



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

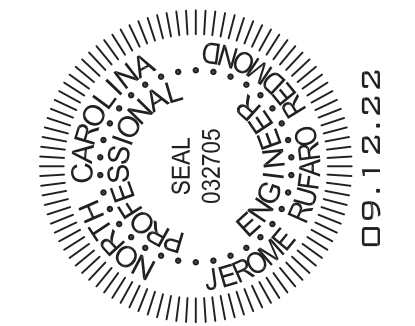


REAR ELEVATION

SCALE: 1/4" = 1'-0"

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FINOL NEW RESIDENCE  
HARNETT COUNTY, NC

DRAWING TITLE  
ELEVATIONS

DRAWN BY: JRR

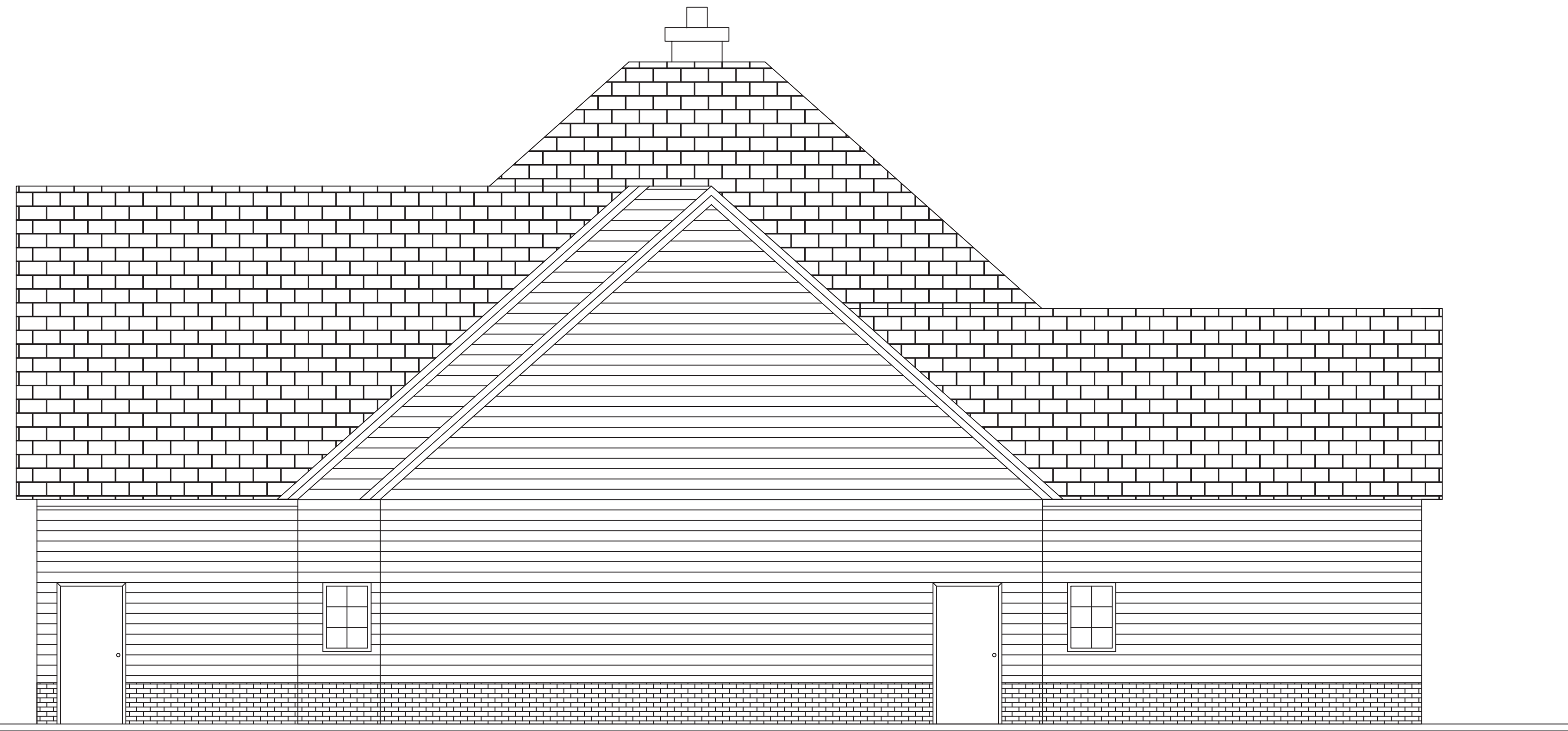
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SCALE: AS SHOWN

DATE: 12.05.21

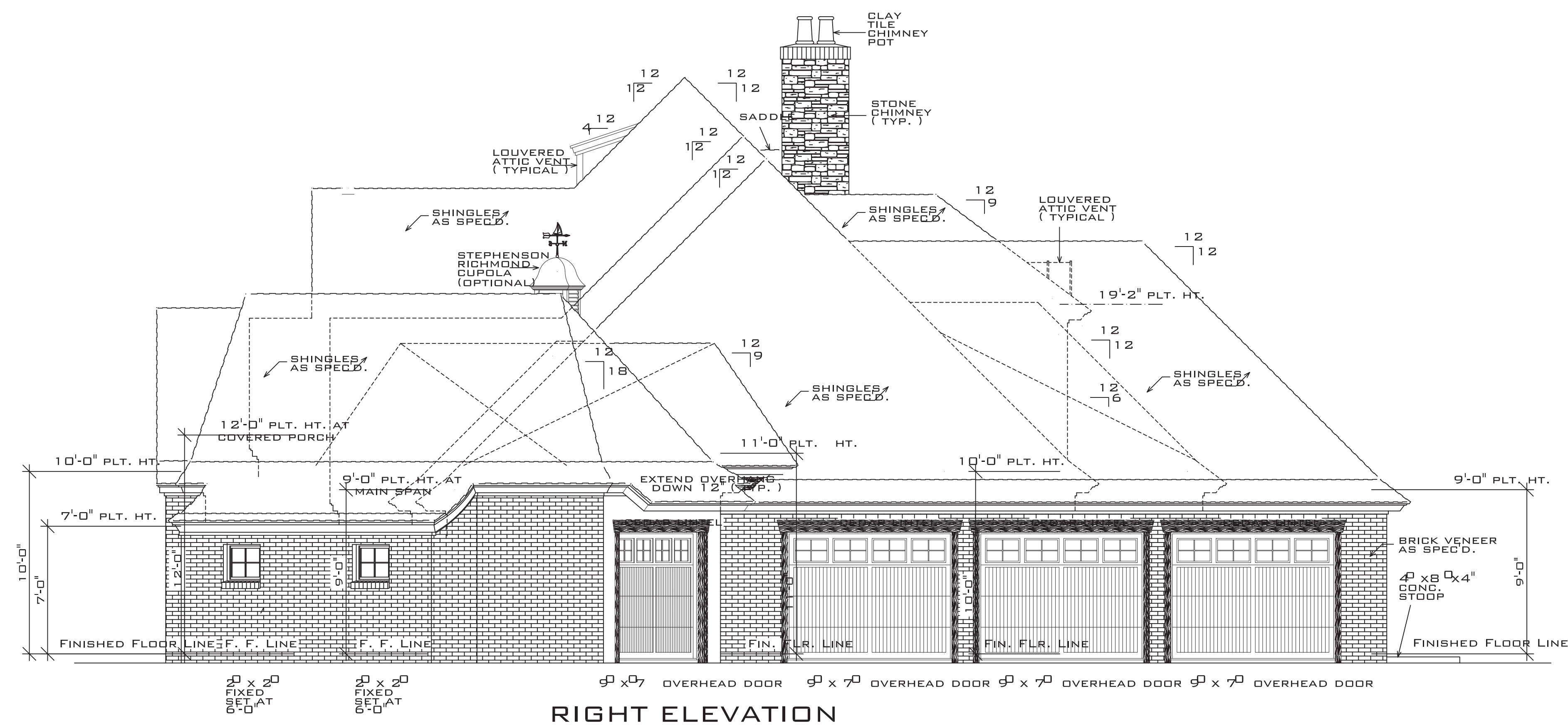
PROJECT SHEET  
IN021412 B1

MARK	DATE	REVISION



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

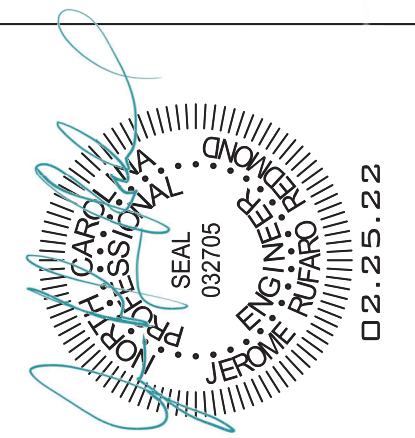


RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

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FINOL NEW RESIDENCE  
HARNETT COUNTY, NC

