDMENT RED TO BOTTOM FLAT SECURED BY IN 19 SEE CHARLED TRUMPING AND EMBEDMENT RED TO BOTTOM FLAT SECURED BY IN 19 SEE CHARLED TRUMPING AND EMBEDMENT RED TO BOTTOM FLAT SECURED BY IN 19 SEE CHARLED TRUMPING AND EMBEDMENT RED TO BOTTOM FLAT SECURED BY IN 19 SEE CHARLED TRUMPING AND EMBEDMENT RED TO BOTTOM FLAT SECURED BY IN 19 SEE CHARLED TRUMPING AND EMBEDMENT RED TO BOTTOM FLAT SECURED BY IN 19 SEE CHARLED BY IN 19 SEE CHARLED TRUMPING AND EMBEDMENT RED SEE CHARLED BY IN 19 SEE CHARLED -1234 AS SEEC 1-4" VERT GALL" AN -SEA'MYG STARTER STRIP FLASHING

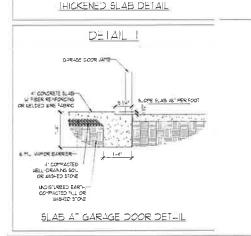
WEEP HOLES /-FINSHEI

STEPHEN GRADE 4 CONCRETE SLAB 5 LEDGE / 6 HL VAPOR SARRER - NORTH 2 TELL-DRAINING OR WAS-ED STONE
UNDISTRIBED EARTH,
COMPACTED FILL OR
WAS-ED STONE A GOTTACIES

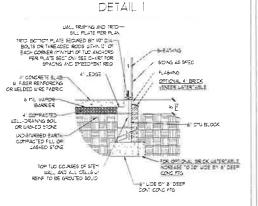
LEL - DRANNO BO L

OR LLASHED STONE

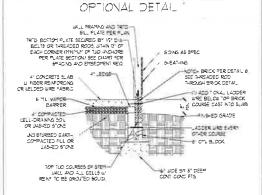
DE_717 0 DETAIL 5 SLL PLATE FER PLAN TRID BOTTOM PLATE SECURED BY IN" D.4.
BOLTS IN RED-RAD ACHIORS OR IN
SMESON, "BIN OB 30.15 UTILIN IN" OF EACH
CORNER MINITUM OF "ILO ANCHORS PRE
=_ATE SECTION, SEE CHART FOR SPAC YO
AND EMBEDMENT REG U FREN RE VOICE 1 10000 STREET COMPLETED SIEP IN GARAGE DETAIL



STEMWALL DETAILS

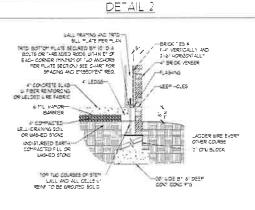


TYP CAL STEM WALL DETAIL (U/ OPTIONAL WATERTABLE)

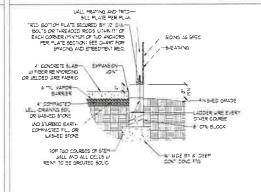


OPTIONAL STEY WALL DETAIL

DETAIL 3



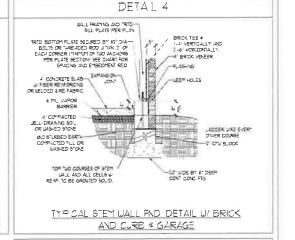
TYPICAL STEM WALL FNO. W/ BRICK DETAIL



TYPICAL STEM WALL FND. DETAIL J/ CURB @ GARAGE

2 TE WALL FRAMING AND TRID BILL PLATE FER PLAN	
YE CENCLE SET HOUSE OTHER WHILE SET WHILE SET SET SET SET SET SET SET SET SET SE	-SDMS AS SPEC
4 CONCRETE SLAS EXPANSION	NOTCH BRICK PER DETA SEE THREADED ROD
W F BER REINFORCING JONIT OR WELDED JURE FASRIC	THROUGH SRICK DETAIL ADD TONE LADDER WIRE BELOW TOP BRICK
6 ML VAPOR BARRIER	S CONSE
4" COMPACTED	- NA-ED GRADE
UELL DRANNS 50 L OR LIASHED 5"ONE	LADDER LIRE EVERY OTHER COURSE
UNDISTURBED EARTH, UAS-ED STONE	8 OH BLOCK
TOF TWO COURSES OF STEY	A HOE BY & DEEP
REINF TO BE GROUTED SOLID	CONT CONS =TG

CPTIONAL STEM WALL FND. DETAIL W/ CURB & GARAGE



DETAL 8 MS DE EDGE OF MASONRY STEMBALL 19" ANCHOR ROD SPACED PER TABLE BRICK YASONR OUTS DE EDIGE DE BEICK AND NOTCH BRICK & T-READED ROD AND GROUT SOLD THREADED ROD THROUGH BRICK MASONRY

