

SOUTHPORT



Inventory Marked

COVER SHEET

SOUTHPORT REVISION LIST - STRUCTURAL:

1. COMBINED WILMINGTON AND WILMINGTON II PLANS. (2-18)
2. ADDED BRICK OPTION ON SECOND FLOOR. (2-18)
3. CALLED OUT SERIES/SPACING OF JOISTS ON BASEMENT. (2-18)
4. 2018 NCRC UPDATE (6-19)
5. 2018 SC IRC (2-15-20)
6. ADDED ELEVATION A 2 (BRICK WATERTABLE W/ SIDING ABOVE) & ELEVATION A 3 (STONE WATERTABLE W/ SIDING ABOVE). (2-15-20)

SOUTHPORT REVISION LIST - ARCHITECTURAL:

AUGUST 01, 2021

1. CREATED ELEVATIONS TO BE IN STANDARDS WITH OTHER PLANS (SEE SHEETS A-1 THROUGH A-3.5)
2. CHANGED COLUMNS ON ELEVATIONS TO STANDARD COLUMNS
3. CHANGED GARAGE DOORS TO REPRESENT STANDARD GARAGE DOOR FOR EACH ELEVATION
4. FIXED COVERED PORCH TO KEEP COLUMNS FROM OVERLAPPING EDGE OF CONCRETE
5. REMOVED GRIDS FROM TRANSOMS ABOVE FRONT DOOR
6. ADDED NOTE FOR GARAGE DOOR "GARAGE DOOR PER SPECIFICATIONS AND GLASS INSERT (TOP PANEL ONLY)"
7. MOVED ROOF PLANS TO SHEETS A-8 & A-8.1
8. CREATED SLAB INTERFACE PLAN (SEE SHEET A-4 THROUGH A-4.2)
9. MOVED ALL OPTIONS OFF BASE PLAN AND PLACED ON SEPARATE SHEET
10. ADDED NOTE FOR FLUSH COUNTERTOP ON ISLAND
11. CHANGED PATIO SIZE TO STANDARD 12'X10'
12. ADDED OPTIONAL GAS LINE
13. CHANGED KITCHEN LAYOUT
14. ADDED 2ND HOSE BIB
15. CALLED OUT "45" WALL WITH CAP" AS STANDARD
16. CHANGED ALL EXTERIOR WALLS FROM 2X6 TO 2X4 EXCEPT WHERE SHADED
17. ADDED NOTE "OPT. REF"
18. REMOVED NUMBERS ON STAIRS
19. ADDED NOTE "OPT. W/D"
20. ADDED NOTE "WASHER ALWAYS TO BE LOCATED TO THE LEFT OF DRYER"
21. VERIFIED VENTILATION AND LIGHT REQUIREMENTS AT OWNER'S BEDROOM MEETS CODE (11-01-20)
22. SQUARE FOOTAGES ARE UPDATED AND CHANGED DUE TO MOVEMENT OF WALLS FROM 2X6 TO 2X, TO KEEP JOGS IN ROOMS, EXTERIOR WALL MOVED MEANING ROOF LINES HAVE CHANGED
23. SQUARE FOOTAGE OF COVERED PORCH CHANGED DUE TO KEEPING COLUMNS FROM OVERLAPPING CONCRETE EDGE
24. CREATED PARTIAL PLANS FOR B & C ELEVATIONS (FLOOR, SLAB, & ELECTRICAL)
25. REMOVED ALL WALL OUTLETS
26. REMOVED ALL PHONE OUTLETS
27. REMOVED ALL TV OUTLETS
28. PLACED STANDARD 3 BULB LIGHT IN KITCHEN
29. VERIFIED COACH LIGHT LOCATIONS (SEE ELEVS. FOR DIMS.)
30. PLACED DASHED FANS WHERE APPLICABLE WITH NOTE "STD. LIGHT, OPT. FAN/LT PREWIRE"
31. UPDATED ELECTRICAL KEY
32. VERIFIED CO2 DETECTOR LOCATIONS
33. SHOWED PENDANT LIGHTS AS OPTIONAL
34. SHOWED CAN LIGHTS IN KITCHEN AND FAMILY ROOM AS "OPTIONAL CAN LIGHTS"
35. PLACED OPTIONAL FLOOD LIGHTS
36. PLACED OPTIONAL FLOOR OUTLET IN FAMILY ROOM
37. PLACED CALCULATIONS FOR SOFFIT AND RIDGE VENT REQUIREMENTS
38. UPDATED STAIR LAYOUT TO KEEP MAIN WALL AT KITCHEN FROM MOVING WHEN OPTIONAL BASEMENT SELECTED.

Oakmont 82

H&H HOMES
SOUTHPORT

DATE: SEPTEMBER 16, 2019
REV: AUGUST 01, 2021
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ENGINEERED BY:
REVIEWED BY:

CS



Front Elevation
W/ Opt 2-Car & Opt 3-Car side load Garage
SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



ADDRESS PLAQUE AS SPECIFIED (TYP)
SIDING AS SPECIFIED
OPT 1-CAR GARAGE

*Colonial Raised Panel
White garage door*

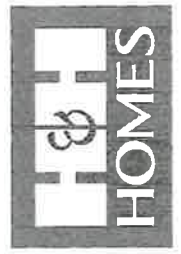
Front Elevation-A-1
SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17

- SHINGLES AS SPECIFIED (TYP.)
- 2x6 RAKE
- 1x6 FRIEZE
- 1x6 TRIM WINDOW HEADER
- HORIZONTAL SIDING
- 1x8 RAISED PANEL SHUTTERS (TYP.)
- 1x4 TRIM
- 1x6 TRIM WINDOW HEADER
- 4" CORNER BOARD AS SPECIFIED (TYP)
- 8" x 8" SQ COLUMN
- 4" TRIM



OPT FIREPLACE
OPT COVERED PORCH

Rear Elevation-A
SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17

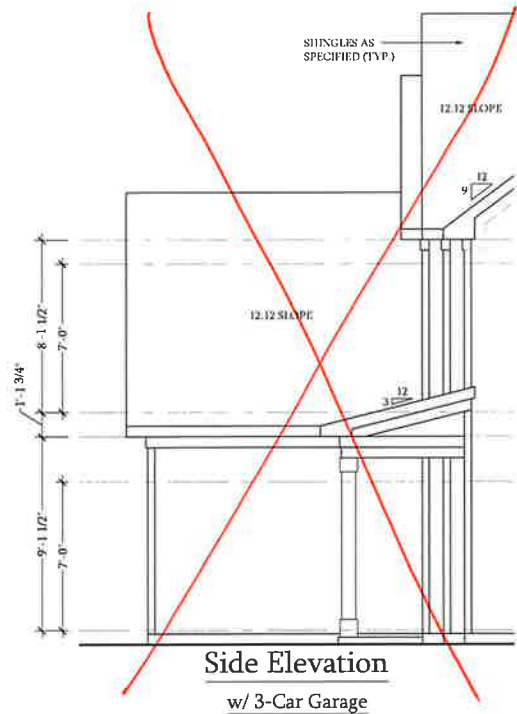


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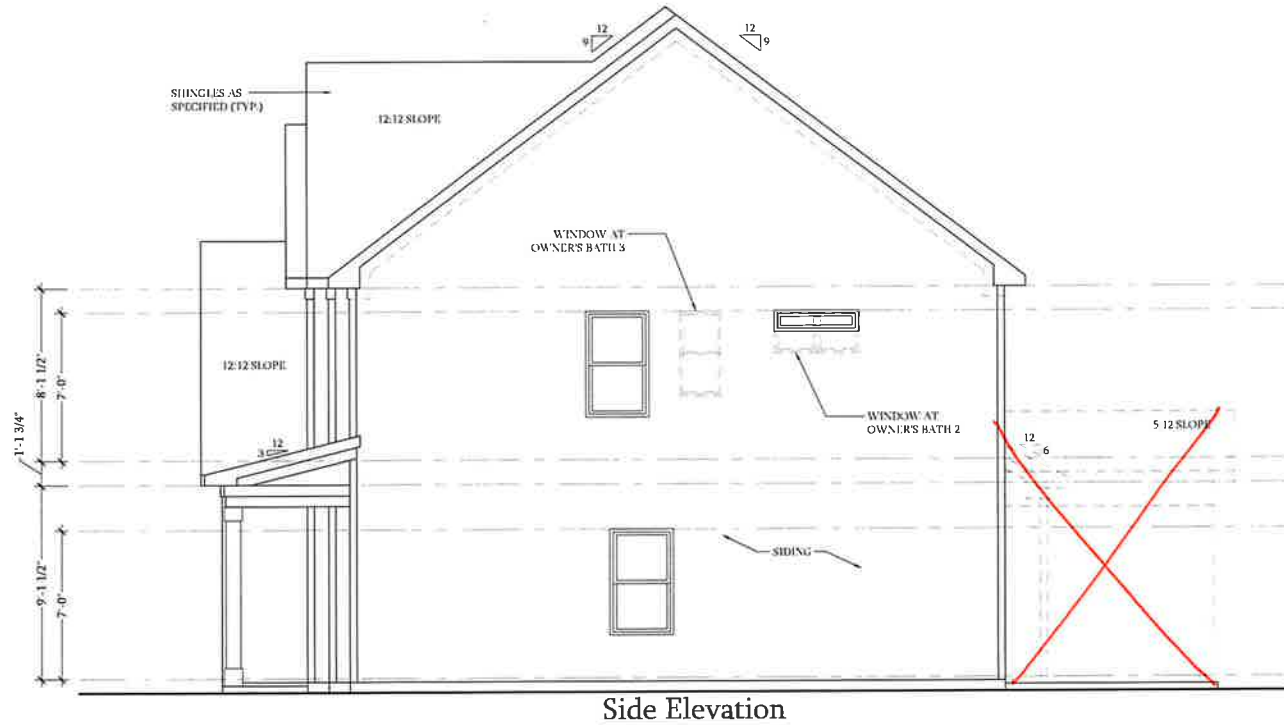
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SCALE: AS NOTED
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ENGINEERED BY:
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A - ELEVATIONS
A-1



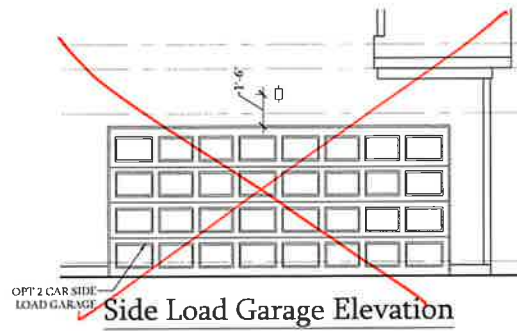
Side Elevation
w/ 3-Car Garage

SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



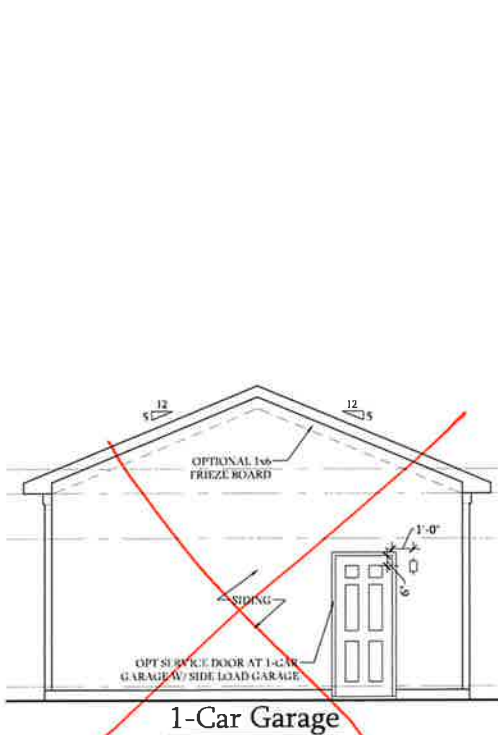
Side Elevation

SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



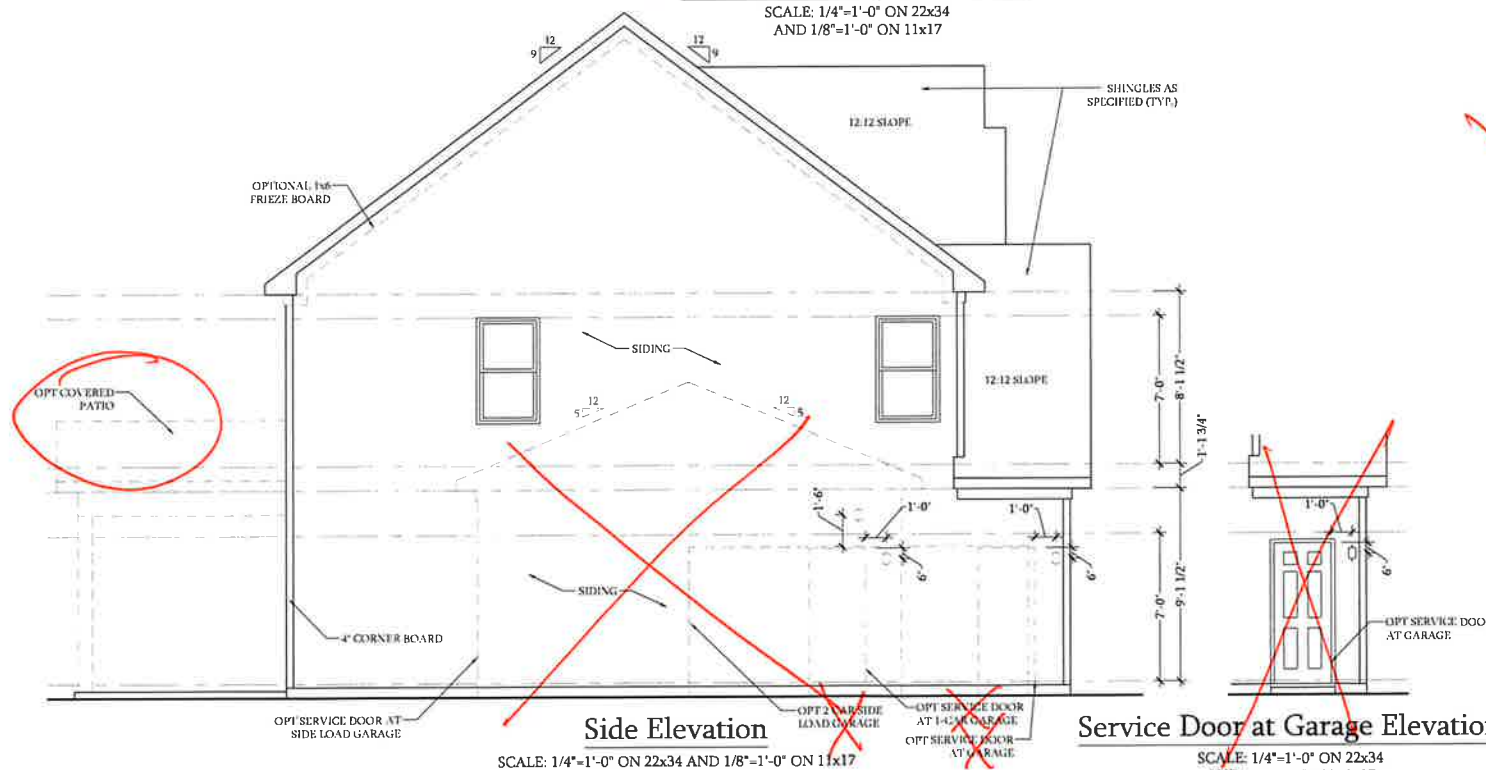
Side Load Garage Elevation

SCALE: 1/4"=1'-0" ON 22x34
AND 1/8"=1'-0" ON 11x17



1-Car Garage

SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17

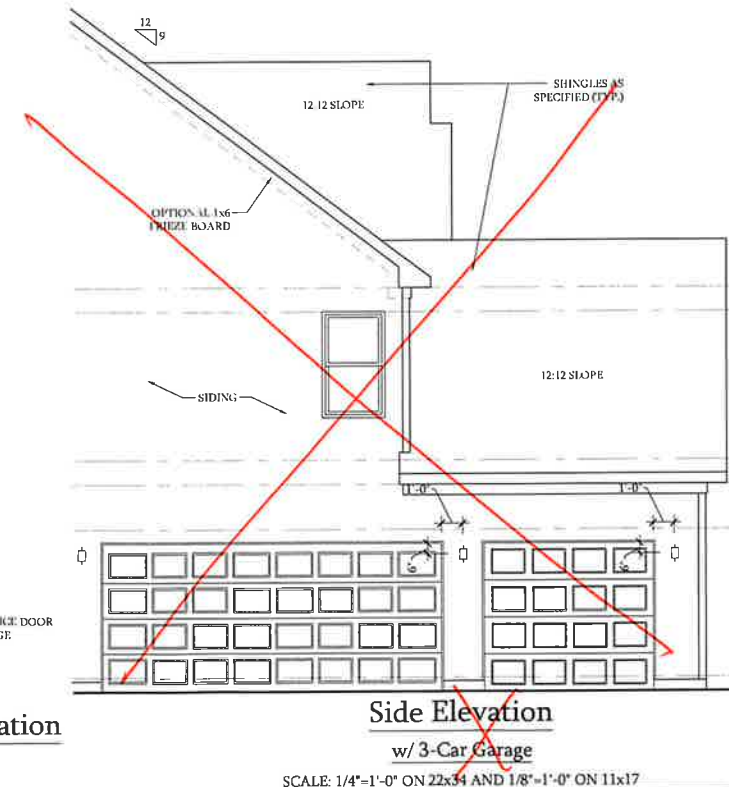


Side Elevation

SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17

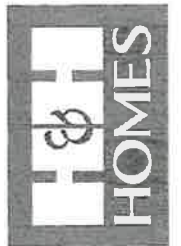
Service Door at Garage Elevation

SCALE: 1/4"=1'-0" ON 22x34
AND 1/8"=1'-0" ON 11x17



Side Elevation
w/ 3-Car Garage

SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



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A ELEVATION
SIDE ELEVATIONS

A-1.1



Front Elevation-A-2

~~w/ Brick~~

Stone

SCALE: 1/4"=1'-0" ON 22x34
AND 1/8"=1'-0" ON 11x17



Front Elevation

W/ Opt 2-Car & Opt 3-Car side load Garage

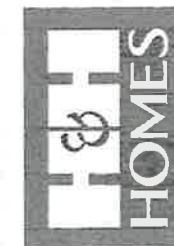
SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



Front Elevation-A-3

w/ Brick

SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



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SCALE: AS NOTED

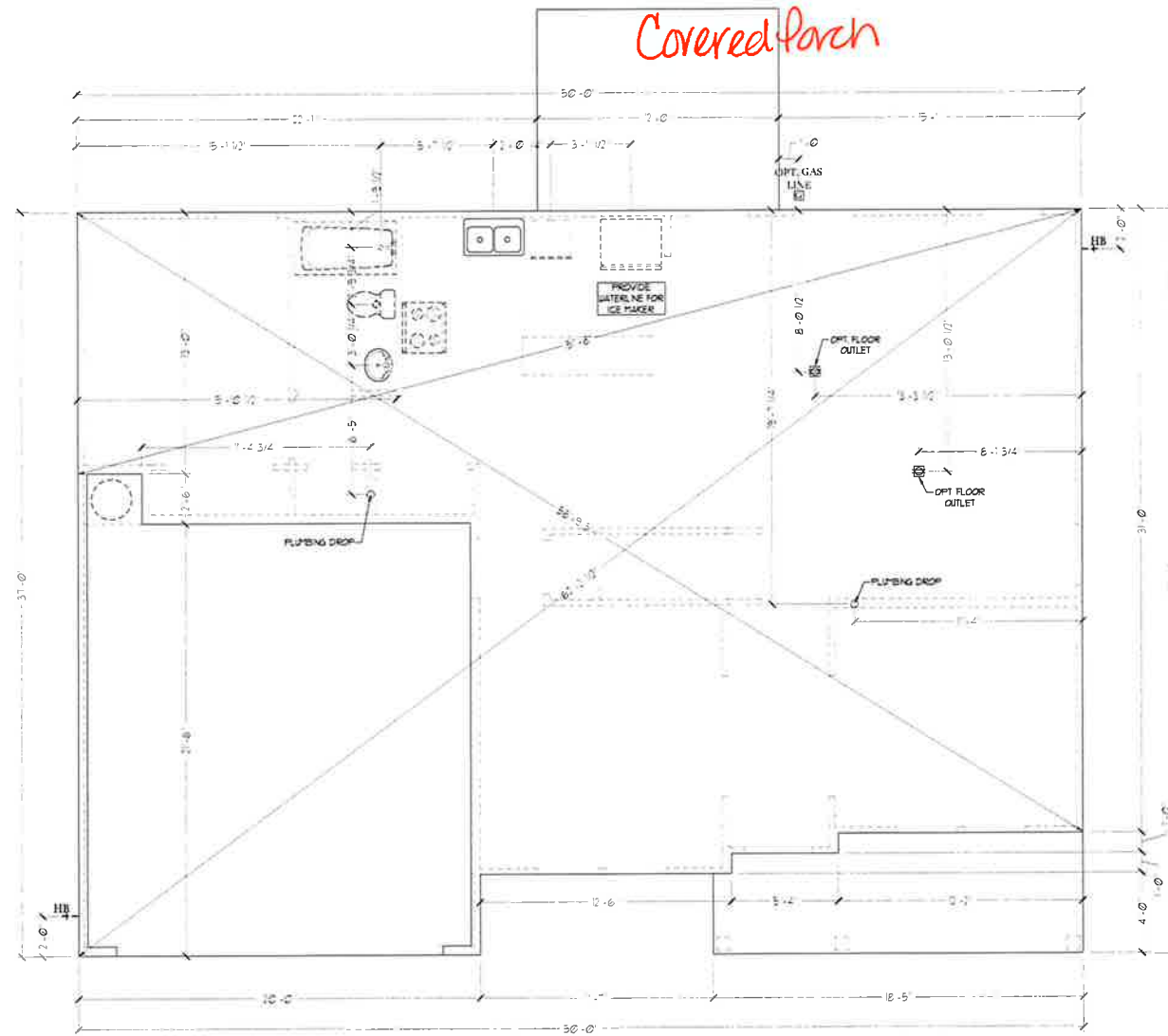
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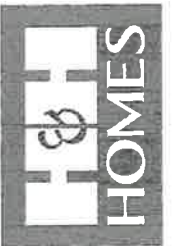
A - 2 & A - 3
ELEVATION (W/
STONE FRONT)