DRAWING TITLE  
ELEVATIONS

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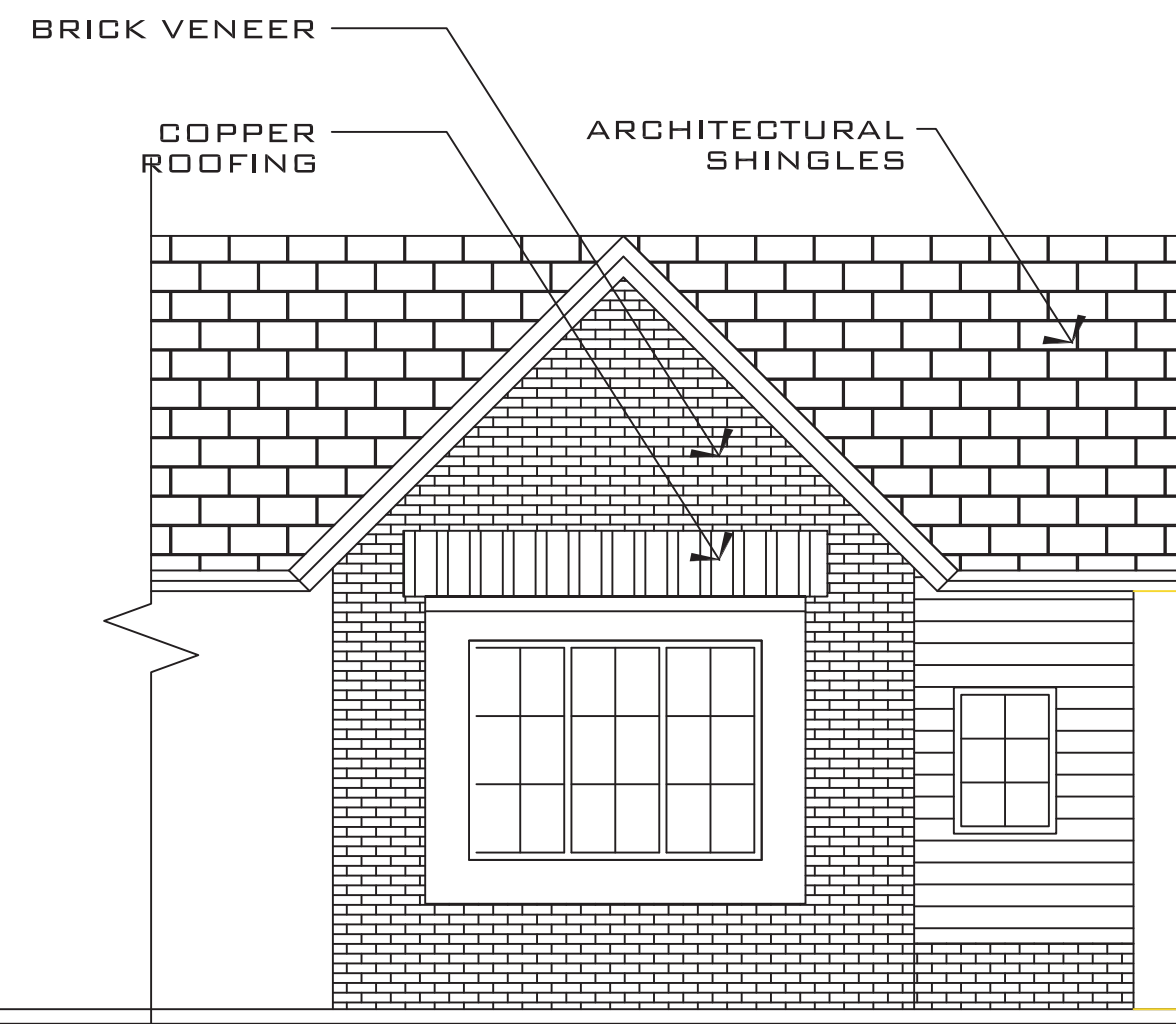
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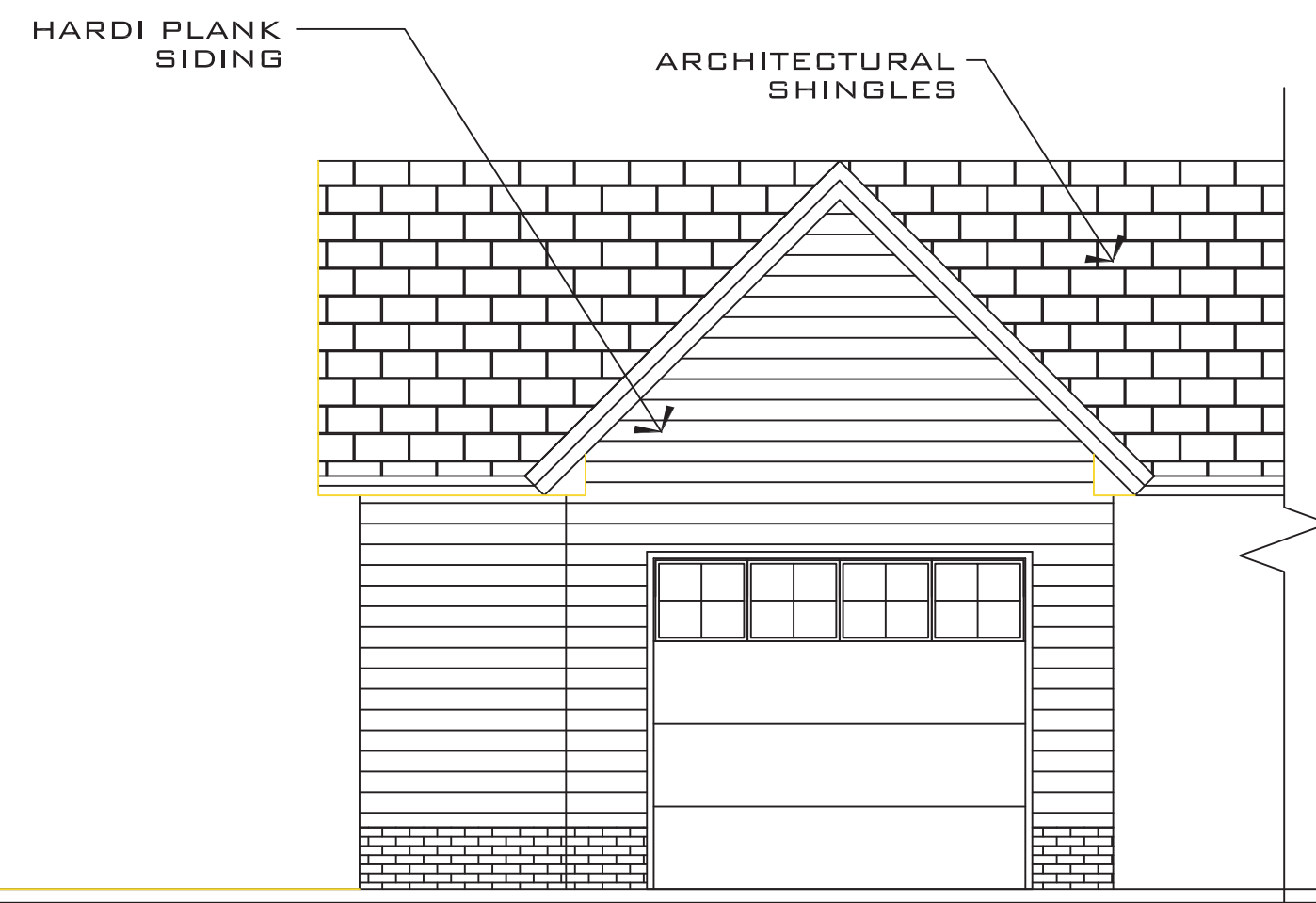
PROJECT SHEET  
IN021412 B2

MARK	DATE	REVISION

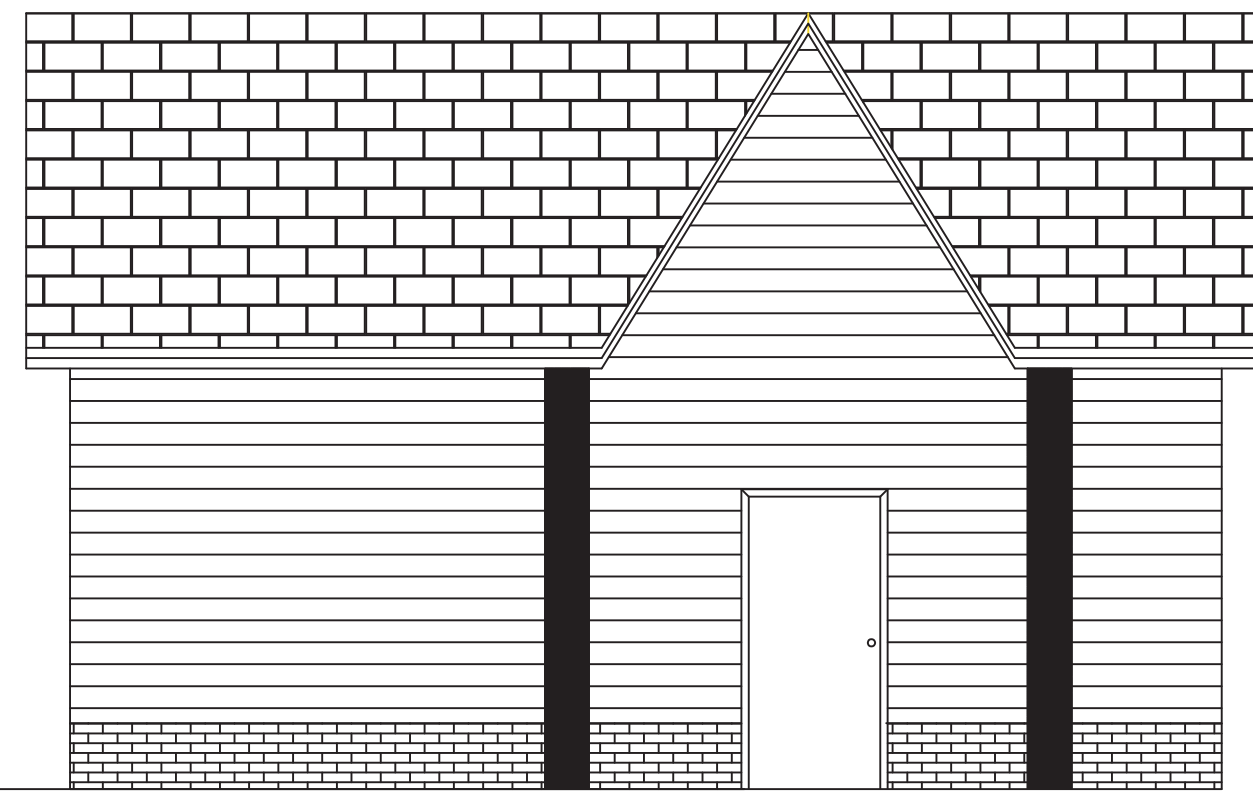




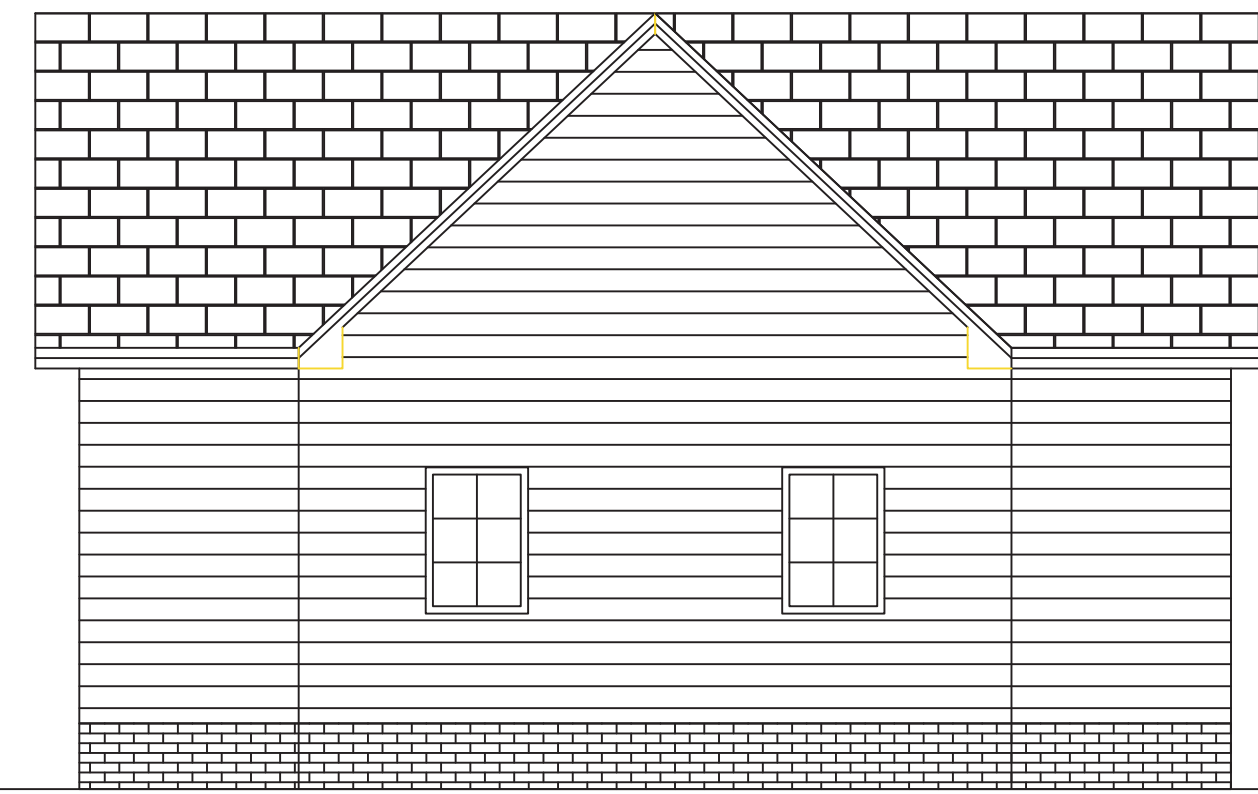
**SINGLE CAR FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



**SINGLE CAR REAR ELEVATION**  
SCALE: 1/4" = 1'-0"



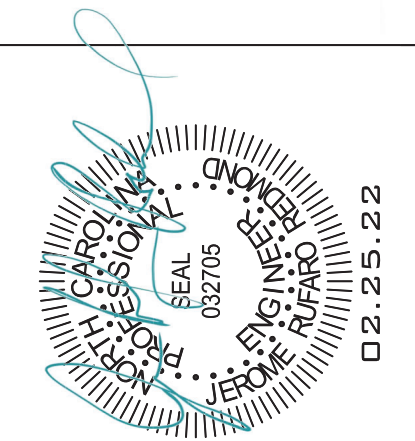
**SINGLE CAR LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"



**SINGLE CAR RIGHT ELEVATION**  
SCALE: 1/4" = 1'-0"

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**FINOL NEW RESIDENCE  
HARNETT COUNTY, NC**