MASONRY STEMUALL SPECIFICATIONS MASONRY INAT TYPE DALL HEIGHT (FEET) 4" BRICK AND 4" 4' BRICK AND 8' 3" CMU B' CMJ 2 AND BELOW UNGROUTED GROUT SOLID INGROJIED UNGROUTED LNGROJTED UNGROUTED INGROJED GROUT SOLID GROJT 50LID ₩ *4 REBAR € 6-1' OC GROUT SOLID GROUT SOLID OT APPLICABLE GROUT SOLID W *4 GROJT 90L D w/ 14 REBAR 6 36' OC GROJT 50_D W 4 COT APPLICABLE GROJT 50_ID W 4 GROJT 50_ID W 4 REBAR © 24" OC REBAR © 64" OC ENGINEERED DESIGN BASED ON SITE CONDITIONS T AND GREATER

1. WALL HEIGHT MEASURED FROM TOP OF FOCTING TO "OP OF THE WALL."
2. THE MULTIPLE UTTHES TOGETHER WITH LADDER WIRE AT "6" OC VERTICALL".
3. CHART APPLICABLE FOR HOUSE "FOUNDATION ONLY." CONSUL" ENGINEER FOR DESIGN OF GARAGE FOUNDATION VOI COPPON TO HOUSE.
4. BACKFILL OF CLEAN 5" / 1/6" WASHED STONE IS ALLOWABLE.

2 BACKFILL OF CLEAN STINST USSHED STONE IS ALLOWERS.

BACKFILL OF CLEAN STINST OR SAMDING ALVENTAGE SOUS (45 PSFFT BELOW GRADE)

CLASSFIED AS GROW! ACCORDING TO UNIFED SOUS CLASSFICATION SYSTEM IN ACCORDING TO UNIFED SOUS CLASSFICATION SYSTEM IN ACCORDING UNIFERAL RADIO OF THE 1996 INTERNATIONAL RESIDENTIAL CODE ARE ALLOWABLE.

WINDY 24 LAP SPLICE LENGTH

LOCATE REGULAR OF CENTER OF FOUNDATION WALL

BURGER REQUIRED FILL BLOCK SOUD WITH THE 1997 YORTAR OR 1090 PS GROUT USE OF 1.00

GREATER

AN	ICHOR SPACING AND	EMBEDMENT
JIND IONE	20 MP-I	30 MP4
6=ACING	e'-3" OC	4"-0" O.C
		15' INTO MASONEY
BEDMEN"	7"	1 NTC CONCRETE

S. THOMPSON

GENERAL STEINS, INC.

MANDEAU, SUTE OF FARICH, NO. 27665

MICHORE NO. CITH 0 0 28

学为学习的对象的对象的

SPEED WIND MPH ULTIMATE DESIGN FOUNDATION DETAILS . 130 MPH 120

DATE NOVEMBER 14, 2018 SCALL NTS DRAWN BY IST

ENGINEERED BY IES

D-1 FOUNDATION DETAILS s and details Wail oracing notes and details in C. It dwg. 17/14/2018 12 SC 50 PM. Whitely Faulene IJS. Trompson Engineering P

GENERAL WALL BRACING NOTES:

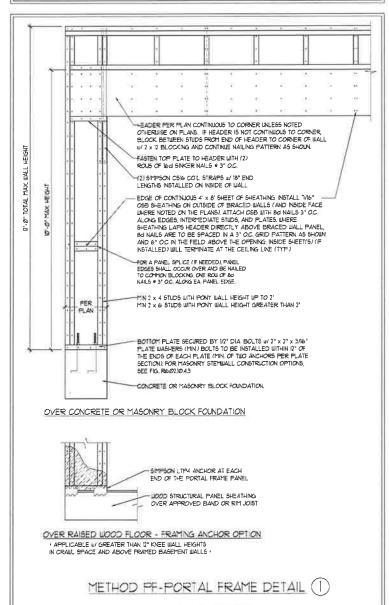
- I. WALL BRACING DESKANED IN ACCORDANCE WITH CHAPTER 6 OF THE 2018 NC RESIDENTIAL BUILDING CODE (NCRC).

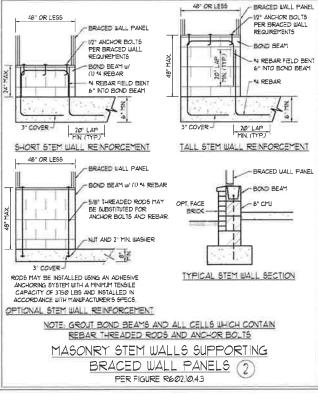
 TABLES AND FIGURES REFERENCED ARE FROM THE 2018 NCRC.

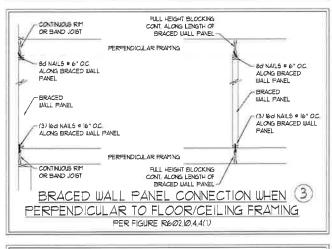
 2. SEE THIS SHEET FOR GENERAL DETAILS. REFER TO THE 2018 NCRC FOR ADDITIONAL INFORMATION AS NEEDED,

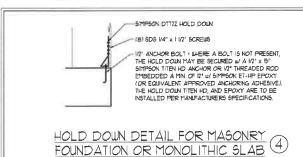
 3. SEE STRUCTURAL SHEETS FOR BRACED WALL LOCATIONS, DIPENSIONS, HOLD DOWN TYPE AND LOCATIONS, BRACED WALL
 LINE KEY WITH WALL DESKIN SUMMARY OF REQUIRED/PROVIDED TOTALS FOR EACH WALL LINE AND ANY SPECIAL NOTES
- ALL EXTERIOR WALLS ARE TO BE SHEATHED WITH CS-WSP IN ACCORDANCE WITH SECTION R602,003 UNLESS NOTED