A-1.3



Slab Interface Plan

SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



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 SCALE: 1/4"=1'-0"
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SLAB INTERFACE
 PLAN

A-4

~~Optional Service Door at 1-Car Garage~~
SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17

~~Optional 1-Car Carriage Garage~~
Not Available w/ Opt. 2-Car Side Load Garage or 3-Car Side Load Garage
SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17

~~Optional Extended Patio~~
SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17

~~Optional Covered Patio~~
SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17

~~Optional Fireplace at Family Room~~
SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17

~~Optional Gourmet Kitchen~~
SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17

~~Optional Butler's Pantry at Garage Entry~~
SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17

~~Optional Desk at Kitchen~~
SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17

~~Optional Open Rail I/O 45" Wall w/ Cap~~
SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17

~~Opt. Coffered Ceiling at Dining Room~~
SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17

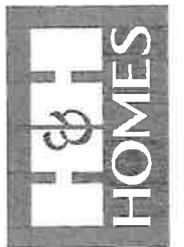
~~Optional Bi-Swing Doors at Study~~
SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17

~~Optional Service Door at Garage~~
SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17

~~Optional 2-Car Side Load Garage~~
SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17

~~Dining Room w/ Opt. Basement~~
SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17

~~Optional 3-Car Side Load Garage~~
SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



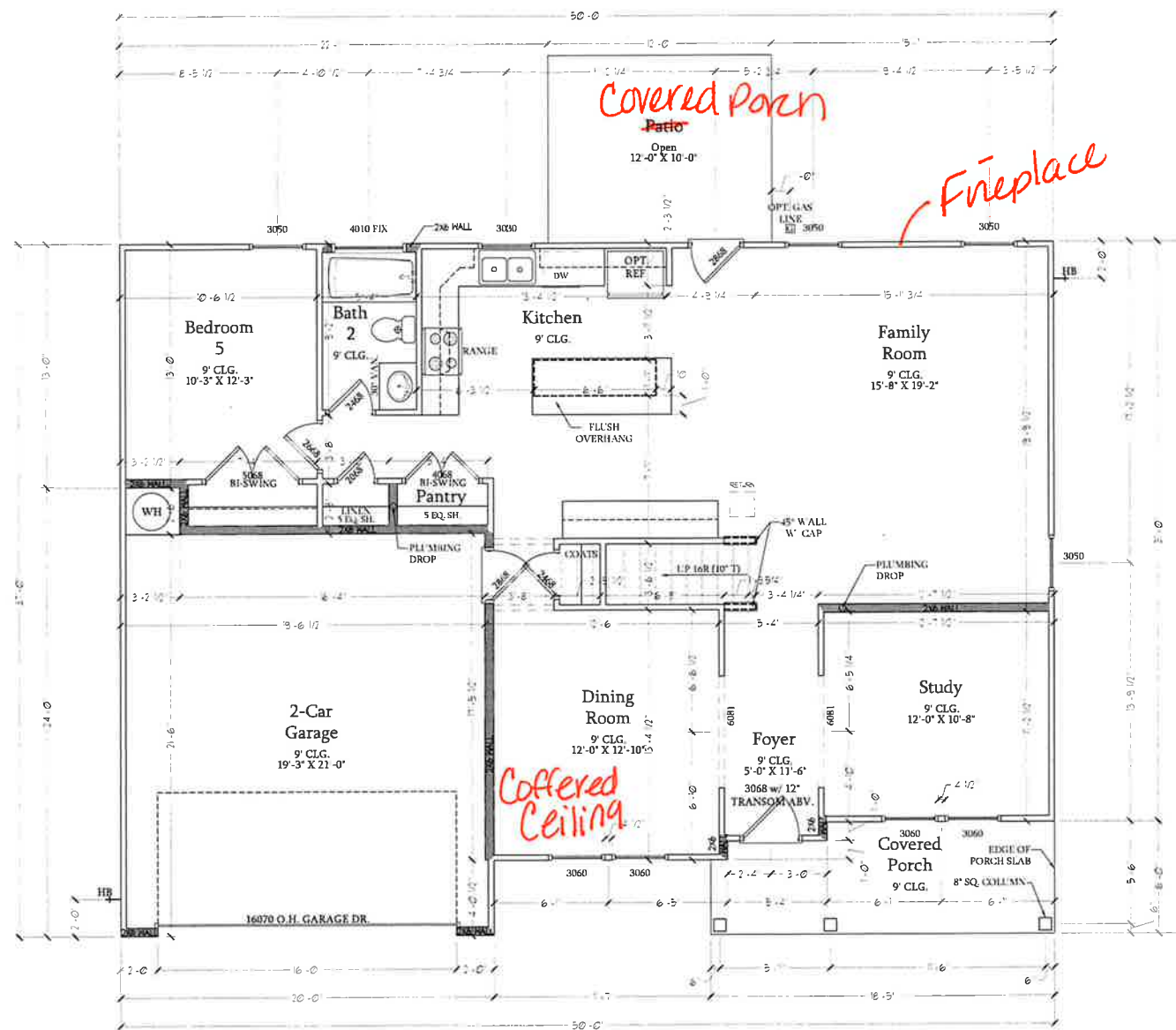
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SCALE: 1/4"=1'-0"
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ENGINEERED BY:
REVIEWED BY:

SLAB INTERFACE
PLAN - OPTIONS

A4.1



First Floor Plan
 SCALE: 1/4"=1'-0" ON 22x34 AND
 1/8"=1'-0" ON 11x17

SQUARE FOOTAGE	
1st FLOOR	1269 SQ. FT.
2nd FLOOR	1565 SQ. FT.
TOTAL	2834 SQ. FT.
GARAGE	430 SQ. FT.
FRONT PORCH	104 SQ. FT.
PATIO	100 SQ. FT.
OPT. BASEMENT	131 SQ. FT.
1st FLOOR OPTIONS	
OPTIONAL FIREPLACE	10 SQ. FT.
1st FLOOR w/ OPT. BASEMENT	37 SQ. FT.
2nd FLOOR OPTIONS	
2nd FLOOR w/ OPT. BASEMENT	32 SQ. FT.
UNHEATED OPTIONS	
OPT. 1-CAR GARAGE	240 SQ. FT.
OPT. 3-CAR GARAGE	609 SQ. FT.
OPT. COVERED PATIO	100 SQ. FT.
OPT. EXTENDED PATIO	100 SQ. FT.

SQUARE FOOTAGE w/ BRICK VENEER	
1st FLOOR	1311 SQ. FT.
2nd FLOOR	1636 SQ. FT.
TOTAL	2947 SQ. FT.
GARAGE	430 SQ. FT.
FRONT PORCH	104 SQ. FT.
PATIO	100 SQ. FT.
OPT. BASEMENT	131 SQ. FT.
1st FLOOR OPTIONS	
OPTIONAL FIREPLACE	10 SQ. FT.
1st FLOOR w/ OPT. BASEMENT	25 SQ. FT.
2nd FLOOR OPTIONS	
2nd FLOOR w/ OPT. BASEMENT	75 SQ. FT.
UNHEATED OPTIONS	
OPT. 1-CAR GARAGE	250 SQ. FT.
OPT. 3-CAR GARAGE	636 SQ. FT.
OPT. COVERED PATIO	100 SQ. FT.
OPT. EXTENDED PATIO	100 SQ. FT.

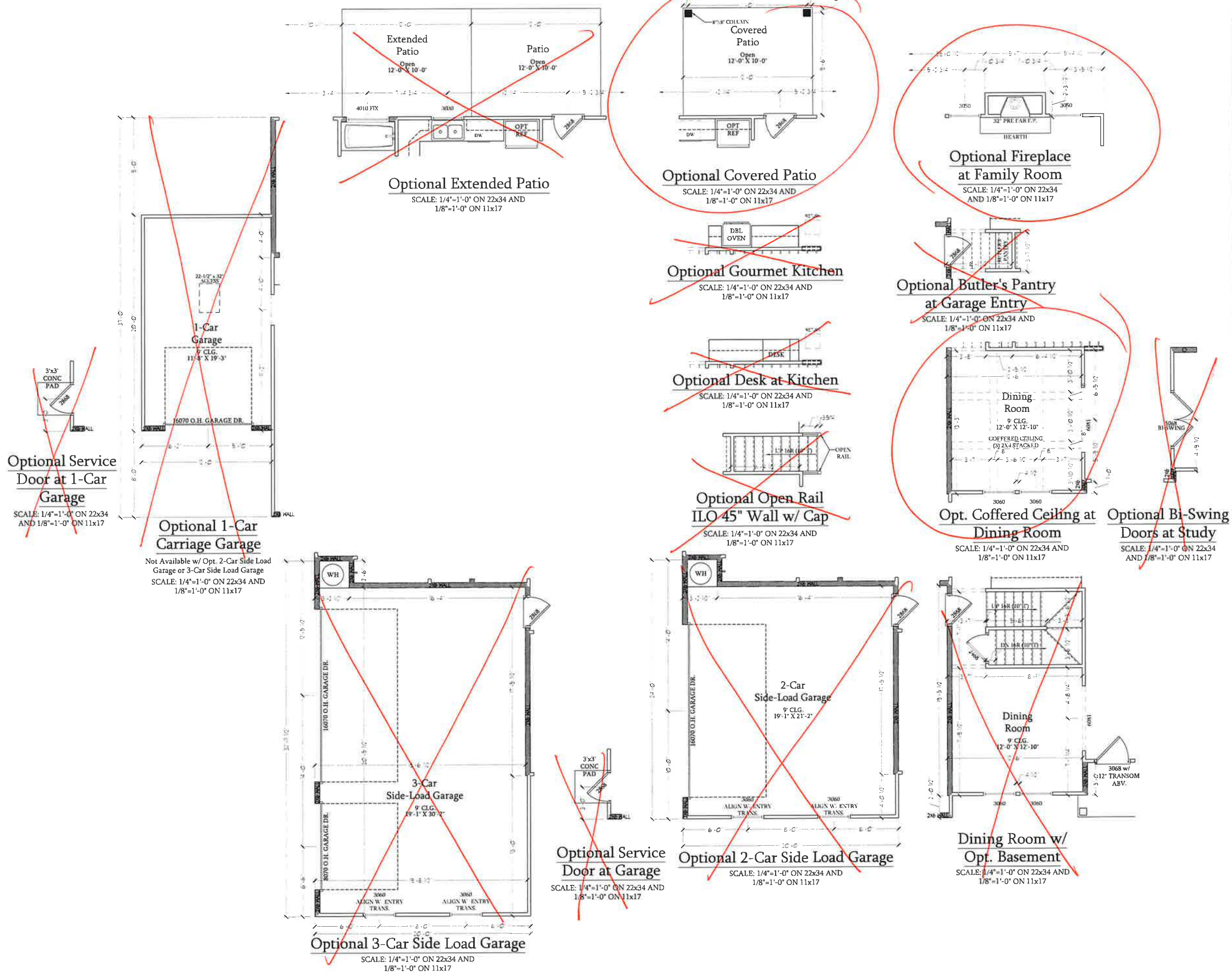


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 SCALE: 1/4"=1'-0"
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FIRST FLOOR PLAN
A-6

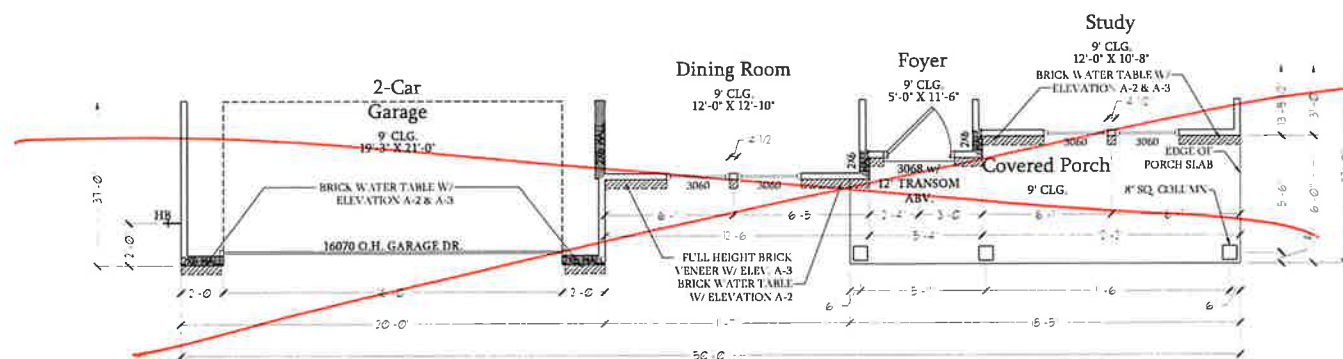


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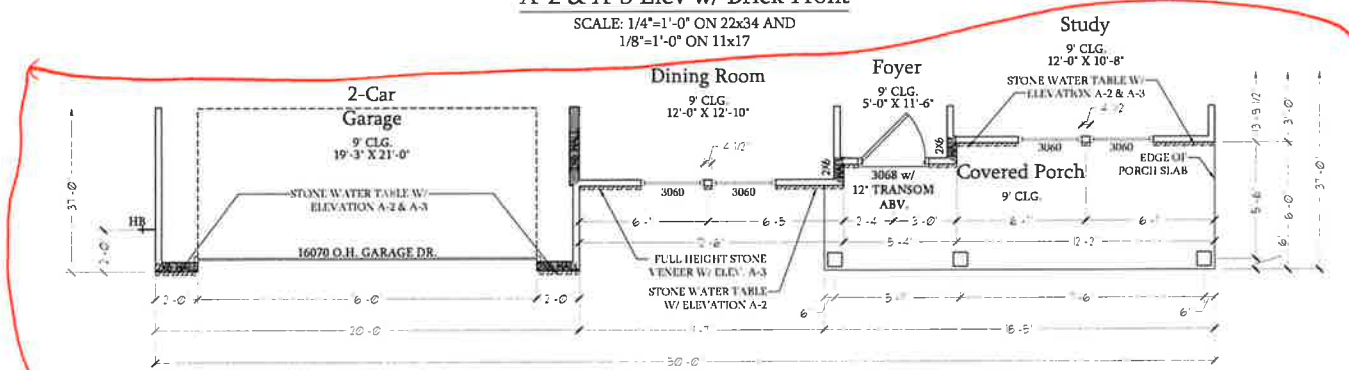
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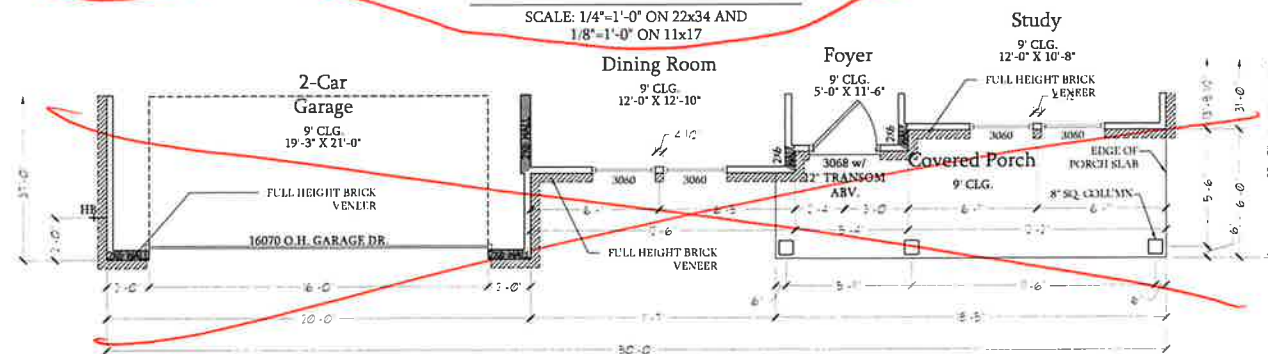
FIRST FLOOR
PLAN - OPTIONS
A-6.1



First Floor Plan
A-2 & A-3 Elev w/ Brick Front
 SCALE: 1/4"=1'-0" ON 22x34 AND
 1/8"=1'-0" ON 11x17



First Floor Plan
A-2 & A-3 Elev w/ Stone Front
 SCALE: 1/4"=1'-0" ON 22x34 AND
 1/8"=1'-0" ON 11x17



First Floor Plan
A-4 Elev
 SCALE: 1/4"=1'-0" ON 22x34 AND
 1/8"=1'-0" ON 11x17



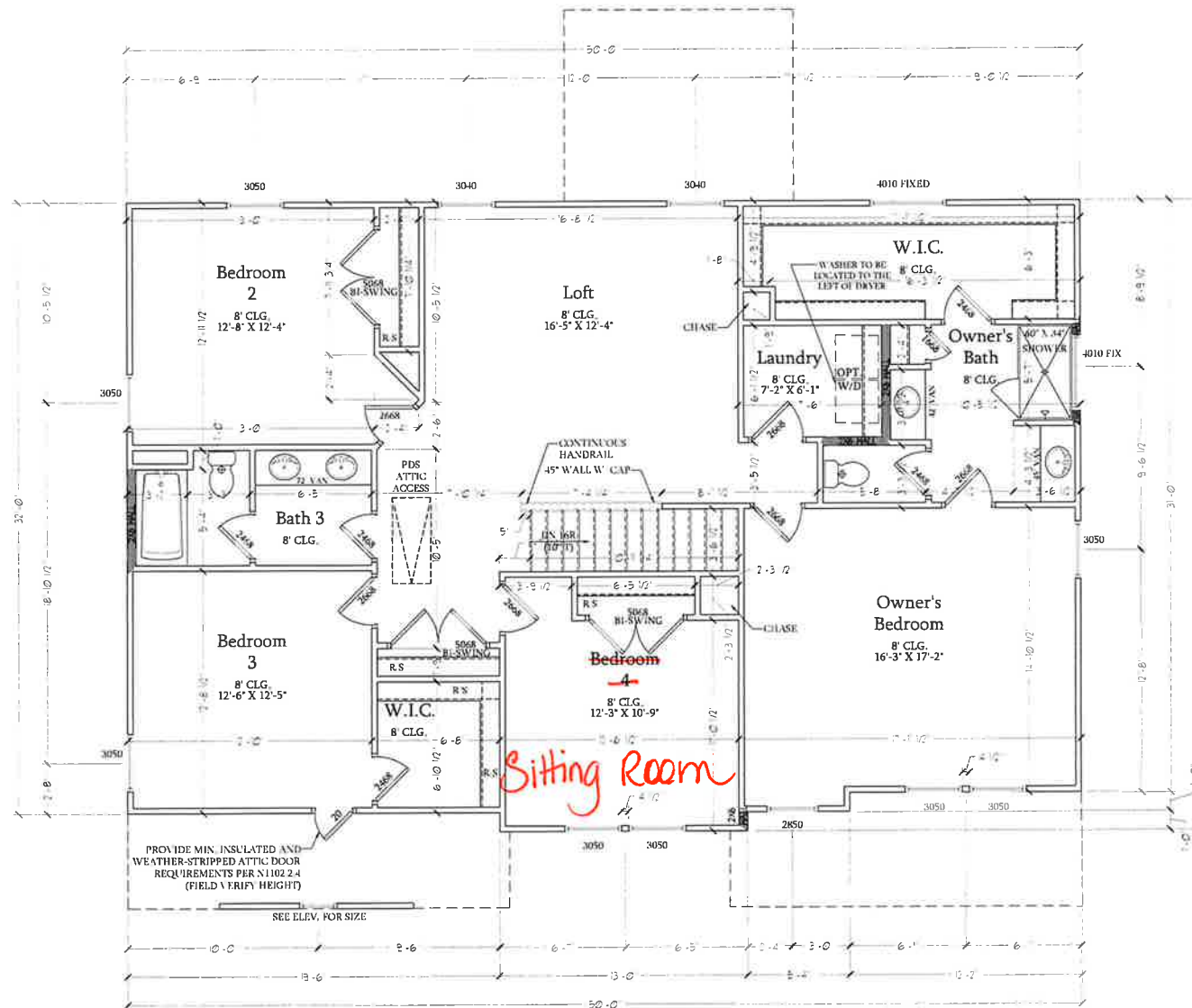
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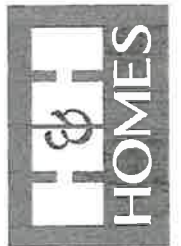
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 SCALE: 1/4"=1'-0"
 DRAWN BY:
 ENGINEERED BY:
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A ELEVATION
 FIRST FLOOR
 PARTIAL PLANS