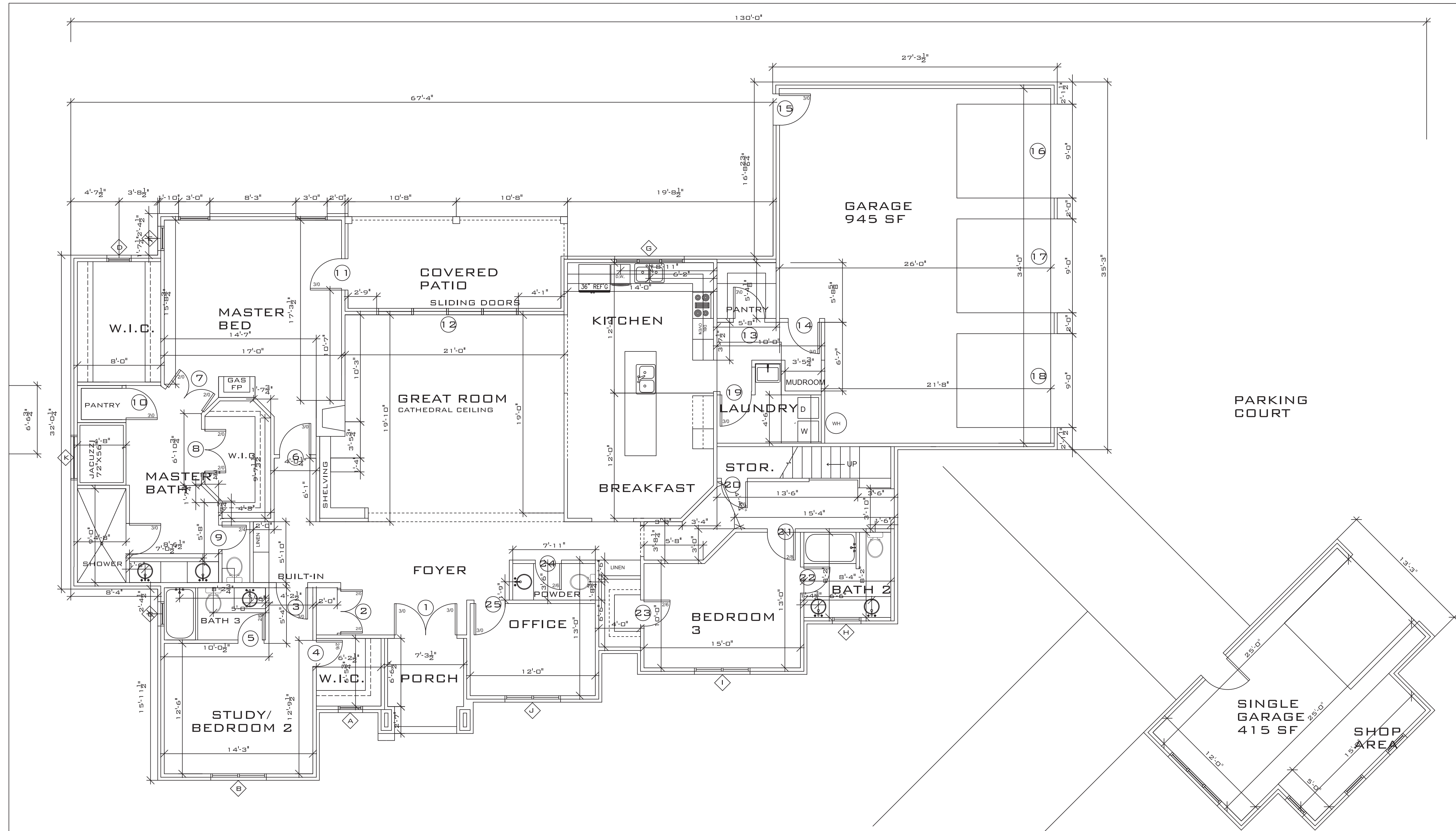
DRAWING TITLE  
ELEVATIONS  
DETACHED GARAGE

DRAWN BY: JRR  
CHECKED BY: JRR

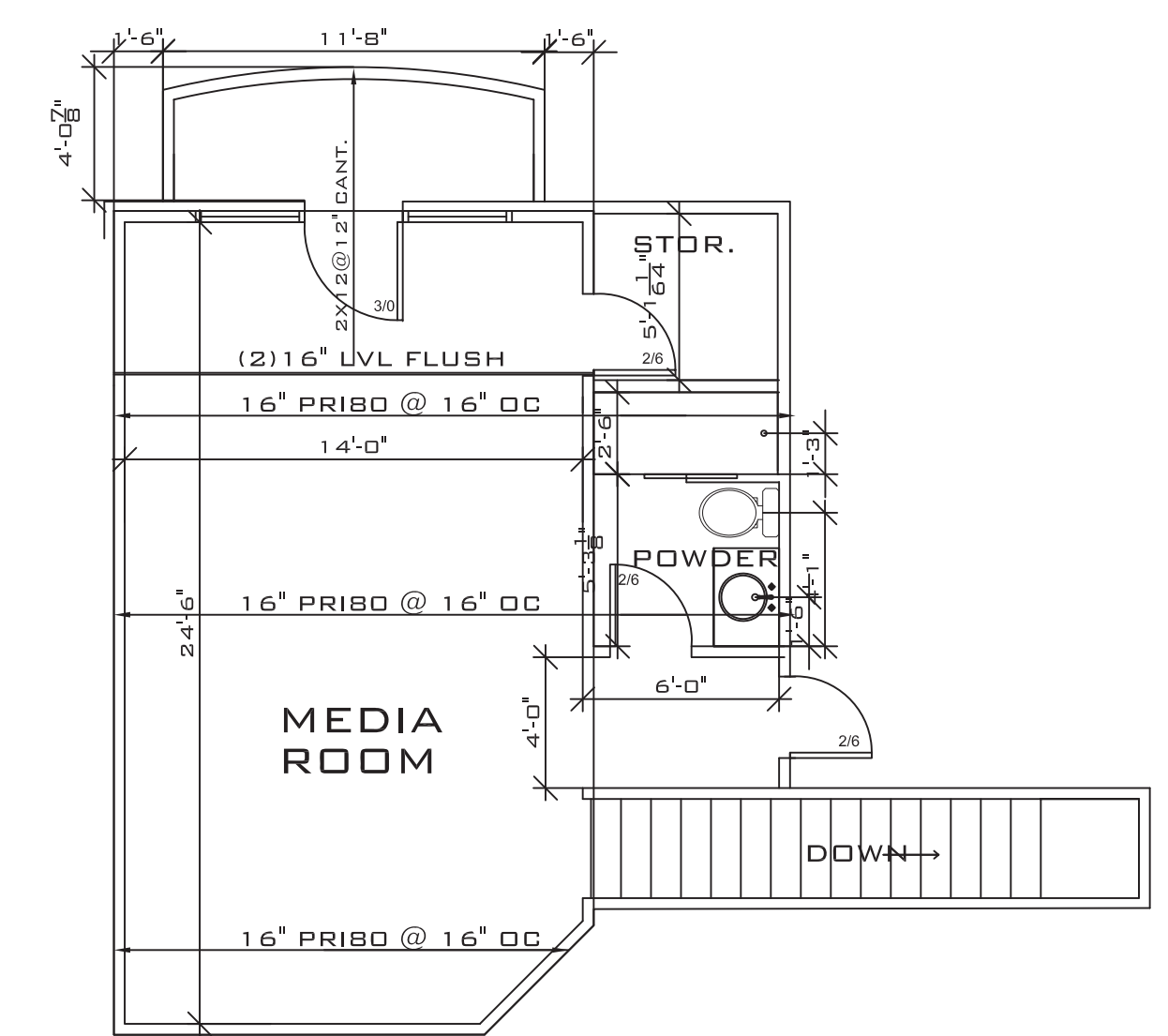
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DATE: 12.05.21

PROJECT SHEET  
IN021412 **B3**

MARK	DATE	REVISION



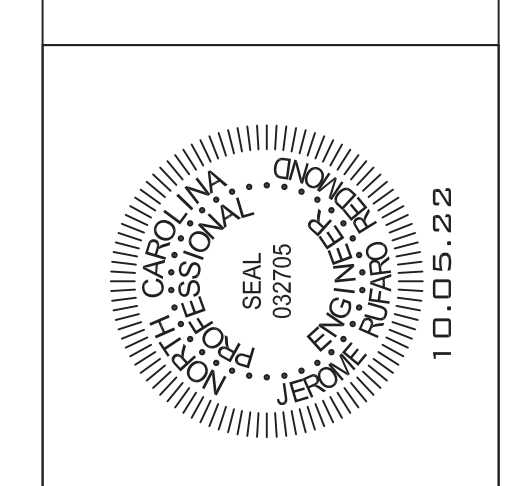
**FIRST FLOOR PLAN**  
SCALE:  $\frac{3}{16}'' = 1'-0''$



**2ND FLOOR PLAN**  
SCALE:  $\frac{1}{4}'' = 1'-0''$

ARCHITECT HAS PREPARED THESE PLANS TO BE CONSIDERED AS A GENERAL GUIDE TO THE CONSTRUCTION OF THE PROJECT. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED HEREIN. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THESE PLANS. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED BY THE ARCHITECT.

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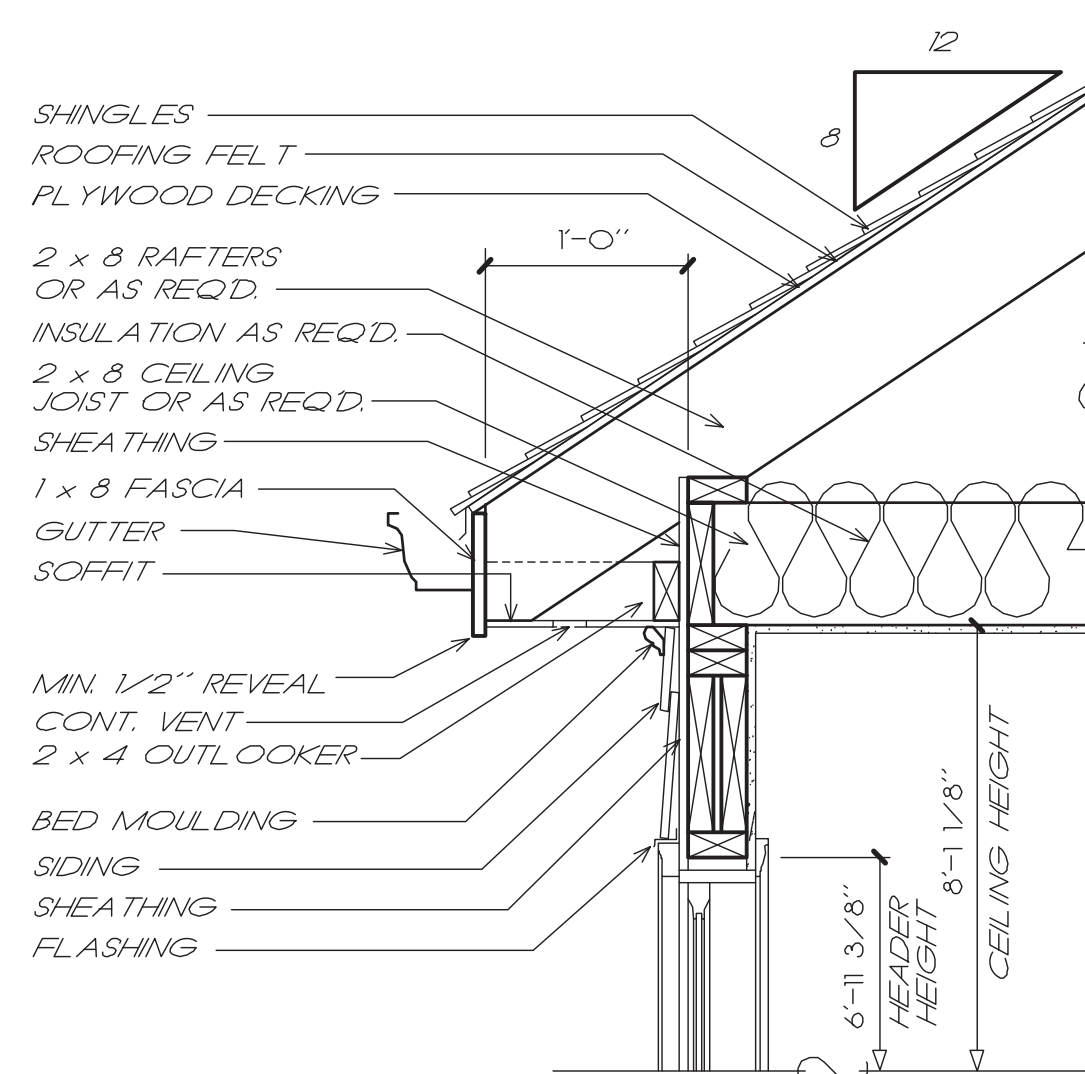