- BOTH SIDES OF THE BRACED WALL BRACING METHOD. 12" (MIN) GTSSM WALL BOARD IS TO BE INSTALLED ON BOTH SIDES OF THE BRACED WALL FASTENED WITH 114" SCREWS OR 15/8" NAILS SPACED TO OC. ALONG PANEL EDGES INCLUDING TOP AND BOTTOM PLATES AND INTERMEDIATE SUPPORTS (UND.), VERIEY ALL FASTENER OPTIONS FOR 1/2" AND
- NCLUDING TOP AND BOTTOM PLATES AND INTERFEDIATE SUPPORTS (UND.). VERTY ALL FASTENER OPTIONS FOR 12" AND SIG STYPEN PRIOR TO CONSTRUCTION. POR INTERIOR RASTEER OPTIONS SEE TABLE RY0235, FOR EXTERIOR FASTENER OPTIONS SEE TABLE R8023(I). EXTERIOR GB TO BE INSTALLED VERTICALLY. REQUIRED BRACES DIALL ENGTH FOR EACH SIDE OF THE CIRCUMSCRIBED RECTANGLE ARE INTERPOLATED PER TABLE R802, IO3 METHOD CS-UEP CONTRIBUTES ITS ACTUAL LENGTH, METHOD GB CONTRIBUTES 5 ITS ACTUAL LENGTH, AND METHOD FF CONTRIBUTES IS TIMES ITS ACTUAL LENGTH.

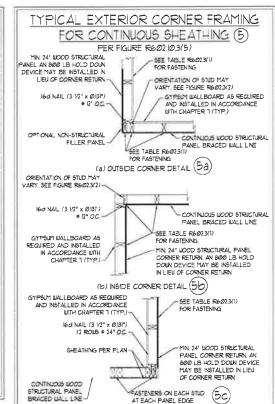






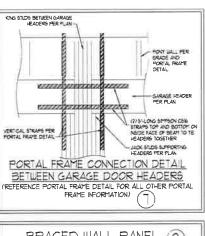


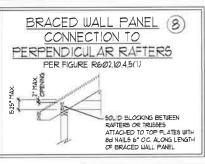
APPLICABLE ONLY WHERE SPECIFIED ON PLAN .

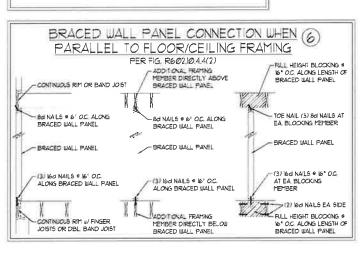


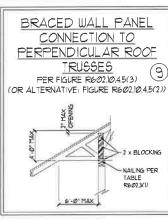
(c) GARAGE DOOR CORNER DETAIL (SEE PLAN FOR ADDITIONAL

STRUCTURAL INFORMATION OR ALTERNATE CONFIGURATIONS









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ZIO SO SO IN INC 27605 00 IOMPS EERING, SUITE 104 RALEIGH, 789,9919 FAX: (919) TR 工业 ي س

SPEED DESIGN WIND S S AND DETAILS MPH ULTIMATE I BRACING NOTES - 130 ' MPH. 20

DATE: NOVEMBER 14, 2018 SCALE: 1/4" - 1'-0

DRAWN BY IST

ENGINEERED BY: IST

D-2 BRACED WALL NOTES AND DETAILS AND PF DETAIL

GENERAL NOTES

- ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS INCLUDING ROOF RAFTERS HIPS VALLEYS, RIDGES FLOORS, WALLS, BEAMS, HEADERS, COLUMNS, CANTILEVERS, OFFSET LOAD BEARNIG WALLS, PIERS, GIRDER SYSTEM AND FOOTING. ENGINEER'S SEAL DOES NOT CERTIFY DIMENSIONAL ACCURACY OF ARCHITECTURAL LAYOUT INCLUDING ROOF, ENGINEER'S SEAL DOES NOT APPLY TO 1-JOIST OR FLOOR/ROOF TRUSS LAYOUT DESIGN AND ACCURACY.
- 2 ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REQUIREMENTS OF THE NORTH CAROLINA RESIDENTIAL CODE (NCRC), 2018 EDITION, PLUS ALL LOCAL CODES AND REGULATIONS. THE STRUCTURAL ENGINEER IS NOT RESPONSIBLE FOR AND WILL NOT HAVE CONTROL OF, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE CONSTRUCTION WORK, NOR WILL THE ENGINEER BE RESPONSIBLE FOR THE CONTRACTORS FAILURE TO CARRY OUT THE CONSTRUCTION WORK IN ACCORDANCE
- 3. STRUCTURAL DESIGN BASED ON THE PROVISIONS OF THE NCRC, 2018 EDITION (R301.4 R501.7)