A-6.2



Second Floor Plan
 SCALE: 1/4"=1'-0" ON 22x34 AND
 1/8"=1'-0" ON 11x17

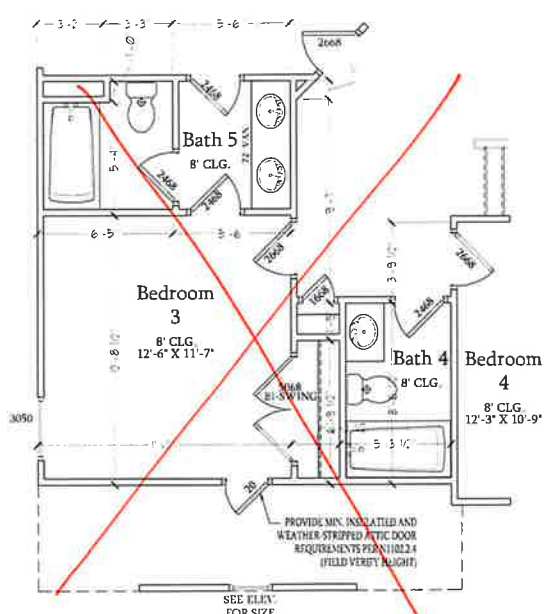


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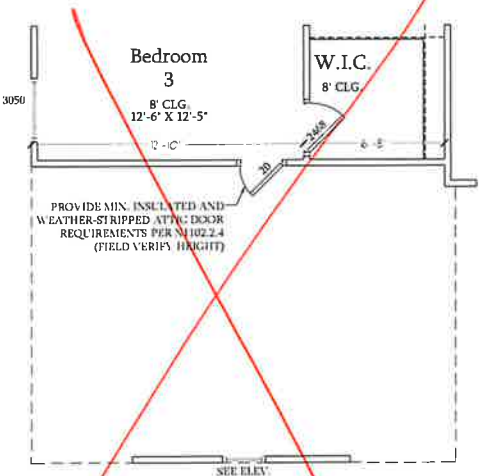
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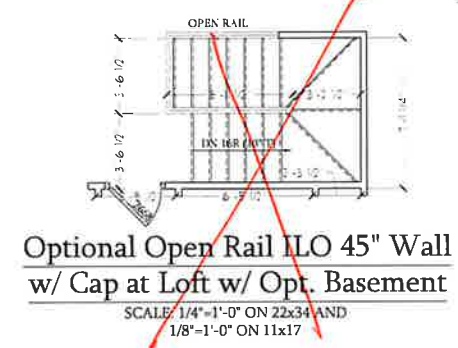
SECOND FLOOR
 PLAN
 A-7



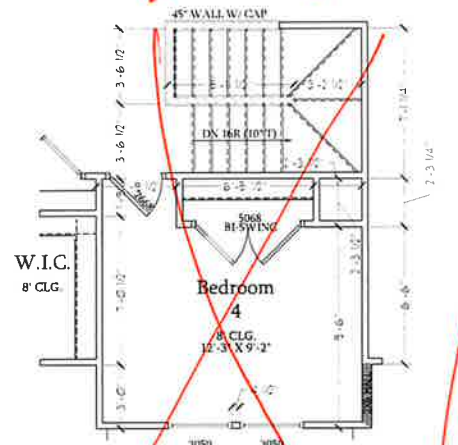
Opt. Bath 5 w/ Bedroom 3 & Bath 4
 SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



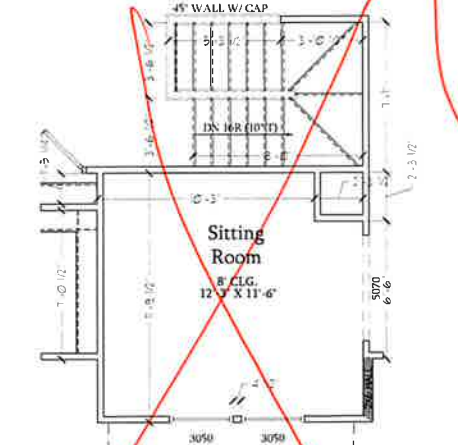
Opt. 3-Car Side-Load Garage
 SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



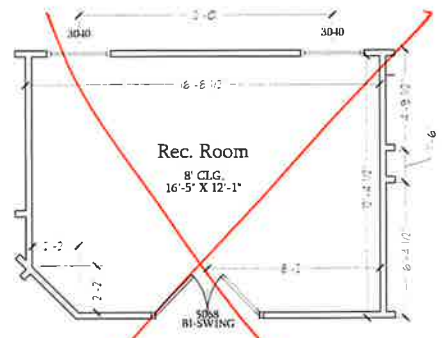
Optional Open Rail ILO 45" Wall w/ Cap at Loft w/ Opt. Basement
 SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



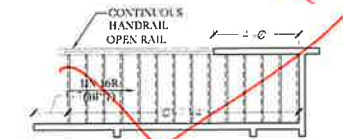
Bedroom 4 w/ Opt. Basement
 SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



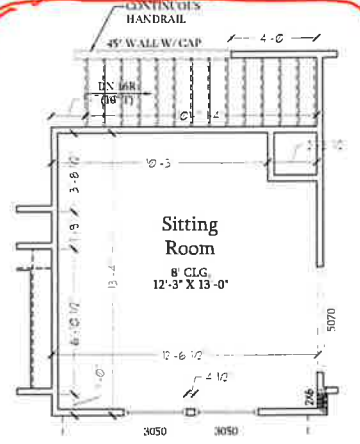
Optional Sitting Room at Owner's Bedroom ILO Bedroom 4 w/ Opt Basement
 SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



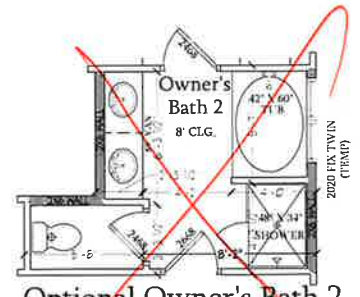
Optional Rec. Room ILO Loft
 SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



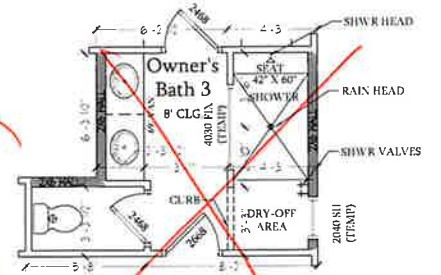
Optional Open Rail ILO 45" Wall w/ Cap at Loft
 SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



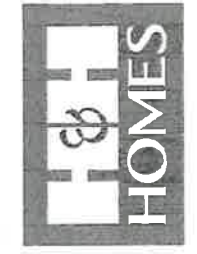
Optional Sitting Room at Owner's Bedroom ILO Bedroom 4
 SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



Optional Owner's Bath 2
 SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



Optional Owner's Bath 3
 SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17

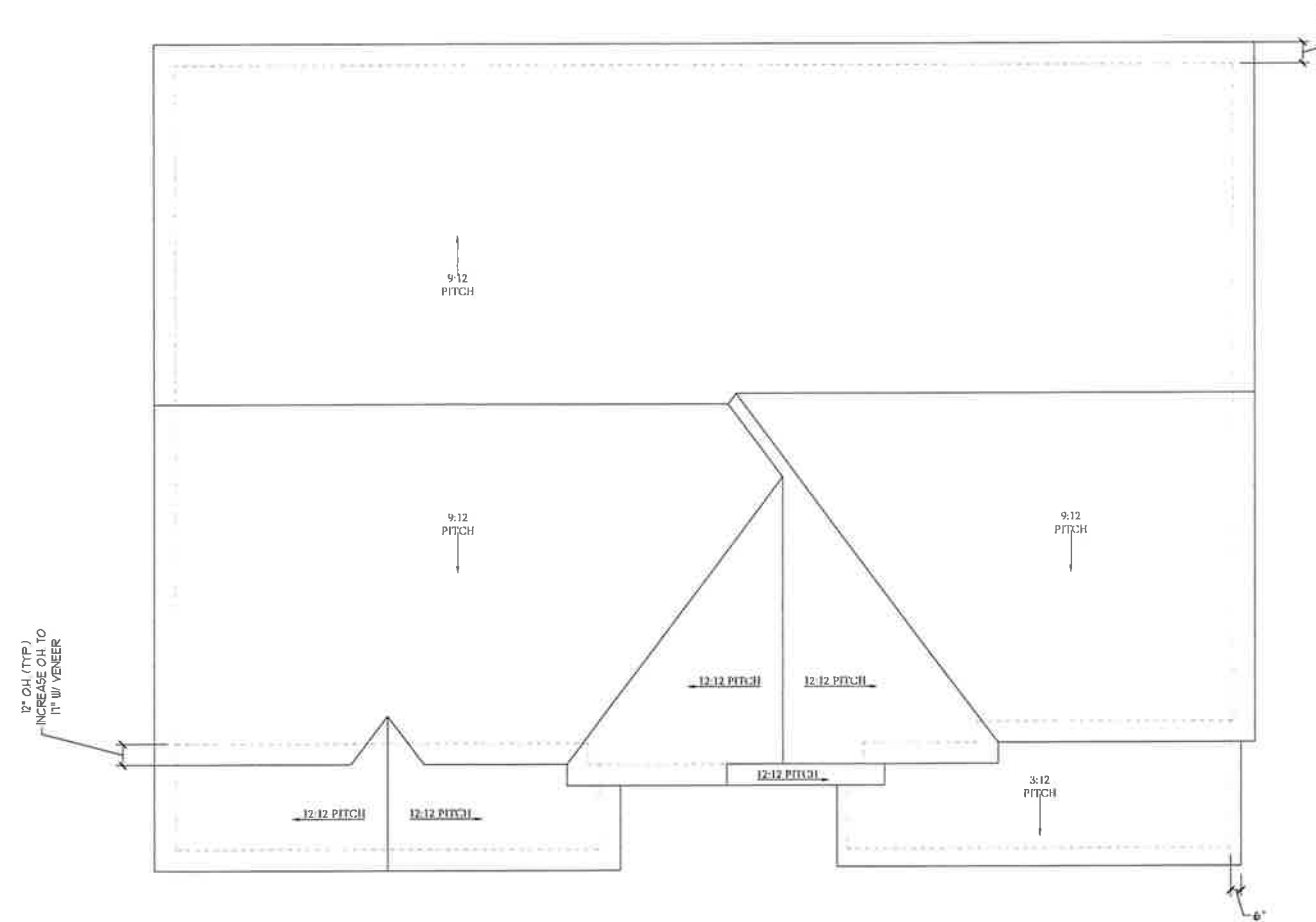


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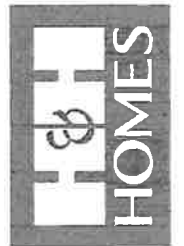
DATE: SEPTEMBER 16, 2019
 REV.: AUGUST 01, 2021
 SCALE: 1/4"=1'-0"
 DRAWN BY:
 ENGINEERED BY:
 REVIEWED BY:

SECOND FLOOR PLAN - OPTIONS
A-7.1



Roof Plan
Elevation A & B
 SCALE: 1/4"=1'-0" ON 22x34 AND
 1/8"=1'-0" ON 11x17

TOTAL UNDER ROOF AREA:	1600	SQ. FT.	1600	SQ. FT.
VENTING AREA REQUIRED:	1600 SQ. FT. / 300 =	5.33	SQ. FT.	
TOTAL REQUIREMENTS:	LOWER: 2.66	UPPER: 2.66		
LOWER AREA VENTING				
SOFFIT VENT	SIZE:	PER UNIT:	# UNITS:	PROVIDED:
	-	.041 SF/LF	70'-0"	2.87
LOWER AREA VENTING PROVIDED:				-
UPPER AREA VENTING				
RIDGE VENT	SIZE:	PER UNIT:	# UNITS:	PROVIDED:
	-	.125 SF/LF	49'-0"	6.125
UPPER AREA VENTING PROVIDED:				-
TOTAL AREA PROVIDED				
SOFFIT AND RIDGE VENT				10.162



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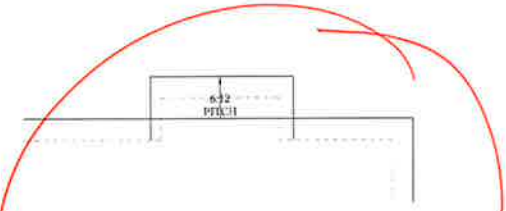
H&H HOMES, INC
SOUTHPORT

DATE: SEPTEMBER 16, 2019
 REV. AUGUST 01, 2021
 SCALE: 1/4"=1'-0"
 DRAWN BY:
 ENGINEERED BY:
 REVIEWED BY:

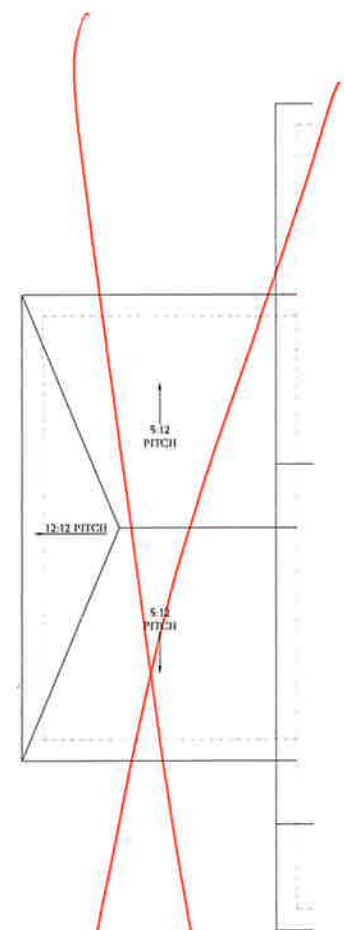
ELEVATIONS A & B
ROOF PLAN
A-8



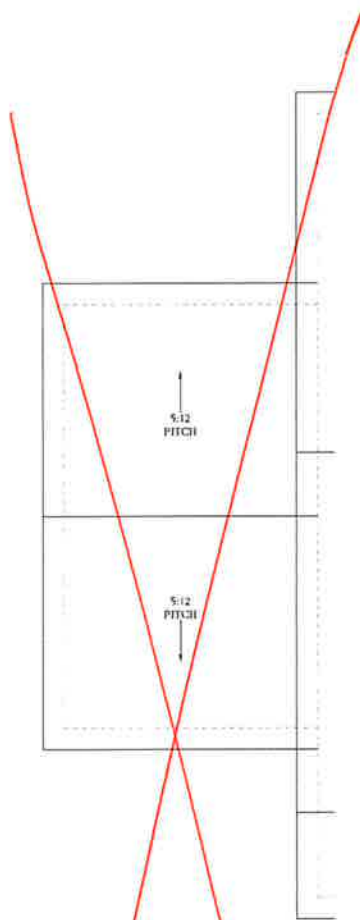
Optional Covered Patio
 SCALE: 1/4"=1'-0" ON 22x34 AND
 1/8"=1'-0" ON 11x17



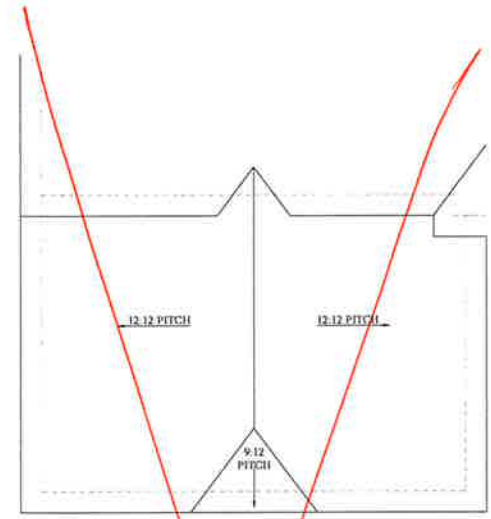
**Optional Fireplace
 at Family Room**
 SCALE: 1/4"=1'-0" ON 22x34
 AND 1/8"=1'-0" ON 11x17



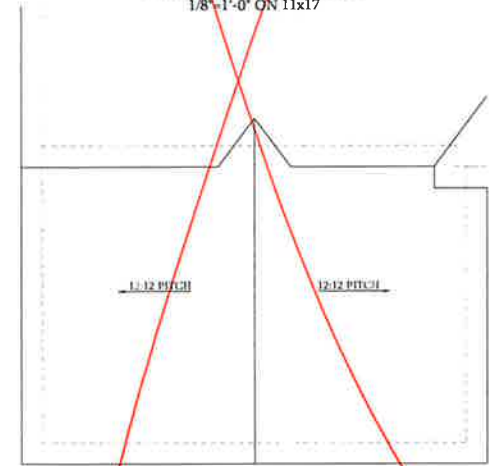
**Optional 1-Car
 Carriage Garage
 Elevation C**
 Not Available w/ Opt. 2-Car Side Load
 Garage or 3-Car Side Load Garage
 SCALE: 1/4"=1'-0" ON 22x34 AND
 1/8"=1'-0" ON 11x17



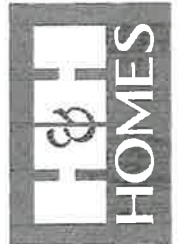
**Optional 1-Car
 Carriage Garage
 Elevation A & B**
 Not Available w/ Opt. 2-Car Side Load
 Garage or 3-Car Side Load Garage
 SCALE: 1/4"=1'-0" ON 22x34 AND
 1/8"=1'-0" ON 11x17