**FINOL NEW RESIDENCE  
HARNETT COUNTY, NC**

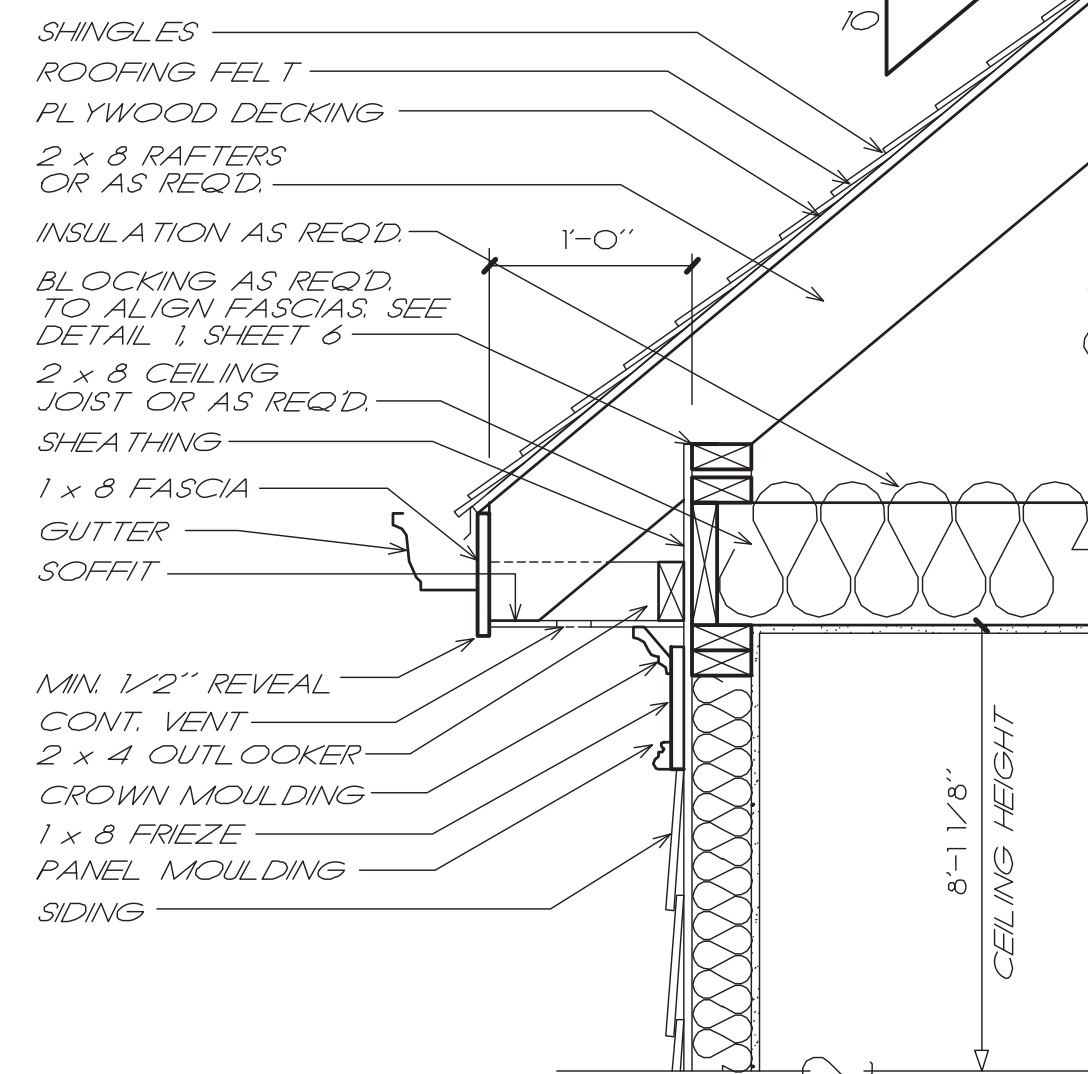
DRAWING TITLE		FLOOR PLANS	
DRAWN BY:		JRR	
CHECKED BY:		JRR	
SCALE:		AS SHOWN	
DATE:		12.05.21	
PROJECT	SHEET	B4	
IN021412			

MARK	DATE	REVISION

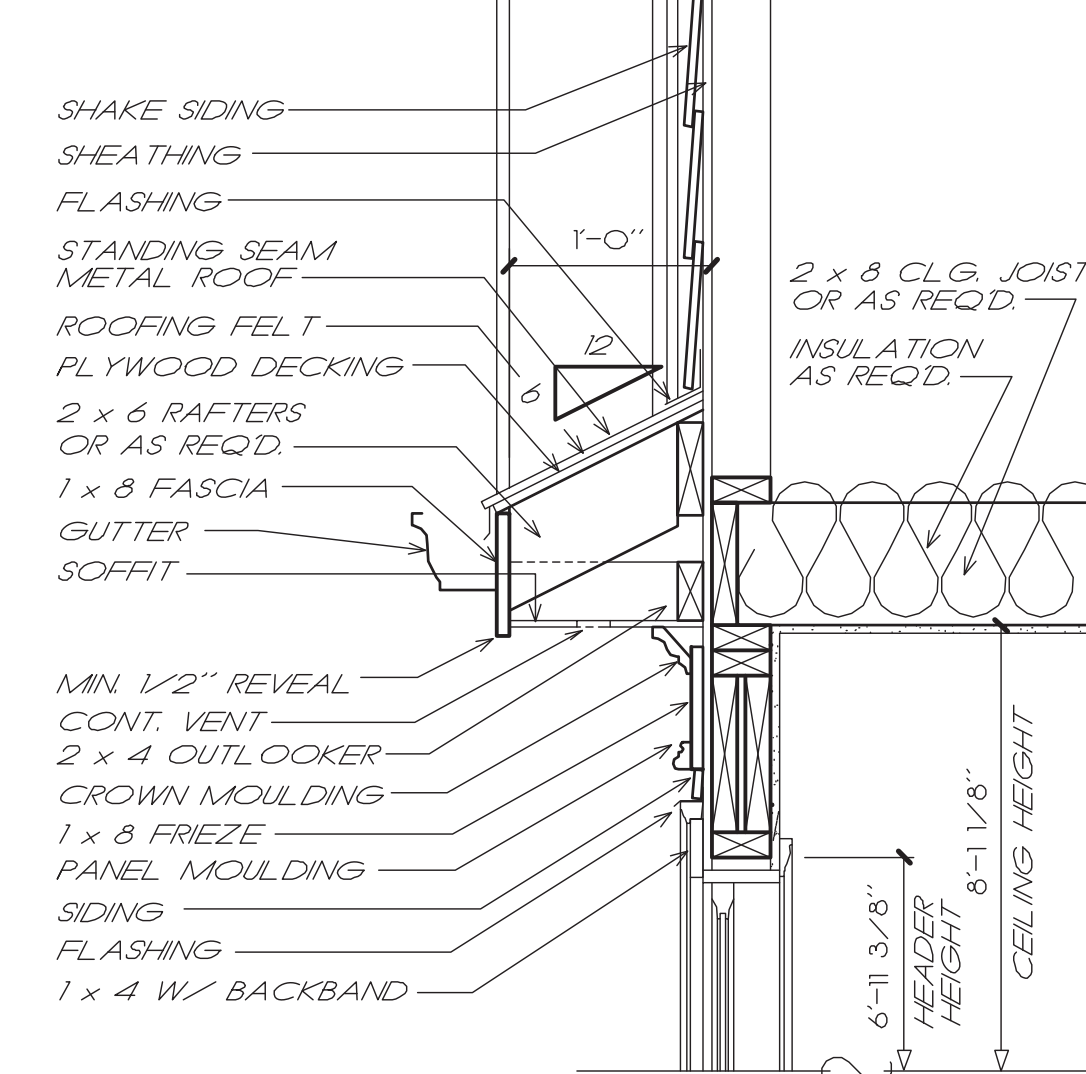




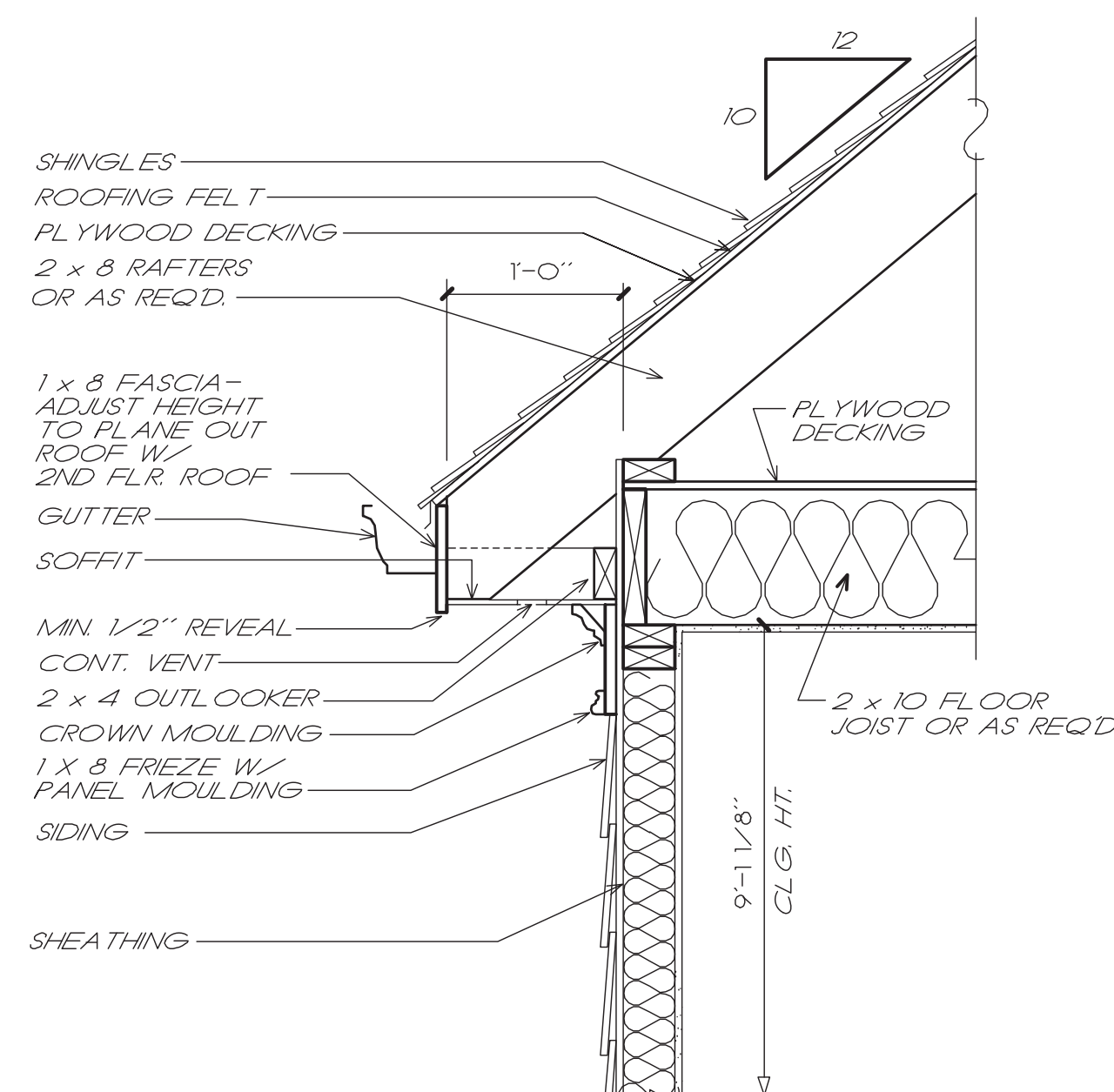
**1 CORNICE DETAIL**  
3/4" = 1'-0"