DESIGN CRITERIA:	LIVE LOAD (PSF)	DEAD LOAD (PSF)	DEFLECTION (IN)
ATTIC WITH LIMITED STORAGE	20	10	L/140 (L/360 at BRITTLE FINISHES
ATTIC WITHOUT STORAGE	10	10	L/36Ø
DECK5	40	10	L/36Ø
EXTERIOR BALCONIES	40	80	L/360
FIRE ESCAPES	40	פו	L/360
HANDRAILS/GUARDRAILS	200 LB OR 50 (PLF)	10	L/360
PASSENGER VEHICLE GARAGE	50	10	L/36Ø
ROOMS OTHER THAN SLEEPING ROOM	40	10	L/36Ø
SLEEPING ROOMS	3Ø	10	L/36Ø
STAIRS	40	10	L/36Ø
WIND LOAD	(BASED ON TABLE R3012)	4) WIND ZONE AND EXPOSURE	
GROUND SNOW LOAD: Fg	20 (PSF)		

- I-JOIST SYSTEMS DESIGNED WITH 12 PSF DEAD LOAD AND DEFLECTION (IN) OF L/480 - FLOOR TRUSS SYSTEMS DESIGNED WITH 15 PSF DEAD LOAD
- FOR 115 AND 120 YPH WIND ZONES, FOUNDATION ANCHORAGE IS TO COMPLY WITH SECTION R403.16 OF THE NORC, 2018 EDITION FOR 130 MPH, 140 MPH, AND 150 MPH WIND ZONES, FOUNDATION ANCHORAGE IS TO COMPLY WITH SECTION 4504 OF THE NORC. 2018 EDITION
- 5. ENERGY EFFICIENCY COMPLIANCE AND INSULATION VALUES OF THE BUILDING TO BE IN ACCORDANCE WITH CHAPTER II OF THE NCRC. 2016 EDITION.

FOOTING AND FOUNDATION NOTES

- FOUNDATION DESIGN BASED ON A MINIMUM ALLOWABLE BEARING CAPACITY OF 2000 PSF. CONTACT GEOTECHNICAL ENGINEER IF BEARING
- 2. FOR ALL CONCRETE SLABS AND FOOTINGS, THE AREA WITHIN THE PERIMETER OF THE BUILDING ENVELOPE SHALL HAVE ALL VEGETATION, TOP SOIL AND FOREIGN MATERIAL REMOVED. FILL MATERIAL SHALL BE FREE OF VEGETATION AND FOREIGN MATERIAL. THE FILL SHALL BE COMPACIED TO ASSURE IMPORTM SUPPORT OF THE SLAB, AND EXCEPT PURIFIES APPOVED, THE FILL DEPTHS SHALL NOT EXCEPT 24" FOR CLEAN SAND OR GRAVEL. A 4" THICK BASED COURSE CONSISTING OF CLEAN GRADED SAND OR GRAVEL HAVILLE FLACED. A BASE COURSE FOR TREMOVED THE PLACED A BASE COURSE FOR THE ROMESTED AS MELL-DRANDED OR SAND-RAVEL MIXTURE SOILS CLASSIFICATION SYSTEM IN ACCORDING TO THE INTERES DIES CLASSIFICATION SYSTEM IN ACCORDING TO THE INTERES.
- 3. PROPERLY DEWATER EXCAVATION PRIOR TO POURING CONCRETE WHEN BOTTOM OF CONCRETE SLAB IS AT OR BELOW WATER TABLE. IS APPLICABLE, 3/4" - 1" DEEP CONTROL JOINTS ARE TO BE SAUED WITHIN 4 TO 12 HOURS OF CONCRETE FINISHING AND WALL LOCATIONS HAVE BEEN MARKED. ADJUST WHERE NECESSARY.
- 4. CONCRETE SHALL CONFORM TO SECTION R4022 OF THE NCRC, 2016 EDITION, CONCRETE REINFORCING STEEL TO BE A5TM A615 GRADE 60. UELDED MIRE PARRIC TO BE ASTH AIRS. MANTAIN A HIMMUNI CONCRETE COVER AROUND REMPORCING STEEL OF 3" IN FOOTINGS AND 112" IN SLABS, FOR POURED CONCRETE MALLS, CONCRETE COVER FOR REMPORCING STEEL MEASURED FROM THE INSIDE FACE OF THE MALL SHALL SHALL
- 5. MASONRY UNITS TO CONFORM TO ACE 530/ASCE 5/TMS 402. MORTAR SHALL CONFORM
- 6 THE UNSUPPORTED HEIGHT OF MASONRY PIERS SHALL NOT EXCEED FOUR TIMES THEIR LEAST DIMENSION FOR UNFILLED HOLLOW CONCRETE MASONRY UNITS AND TEN TIMES THEIR LEAST DIMENSION FOR SOLID OR SOLID FILLED PIERS. FERS MAY BE FILLED SOLID WITH CONCRETE TYPE M OR 5 MORTAR PIERS AND WALLS SHALL BE CAPPED WITH B" OF SOLID MASONRY
- 1. THE CENTER OF EACH OF THE PIERS SHALL BEAR IN THE MIDDLE THIRD OF ITS RESPECTIVE FOOTING, EACH GIRDER SHALL BEAR IN THE MIDDLE THIRD OF THE PIERS.
- 8. ALL CONCRETE AND MASONRY FOUNDATION WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF SECTION READ OF THE NORD, 2008 EDITION OR IN ACCORDANCE WITH ACI 318, ACI 332, NCMA TROBA-A OR ACE 550/ASCE 5/TMS 402, MASONRY FOUNDATION WALLS ARE TO BE REINFORCED PER TABLE READ LIVID, READ LIVID, READ-LIVID, OR RAPALIVA) OF THE NCRC, 2018 EDITION CONCRETE FOUNDATION WALLS ARE TO BE REINFORCED PER TABLE R404 (V.5) OF THE NCRC, 2018 EDITION STEP CONCRETE FOUNDATION WALLS TO 2 × 6 FRAMED WALLS AT 16" O.C. WHERE GRADE PERMITS (UNO)