**Optional 3-Car Side Load Garage
 Elevation C**
 SCALE: 1/4"=1'-0" ON 22x34 AND
 1/8"=1'-0" ON 11x17



**Optional 3-Car Side Load Garage
 Elevation A & B**
 SCALE: 1/4"=1'-0" ON 22x34 AND
 1/8"=1'-0" ON 11x17

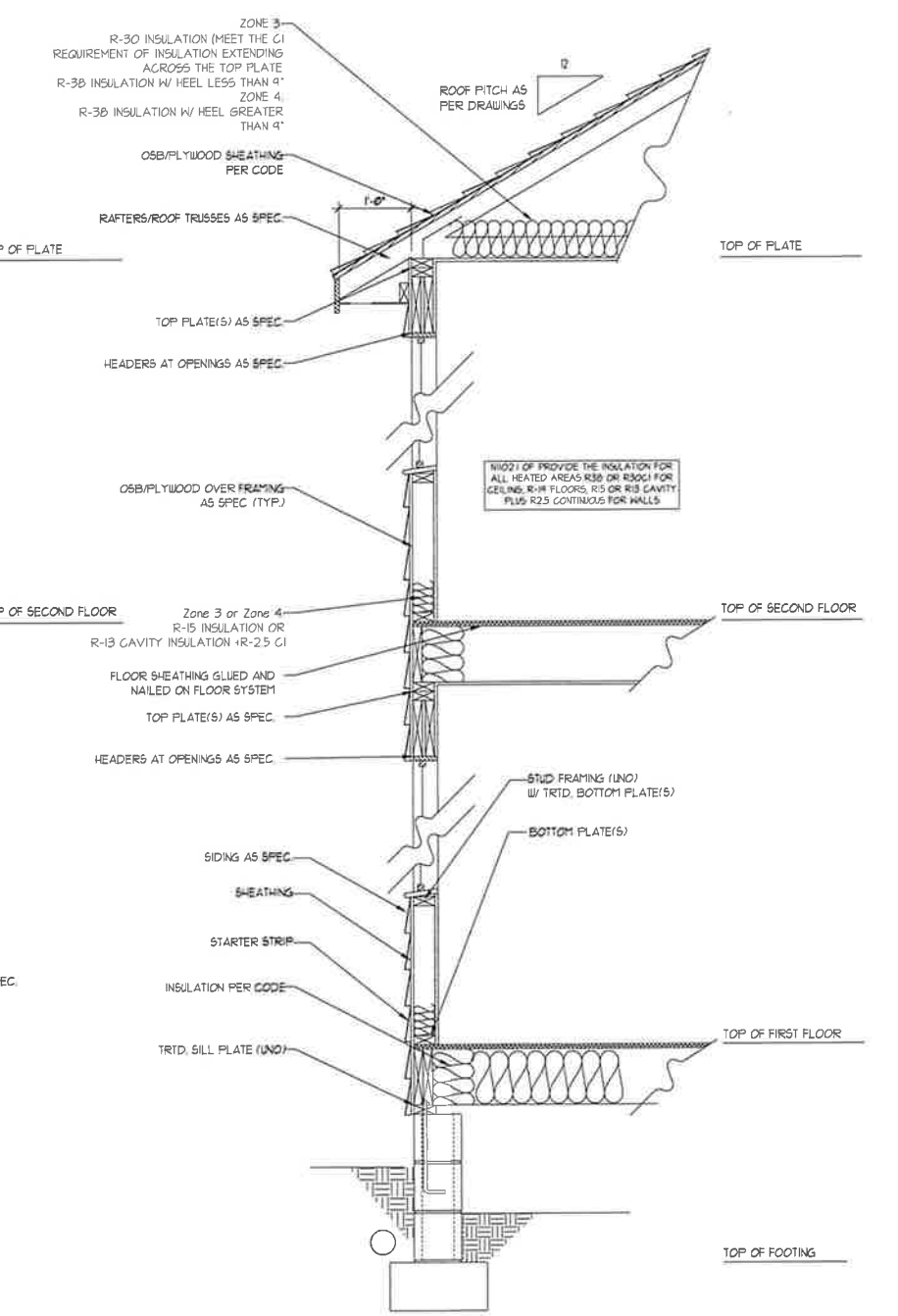
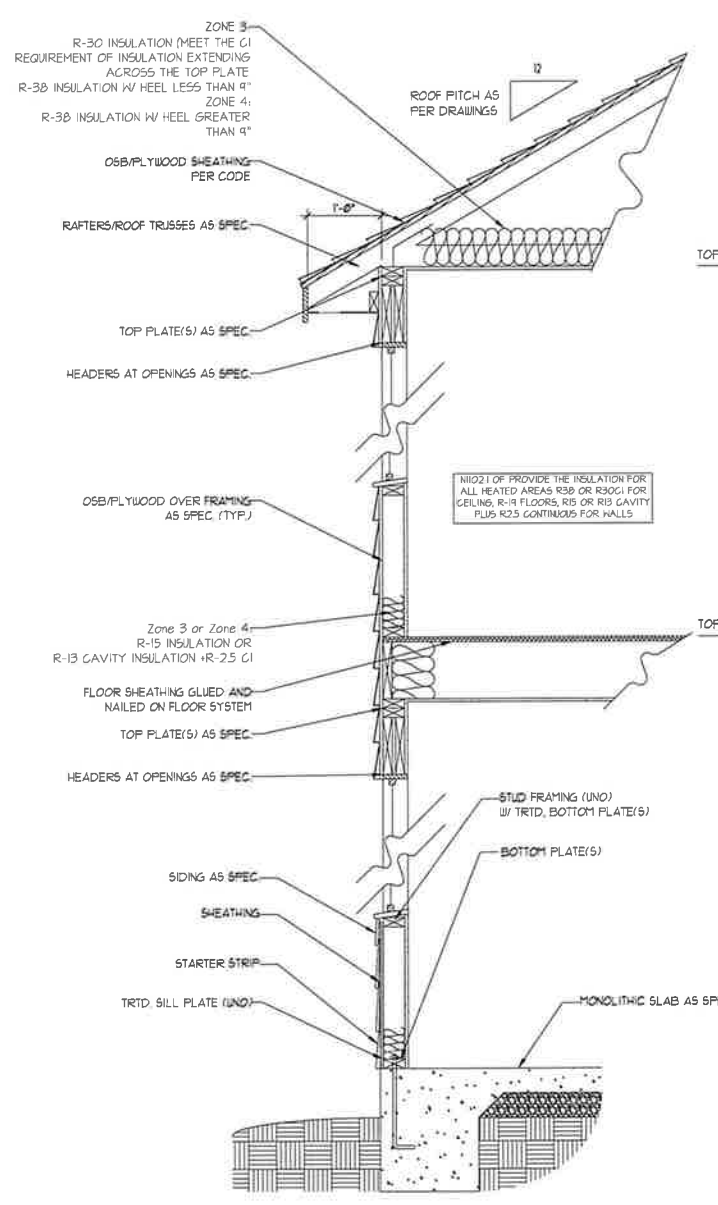
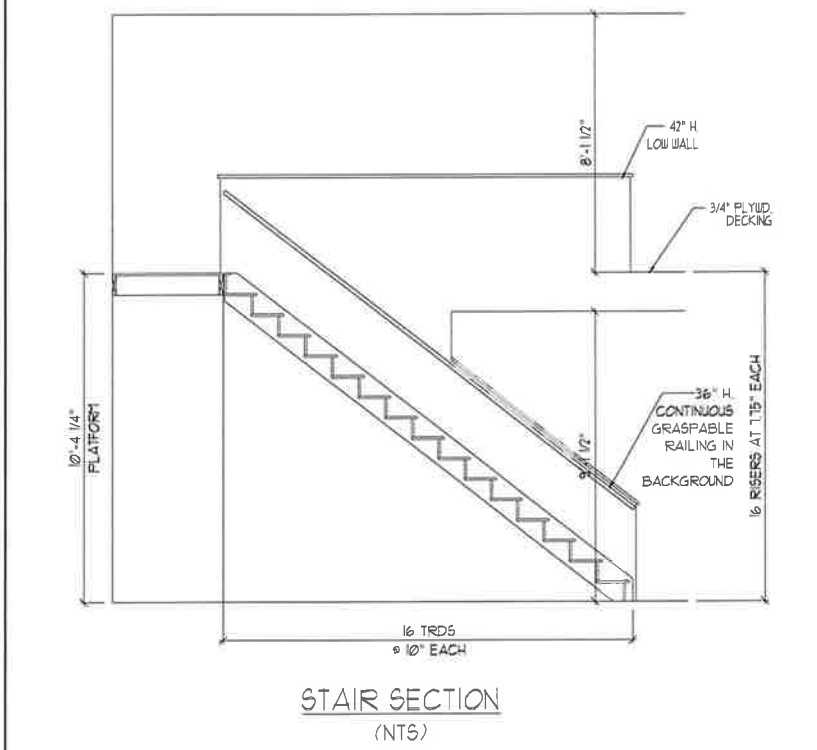
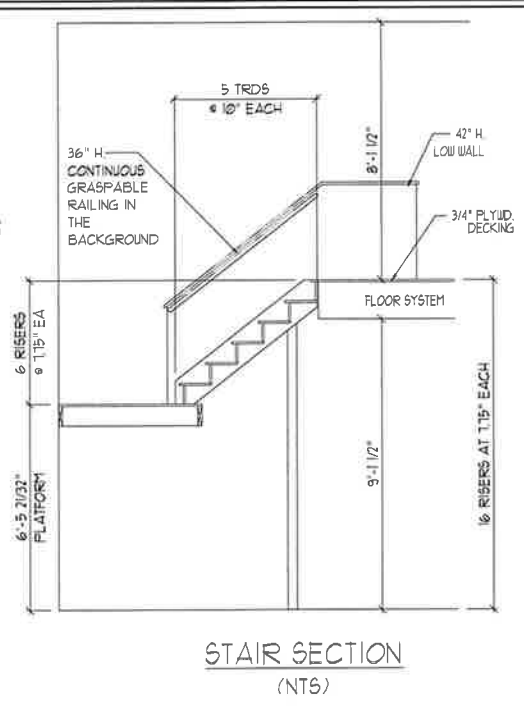
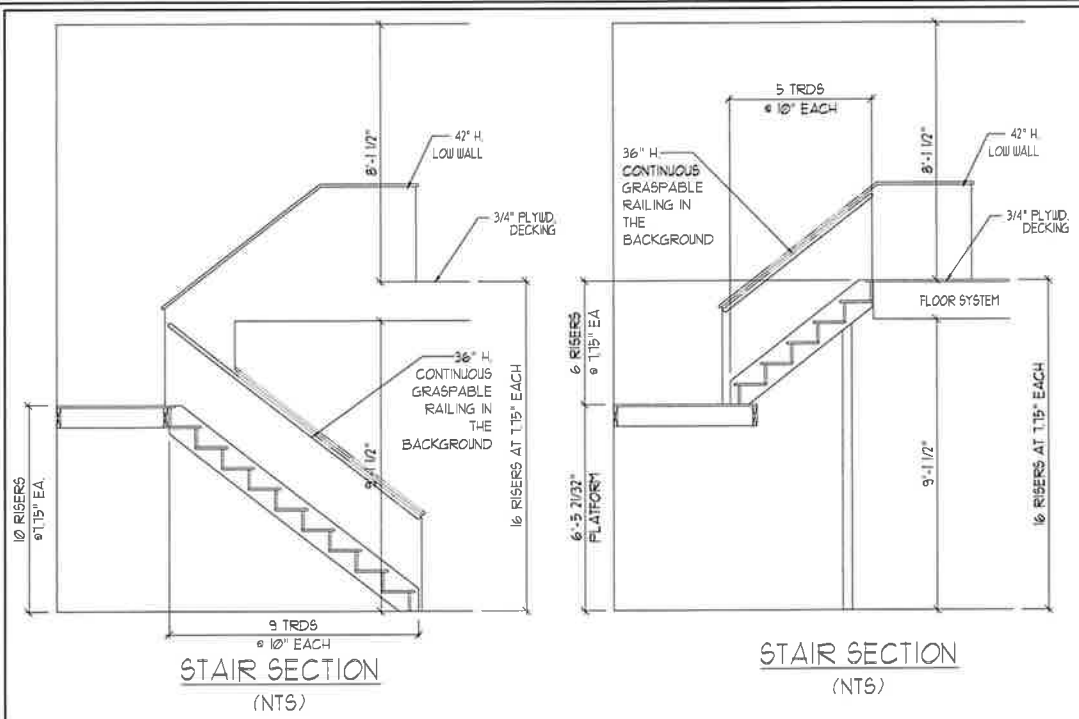


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 SOUTHPORT**

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 REV.: AUGUST 01, 2021
 SCALE: 1/4"=1'-0"
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 ENGINEERED BY:
 REVIEWED BY:

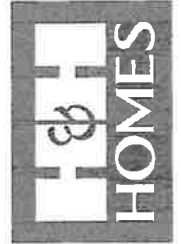
ROOF PLAN
 OPTIONS
A-8.2



STAIR NOTES:

RAILING
BALUSTERS SHALL BE SPACED SO THAT A 4" SPHERE CANNOT PASS THROUGH
THE TRIANGULAR OPENINGS FORMED BY THE RISER TREAD AND BOTTOM RAIL OF A GUARD AT THE OPEN SIDE OF A STAIRWAY ARE PERMITTED TO BE A SUCH A SIZE THAT A SPHERE OF 6 INCHES CANNOT PASS THROUGH
OPENINGS FOR REQUIRED GUARDS ON THE SIDES OF STAIR TREADS SHALL NOT ALLOW A SPHERE 4 3/8 INCHES TO PASS THROUGH

HANDRAILS
HANDRAILS FOR STAIRWAYS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT, FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A POINT DIRECTLY ABOVE THE LOWEST RISER. HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1-1/2 INCH BETWEEN THE WALL AND HANDRAILS.
CONTINUOUS GRASPABLE HANDRAIL MUST MEET TYPE ONE OR TYPE TWO CRITERIA



PRICE & PROMOTIONAL AGENT'S FEATURES. OTHERS FLOOR PLANS, ELEVATIONS, DESIGNS, AND DIMENSIONS WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND MAY VARY IN ACTUAL CONSTRUCTION. ACTUAL POSITION OF HOLES ON LOT, FLOOR FINISHES AND ELEVATIONS, HEADINGS ARE ARTIST CONCEPTIONS. FLOOR PLANS ARE THE COPYRIGHTED PROPERTY OF H&H HOMES, INC. USE, REPRODUCTION, ADAPTATION OR DISPLAY OF THESE PLANS IS STRICTLY PROHIBITED. © 2019 H&H HOMES

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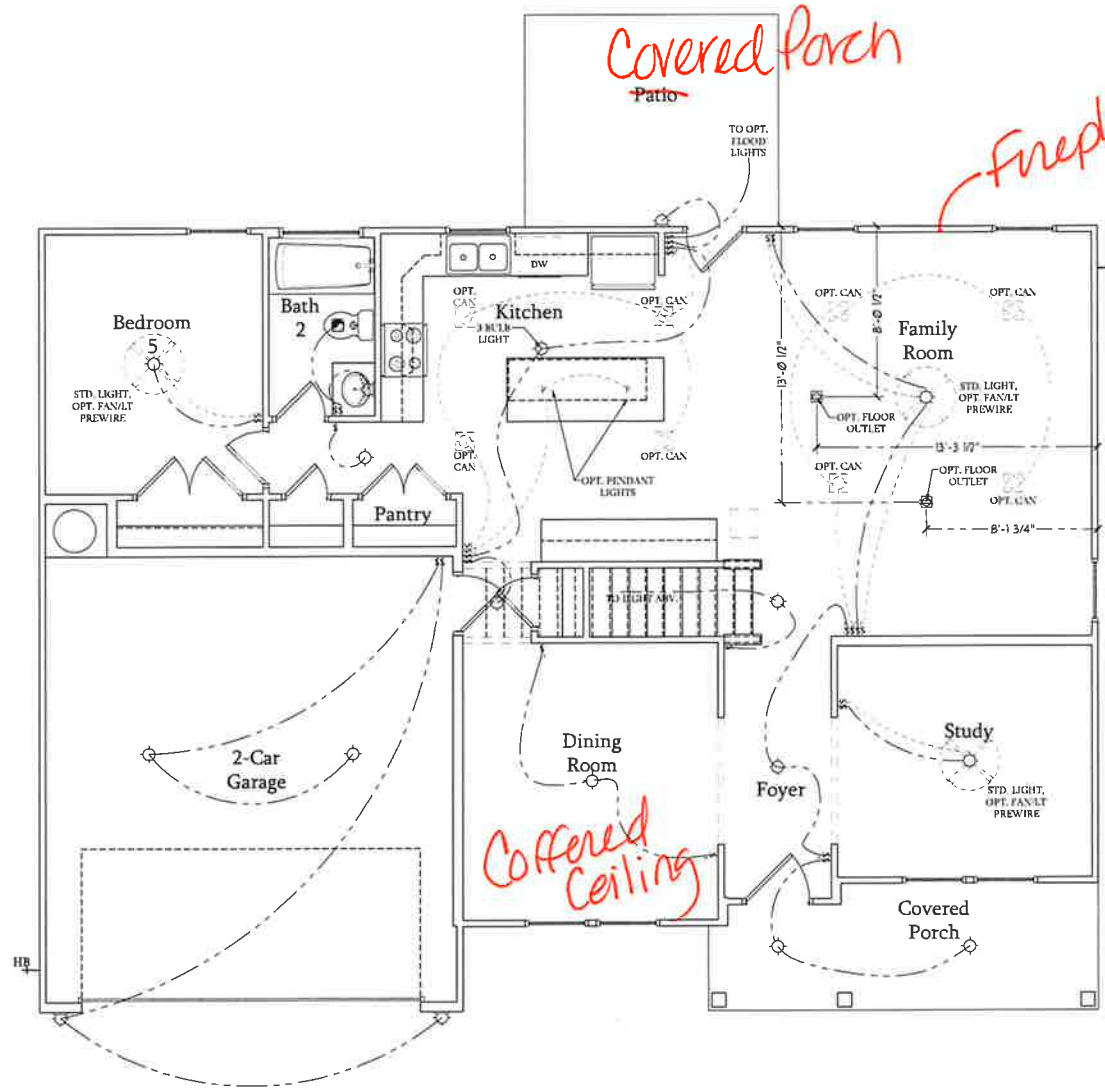
DATE: SEPTEMBER 16, 2019
REV.: AUGUST 01, 2021
SCALE: 1/4" = 1'-0"
DRAWN BY:
ENGINEERED BY:
REVIEWED BY:
WALL SECTIONS AND STAIR DETAIL
AD-1

ELECTRICAL LEGEND

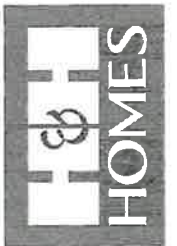
- 120V OUTLET
- 120V GFI OUTLET
- 120V SWITCHED OUTLET
- 120V BASEBOARD OUTLET
- 4-PLEX
- FLOOR MOUNTED 120V
- FLOOR MOUNTED 120V GFI
- WEATHERPROOF
- 220V OUTLET
- 120V DEDICATED CIRCUIT
- 220V DEDICATED CIRCUIT
- SPECIAL PURPOSE (240 V, ETC)
- WALL MOUNT LIGHT
- CEILING MOUNT LIGHT
- PENDANT LIGHT
- RECESSED CAN LIGHT
- MINI CAN LIGHT
- BALL LIGHT
- FLUORESCENT LIGHT
- UNDERCABINET LIGHT
- FLOOD LIGHT
- SWITCH
- 3-WAY SWITCH
- 4-WAY SWITCH
- DIMMER SWITCH
- TELEPHONE
- TV CONNECTION
- CONDUIT FOR COMPONENT WIRING
- SPEAKER
- CARBON MONOXIDE DETECTOR
- 110 V SMOKE DETECTOR
- EXHAUST FAN
- LOW VOLTAGE PANEL
- CEILING FAN
- CEILING FAN W/ LIGHT

ELECTRICAL NOTES:

1. PROVIDE AND INSTALL GROUND FAULT CIRCUIT INTERRUPTERS (GFCI) AS INDICATED ON PLANS OR AS TYPED NO. 4 AND 5 BELOW INDICATES.
2. UNLESS OTHERWISE INDICATED, INSTALL SWITCHES AND RECEPTACLES AT THE FOLLOWING HEIGHTS ABOVE FINISHED FLOOR:
 SWITCHES ... 42"
 OUTLETS ... 14"
 TELEPHONE ... 14" (UNLESS ABOVE COUNTERTOP)
 TELEVISION ... 14"
3. ALL SMOKE DETECTORS SHALL BE HARDWIRED INTO AN ELECTRICAL POWER SOURCE AND SHALL BE EQUIPPED WITH A MONITORED BATTERY BACKUP. PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS.
4. ALL 15A AND 20A RECEPTACLES IN SLEEPING ROOMS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, AND SIMILAR AREAS WILL REQUIRE A COMBINATION TYPE AFCI DEVICE AND TAMPER-PROOF RECEPTACLES.
5. ALL 15A AND 20A 120V RECEPTACLES LOCATED IN THE GARAGE AND UTILITY ROOMS SHALL BE G.F.C.I. PROTECTED (G.F.I.).
6. IT IS THE RESPONSIBILITY OF THE LICENSED ELECTRICIAN TO ENSURE THAT ALL ELECTRICAL WORK IS IN FULL COMPLIANCE WITH ALL APPLICABLE LOCAL STANDARDS, CODES, AND ORDINANCES.
7. EVERY BUILDING HAVING A FOSSIL-FUEL-BURNING HEATER OR APPLIANCE, FIREPLACE, OR AN ATTACHED GARAGE SHALL HAVE AN OPERATIONAL CARBON MONOXIDE DETECTOR INSTALLED WITHIN 10 FEET OF EACH ROOM USED FOR SLEEPING PURPOSES.
8. ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM THE LOCAL POWER UTILITY. SUCH ALARMS SHALL HAVE BATTERY BACKUP. COMBINATION SMOKE/CARBON MONOXIDE ALARMS SHALL BE LISTED OR LABELED BY A NATIONALLY RECOGNIZED TESTING LABORATORY.



First Floor Plan
 SCALE: 1/4"=1'-0" ON 22x34 AND
 1/8"=1'-0" ON 11x17



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H&H HOMES, INC
SOUTHPORT

DATE: SEPTEMBER 16, 2019
 REV.: AUGUST 01, 2021
 SCALE: 1/4"=1'-0"
 DRAWN BY:
 ENGINEERED BY:
 REVIEWED BY:

FIRST FLOOR
 ELECTRICAL
 PLAN

ELECTRICAL LEGEND

- ⊕ 120V OUTLET
- ⊕ 120V GFI OUTLET
- ⊕ 120V SWITCHED OUTLET
- ⊕ 120V BASEBOARD OUTLET
- 4-PEX
- FLOOR MOUNTED 120V
- FLOOR MOUNTED 120V GFI
- WEATHERPROOF
- 220V OUTLET
- 120V DEDICATED CIRCUIT
- 220V DEDICATED CIRCUIT
- SPECIAL PURPOSE (240 V, ETC)
- WALL MOUNT LIGHT
- CEILING MOUNT LIGHT
- PENDANT LIGHT
- RECESSED CAN LIGHT
- MINI CAN LIGHT
- EXTRALL LIGHT
- FLOURESCENT LIGHT
- UNDERCABINET LIGHT
- FLOOD LIGHT
- SWITCH
- 3-WAY SWITCH
- 4-WAY SWITCH
- DIMMER SWITCH
- TELEPHONE
- TV CONNECTION
- CONDUIT FOR COMPONENT WIRING
- SPEAKER
- CEILING FAN
- CARBON MONOXIDE DETECTOR
- 110V SMOKE DETECTOR
- EXHAUST FAN
- LOW VOLTAGE PANEL
- CEILING FAN
- CEILING FAN W/ LIGHT

ELECTRICAL NOTES:

1. PROVIDE AND INSTALL GROUND FAULT CIRCUIT INTERRUPTERS (GFI) AS INDICATED ON PLANS OR AS ITEM NO. 4 AND 5 BELOW INDICATES.
2. UNLESS OTHERWISE INDICATED, INSTALL SWITCHES AND RECEPTACLES AT THE FOLLOWING HEIGHTS ABOVE FINISHED FLOOR:
 SWITCHES ... 42"
 OUTLETS ... 14"
 TELEPHONE ... 14" (UNLESS ABV)
 COUNTERTOP TELEVISION ... 14"
3. ALL SMOKE DETECTORS SHALL BE HARDWIRED INTO AN ELECTRICAL POWER SOURCE AND SHALL BE EQUIPPED WITH A MONITORED BATTERY BACKUP. PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS.
4. ALL 15A AND 20A RECEPTACLES IN SLEEPING ROOMS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, AND SIMILAR AREAS WILL REQUIRE A COMBINATION TYPE AFCI DEVICE AND TAMPER-PROOF RECEPTACLES.
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Optional Service Door at 1-Car Garage

SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17

Optional 1-Car Carriage Garage

Not Available w/ Opt. 2-Car Side Load Garage or 3-Car Side Load Garage
 SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17

Optional 3-Car Side Load Garage

SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17

Optional Extended Patio

SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17

Optional Covered Patio

SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17

Optional Gourmet Kitchen

SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17

Optional Desk at Kitchen

SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17

Optional Open Rail ILO 45" Wall w/ Cap

SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17

Optional Service Door at Garage

SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17

Optional 2-Car Side Load Garage

SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17

Optional Fireplace at Family Room

SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17

Optional Butler's Pantry at Garage Entry

SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17

Opt. Coffered Ceiling at Dining Room

SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17

Optional Bi-Swing Doors at Study

SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17

Dining Room w/ Opt. Basement

SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



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H&H HOMES, INC
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 ENGINEERED BY:
 REVIEWED BY:

FIRST FLOOR ELECTRICAL PLAN - OPTIONS

E-1.1

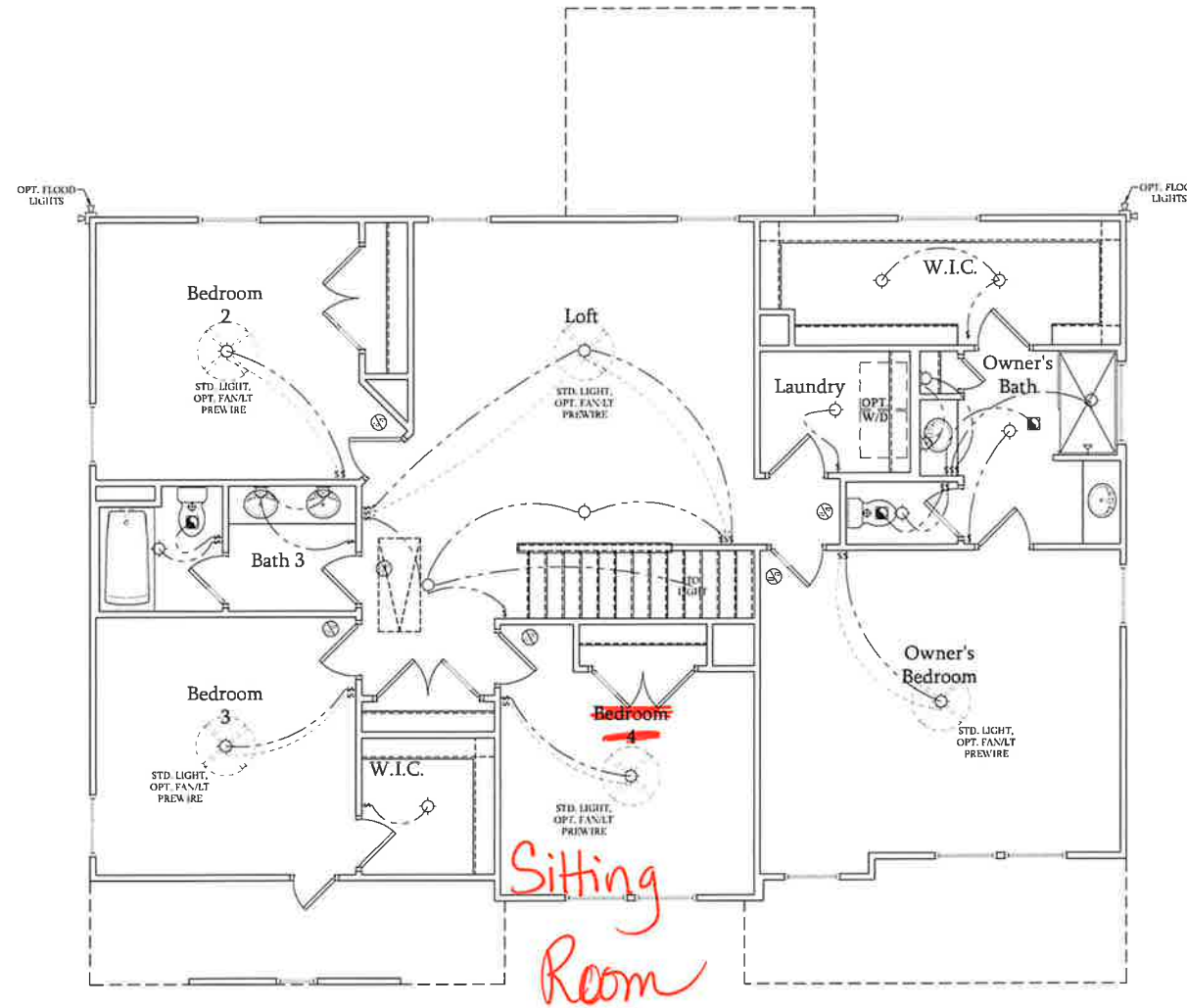
ELECTRICAL LEGEND

- ⊕ 120V OUTLET
- ⊕ 120V GFI OUTLET
- ⊕ 120V SWITCHED OUTLET
- ⊕ 120V BREAKER OUTLET
- ⊕ 4-PIEX
- ⊕ FLOOR MOUNTED 120V
- ⊕ FLOOR MOUNTED 120V GFI
- ⊕ WEATHERPROOF
- ⊕ 220V OUTLET
- ⊕ 120V DEDICATED CIRCUIT
- ⊕ 220V DEDICATED CIRCUIT
- ⊕ SPECIAL PURPOSE (240 V, ETC.)
- ⊕ WALL MOUNT LIGHT
- ⊕ CEILING MOUNT LIGHT
- ⊕ PENDANT LIGHT
- ⊕ RECESSED CAN LIGHT
- ⊕ MINI CAN LIGHT
- ⊕ EYEBALL LIGHT
- ⊕ FLUORESCENT LIGHT
- ⊕ UNDERCABINET LIGHT
- ⊕ FLOOD LIGHT
- ⊕ SWITCH
- ⊕ 3-WAY SWITCH
- ⊕ 4-WAY SWITCH
- ⊕ DIMMER SWITCH
- ⊕ TELEPHONE
- ⊕ TV CONNECTION
- ⊕ CONDUIT FOR COMPONENT WIRING
- ⊕ SPEAKER
- ⊕ CARBID SMOKE/CO MONOXIDE DETECTOR
- ⊕ 110 V SMOKE DETECTOR
- ⊕ EXHAUST FAN
- ⊕ LOW VOLTAGE PANEL

- ⊕ CEILING FAN
- ⊕ CEILING FAN W LIGHT

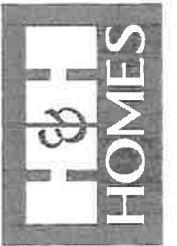
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5. ALL 15A AND 20A 120V RECEPTACLES LOCATED IN THE GARAGE AND (UTILITY) ROOMS SHALL BE GFCI PROTECTED (G.F.I).
6. IT IS THE RESPONSIBILITY OF THE LICENSED ELECTRICIAN TO ENSURE THAT ALL ELECTRICAL WORK IS IN FULL COMPLIANCE WITH ALL APPLICABLE LOCAL STANDARDS, CODES, AND ORDINANCES.
7. EVERY BUILDING HAVING A FOSSIL-FUEL-BURNING HEATER OR APPLIANCE, FIREPLACE, OR AN ATTACHED GARAGE SHALL HAVE AN OPERATIONAL CARBON MONOXIDE DETECTOR INSTALLED WITHIN 10 FEET OF EACH ROOM USED FOR SLEEPING PURPOSES.
8. ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM THE LOCAL POWER UTILITY. SUCH ALARMS SHALL HAVE BATTERY BACKUP. COMBINATION SMOKE-CARBON MONOXIDE ALARMS SHALL BE LISTED OR LABELED BY A NATIONALLY RECOGNIZED TESTING LABORATORY.



Second Floor Plan

SCALE: 1/4"=1'-0" ON 22x34 AND
 1/8"=1'-0" ON 11x17



PRICES, PROMOTIONS, INCENTIVES, FEATURES, MATERIALS AND DIMENSIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND MAY VARY IN ACTUAL CONSTRUCTION. ACTUAL POSITION OF POISE ON FLOOR PLANS AND ELEVATION DRAWINGS ARE THE PROPERTY OF H&H HOMES. ANY USE, REPRODUCTION, OR MODIFICATION OF THIS DOCUMENT IS PROHIBITED. SEE NEW HOME SALES CONSULTANT FOR CURRENT DETAILS. COPYRIGHT © 2019 H&H HOMES

H&H HOMES, INC
SOUTHPORT

DATE: SEPTEMBER 16, 2019
 REV.: AUGUST 01, 2021
 SCALE: 1/4"=1'-0"
 DRAWN BY:
 ENGINEERED BY:
 REVIEWED BY:

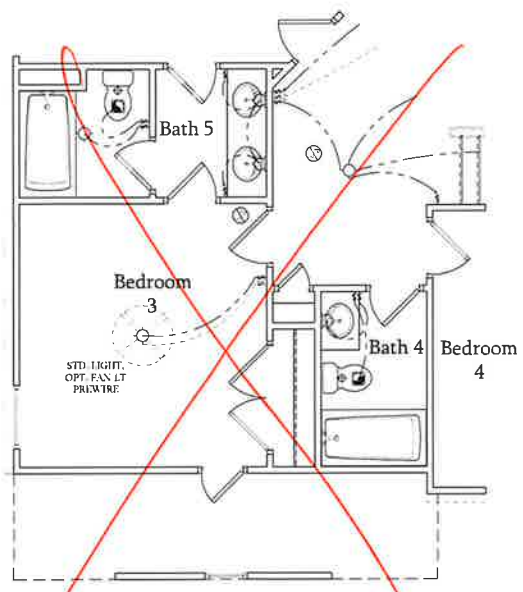
SECOND FLOOR
 ELECTRICAL PLAN

ELECTRICAL LEGEND

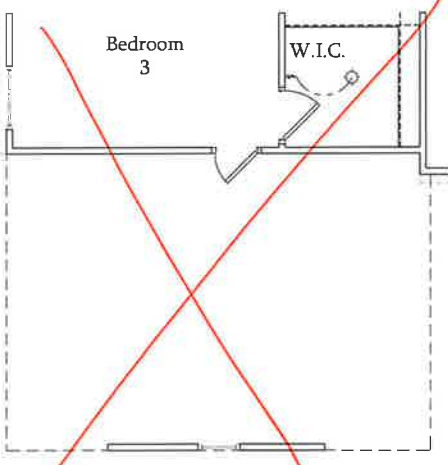
- ⊕ 120V OUTLET
- ⊕ 120V GFI OUTLET
- ⊕ 120V SWITCHED OUTLET
- ⊕ 120V BUSHBOARD OUTLET
- ⊕ 4-PIEX
- ⊕ FLOOR MOUNTED 120V
- ⊕ FLOOR MOUNTED 120V GFI
- ⊕ WEATHERPROOF
- ⊕ 220V OUTLET
- ⊕ 220V DEDICATED CIRCUIT
- ⊕ 220V DEDICATED CIRCUIT
- ⊕ SPECIAL PURPOSE (240 V, ETC.)
- ⊕ WALL MOUNT LIGHT
- ⊕ CEILING MOUNT LIGHT
- ⊕ PENDANT LIGHT
- ⊕ RECESSED CAN LIGHT
- ⊕ MINI CAN LIGHT
- ⊕ EYEALL LIGHT
- ⊕ FILORISCON LIGHT
- ⊕ UNDERCABINET LIGHT
- ⊕ FLOOD LIGHT
- ⊕ SWITCH
- ⊕ 3-WAY SWITCH
- ⊕ 4-WAY SWITCH
- ⊕ DIMMER SWITCH
- ⊕ TELEPHONE
- ⊕ TV CONNECTION
- ⊕ CONDUIT FOR COMPONENT WIRING
- ⊕ SPEAKER
- ⊕ COXIBS PANELE
- ⊕ MONOXIDE DETECTOR
- ⊕ 110 V SMOKE DETECTOR
- ⊕ EXHAUST FAN
- ⊕ LOW VOLTAGE PANEL

ELECTRICAL NOTES:

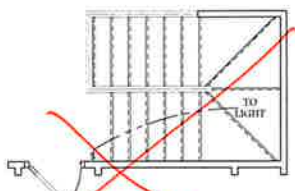
1. PROVIDE AND INSTALL GROUND FAULT CIRCUIT INTERRUPTERS (GFI) AS INDICATED ON PLANS OR AS ITEM NO. 4 AND 5 BELOW INDICATES.
2. UNLESS OTHERWISE INDICATED, INSTALL SWITCHES AND RECEPTACLES AT THE FOLLOWING HEIGHTS ABOVE FINISHED FLOOR:
 SWITCHES... 42"
 OUTLETS... 14"
 TELEPHONE... 14" (UNLESS ABOVE COUNTERTOP)
 TELEVISION... 14"
3. ALL SMOKE DETECTORS SHALL BE HARDWIRED INTO AN ELECTRICAL POWER SOURCE AND SHALL BE EQUIPPED WITH A MONITORED BATTERY BACKUP. PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS.
4. ALL 15A AND 20A RECEPTACLES IN SLEEPING ROOMS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, AND SIMILAR AREAS WILL REQUIRE A COMBINATION TYPE A F.C.I. DEVICE AND TAMPER-PROOF RECEPTACLES.
5. ALL 15A AND 20A 120V RECEPTACLES LOCATED IN THE GARAGE AND UTILITY ROOMS SHALL BE G.F.C.I. PROTECTED (G.F.I.).
6. IT IS THE RESPONSIBILITY OF THE LICENSED ELECTRICIAN TO ENSURE THAT ALL ELECTRICAL WORK IS IN FULL COMPLIANCE WITH ALL APPLICABLE LOCAL STANDARDS, CODES, AND ORDINANCES.
7. EVERY BUILDING HAVING A FOSSIL-FUEL-BURNING HEATER OR APPLIANCE, FIREPLACE, OR AN ATTACHED GARAGE SHALL HAVE AN OPERATIONAL CARBON MONOXIDE DETECTOR INSTALLED WITHIN 10 FEET OF EACH ROOM USED FOR SLEEPING PURPOSES.
8. ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM THE LOCAL POWER UTILITY. SUCH ALARMS SHALL HAVE BATTERY BACKUP. COMBINATION SMOKE/CARBON MONOXIDE ALARMS SHALL BE LISTED OR LABELED BY A NATIONALLY RECOGNIZED TESTING LABORATORY.



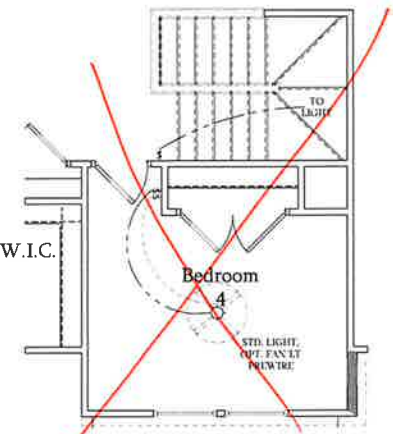
Opt. Bath 5 w/ Bedroom 3 & Bath 4
 SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



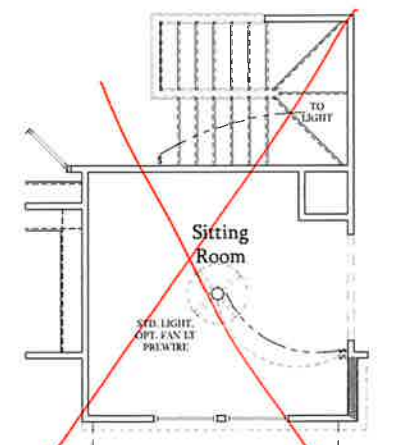
Opt. 3-Car Side-Load Garage
 SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



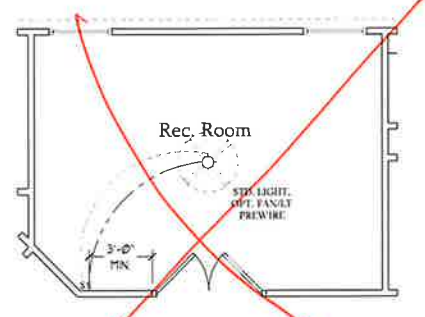
Optional Open Rail ILO 45" Wall w/ Cap at Loft w/ Opt. Basement
 SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



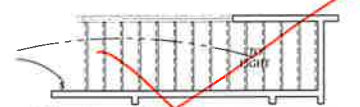
Bedroom 4 w/ Opt. Basement
 SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



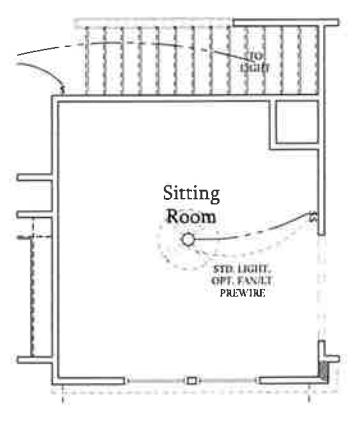
Optional Sitting Room at Owner's Bedroom ILO Bedroom 4 w/ Opt Basement
 SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



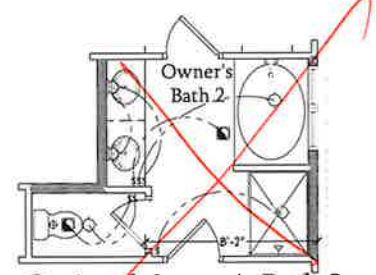
Optional Rec. Room ILO Loft
 SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



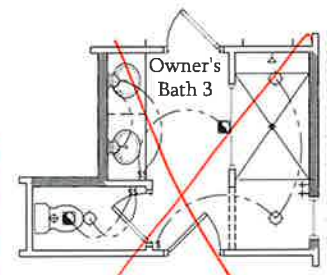
Optional Open Rail ILO 45" Wall w/ Cap at Loft
 SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



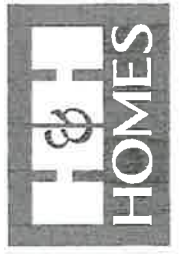
Optional Sitting Room at Owner's Bedroom ILO Bedroom 4
 SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



Optional Owner's Bath 2
 SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



Optional Owner's Bath 3
 SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



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SOUTHPORT

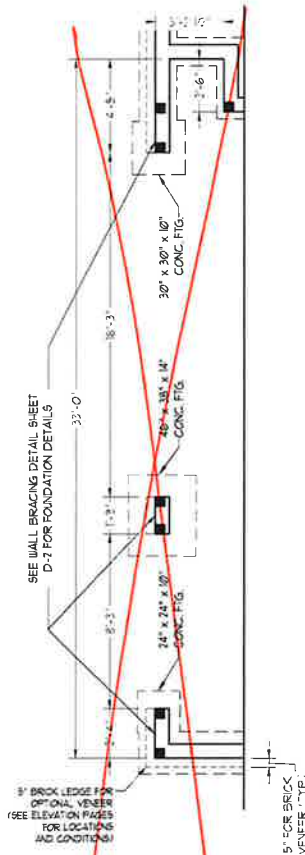
DATE: SEPTEMBER 16, 2019
 REV.: AUGUST 01, 2021
 SCALE: 1/4"=1'-0"
 DRAWN BY:
 ENGINEERED BY:
 REVIEWED BY:
 SECOND FLOOR ELECTRICAL PLAN - OPTIONS
E-2.1

50 MPH ULTIMATE DESIGN WIND SPEED NOTES FOR LESS THAN 30' MEAN ROOF HEIGHT:

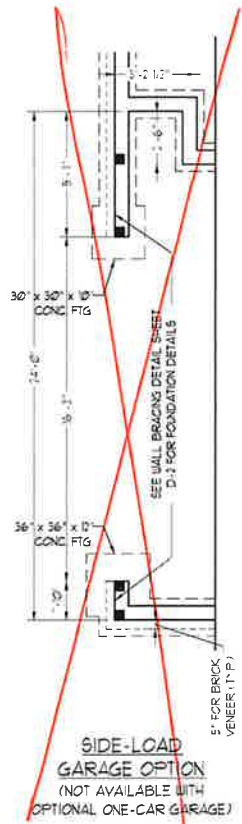
- ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS. ENGINEER'S SEAL DOES NOT CERTIFY DIMENSIONAL ACCURACY OR ARCHITECTURAL LAYOUT INCLUDING ROOF SYSTEM.
- STRUCTURAL DESIGN PER NORTH CAROLINA RESIDENTIAL CODE 2018 EDITION WITH SPECIAL CONSIDERATION TO CHAPTER 45 (HIGH WIND ZONES) FOR 50 MPH WINDS.
- BUILDER IS TO PROVIDE FRAMING CONNECTIONS AS REQUIRED BY CHAPTER 45 (HIGH WIND ZONES) FOR 50 MPH WINDS OF THE NORTH CAROLINA RESIDENTIAL CODE 2018 EDITION.
- FOUNDATION ANCHORAGE TO CONCR. 1717 SECTION 4504 OF THE NORTH CAROLINA RESIDENTIAL CODE 2018 EDITION.
- MEAN ROOF HEIGHT IS LESS THAN 30 FEET.
- WALL CLADDING DESIGNED FOR 0.43 PSF AND -33 PSF (4- INDICATE POSITIVE / NEGATIVE PRESSURE (TYP)).
- ROOF CLADDING DESIGNED FOR 0.72 PSF AND -28 PSF FOR ROOF PITCHES 1/2 TO 2/3 AND 0.43 PSF AND -51 PSF FOR ROOF PITCHES 2/3 TO 1/2.
- 1/4" OSB SHEATHING IS REQUIRED ON ALL EXTERIOR WALLS.
- WALLS TO BE BRACED IN ACCORDANCE WITH SECTION 1802.8 OF THE NORTH CAROLINA RESIDENTIAL CODE 2018 EDITION AND AS NOTED ON PLANS.
- ENERGY EFFICIENCY COMPLIANCE AND INSULATION VALUES OF THE BUILDING TO BE IN ACCORDANCE WITH CHAPTER 1 OF THE NCRC 2018 EDITION.