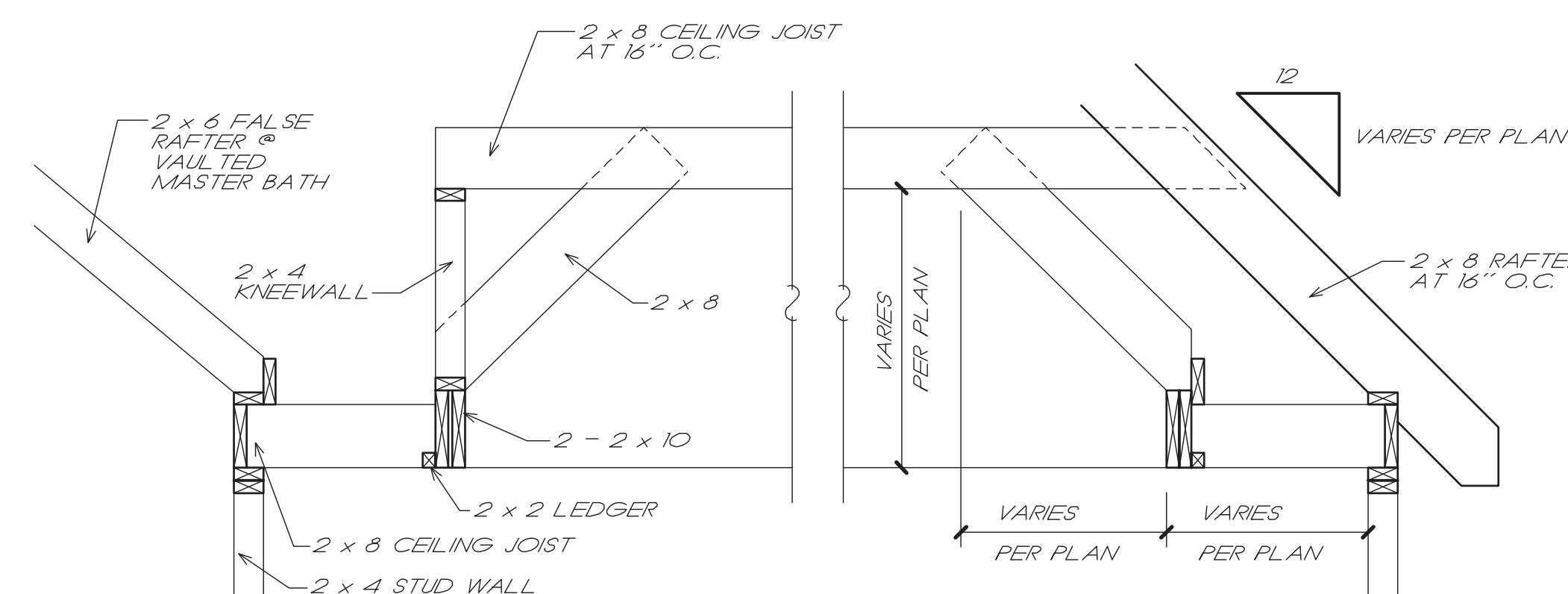
**2 CORNICE DETAIL**  
3/4" = 1'-0"



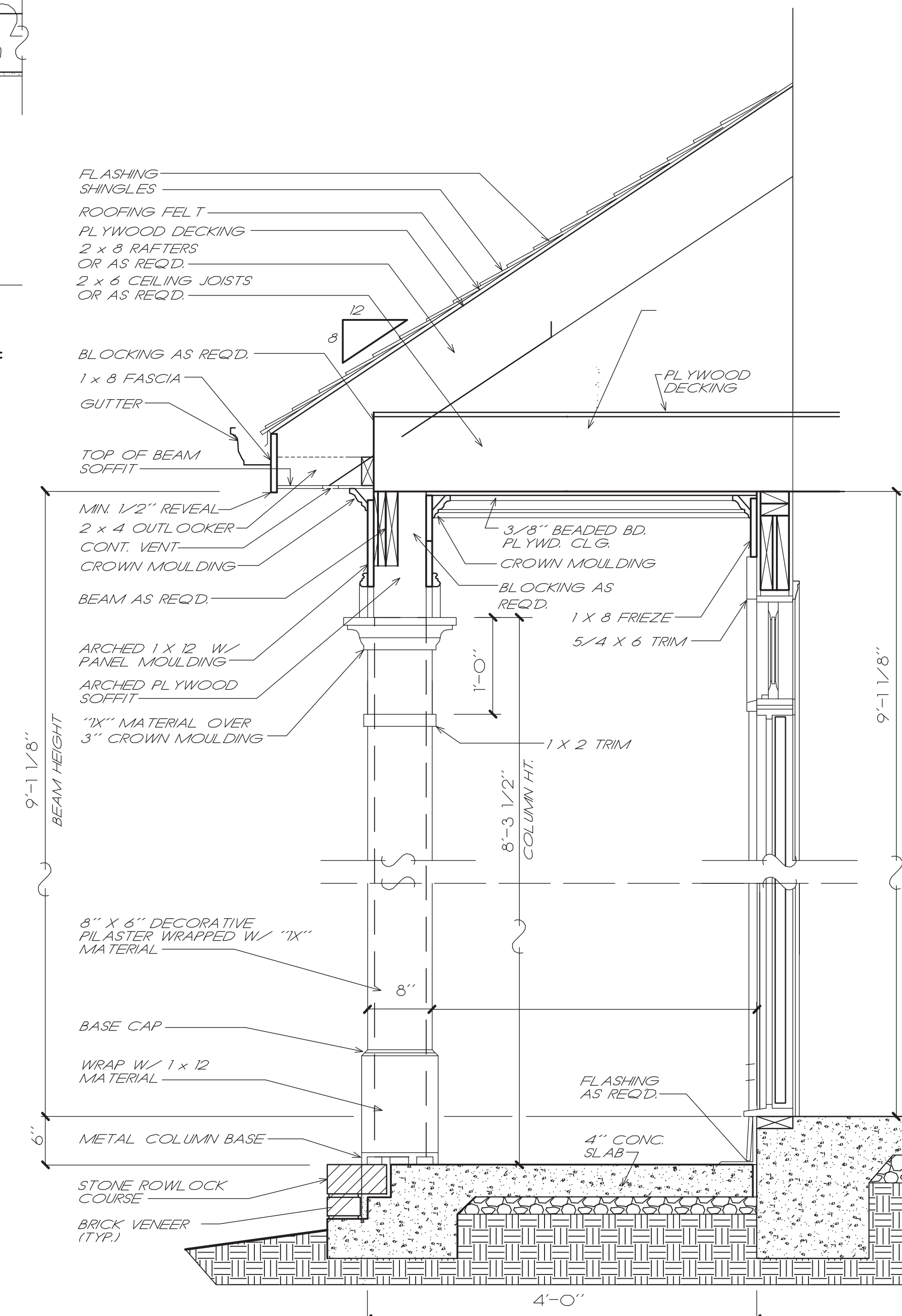
**3 CORNICE DETAIL**  
3/4" = 1'-0"



**4 CORNICE DETAIL**  
3/4" = 1'-0"

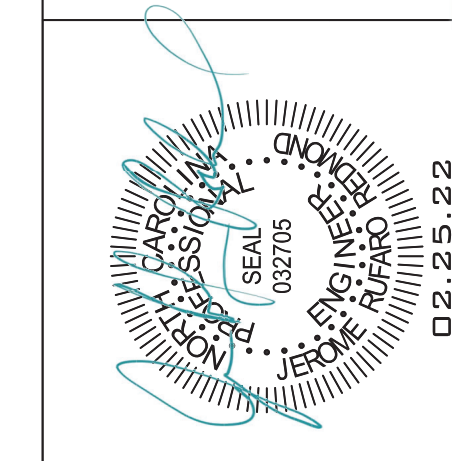


**F TREY CEILING DETAIL**  
S3 SCALE: NTS



**B PORCH DETAIL**  
B5 SCALE: NTS

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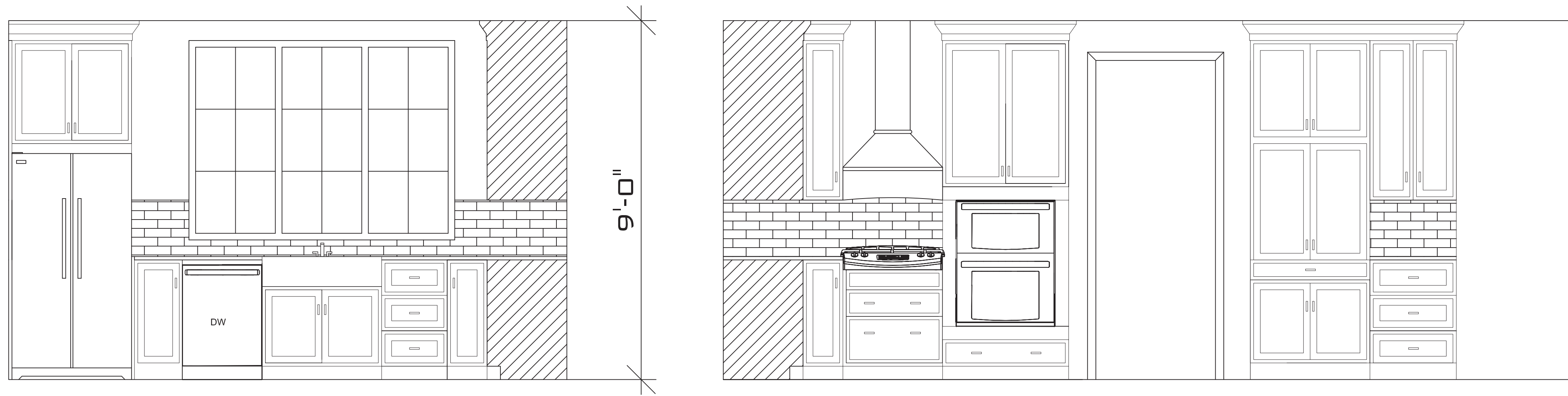
**FINOL NEW RESIDENCE  
HARNETT COUNTY, NC**