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FRAMING NOTES

- ALL FRAMING LUMBER SHALL BE 12 SPF MINIMUM (Fb = 815 PS), Fv = 315 PS), E = 16000000 PSI) UNLESS NOTED OTHERWISE (UNO). ALL TREATED LUMBER SHALL BE 2 SYP MINIMUM (Pb = 915 PS), FV = 115 PS), E = 1600000 PS() UNLESS NOTED OTHERWISE (UNO).
- LAMINATED VENEER LUMBER (LYL.) SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fb =2600 PSI, Fv = 285 PSI, E = 18000000 PSI LAMINATED STRAND LIMBER (LEU) SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: PO = 2335 PSI, FV = 310 PSI, E = 550000 PSI
 PARALLEL STRAND LIMBER (PSL) UP TO TI DEPTH SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: FC = 2500 PSI, E = 12000000 PSI,
 PARALLEL STRAND LIMBER (PSL) MORE THAN TI DEPTH SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES FC = 2900 PSI, E = 20000000 PSI INSTALL ALL CONNECTIONS PER MANUFACTURER'S SPECIFICATIONS
- 5 STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING ASTM SPECIFICATIONS

A	IJ AND UT SHAPES	A5TM A992
В	CHANNELS AND ANGLES:	ASTM A36
C.	PLATES AND BARS:	A5TH A36
D.	HOLLOW STRUCTURAL SECTIONS	ASTM A500 GRADE B
E _c .	STEEL PIPE:	ASTM A53, GRADE B, TYPE E OR S

STEEL BEAMS SHALL BE SUPPORTED AT EACH END WITH A MINIMUM BEARING LENGTH OF 3 1/2" AND FULL FLANGE UIDTH (UNO), PROVIDE SOLID BEARING FROM BEAM SUPPORT TO FOUNDATION. BEAMS SHALL BE ATTACHED AT THE BOTTOM FLANGE TO EACH SUPPORT AS

A, WOOD FRAMING	(2) 1/2" DIA x 4' LONG LAG SCREUS
B CONCRETE	(2) 1/2" DIA x 4" WEDGE ANCHORS
C. MASONRY (FULLY GROUTED)	(2) I/2" DIA x 4" LONG SIMPSON TITEN HD ANCHOR

LATERAL SUPPORT IS CONSIDERED ADEQUATE PROVIDING THE JOISTS ARE TOE NAILED TO THE 2x NAILER ON TOP OF THE STEEL BEAM AND THE 2x NAILER IS SECURED TO THE TOP OF THE STEEL BEAM W (2) ROUS OF SELF TAPPING SCREUS * 16" OC. OR (2) ROUS OF 1/2" DIAMETER BOLTS 4 I6" O.C. IF 1/2" BOLTS ARE USED TO FASTEN THE NAILER, THE STEEL BEAM SHALL BE FABRICATED ₩/ (2) ROUS OF 9//6" DIAMETER