100 MPH ULTIMATE DESIGN WIND SPEED NOTES FOR LESS THAN 30' MEAN ROOF HEIGHT:

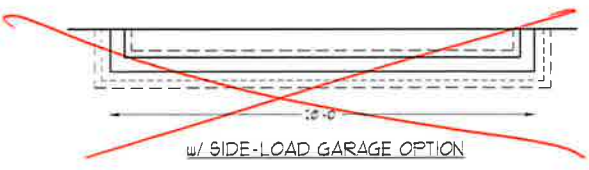
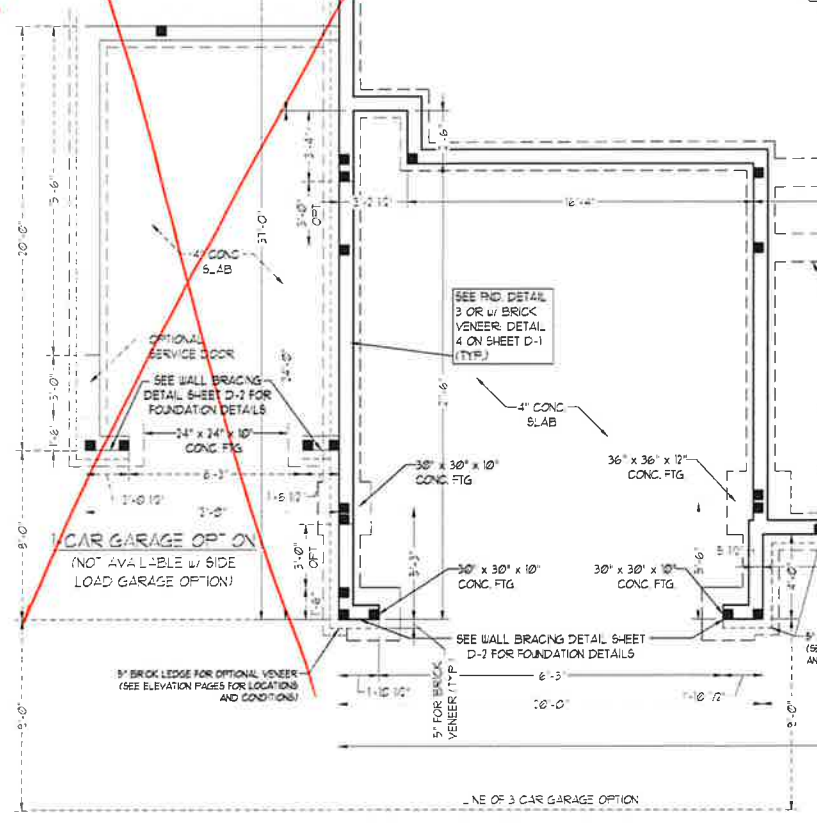
- ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS. ENGINEER'S SEAL DOES NOT CERTIFY DIMENSIONAL ACCURACY OR ARCHITECTURAL LAYOUT INCLUDING ROOF SYSTEM.
- STRUCTURAL DESIGN PER NORTH CAROLINA RESIDENTIAL CODE 2018 EDITION.
- INSTALL 1/2" ANCHOR BOLTS 6'-0" O.C. AND WITHIN 1'-0" FROM END OF EACH CORNER. ANCHOR BOLTS MUST EXTEND A MINIMUM OF 1" INTO MASONRY OR CONCRETE. LOCATE BOLT WITH MIDDLE THIRD OF PLATE WIDTH.
- MEAN ROOF HEIGHT IS LESS THAN 30 FEET.
- EXTERIOR WALLS DESIGNED FOR 50 MPH WINDS.
- WALL CLADDING DESIGNED FOR +55 PSF AND -30 PSF (4- INDICATE POSITIVE / NEGATIVE PRESSURE (TYP)).
- ROOF CLADDING DESIGNED FOR +42 PSF AND -18 PSF FOR ROOF PITCHES 1/2 TO 2/3 AND +60 PSF AND -36 PSF FOR ROOF PITCHES 2/3 TO 1/2.
- INSTALL 1/4" OSB SHEATHING ON ALL EXTERIOR WALLS OF ALL STORES IN ACCORDANCE WITH SECTION 1802.8 OF THE NCRC 2018 EDITION. SEE THE WALL BRACING NOTES AND DETAILS SHEET FOR MORE INFORMATION.
- ENERGY EFFICIENCY COMPLIANCE AND INSULATION VALUES OF THE BUILDING TO BE IN ACCORDANCE WITH CHAPTER 1 OF THE NCRC 2018 EDITION.
- REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.



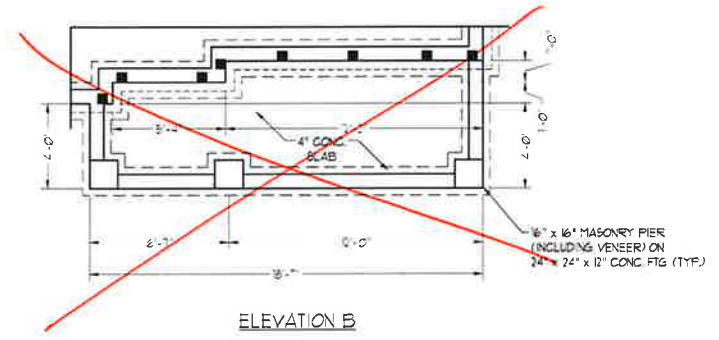
3-CAR SIDE LOAD GARAGE OPTION
(NOT AVAILABLE WITH OPTIONAL ONE-CAR GARAGE)



SIDE-LOAD GARAGE OPTION
(NOT AVAILABLE WITH OPTIONAL ONE-CAR GARAGE)



w/ SIDE-LOAD GARAGE OPTION



ELEVATION B

J.S. THOMPSON ENGINEERING, INC
606 WADE AVE., SUITE 104 RALEIGH, NC 27605
PHONE: (919) 785-9919 FAX: (919) 785-9921
N.C. LICENSE NO.: C-1731

SOUTHPORT H&H HOMES

DATE: NOVEMBER 2, 2021
SCALE: 1/4" = 1'-0"
DRAWN BY: H&H HOMES
ENGINEERED BY: WFR



11/2/2021

SHEET 3 OF 9
S-1c
STEM WALL FOUNDATION PLAN

TYPE: BRICK SUPPORT FOR BRICK/NATURAL STONE SUPPORT	
LENGTH	SIZE OF LVL
UP TO 4 FT	2 x 10 x 16 LVL
4-6	2 x 12 x 16 LVL
6 AND GREATER	2 x 14 x 16 LVL

BRICK SUPPORT NOTES:

1. SEE SCHEDULE APPLICABLE TO ALL OPENINGS IN BRICK VENEER UNLESS OTHERWISE NOTED. SEE ARCH DRAWING FOR SIZE AND LOCATION OF OPENINGS.
2. LVL IS LONG LEG VERTICAL. LENGTH IS CLEAR OPENING.
3. EMBED ALL ANGLE IRON IN EACH SIDE 1" MIN TO PROVIDE BEARING FOR ALL HEADERS. 1" MIN AND GREATER LENGTH AT EACH ANGLE TO HEADERS. 1/2" LAG SCREWS AT 12" OC STAGGERED.
4. FOR ALL BRICK SUPPORT ROOF LINES FASTEN 1/2" x 6" BLOCKING BETWEEN STUDS AT 14" TO NAILS PER 9.1 FASTEN AT 6" x 2" x 3/8" STEEL ANGLE TO 1/2" x 10" BLOCKING AT 12" LAG SCREWS AT 12" OC STAGGERED. SEE SECTION 9703.82 OF THE 2018 NCC FOR ADDITIONAL BRICK SUPPORT INFORMATION.
5. PRECAST REINFORCED CONCRETE LINTELS ENGINEERED BY OTHERS MAY BE USED IN LIEU OF STEEL LINTELS.

NOTE:
 BRICK JOISTS MAY BE USED IN LIEU OF LVL JOISTS AT THE DEPTH AND SPACING NOTED ON THE PLAN.

BRACKET WALL DESIGN NOTES:

1. BRACKET WALL DESIGN PER SECTION 9603.10 OF THE 2018 NCC.
2. SEE REFERENCE TO "CONTIGUOUS BRACING" WOOD STRUCTURAL PANELS CONTRACTOR IS TO INSTALL 1/4" OSB ON ALL EXTERIOR WALLS ATTACHED TO BRICK WALLS BRACED AT 6" OC ALONG PANEL EDGES AND 12" OC IN THE FIELD.
3. OSB REFERS TO "GYPSUM BOARD" CONTRACTOR IS TO INSTALL 1/2" (MIN) GYPSUM WALL BOARD WHERE NOTED ON THE PLANS. FASTENERS WITH 1/4" SCREWS OR 1/2" NAILS SPACED 12" OC ALONG PANEL EDGES AND IN THE FIELD INCLUDING TOP AND BOTTOM PLATES.
4. BRACKET WALL DESIGN APPLICABLE IN WIND ZONES UP TO 30 MPH. FOR HIGHER WIND ZONES BRACKET WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH CHAPTER 45 OF THE 2018 NCC. REFER TO SEE NOTES AND DETAILS SHEETS FOR ADDITIONAL BRACKET WALL INFORMATION.

NOTE:

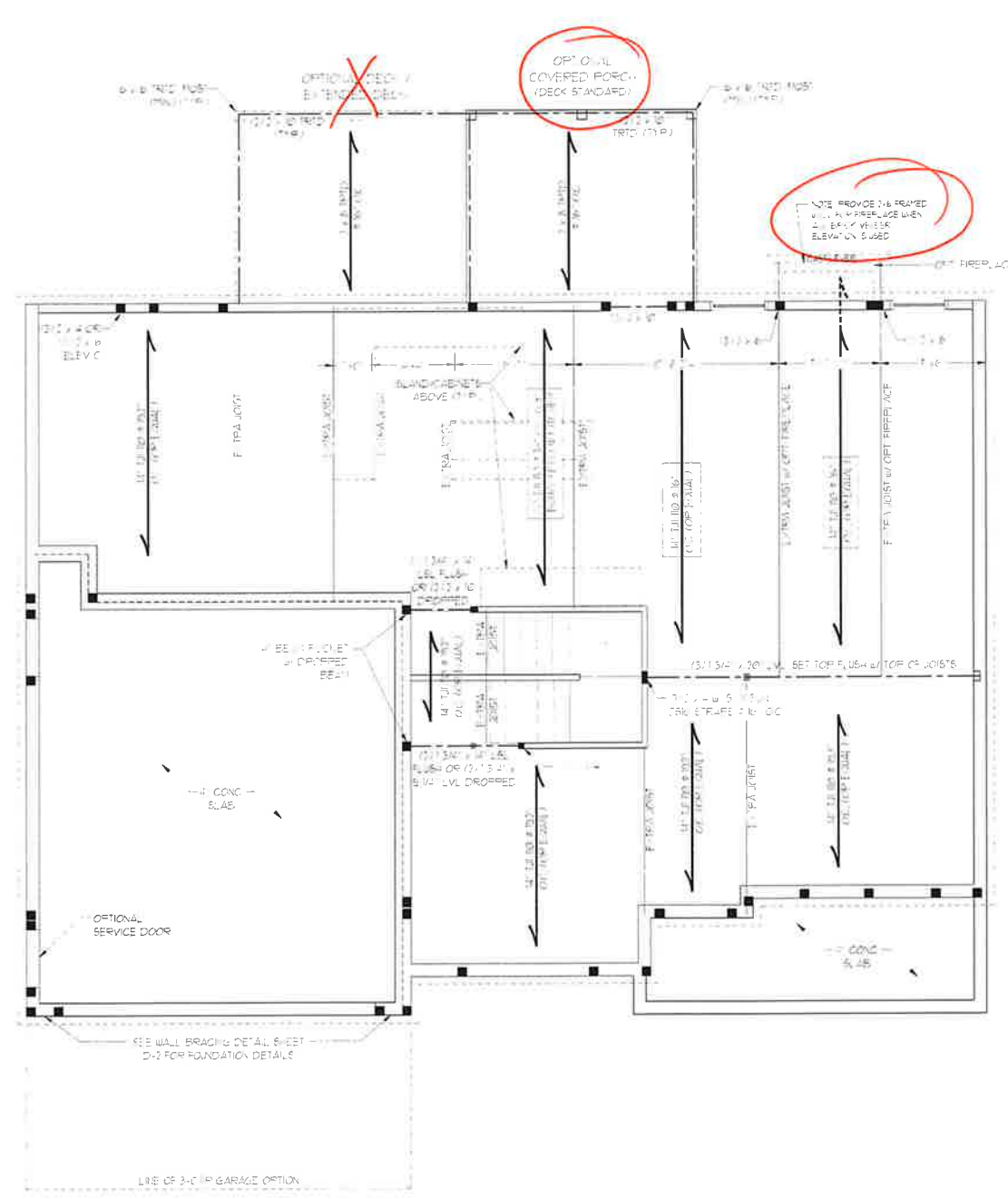
1. PER SECTION 9603.14 OF THE 2018 NCC THE AMOUNT OF BRACING REQUIRED ON THE WALL OF BASEMENT WALLS EXCEEDS THE AMOUNT OF BRACING ON THE WALL ABOVE. MULTIPLY BY A FACTOR OF 3.
2. SHEATHING ALL EXTERIOR WALLS WITH 7/16" OSB SHEATHING ATTACHED WITH 6" x 16" LVL AT 6" OC ALONG PANEL EDGES AND 12" OC IN THE FIELD.

STRUCTURAL NOTES:

1. ALL FRAMING LUMBER TO BE 12 5/8" UNK) ALL TREATED LUMBER TO BE 12 5/8" UNK).
2. INSTALL ANGLE TRAJ JOIST UNDER WALLS PARALLEL TO FLOOR JOISTS WHERE NOTED ON THE PLANS.
3. WINDOW AND DOOR HEADERS TO BE SUPPORTED WITH JACK STUD AND TRAJING STUD EACH END UNK) SEE TABLE 9603.13 FOR ADDITIONAL TRAJING STUD REQUIREMENTS.
4. SQUARES DENOTE POINT LOADS WHICH REQUIRE SOLID BLOCKING TO GIRDER OR FOUNDATION SUPPORT UNLESS SPECIFIED BY LOADS ALSO BRACED WITH 1/2" x 12" STUDS UNK).
5. ALL LOAD BEARING HEADERS TO BE 12 5/8" UNK).
6. STEP BASEMENT FDN DOWN TO 2' x 8" 16" OC WALL WHERE GRADE PERMITS.
7. ALL LOAD BEARING INTERIOR WALLS TO BE 2' x 4" 12" OC OR 2' x 6" 16" OC UNK).
8. FOR HIGH WIND ZONES ALL EXTERIOR WALLS TO BE SHEATHED WITH 7/16" OSB SHEATHING WITH JOISTS BLOCKED AND SECURED WITH 6" NAILS AT 3" OC ALONG EDGES AND 6" OC IN THE FIELD.
9. FOR HIGH WIND ZONES SECURE ALL EXTERIOR WALL SHEATHING PANELS TO DOUBLE TOP PLATES BANDS JOISTS AND GIRDERS WITH 1/2" RODS OF EQUAL SIZE STAGGERED AT 3" OC PANELS SHALL EXTEND 12" BEYOND CONSTRUCTION JOISTS AND SHALL OVERLAP GIRDERS AND DOUBLE END PLATES THEIR FULL DEPTH.
10. ALL 2' x 4" POSTS SHALL BE ANCHORED TO SLABS WITH SIMPSON ANCHOR POST BASES (OR EQUAL) AND 6" x 6" POSTS WITH ANCHOR POST BASES (OR EQUAL). ALL 4" x 4" AND 6" x 6" POSTS TO BE INSTALLED WITH TOP JOIST CAPACIT UP LVL CONNECTORS AT TOP UNK). REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.

TABLE 9603.13
 MINIMUM NUMBER OF FULL HEIGHT STUDS AT EACH END OF HEADERS IN EXTERIOR WALLS

HEADER SPAN (FEET)	MINIMUM STUD SPACING (INCHES) (PER TABLE 9603.13)	
	12	16
UP TO 3	1	1
4	2	2
6	3	3
8	4	4
10	5	5



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 N.C. LICENSE NO.: C-1173

SOUTHPORT H&H HOMES

PROFESSIONAL SEAL
 33738
 ENGINEER
 MATTHEW G. STROTHER
 11/2/2021

DATE: NOVEMBER 2, 2021
 SCALE: 1/4" = 1'-0"
 DRAWN BY: H&H HOMES
 ENGINEERED BY: WTB

SHEET 5 OF 9
S-2
 FIRST FLOOR FRAMING PLAN

BRACED WALL DESIGN NOTES

- BRACED WALL DESIGN PER SECTION R602.10 OF THE NCRC 2018 EDITION.
- CS-USP REFERS TO CONTINUOUS SHEATHING - WOOD STRUCTURAL PANELS. CONTRACTOR IS TO INSTALL 1/2" OSB ON ALL EXTERIOR WALLS ATTACHED TO BRACKING WALLS 6' O.C. ALONG EDGES AND 2' O.C. IN THE FIELD.
- CS REFERS TO GYPSUM BOARD. CONTRACTOR IS TO INSTALL 1/2" GYPSUM BOARD. WALL BOARD SHEETS NOTED ON T-E PLANS. FASTEN 66 U-11/4" SCREWS OR 1/2" NAILS SPACED 1' O.C. ALONG EDGES AND 1 1/2' IN THE FIELD INCLUDING TOP AND BOTTOM PLATES.
- BRACED WALL DESIGN APPLIED IN WIND ZONES UP TO 130 MPH. FOR HIGH WIND ZONES BRACKING WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH CHAPTER 45 OF THE NCRC 2018 EDITION. SEE NOTES AND DETAIL SHEETS FOR ADDITIONAL BRACED WALL INFORMATION.

BRACED WALL DESIGN

- | RECTANGLE A | RECTANGLE B |
|---------------------------|-------------------------------|
| SIDE 1A (FRONT LOAD) | SIDE 1B |
| METHOD CS-USP/F | METHOD CS-USP |
| TOTAL REQUIRED LENGTH 15' | TOTAL REQUIRED LENGTH - 28' |
| TOTAL PROVIDED LENGTH 15' | TOTAL PROVIDED LENGTH - 6' |
| SIDE 2A | SIDE 2B |
| METHOD CS-USP | METHOD CS-USP |
| TOTAL REQUIRED LENGTH 15' | TOTAL REQUIRED LENGTH - 28' |
| TOTAL PROVIDED LENGTH 20' | TOTAL PROVIDED LENGTH - 12' |
| SIDE 3A | SIDE 3B |
| METHOD CS-USP | METHOD CS-USP/F |
| TOTAL REQUIRED LENGTH 16' | TOTAL REQUIRED LENGTH - 18' |
| TOTAL PROVIDED LENGTH 16' | TOTAL PROVIDED LENGTH - 21' |
| SIDE 4A (3 CAR) | SIDE 4B |
| METHOD CS-USP/F | METHOD CS-USP |
| TOTAL REQUIRED LENGTH 16' | TOTAL REQUIRED LENGTH - 21' |
| TOTAL PROVIDED LENGTH 21' | TOTAL PROVIDED LENGTH - 15.5' |

NOTE: ALL EXTERIOR WALLS AND ATTIC WALLS ARE TO BE 2 x 6 @ 16" O.C. (UNO). 2 x 4 @ 16" O.C. EXTERIOR WALLS MAY BE CONSTRUCTED IN LIEU OF 2 x 6 WALLS (UNO). ALL INTERIOR LOAD BEARING WALLS ARE TO BE 2 x 4 @ 16" O.C. (UNO) AND NON-LOAD BEARING INTERIOR WALLS ARE TO BE 2 x 4 @ 24" O.C. (UNO).

INTEL SCHEDULE FOR BRICK/NATURAL STONE SUPPORT

LENGTH (FT.)	SIZE OF INTEL
UP TO 4 FT.	L 3 1/2 x 3 1/2 x 1/4
4-B	L 5 x 3 1/2 x 5/16 LLV
8 AND GREATER	L 6 x 4 x 3/16 LLV

NOTE:
* BCI 45000-10 JOISTS MAY BE USED IN LIEU OF 11110 JOISTS AT THE DEPTH AND SPACING NOTED ON THE PLAN.

- BRICK SUPPORT NOTES:**
- INTEL SCHEDULE APPLIES TO ALL OPENINGS IN BRICK VENEER (UNO). SEE ARCH DRGS. FOR SIZE AND LOCATION OF OPENINGS.
 - (LLV) - LONG LEG VERTICAL LENGTH - CLEAR OPENING
 - EMBED ALL ANGLE IRONS MIN. 4" EACH SIDE INTO VENEER TO PROVIDE BEARING
 - FOR ALL HEADERS 8'-0" AND GREATER IN LENGTH, ATTACH STEEL ANGLE TO HEADER W/ 1/2" LAG SCREWS @ 1' O.C. STAGGERED
 - FOR ALL BRICK SUPPORT @ ROOF LINES, FASTEN (2) 2 x 10 BLOCKING BETWEEN STUDS W/ (4) 1d NAILS PER PLY. FASTEN A 6" x 4" x 5/16" STEEL ANGLE TO (2) 2 x 10 BLOCKING W/ (2) 1/2" LAG SCREWS @ 1' O.C. STAGGERED. SEE SECTION R103.B21 OF THE 2018 NCRC FOR ADDITIONAL BRICK SUPPORT INFORMATION.
 - PRECAST REINFORCED CONCRETE INTELS ENGINEERED BY OTHERS MAY BE USED IN LIEU OF STEEL INTELS.