DRAWING TITLE  
BUILDING DETAILS

DRAWN BY: JRR  
CHECKED BY: JRR  
SCALE: AS SHOWN  
DATE: 12.05.21

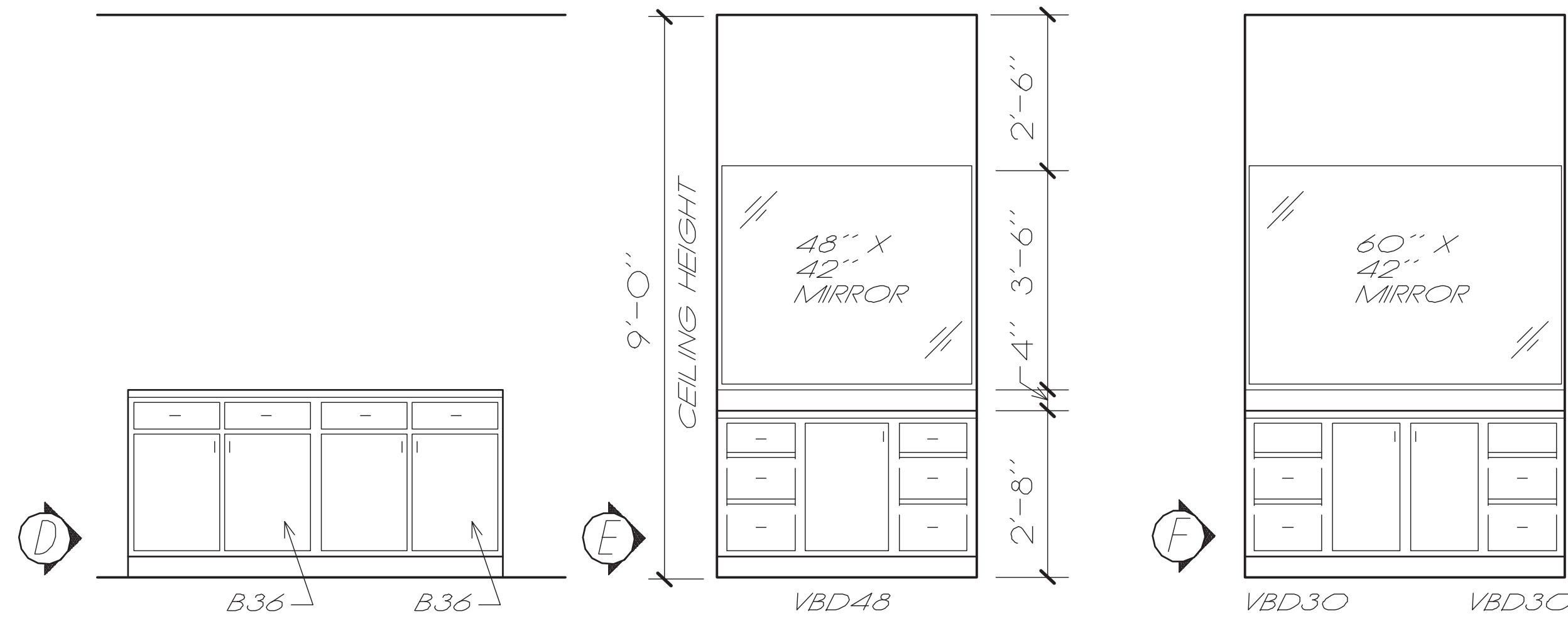
MARK	DATE	REVISION

PROJECT SHEET  
IN021412 **B5**



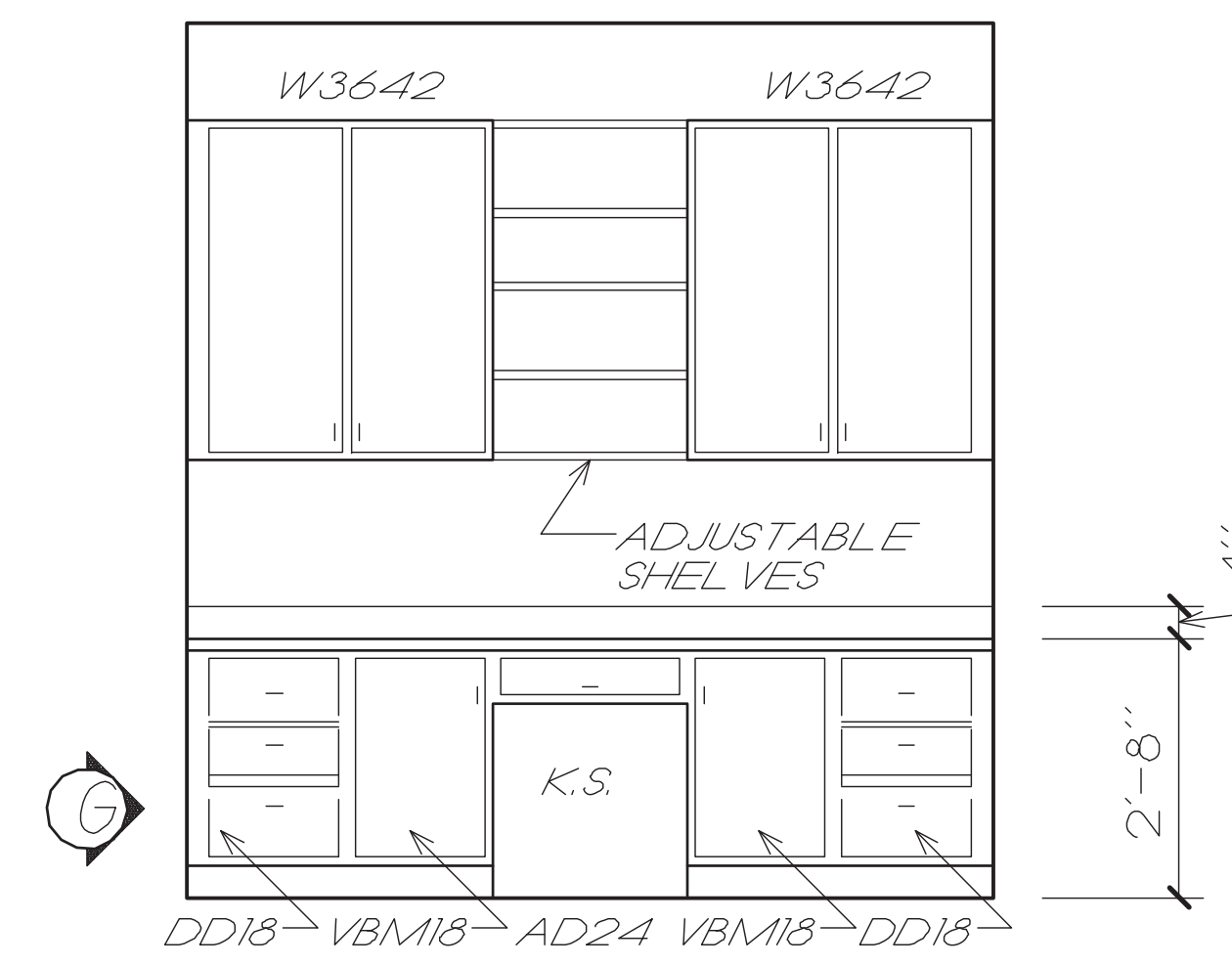
## KITCHEN ELEVATIONS

SCALE:NTS



## BATH ELEVATIONS

SCALE:NTS



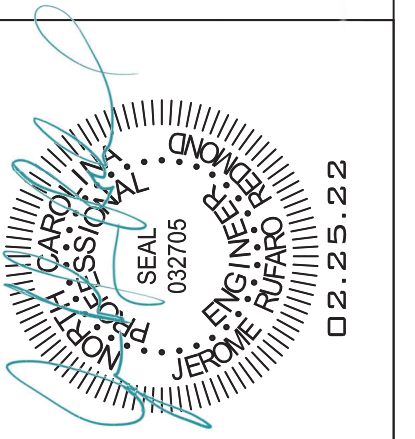
## DESK ELEVATIONS

SCALE:NTS

DOOR SCHEDULE				
DOOR	SIZE	DOOR MATERIAL	JAMB MATERIAL	REMARKS
1	(2) 3/0 x 8/0 x 1-3/8	SC, MASONITE, 6-RAISED PANEL	WOOD, 2-1/4" PTD. CASING	EXTERIOR
2	(2) 2/0 x 6/8 x 1-3/8	SC, MASONITE, 6-RAISED PANEL	WOOD, 2-1/4" PTD. CASING	
3	3/0 x 6/8 x 1-3/8	SC, MASONITE, 6-RAISED PANEL	WOOD, 2-1/4" PTD. CASING	
4	2/6 x 6/8 x 1-3/8	SC, MASONITE, 6-RAISED PANEL	WOOD, 2-1/4" PTD. CASING	
5	2/6 x 6/8 x 1-3/8	SC, MASONITE, 6-RAISED PANEL	WOOD, 2-1/4" PTD. CASING	
6	3/0 x 6/8 x 1-3/8	SC, MASONITE, 6-RAISED PANEL	WOOD, 2-1/4" PTD. CASING	
7	(2) 2/0 x 6/8 x 1-3/8	SC, MASONITE, 6-RAISED PANEL	WOOD, 2-1/4" PTD. CASING	
8	(2) 2/0 x 6/8 x 1-3/8	SC, MASONITE, 6-RAISED PANEL	WOOD, 2-1/4" PTD. CASING	
9	2/4 x 6/8 x 1-3/8	SC, MASONITE, 6-RAISED PANEL	WOOD, 2-1/4" PTD. CASING	
10	2/6 x 6/8 x 1-3/8	SC, MASONITE, 6-RAISED PANEL	WOOD, 2-1/4" PTD. CASING	
11	3/0 x 8/0 x 1-3/8	SBL FRENCH DDDR	WOOD, 2-1/4" PTD. CASING	EXTERIOR
12	(4) 3/0 x 6/8 x 1-3/8	SLIDING GLASS DDDR UNIT	WOOD, 2-1/4" PTD. CASING	EXTERIOR
13	3/0 x 6/8 x 1-3/8	SC, MASONITE, 6-RAISED PANEL	WOOD, 2-1/4" PTD. CASING	
14	3/0 x 6/8 x 1-3/8	SC, MASONITE, 6-RAISED PANEL	WOOD, 2-1/4" PTD. CASING	FIRE DDDR
15	3/0 x 6/8 x 1-3/8	FIBERGLASS, 6-RAISED PANEL	WOOD, 2-1/4" PTD. CASING	EXTERIOR
16	9/0 x 9/0 x 1-3/8	GARAGE DOOR		130 MPH RATED
17	9/0 x 9/0 x 1-3/8	GARAGE DOOR		130 MPH RATED
18	9/0 x 9/0 x 1-3/8	GARAGE DOOR		130 MPH RATED
19	3/0 x 6/8 x 1-3/8	SC, MASONITE, 6-RAISED PANEL	WOOD, 2-1/4" PTD. CASING	
20	2/6 x 6/8 x 1-3/8	SC, MASONITE, 6-RAISED PANEL	WOOD, 2-1/4" PTD. CASING	
21	2/8 x 6/8 x 1-3/8	SC, MASONITE, 6-RAISED PANEL	WOOD, 2-1/4" PTD. CASING	
22	2/6 x 6/8 x 1-3/8	SC, MASONITE, 6-RAISED PANEL	WOOD, 2-1/4" PTD. CASING	
23	2/6 x 6/8 x 1-3/8	SC, MASONITE, 6-RAISED PANEL	WOOD, 2-1/4" PTD. CASING	
24	2/6 x 6/8 x 1-3/8	SC, MASONITE, 6-RAISED PANEL	WOOD, 2-1/4" PTD. CASING	
25	3/0 x 6/8 x 1-3/8	SC, MASONITE, 6-RAISED PANEL	WOOD, 2-1/4" PTD. CASING	
26	3/0 x 6/8 x 1-3/8	HM FLUSH DDDR WITH LDUVER	WOOD, 2-1/4" PTD. CASING	EXTERIOR

WINDOW SCHEDULE					
SYM	SIZE	TYPE	GLASS	FRAME	REMARKS
W1	2/0 x 3/0	CSMT	1/4" CLEAR	VINYL	
W2	5/0 x 5/0	CSMT	1/4" CLEAR	VINYL	2) 2/6X5/0 MULLED W/ TRANSOME
W3	2/0 x 3/0	CSMT	1/4" CLEAR	VINYL	
W4	2/0 x 3/0	CSMT	1/4" CLEAR	VINYL	
W5	2/0 x 3/0	CSMT	1/4" CLEAR	VINYL	
W6	6/0 x 5/0	CSMT	1/4" CLEAR	VINYL	3) 2/0X5/0 MULLED
W7	6/0 x 5/0	CSMT	1/4" CLEAR	VINYL	3) 2/0X5/0 MULLED
W8	2/0 x 3/0	CSMT	1/4" CLEAR	VINYL	
W9	5/0 x 5/0	CSMT	1/4" CLEAR	VINYL	2) 2/6X5/0 MULLED
W10	5/0 x 5/0	CSMT	1/4" CLEAR	VINYL	2) 2/6X5/0 MULLED