- 5. SQUARES DENOTE POINT LOADS WHICH REQUIRE SOLID BLOCKING TO GIRDER OR FOUNDATION SHADED SQUARES DENOTE POINT LOADS FROM ABOVE WHICH REQUIRE SOLID BLOCKING TO SUPPORTING MEMBER BELOW.
- 6. ALL LOAD BEARN'S HEADERS TO CONFORM TO TABLE REQUIT() AND REQUIT(2) OF THE NORC, 2018 EDITION OR BE (2) 2 x 6 WITH (1) JACK AND (1) KING STUD EACH END (UNO), WHICHEVER IS GREATER ALL HEADERS TO BE SECURED TO EACH JACK STUD WITH (4) 8d NAILS. ALL BEAMS TO BE SUPPORTED WITH (2) STUDS AT EACH BEARING POINT (UNO). INSTALL KING STUDS PER SECTION R602.15 OF THE NORTH
- 1. ALL BEAMS, HEADERS, OR GIRDER TRUSSES PARALLEL TO WALL ARE TO BEAR FULLY ON (1) JACK OR (2) STUDS HINMUM OR THE NUMBER OF ALL BEATS, REALIZED, OR GROUP, RESSET PARALLEL TO WALL AND SUPPORTED BY (3) STUDS OR LESS ARE TO HAVE I IV. MINIMUM BEARING (INO). ALL BEAMS OR GROPER TRUSSES PERPENDICULAR TO WALL AND SUPPORTED BY (3) STUDS OR LESS ARE TO HAVE I IV. MINIMUM BEARING (INO). ALL BEAMS OR GROPER TRUSSES PERPENDICULAR TO WALL AND SUPPORTED BY MORE THAN (3) STUDS OR OTHER NOTED COLUMN ARE TO BEAR FULLY ON SUPPORT COLUMN FOR ENTIRE WALL DEPTH (UNO) BEAM ENDS THAT BUTT INTO ONE
- 8. FLITCH BEAMS SHALL BE BOLTED TOGETHER USING I(2* DIAMETER BOLTS (ASTM A307) WITH WASHERS PLACED AT THREADED END OF BOLT.
 BOLTS SHALL BE SPACED AT 24* CENTERS (MAXIMM), AND STAGGERED AT TOP AND BOTTOM OF BEAM (2" EDGE DISTANCE), WITH (2) BOLTS LOCATED AT 6" FROM FACH END (UNO)
- 9. ALL I-JOIST OR TRUSS LAYOUTS ARE TO BE IN COMPLIANCE WITH THE OVERALL DESIGN SPECIFIED ON THE PLANS. ALL DEVIATIONS ARE TO BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD PRIOR TO INSTALLATION.
- IØ BRACED WALL PANELS SHALL BE CONSTRUCTED ACCORDING TO THE NORTH CAROLINA RESIDENTIAL CODE 2016 EDITION WALL BRACING CRITERIA THE AMOUNT, LENGTH, AND LOCATION OF BRACING SHALL COMPLY WITH ALL APPLICABLE TABLES IN SECTION R60210.
- T. PROVIDE DOUBLE JOIST UNDER ALL WALLS PARALLEL TO FLOOR JOISTS. PROVIDE SUPPORT UNDER ALL WALLS PARALLEL TO FLOOR TRUSSES OR I-JOISTS FER MANIFACTURERS SPECIFICATIONS INSTALL BLOCKING BETWEEN JOISTS OR TRUSSES FOR POINT LOAD SUPPORT FOR ALL POINT LOADS ALONG OFFSET LOAD LINES.
- 12. FOR ALL HEADERS SUPPORTING BRICK VENEER THAT ARE LESS THAN 8'-8' IN LENGTH, REST A 6' x 4' x 5/6' STEEL ANGLE WITH 6' MINIMUM EMBEDMENT AT SIDES FOR BRICK SUPPORT (UNO). FOR ALL HEADERS 8'-0" AND GREATER IN LENGTH BOLT A 6" x 4" x 5/6" STEEL ANGLE TO LEADER HITH 10" LAG SCREUK AT 10" OC STAGGERED FOR BRICK SUPPORT, FOR ALL BRICK SUPPORT AT ROOF LINES BOLT A 6" x 4" x 5/16" STEEL ANGLE TO (2) 2 x Ø BLOCKING INSTALLED W (4) BU NAILS EA PLY BETWEEN WALL STUDS WITH (2) ROUS OF 1/2" LAG SCREWS AT 12" OC. STAGGERED AND IN ACCORDANCE WITH SECTION R10/38/21 OF THE NCRC, 2/08 EDITION.
- B. FOR STICK FRAMED ROOFS: CIRCLES DENOTE (3) 2 x 4 POSTS FOR ROOF MEMBER SUPPORT. HIP SPLICES ARE TO BE SPACED A MINIMUM OF 8'-0". FASTEN MEMBERS WITH THREE ROUS OF IZO NAILS AT 16" O.C. FRAME DORMER WALLS ON TOP OF DOUBLE OR TRIPLE RAFTERS AS
- IA. FOR TRUSSED PROOFS FRAME DORHER WALLS ON TOP OF 2 x 4 LADDER FRAMING AT 24" OC. BETWEEN ADJACENT ROOF TRUSSES, STICK
- FI. ALL 4 x 4 AND 6 x 6 POSTS TO BE INSTALLED WITH TWO LIB CAPACITY UPLIET CONNECTORS TOP AND BOTTOM (UNO.) POSTS MAY BE SECURED USING ONE SIMPSON HE OR LIFE UPLIFT CONNECTOR FASTENED TO THE BAND AT THE BOTTOM AND THE BEATH AT THE TOP OF EACH POST, ONE IS "SECTION OF SIMPSON CISIC COLL STRAPPING WITH (8) 84 HOG NAILS AT EACH END MAY BE USED IN LIEU OF EACH TWIST STRAP IF DESIRED. FOR MASONRY OR CONCRETE FOUNDATION USE SIMPSON POST BASE



0 HOMPS. S IN E

ON CONTRACTOR

SPEED MPH 20

DATE: NOVEMBER 14, 2018 DRAWN BY JES

ENGINEERED BY: JST

S-0 STRUCTURAL NOTES



- 130 MPH ULTIMATE DESIGN WIND STANDARD STRUCTURAL NOTES

THOMESOND

BINEERING, INC.