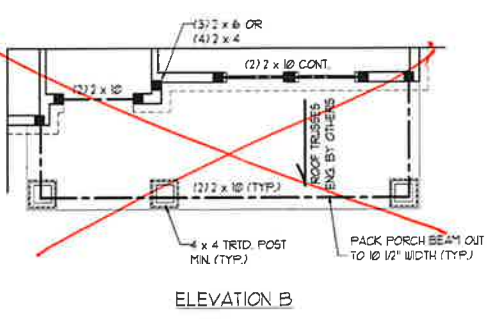
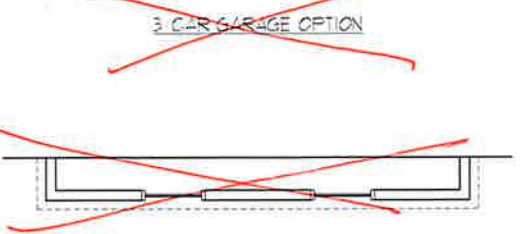
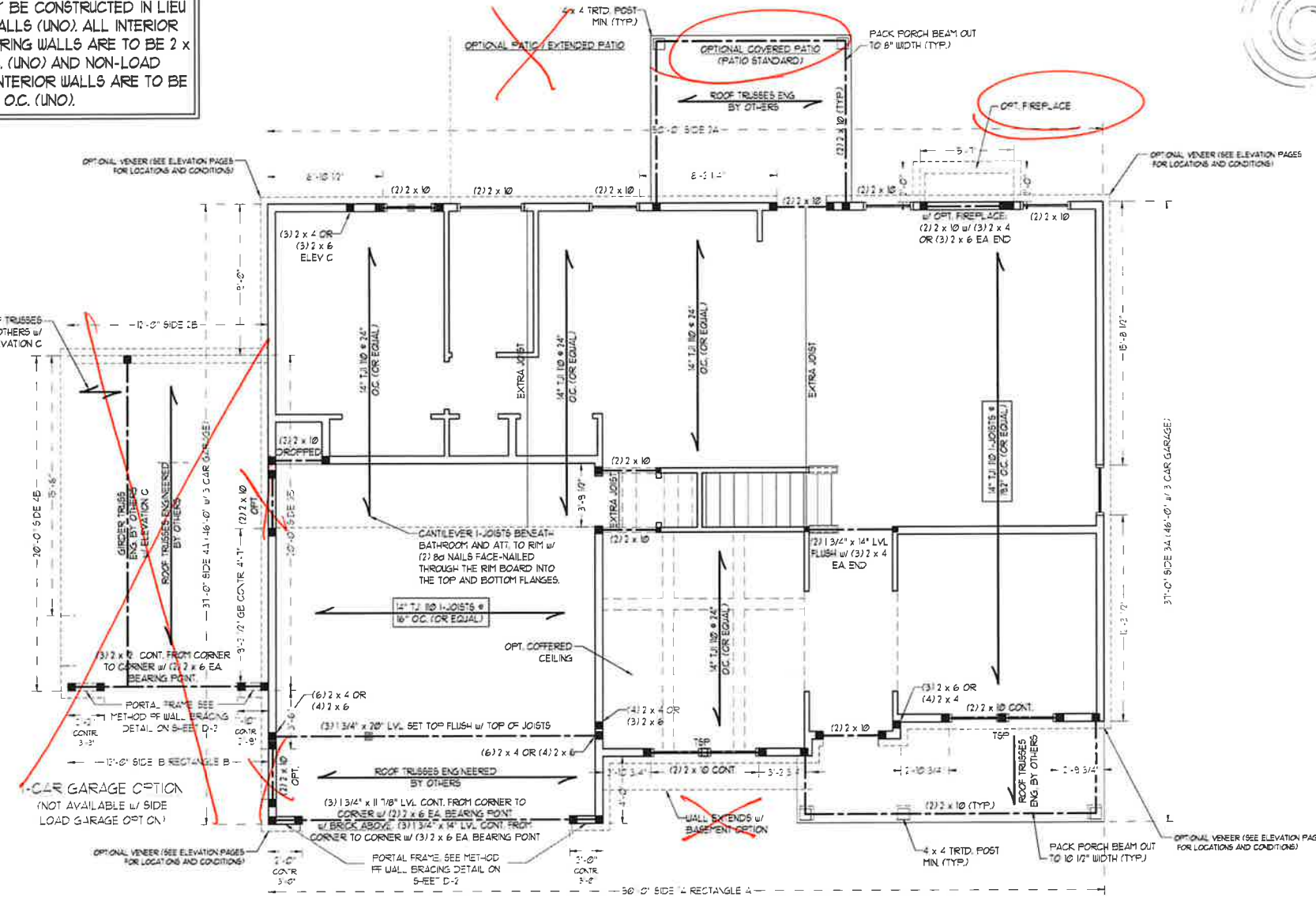
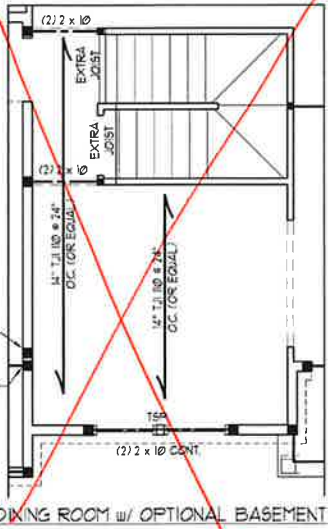
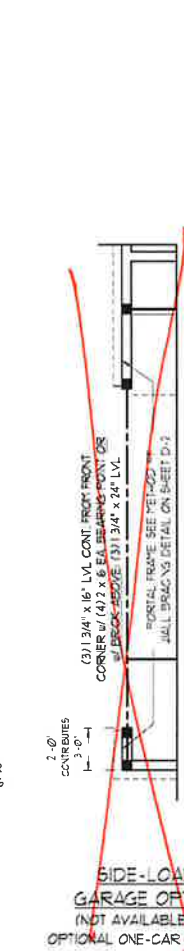
STRUCTURAL NOTES:

- ALL FRAMING LUMBER TO BE SPF #2 (UNO). ALL TREATED LUMBER TO BE SYP #2 (UNO).
- ALL LOAD BEARING HEADERS TO BE (2) 2 x 6 (UNO).
- WINDOW AND DOOR HEADERS TO BE SUPPORTED W/ (1) JACK STUD AND (1) KING STUD EA END (UNO). SEE TABLE R602.15 FOR ADDITIONAL KING STUD REQUIREMENTS.
- SQUARES DENOTE POINT LOADS WHICH REQUIRE SOLID BLOCKING TO GIRDER OR FOUNDATION. ALL SQUARES TO BE (2) STUDS (UNO).
- FOR HIGH WIND ZONES, ALL EXTERIOR WALLS TO BE SHEATHED WITH 1/2" OSB SHEATHING WITH JOINTS BLOCKED AND SECURED WITH 8d NAILS AT 3' O.C. ALONG EDGES AND 6' O.C. IN THE FIELD.
- FOR HIGH WIND ZONES, SECURE ALL EXTERIOR WALL SHEATHING PANELS TO DOUBLE TOP PLATES, BANDS, JOISTS, AND GIRDERS WITH (2) ROWS OF 8d NAILS STAGGERED AT 3' O.C. PANELS SHALL EXTEND 1" BEYOND CONSTRUCTION JOINTS AND SHALL OVERLAP GIRDERS AND DOUBLE SILL PLATES THEIR FULL DEPTH.
- ALL 4 x 4 POSTS SHALL BE ANCHORED TO SLABS W/ SIMPSON ABU44 POST BASES (OR EQUAL) AND 6 x 6 POSTS W/ ABU66 POST BASES (OR EQUAL) (UNO). ALL 4 x 4 AND 6 x 6 POSTS TO BE INSTALLED WITH 700 LB CAPACITY UPLIFT CONNECTORS AT TOP (UNO).
- FOR FIBERGLASS, ALUMINUM, OR COLUMN ENG. BY OTHERS, SECURE TO SLAB W/ (2) METAL ANGLES USING 2" CONC. SCREWS. FASTEN ANGLES TO COLUMNS W/ 1/4" THROUGH BOLTS W/ NUTS AND WASHERS. LOCATE ANGLES ON OPPOSITE SIDES OF COLUMN. THROUGH BOLTS MUST BE INSTALLED PRIOR TO SETTING COLUMN.
- REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.

*SP# INDICATES TRIPLE STUD POCKET BETWEEN WINDOW UNITS

TABLE R602.15
MINIMUM NUMBER OF FULL HEIGHT STUDS AT EACH END OF HEADERS IN EXTERIOR WALLS (PER TABLE R602.15)

HEADER SPAN (FEET)	1	2	3	4
UP TO 3'	1	1	1	1
4'	2	1	1	1
5'	3	1	2	1
6'	4	2	3	1
7'	5	3	4	2
8'	6	4	5	3



11/2/2021

DATE: NOVEMBER 2, 2021
SCALE: 1/4" = 1'-0"
DRAWN BY: H&H HOMES
ENGINEERED BY: WFR

SHEET 6 OF 9
S-3
SECOND FLOOR FRAMING PLAN

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N.C. LICENSE NO.: C-17131

SOUTHPORT H&H HOMES

BRACED WALL DESIGN NOTES

- BRACED WALL DESIGN PER SECTION R602.10 OF THE 2018 NRC
- CS-1/8" REFERS TO CONTINUOUS 5-EAT-ING WOOD STRUCTURAL PANELS CONTRACTOR IS TO INSTALL 1/8" OSB ON ALL EXTERIOR WALLS ATTACHED W/ 8D NAILS SPACED 6" O.C. ALONG PANEL EDGES AND 12" O.C. IN THE FIELD.
- GS REFERS TO GYPSUM BOARD CONTRACTOR IS TO INSTALL 1/2" (MIN) GYPSUM BOARD WHERE NOTED ON THE PLANS. FASTEN WITH 1 1/4" SCREWS OR 1 5/8" NAILS SPACED 7" O.C. ALONG PANEL EDGES AND 12" O.C. IN THE FIELD. INCLUDING TOP AND BOTTOM PLATES.
- BRACED WALL DESIGN APPLIED IN WIND ZONES UP TO 130 MPH. FOR HIGH WIND ZONES, BRACE WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH CHAPTER 5 OF THE NRC 2018 EDITION. SEE NOTES AND DETAIL SHEETS FOR ADDITIONAL BRACED WALL INFORMATION.

NOTE:

- PER SECT. R602.10.3.2 OF THE 2018 NRC, THE AMOUNT OF BRACING ON THE SECOND FLOOR EXCEEDS THE AMOUNT REQUIRED FOR THE FIRST FLOOR AND NO BRACED WALL ANALYSIS IS REQUIRED.
- 5-EAT- ALL EXTERIOR WALLS WITH 1/8" OSB 5-EAT-ING ATTACHED WITH 8D NAILS AT 6" O.C. ALONG PANEL EDGES AND 12" O.C. IN THE FIELD.

***NOTE: ALL EXTERIOR WALLS AND ATTIC WALLS ARE TO BE 2 x 6 @ 16" O.C. (UNO). 2 x 4 @ 16" O.C. EXTERIOR WALLS MAY BE CONSTRUCTED IN LIEU OF 2 x 6 WALLS (UNO). ALL INTERIOR LOAD BEARING WALLS ARE TO BE 2 x 4 @ 16" O.C. (UNO) AND NON-LOAD BEARING INTERIOR WALLS ARE TO BE 2 x 4 @ 24" O.C. (UNO).**

LINTEL SCHEDULE FOR BRICK/NATURAL STONE SUPPORT

LENGTH (FT.)	SIZE OF LINTEL
UP TO 4 FT.	L 3 1/2 x 3 1/2 x 1/4
4-8	L 5 x 3 1/2 x 5/16 LLV
8 AND GREATER	L 6 x 4 x 5/16 LLV

BRICK SUPPORT NOTES:

- LINTEL SCHEDULE APPLIES TO ALL OPENINGS IN BRICK VENEER (UNO). SEE ARCH. DSS. FOR SIZE AND LOCATION OF OPENINGS.
- (LLV) = LONG LEG VERTICAL
- LENGTH = CLEAR OPENING
- EMBED ALL ANGLE IRONS MIN. 4" EACH SIDE INTO VENEER TO PROVIDE BEARING.
- FOR ALL HEADERS 8'-0" AND GREATER IN LENGTH, ATTACH STEEL ANGLE TO HEADER W/ 1/2" LAG SCREWS @ 12" O.C. STAGGERED.
- FOR ALL BRICK SUPPORT @ ROOF LINES, FASTEN (2) 2 x 10 BLOCKING BETWEEN STUDS W/ (4) 10D NAILS PER PLY. FASTEN A 6" x 4" x 5/8" STEEL ANGLE TO (2) 2 x 10 BLOCKING W/ (2) 1/2" LAG SCREWS @ 12" O.C. STAGGERED. SEE SECTION R103.2.1 OF THE 2018 NRC FOR ADDITIONAL BRICK SUPPORT INFORMATION.
- PRECAST REINFORCED CONCRETE LINTELS ENGINEERED BY OTHERS MAY BE USED IN LIEU OF STEEL LINTELS.

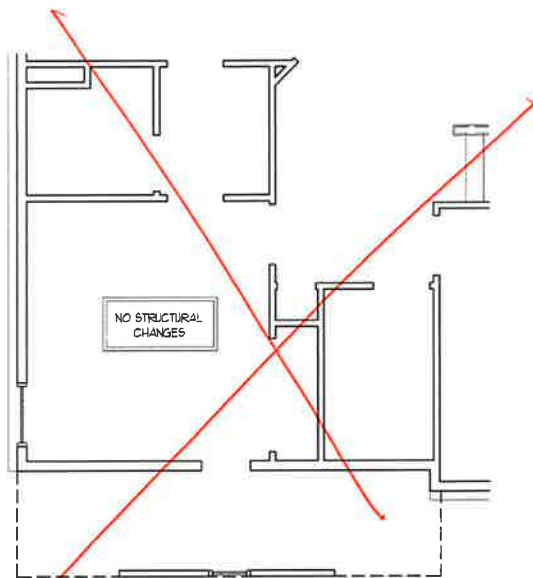
STRUCTURAL NOTES:

- ALL FRAMING LUMBER TO BE SFF #2 (UNO).
- ALL TREATED LUMBER TO BE SYP #2 (UNO).
- ALL LOAD BEARING HEADERS TO BE (2) 2 x 6 (UNO).
- WINDOW AND DOOR HEADERS TO BE SUPPORTED W/ (1) JACK STUD AND (1) KING STUD EA. END (UNO). SEE TABLE R607.15 FOR ADDITIONAL KING STUD REQUIREMENTS.
- SQUARES DENOTE POINT LOADS WHICH REQUIRE SOLID BLOCKING TO GIRDER OR FOUNDATION. ALL SQUARES TO BE (2) STUDS (UNO).
- FOR HIGH WIND ZONES, ALL EXTERIOR WALLS TO BE SHEATHED WITH 1/8" OSB SHEATHING WITH JOINTS BLOCKED AND SECURED WITH 8D NAILS AT 3" O.C. ALONG EDGES AND 6" O.C. IN THE FIELD.
- FOR HIGH WIND ZONES, SECURE ALL EXTERIOR WALL SHEATHING PANELS TO DOUBLE TOP PLATES, BANDS, JOISTS AND GIRDERS WITH (2) ROWS OF 8D NAILS STAGGERED AT 3" O.C. PANELS SHALL EXTEND 12" BEYOND CONSTRUCTION JOINTS AND SHALL OVERLAP GIRDERS AND DOUBLE GILL PLATES THE FULL DEPTH. REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.

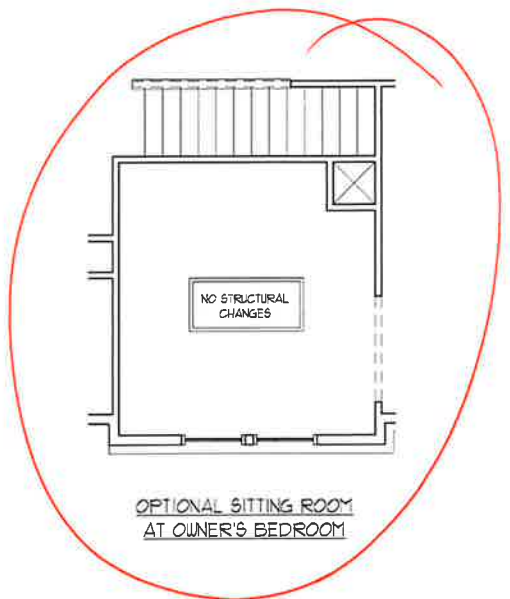
"TSP" INDICATES TRIPLE STUD POCKET BETWEEN WINDOW UNITS.

TABLE R607.15
MINIMUM NUMBER OF FULL HEIGHT STUDS AT EACH END OF HEADERS IN EXTERIOR WALLS

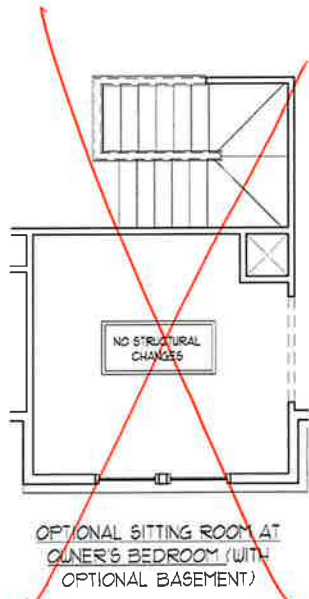
HEADER SPAN (FEET)	MAXIMUM STUD SPACING (INCHES) (PER TABLE R603.3.5)	
	16	24
UP TO 3'	1	1
4'	2	1
6'	3	2
8'	5	3
10'	6	4



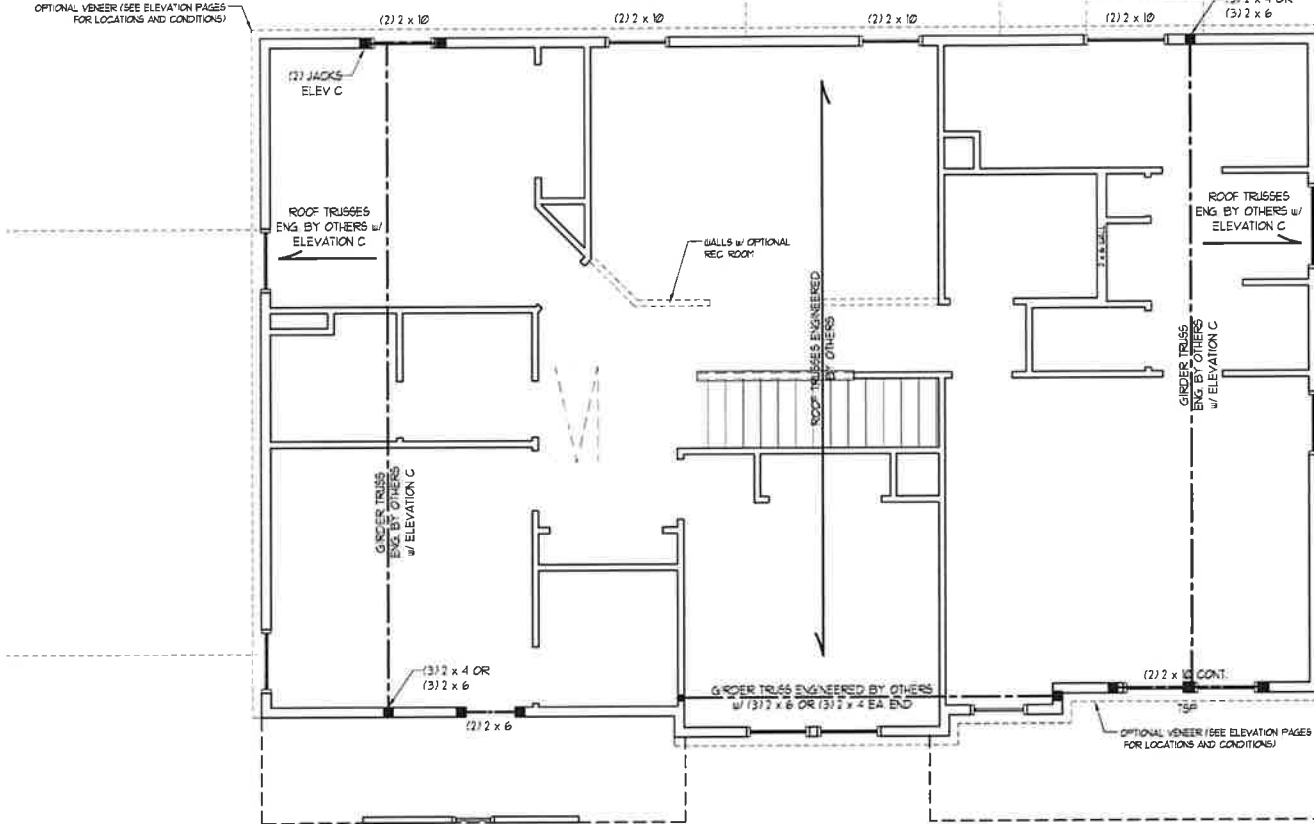
OPTIONAL BATH 5 w/
BEDROOM 3 AND BATH 4



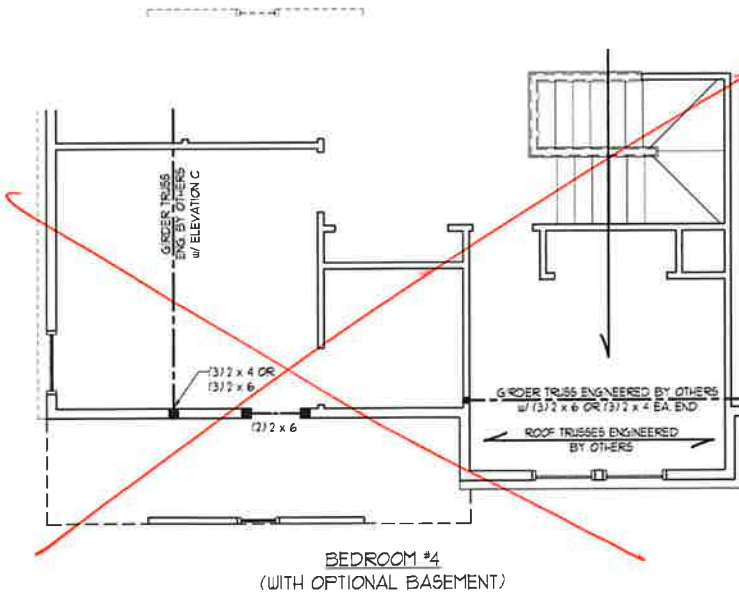
OPTIONAL SITTING ROOM
AT OWNER'S BEDROOM