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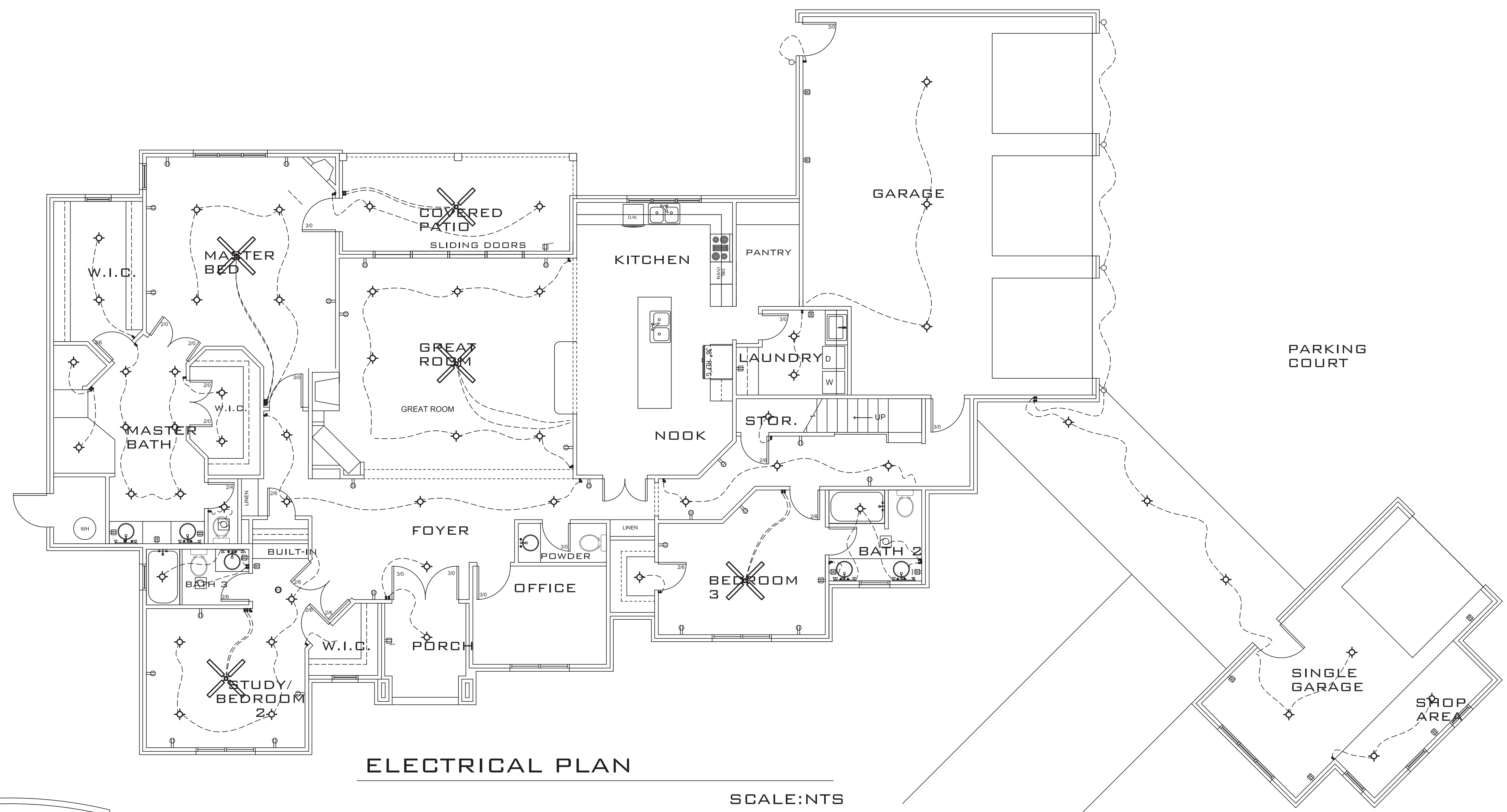


FINOL NEW RESIDENCE  
HARNETT COUNTY, NC

DRAWING TITLE	
INT. ELEVATIONS DOOR, WINDOW SCHEDULES	
DRAWN BY:	JRR
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SCALE:	AS SHOWN
DATE:	12.05.21
PROJECT	SHEET
IN021412	B6

MARK	DATE	REVISION



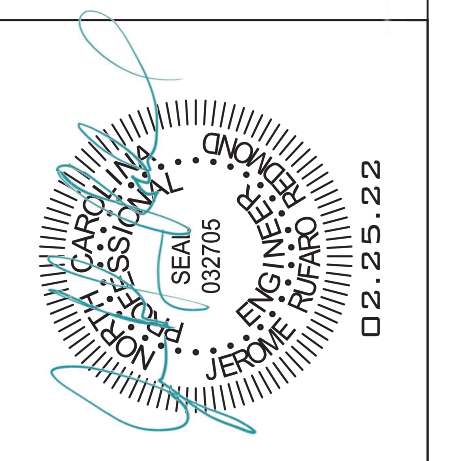


**ELECTRICAL PLAN**

SCALE: NTS

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**FINOL NEW RESIDENCE  
 HARNETT COUNTY, NC**

DRAWING TITLE  
 ELECTRICAL PLANS

DRAWN BY: JRR  
 CHECKED BY: JRR

SCALE: AS SHOWN

DATE: 12.05.21

PROJECT SHEET  
 IN021412 **B7**

MARK	DATE	REVISION

**GENERAL NOTES:**

GENERAL: ALL NOTES ARE FOR SUPPLEMENTING THE PLANS AND SPECIFICATIONS AND ARE IN NO WAY TO BE CONSIDERED AS EXCLUDING ANY ITEM IN THEM.

CONTRACTOR TO OBTAIN ALL MISC. UTILITIES AND UTILITY CLEARANCES AND EXCAVATION PERMITS.

CODE: DESIGN AND CONSTRUCTION TO BE IN ACCORD WITH THE 2018 NC RESIDENTIAL CODE (NRC) AND THE PARTICULAR CODES AS REFERENCED IN NRC.

**DESIGN CRITERIA:**

FLOOR LIVE:	40 PSF
ROOF LIVE:	20 PSF
ATTIC LIVE:	20 PSF
CEILING LIVE:	10 PSF
WIND SPEED:	120 MPH
THERMAL ZONE:	4A
WINDOWS:	DP30/U-.35
ATTIC INSULATION	R-38
FLOOR INSULATION	R-21
WALL INSULATION	R-15/R-19

**FOUNDATION:**

MATERIAL SATISFACTORY FOR CONTROLLED FILL AND BACKFILL MATERIAL AROUND AND ABOVE FOOTINGS SHALL INCLUDE CLEAN SOIL OR BANKRUN SAND AND GRAVEL (GW, GC, SC, SM, ML & CL), BUT EXCLUDE HIGHLY PLASTIC CLAYS (MH & CH) OR HIGH SHRINK SWELL SOILS. THE FILL MATERIALS SHALL BE FREE FROM TOPSOIL, ORGANIC CONTAMINATED SOIL AND ROCK FRAGMENTS HAVING A MAJOR DIMENSION GREATER THAN FOUR (4) INCHES, AND SHALL CONTAIN NO ICE OR SNOW.

FOOTINGS ARE DESIGNED FOR AN ASSUMED SOIL BEARING PRESSURE OF 2000 PSF.

CARE SHOULD BE TAKEN TO ASSURE THAT DURING PLACING OF CONCRETE FOOTINGS ON GRADE NO ORGANIC MATTER, SALTS, OR CLAYS ARE MIXED WITH THE CONCRETE.

STRUCTURAL STEEL: ALL STRUCTURAL STEEL SHALL BE DETAILED, FABRICATED AND ERECTED IN ACCORDANCE WITH THE LATEST EDITION OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (A.I.S.C.) "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS - ALLOWABLE STRESS DESIGN AND PLASTIC DESIGN", AND THE AISC CODE OF STANDARD PRACTICE.

STRUCTURAL STEEL, TO BE OF DOMESTIC ORIGIN, AND CONFORM TO:

WIDE FLANGE & TEE SECTIONS:	ASTM A992
PLATES, ANGLES, & CHANNELS:	ASTM A36
ANCHOR BOLTS:	ASTM A307.
WELDING ELECTRODE:	70EXX

CONCRETE: REINFORCED CONCRETE TO HAVE THE FOLLOWING COMPRESSIVE STRENGTH (F'c)

SLAB ON GRADE: 3000 PSI  
FOOTINGS: 3000 PSI

EXPOSED CONCRETE SHALL BE AIR-ENTRAINED.

GROUT FOR BASE PLATES SHALL BE NON-SHRINKABLE GROUT AND SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH AT 28 DAYS OF 5,000 P.S.I.

REINFORCING STEEL: ASTM A615 GRADE 60.

WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185.

REINFORCING STEEL MARKED CONTINUOUS (CONT.) SHALL BE LAPPED 48 X BAR DIAMETER AT SPLICES. ALL REINFORCING STEEL SHALL BE HELD SECURELY IN PLACE TO PREVENT DISLOCATION DURING THE POURING OPERATION.

SLAB REINFORCING BARS SHALL BE SUPPORTED ON HIGH CHAIRS AND BAR SPACERS OF SUITABLE DESIGN. "HOOKING" OF WELDED WIRE FABRIC SHALL NOT BE PERMITTED.

DETAILING OF ALL CONCRETE STEEL REINFORCEMENT SHALL BE IN ACCORDANCE WITH THE MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES (A.C.I. 315-89).

NO CONCRETE SHALL BE PLACED UNTIL ALL EMBEDDED WORK HAS BEEN INSTALLED, TESTED AND INSPECTED.

EXCEPT AS OTHERWISE SHOWN, MINIMUM PROTECTION (CONCRETE COVER) FOR REINFORCING STEEL SHALL BE AS FOLLOWS:

CONCRETE SURFACES EXPOSED TO SOIL:  
1 1/2" FOR SLABS  
3" FOR FOOTINGS

INTERIOR CONCRETE SURFACES:  
3/4" FOR SLABS

CONCRETE SURFACES EXPOSED TO WEATHER:  
1 1/2" FOR SLABS

WOOD: ALL EXPOSED WOOD TO BE PRESSURE TREATED SOUTHERN YELLOW PINE (SYP) NO. 2 OR HIGHER. PRESERVATIVE PRESSURE TREATMENT TO BE IN ACCORDANCE WITH AWPA STANDARD M4-06 & U1-07. MINIMUM PRESERVATION TREATMENTS:

PILES: UC4C  
ALL OTHER WOOD MEMBERS: UC4B

ROOF SHEATHING C-D GRADE "APA" EXTERIOR STRUCTURAL PANELS OR APPROVED EQUAL. PLACE WITH LONG DIMENSION PERPENDICULAR TO FRAMING. STAGGER END JOINTS. FASTEN WITH 8D HOT-DIPPED GALVANIZED BOX NAILS AT 6" O.C. AT ALL SUPPORTED EDGES, EXCEPT WITHIN THE FIRST 4' FROM ROOF EDGE. FASTENERS WITHIN THE FIRST 4' SHALL BE AT 4" O.C.

PLYWOOD SUBFLOOR SHALL BE 3/4" T. & G. PLYWOOD WITH #8 SCREWS AT 6" O.C. AT ALL SUPPORTED PERIMETER EDGES & INTERIOR SUPPORTS.

ALL MULTI-PLY LAMINATED VENEER LUMBER (LVL) HEADERS LINTELS & STUD COLUMNS SHALL BE CONNECTED SUCH THAT THEY ACT AS A SINGLE MEMBER.