MADE AND SEASON ROADS

NC.LICENS NO. C.(17) S 606 WADE / PHONE: H= [III

> BASEMENT N DETAILS POURED WALL B FOUNDATION I

DATE JULY 17, 2020 SCALE NIS

FOUNDATION DETAILS

VESTICAL SEE,49 12 0 Z) OC Magaros.or 19 # 36" C.C. M 6 6 0000 5 0 34 O.C OR 5 6 8 00 0R

BASETTINE IV... REPROPORMENT TABL

*6 = 78 CIC OF

(FT)

< 5

24 CORNER REBAR DETAIL

- FLOCE SHOTEM PER PLAN - 1 / 6 TPTD: 6 LL PLATE 656/PED 81 / 7 DIA BOLTS 656/CHAFT FOR 5PACING AT EMBEDME - REQUIREMENTS AT DA OIC WITH REBINE OF THE WALL VERTICA, REBAR PER BACKFL. LEIGHT AS SPECIAL TABLE - FOURED SOME PS CONC. WALL - ILATERPROOF MEMBRANE "4 REBAR DOUBLS AT SAME SPACING AS VERTICAL REBAR E PANSO JOIN # 2500 =5 CONC 5_AE OR JELDED JIRE FABRIC MIL VAPOR BARRIER 4" WARRED STONE 2500 PS CC C FTG (6)ZE PEP PLAN) W/ (2) M REBAR

& FOURED BASE IE MALL

PE VEORCI MENT TABLE CORLER REBAR DETAL

WHERE FRAMED WALLS WILL BE A THAT HE PAY WILL BE THAT HOWER STANDARD CORRIGORED WILL BE MY TO BE FASTINED TO THE POWER WILLOWS CONCRETE SCREWS OR "MAIN FOLIDER I SHIVER SATE TOWERS IN OF CHARMACH AND VERTICAL." WALL THESE ARE TO BE LOCATED A YM OF SIRROW. THE TOP OF THE WALL, AND ARE FULLY EMPORABLY TO THE HEAD A OPED JOINTS ALL FASTENERS ARE TO BE INCIDENT THE MANUFACTURERS SPECS.

BRICK VENEER -

0,55 AC 65 AD 46 B1 8,09 C 49

FLOOR SYSTE

9 1 6 TRTT 5 LL PLATE

FF TELLONG (PECLIONS CHE NO FEOT CUT IN EDIT OF FOUCHT OF TO ALLON FOR BPO AC ALESPACE (T. IR)

LEDGE PER GRADE

G*15,700

FLOOR SYSTEM

HE X 4 STUD FRAMING E TENE 2 / 4 STUD FRAMING (UNO) W/ TPTD BOTTON PLATE(S/ 2 / 4 TRID BOTTOM PLATELS -SECURED BY 1/2 DIA BOLIS SEE CHART FOR SPACING AND - EDNA AS SPEC EMBEDMENT REQUIREMENTS - SIDING AS SPEC 5-5-5-0-5 4 7 4 1 G MARTER STRIP CONCRETE \$1.48et multiplet bub in J/ FIBER REINFORC VG OR WELDED WIRE FABRIC DARRER -4 WAS ED STONE --UNDISTURBED EARTH COMPACTED FILL -1 N.E. ED GRADE -ENSED OP WASHED STONE GRADE

VERTICAL:

12 g 25 00

F4 6 37 (1C)

4 0 24 0 C CR 5 5 36 0 C CP

*6 € 56 CC

#4 # 18 OL OR

15 ≤ 32 O.C. OR m € 48 00

14 8 16 CC OR 5 4 14' OC OP

16 \$ 40' OC

BASEMENT WALL

BACKFUL HTG-1 (F1

55

TYPICAL SLAS	GARAGE CURE
2 STUP FRAMING (UNO) SECURED BY WE DIA BOLISS SECURATE WE DIA BOLISS SEC CHART FOR SEARCH AND EMERDMENT REQUIREMENTS 4 CONCRETE SLAB BY FREE REPORCING OR UELDED JUST FARRIC 2 WASHES STORE 1 WASHES STORE 1 OF WASHES STORE	2 / 4 STID BOTTOM PLATE(5) SECURED BY 1/2" DIA BOLTS SEC C. ART FOR SPACING AND EMBEDMENT PROJURNING 4" CO CRETE SUP WEREORD WIRE FABRIC ON WELDED WIRE FABRIC ON WELLE WIRE FABRIC ON WELDED WIRE FABRIC ON WELLE WIRE
STEP PLGARAGE	GARAGE CURB III/ ERICY LEDGE

IO POUPED BASEHEIT WALL

2. 6 TETCL SUL PLATE SECURED EN 1/2" (1.5 EQUIS SEE CHAST FOR SPACING AND EMBEDME! T REQUIREME I S

HA HOP ZOTTAL REBAR LITER OC WITT PEBAR LITER (3) OF THE TOP OF THE WALL

--VERTICAL REBAR PER BACK! HEIGHT AS SPECIAL TABLE

LATERSHOOF MEMBRANE

HE POURED SERVE PSI CO IC WALL

"4 REBAR DOWELS HT SAME SPACKG AS VERTICAL REBAR

4 2500 PSI CONC 5_AB

WASHED STONE

2 x 4 TRID BOTTOM PLATERS! SECURED BY 1/2 DIA BOLTS SEE CHART FOR SPACING AND

OR HELDED HIRE EABER

4" WASHED STONEH!