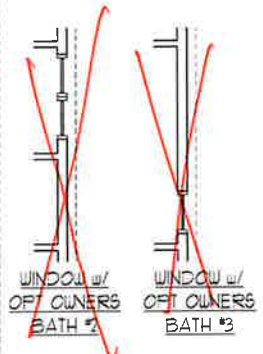
OPTIONAL SITTING ROOM AT
OWNER'S BEDROOM (WITH
OPTIONAL BASEMENT)



w/ OPTIONAL CAR
SIDE LOAD GARAGE

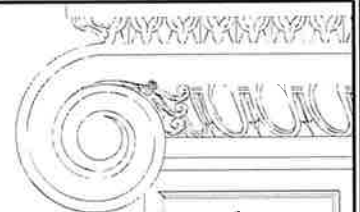


BEDROOM #4
(WITH OPTIONAL BASEMENT)



WINDOW w/
OF OWNERS
BATH 1

WINDOW w/
OF OWNERS
BATH 2



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SOUTHPORT
H&H HOMES

DATE: NOVEMBER 2, 2021
SCALE: 1/4" = 1'-0"
DRAWN BY: H&H HOMES
ENGINEERED BY: WFB



11/2/2021

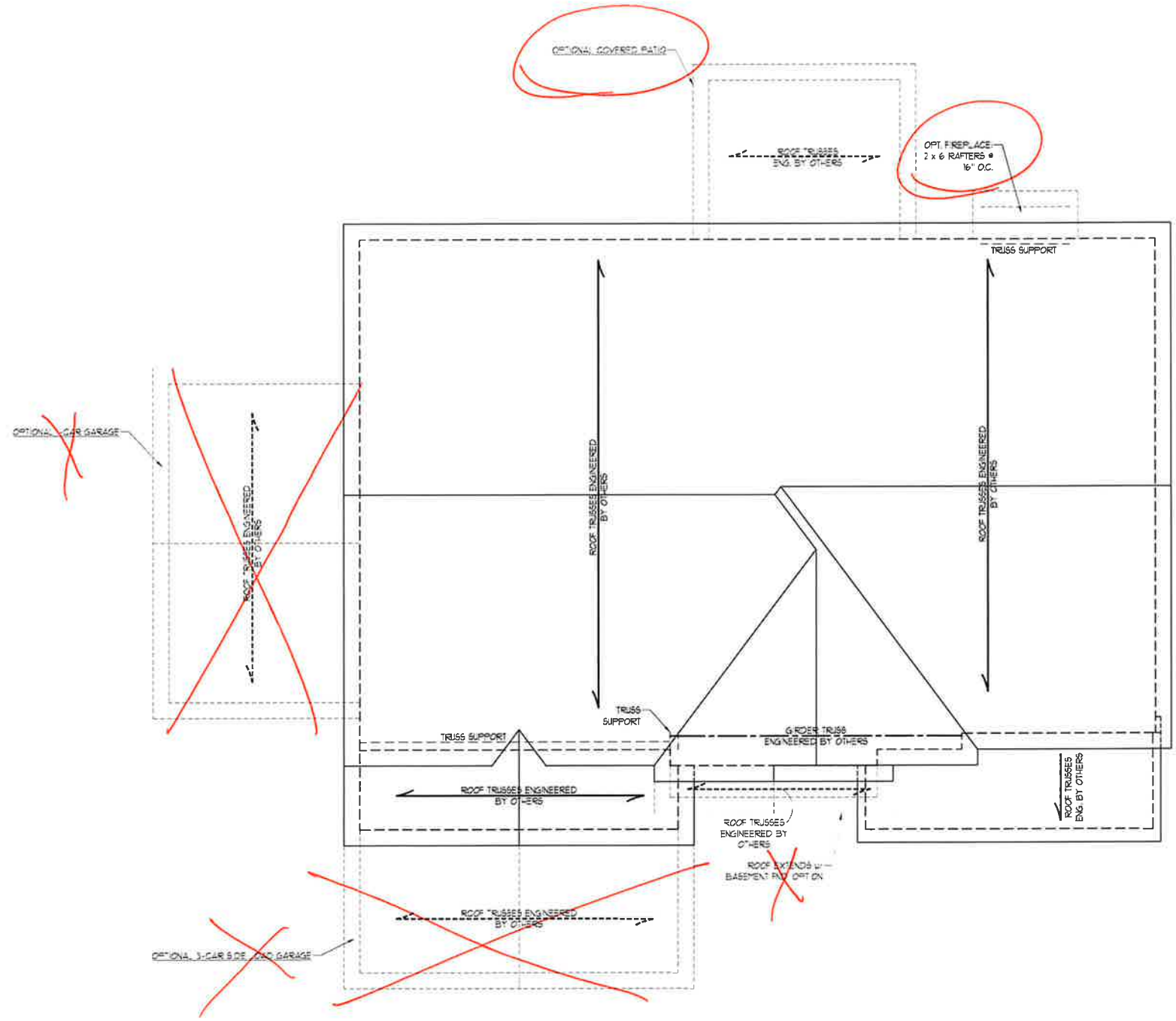
SHEET 7 OF 9
S-4
CEILING FRAMING
PLAN

BRICK SUPPORT NOTE:

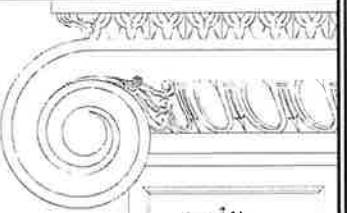
1. FASTEN (2) 2 x 10 BLOCKING BETWEEN WALL STUDS w/ (4) 10d NAILS PER FLY. FASTEN A 6' x 4' x 5/16" STEEL ANGLE TO (2) 2 x 10 BLOCKING w/ (2) 1/2" LAG SCREWS @ 12' O.C. STAGGERED. SEE SECTION R103.B.2.1 OF THE 2018 NRC FOR ADDITIONAL BRICK SUPPORT INFORMATION.
2. WHERE ROOF SLOPES EXCEED 1/12, INSTALL 3" x 3" x 1/4" STEEL PLATE STOPS @ 24" O.C. PER SECTION R103.B.2.1 OF THE NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION.

STRUCTURAL NOTES:

1. ALL FRAMING LUMBER TO BE #2 SPF (UNO).
2. CIRCLES DENOTE (3) 2 x 4 POSTS FOR ROOF SUPPORT.
3. FRAME DORMER WALLS ON TOP OF DOUBLE OR TRIPLE RAFTERS.
4. HIP SPLICES ARE TO BE SPACED A MIN. OF 8'-0". FASTEN MEMBERS WITH THREE ROWS OF 10d NAILS @ 16" O.C. (TYP).
5. STICK FRAME OVER-FRAMED ROOF SECTIONS w/ 2 x 8 RIDGES, 2 x 6 RAFTERS @ 16" O.C. AND FLAT 2 x 10 VALLEYS OR USE VALLEY TRUSSES.
6. FASTEN FLAT VALLEYS TO RAFTERS OR TRUSSES WITH SIMPSON H25A HURRICANE TIES @ 32" O.C. MAX. PASS HURRICANE TIES THROUGH NOTCH IN ROOF SHEATHING. EACH RAFTER IS TO BE FASTENED TO THE FLAT VALLEY WITH A MIN. OF (6) 10d TOE NAILS.
7. REFER TO SECTION R902.11 OF THE 2018 NRC FOR REQUIRED UPLIFT RESISTANCE AT RAFTERS AND TRUSSES.
8. REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.



ELEVATIONS A & B



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SOUTHPORT
 H&H HOMES

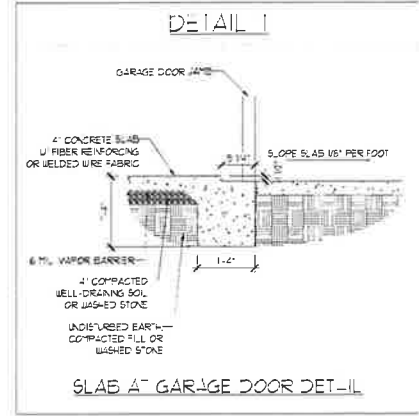
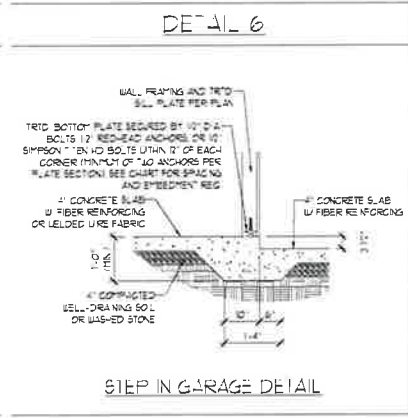
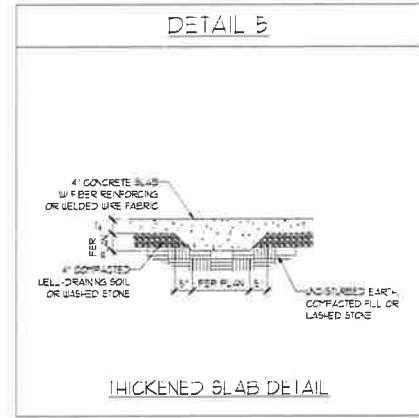
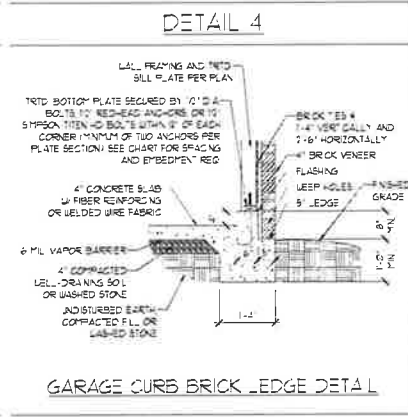
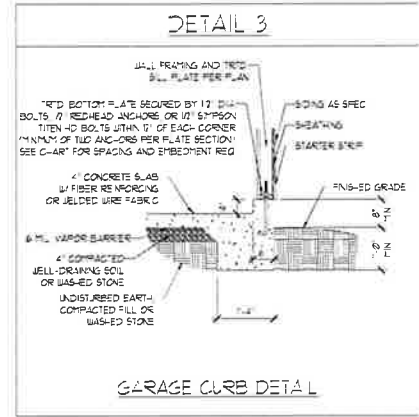
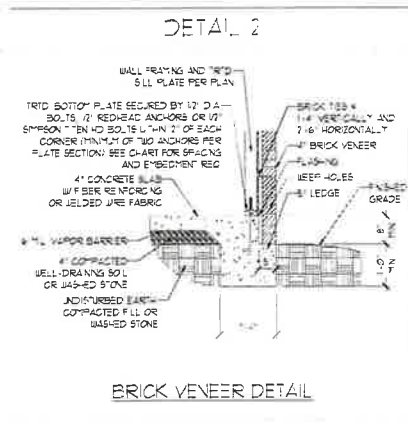
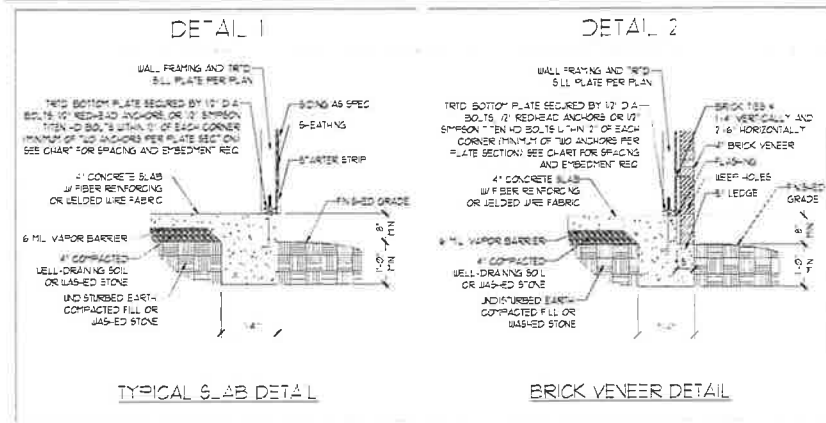


11/2/2021

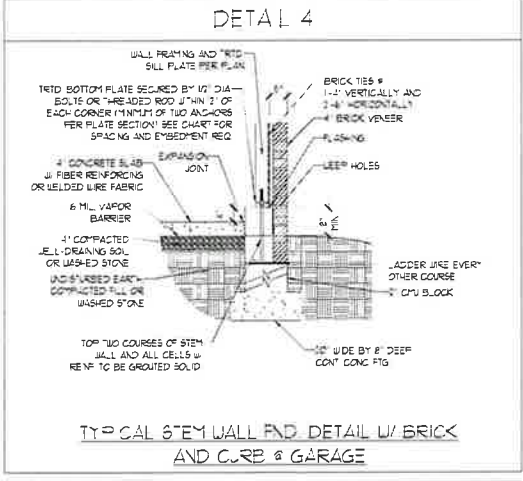
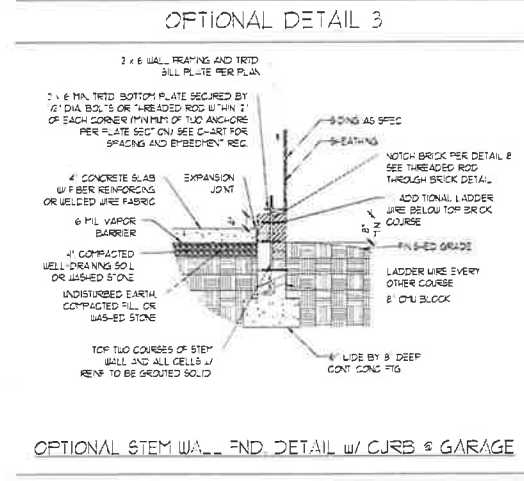
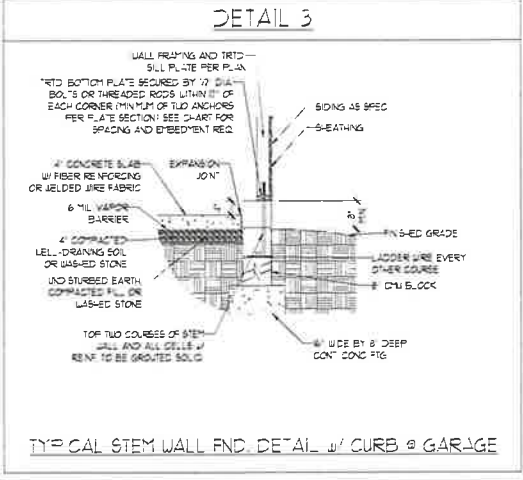
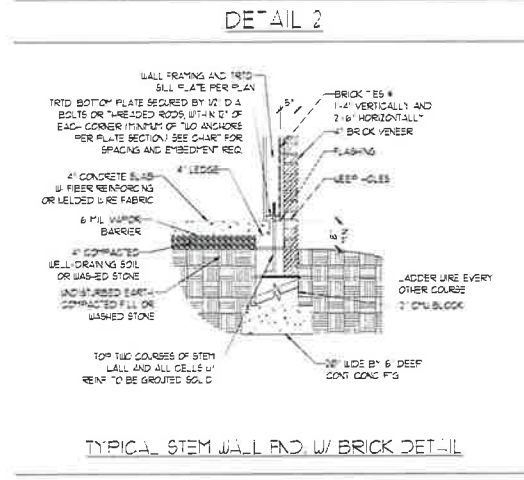
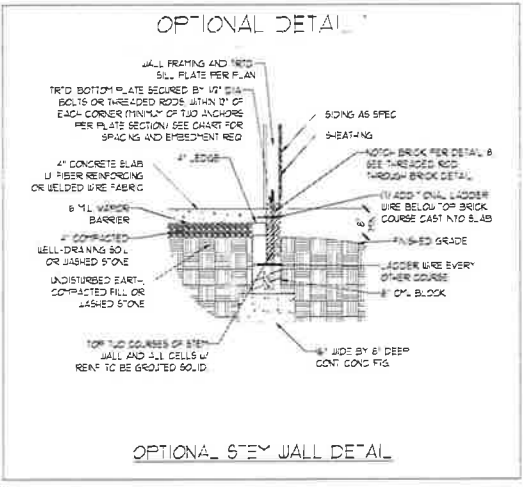
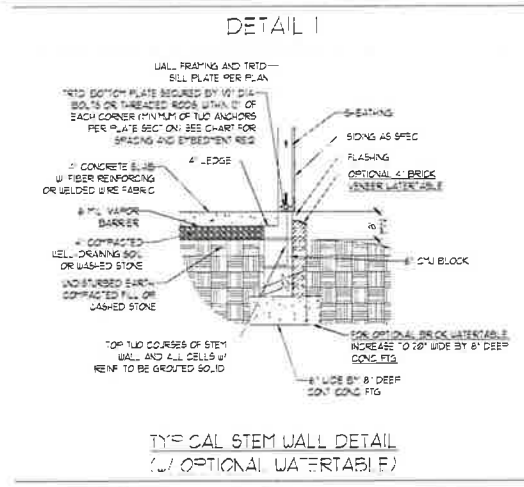
DATE: NOVEMBER 2, 2021
 SCALE: 1/4" = 1'-0"
 DRAWN BY: H&H HOMES
 ENGINEERED BY: WFB

SHEET 8 OF 9
 S-5a
 ROOF FRAMING PLAN

MONOLITHIC SLAB DETAILS



STEMWALL DETAILS



MASONRY STEMWALL SPECIFICATIONS

WALL HEIGHT (FEET)	MASONRY WALL TYPE			
	8" CMU	4" BRICK AND 4" CMU	4" BRICK AND 8" CMU	12" CMU
2 AND BELOW	UNGRAOUTED	GROUT SOLID	UNGRAOUTED	UNGRAOUTED
3	UNGRAOUTED	GROUT SOLID	UNGRAOUTED	UNGRAOUTED
4	GROUT SOLID	GROUT SOLID w/ 1/4" REBAR @ 48" OC	GROUT SOLID	GROUT SOLID w/ 1/4" REBAR @ 64" OC
5	GROUT SOLID w/ 1/4" REBAR @ 36" OC	NOT APPLICABLE	GROUT SOLID w/ 1/4" REBAR @ 36" OC	GROUT SOLID w/ 1/4" REBAR @ 64" OC
6	GROUT SOLID w/ 1/4" REBAR @ 24" OC	NOT APPLICABLE	GROUT SOLID w/ 1/4" REBAR @ 24" OC	GROUT SOLID w/ 1/4" REBAR @ 64" OC
7 AND GREATER	ENGINEERED DESIGN BASED ON SITE CONDITIONS			

STRUCTURAL NOTES

- WALL HEIGHT MEASURED FROM TOP OF FOOTING TO TOP OF THE WALL
- THE MULTIPLE "J" SIES TOGETHER WITH LADDER WIRE AT 6" OC VERTICALLY
- CHART APPLICABLE FOR HOUSE FOUNDATION ONLY. CONSULT ENGINEER FOR DESIGN OF GARAGE FOUNDATION NOT COMMON TO HOUSE
- BACKFILL OF CLEAN 1/2" X 1/4" WASHED STONE IS ALLOWABLE
- BACKFILL OF WELL DRAINED OR SAND-GRAVEL MIXTURE SOLE (45 POUNDS BELOW GRADE) CLASSIFIED AS GROUP 1 ACCORDING TO UNIFIED SOILS CLASSIFICATION SYSTEM IN ACCORDANCE WITH TABLE 3401.1 OF THE 2018 INTERNATIONAL RESIDENTIAL CODE ARE ALLOWABLE
- PREP SLAB PER R202.2 AND R502.2.2 BASE OF THE 2018 INTERNATIONAL RESIDENTIAL CODE MINIMUM 24" LAP SP-LICE LENGTH
- LOCATE REBAR IN CENTER OF FOUNDATION WALL
- WHERE REQUIRED, FILL BLOCK SOLID WITH TYPE "S" MORTAR OR 3000 PSI GROUT. USE OF "LOW-LIFT GROUTING" METHOD REQUIRED WHEN FILLING WALLS WITH GROUT AT 48"-64" IS 5" AND GREATER

ANCHOR SPACING AND EMBEDMENT

WIND ZONE	20 MPH	30 MPH
SPACING	6'-0" OC	4'-0" OC
EMBEDMENT	1'	15" INTO MASONRY 1" INTO CONCRETE

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120 MPH - 130 MPH ULTIMATE DESIGN WIND SPEED
FOUNDATION DETAILS

DATE: NOVEMBER 14, 2018
SCALE: NTS
DRAWN BY: JST
ENGINEERED BY: JES



D-1
FOUNDATION DETAILS

11/2/2021