UNDISTURBED EART

2" CONCRETE NUMBER
UP RESERVENCONG
OP RELIDED WIFE FARRIC

WASHED STONE

OR WASHED STONE

EMBEDMENT REQUIREMENTS

- 2500 PSI CONC FTG (SIZE PER PLAN) W/ (3) PA REBAR

-UNDISTURBED EAPTH COMPACTED FILL OR WASHED STONE

TYPICAL THICKENED SLAB

GARAGE CURE	w/ BRICK LEDGE
CONCRETE S. A.E.	AN AGE DOOR JAME
JV F'BER REINFORC'NG OF WELDED W'RE FABRIC	SLOPE SLAS
6 ML VAFOR	I/E PER FOOT
54RRER >	
	1.72
0	
4 3454ED-	
510 IE 🔪	
UNDISTURBED EARTH-	1-4'
COMPACTED FILL OF	GARAGE DOOR

ANCHOR SPACING AND EMBEDMENT		NO15:	
WND ZONE	70 ° Fal	130° 11° 1	THREADED ROD WITH EPO Y SIMESON THEN HO, OR APPROVED ANCHORS SPACED AS REQUIRED TO PROVIDE EQUIVALENT ANCHORAGE TO MY DIAMETER ANCHOR BO, IS MAIL BE USED IN LITU OF MY ANCHOR BOLIS.
SPACING.	G - Ø1 O.C. INSTALL MIN, (2) ANCHORS PER PLATE SECTION AND (1) ANCHOR UTUN (2) OF CORNERS	A-C OC. INSTALL MIX (2) ANCHORS PER PLATE SECTION AND AD ANCHOR UTHIN 121 OF CORNERS	
FME-DMENT	(T)	IST INTO MASONRIA INTO CONCRETE	

MPORTAUT NOTE:

FOUNDATIONS AS DENOTED IN THESE DETAILS ARE NOT SUITABLE FOR SUPPORT OF ADDITIONAL SUPCHARGE, CADING FROM ADJACENT STRUCTURETS OF DRIVEWAYS FOUNDATIONS WITH ENTRA LATERAL LOADING IN THESE SCENARIOS WILL REQUIRE , OT SPECIFIC DESIGN ON A CASE BY CASE BASIS, CONSULT THE LIGHTER OF RECORD WHITE PLANING TO BUILD IN CLOSE PRO MITE TO THE FOUNDATION AS HE WILL NOT BELIED LIBBLE FOR FOUNDATION FAILURE, SFE. K 19319 OF THE 2012 NORG FOR ADDITIONAL INFORMATION

STRUCTURAL NOTES

- FOR M REBAR 14" MINIMUM REBAR LAF SPLICE LENST FOR 15 REBAR 37" MINIMUM REBAR LAF SPLICE LENGTH FOR 16 REFAR 38" MINIMUM REBAR LAF SPLICE LENGT -STBAR TO MAINTAIN A MINIMUM CONCRETE COVER OF 3" (UNC.)

- PTBAR TO HAINTAIN A MINIOM CONCERTE COVER OF 31 (INC)

 PEBAR TO DE 45TM AGIS GRADE 60

 501. BEARNAS CAPACITY IS REQUIRED TO BE JOOR PER MIN.

 NSTALL 14 L-BARS AT ALL WALL CORNERS AT SAME SPACING AS HORIZ STEEL SEE DETAIL

 THE FLOOR FRAMING IS TO BE INSTALLED AND A MIN OF SEVEN DAYS IS REQUIRED TO ALLOW THE

 CONCRETE TO CURE BEFORE THE BACKFLLED AND BE INSTALLED. THE BACKFILL IS RECOMMENDED TO

 BE PLACED. IN SULFIES AND CAPERALY TAMPED.

 A 21 LEDGE IS TO BE PROVIDED FOR THE POPCH SLAB THE WALLS ARE REQUIRED TO BE BONDED

 TOTALES ARE, MANY 14, 301 PERBAR DAGINES 31" OF EMPEDDED A" NICT THE CONCLUSING EPOXY.
- TO THE 5LBS JEWE 14 7 36" REBAR DOWELS 31" OF EMBEDDED 2" NTO THE CONCIUSING EFFORM BILLIERS THE FLOOR JOISTS ARE PARALLEL TO THE MALLS 2 X FELOCKINS IS TO BE INSTALLED 16" OF BETWEEN THE BOTTOM SLAWES OF THE JOISTS FOR AMIN OF 6 MIAD TROY THE MILL OF DIAGONAL 2 Y 6 BLOOKS MAY BE INSTALLED 24" OF FROM THE EDGE OF THE SILL PLATE TO THE TOP FLANGE AND SUBFLOORING ATTACHED W (3) 170 NAILS EACH END

HOTE TO FOUNDATION CONTRACTOR.

ALTERNATE REINFORCED CONCRETE POURED WALL DESIGNS FINGINFERED BY OTHERS MAY BE CONSTRUCTED NO CONTINUOUS # 9011/KGS OR LUG FOOTINGS HAY BE REDUCED IN SIZE.



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