LVL SPECS: Fb=2900 PSI Fv=285 PSI E=2,100,000 PSI

PILINGS: ALL PILES TO BE DRIVEN TO MINIMUM OF 10' AT 10,000 LB CAPACITY WITH FACTOR OF SAFETY OF 2.0. PILING INSTALLER SHALL EMPLOY ALL APPROPRIATE DRIVING APPARATUS AND SHALL RECORD AND VERIFY ALL PILING CAPACITIES.

TIMBER TRUSS  
1. TRUSS FABRICATOR TO VERIFY FIELD DIMENSIONS WITH GENERAL CONTRACTOR.  
2. TRUSS SUPPLIER SHALL SUBMIT SHOP DRAWINGS WITH NORTH CAROLINA REGISTERED ENGINEER SEAL BEFORE FABRICATION.  
4. ALL MEMBERS TO BE SYP NO. 2 OR HIGHER

STATE OF NORTH CAROLINA  
REGISTERED PROFESSIONAL ENGINEER  
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**FINOL NEW RESIDENCE  
HARNETT COUNTY, NC**

DRAWING TITLE  
STRUCTURAL NOTES

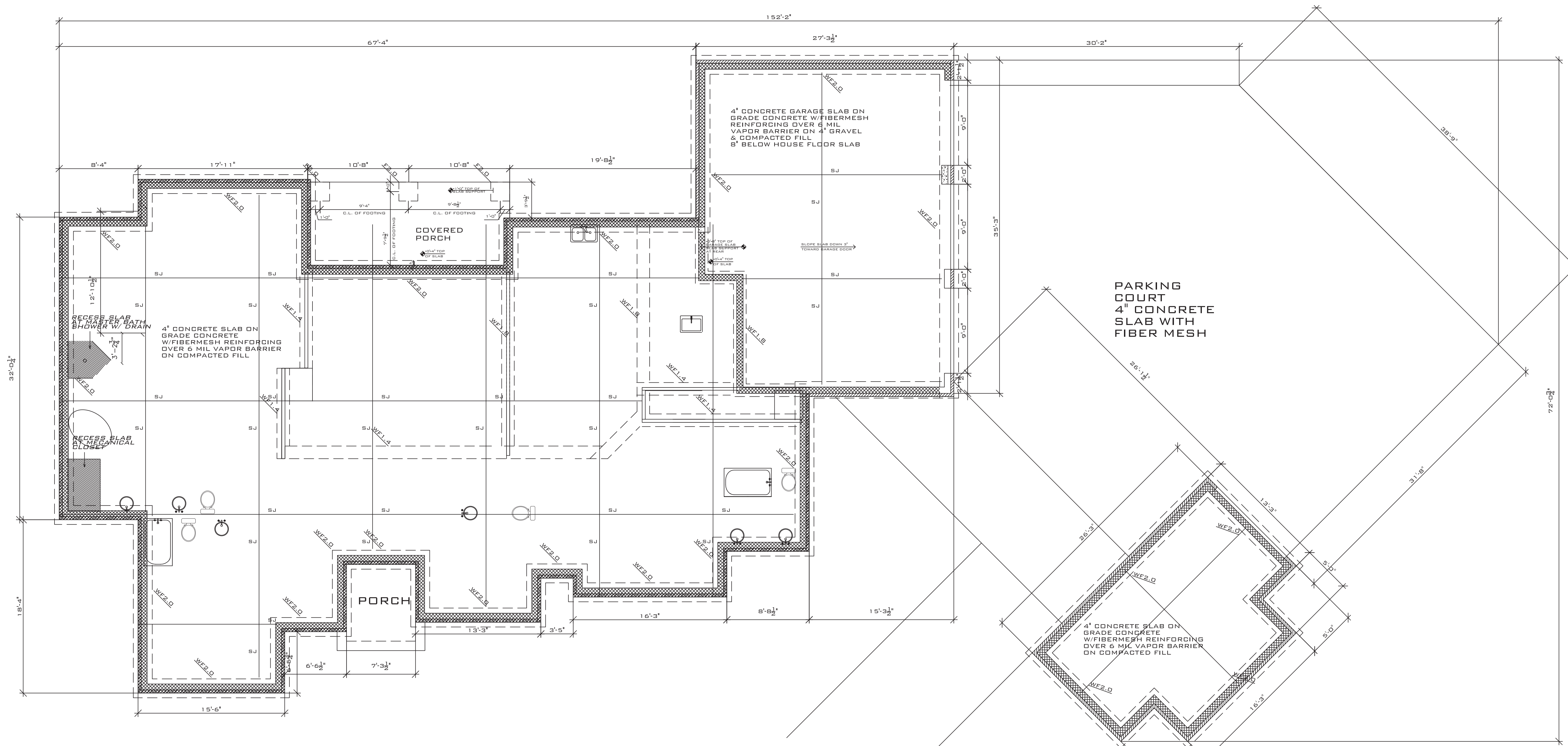
DRAWN BY: JRR  
CHECKED BY: JRR

SCALE: AS SHOWN  
DATE: 12.05.21

PROJECT SHEET  
IN021412 S1

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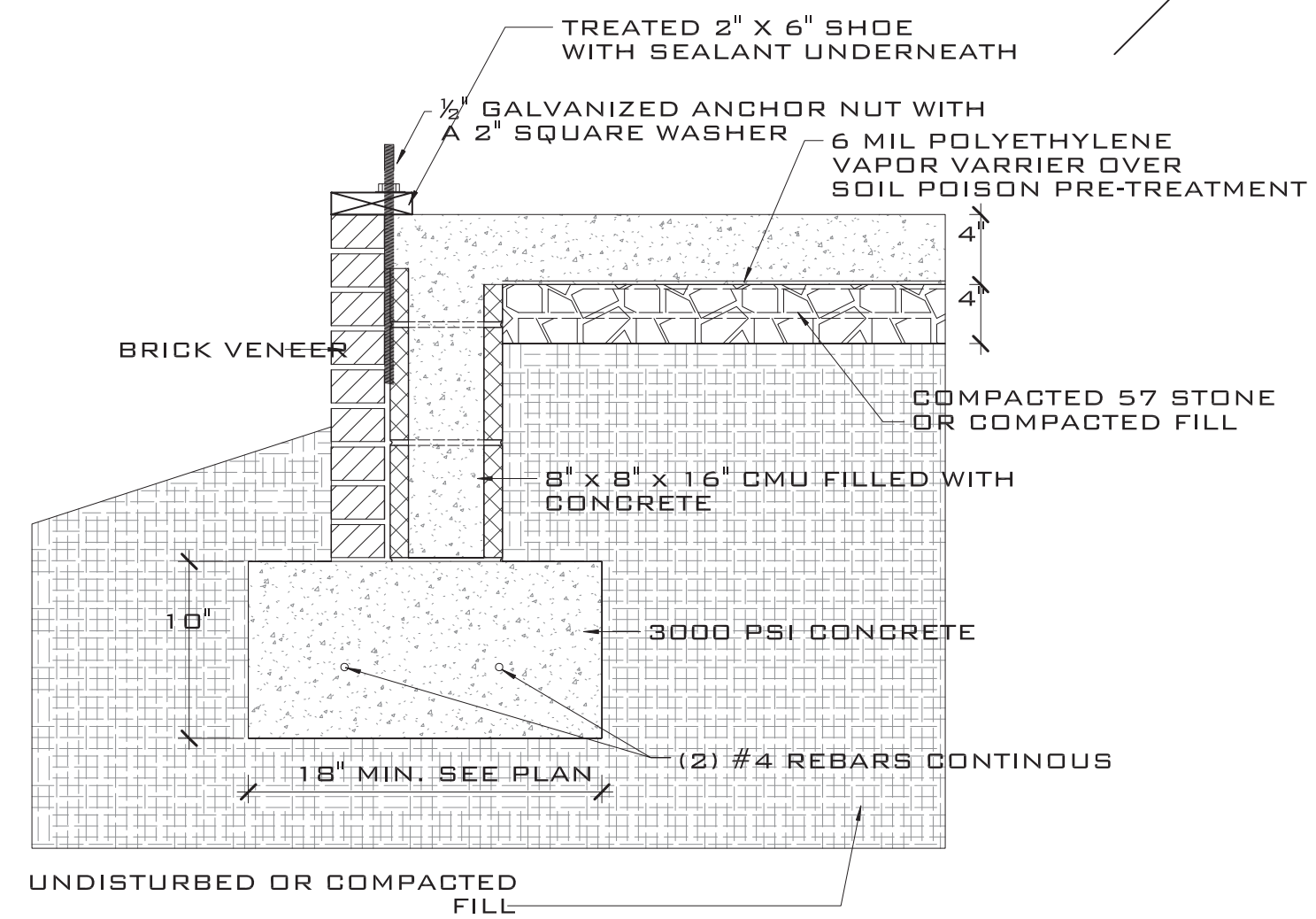


**FOUNDATION PLAN**

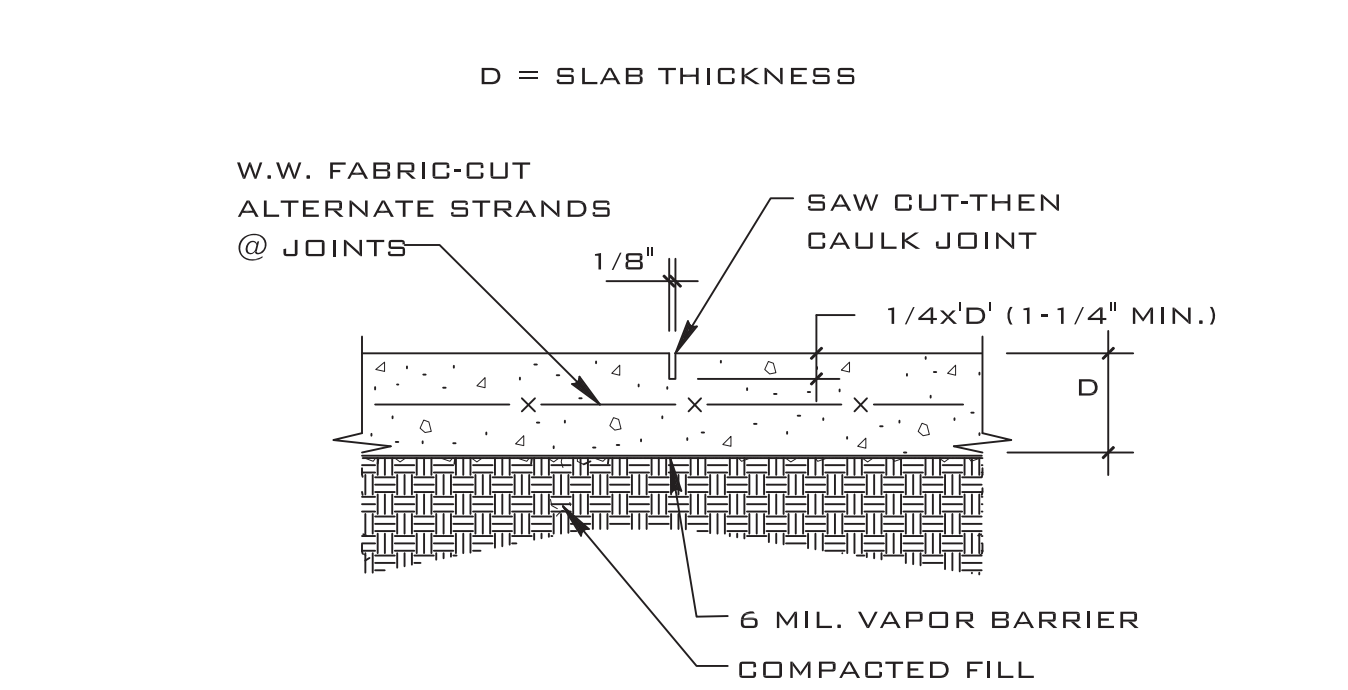
SCALE: 1/4" = 1'-0"

- NOTES:
1. LIVE LOAD 40 PSF
  2. WF2.0 - 24" WX 10" D W/ 2 #4 CONT.
  3. WF1.8 - 20" WX 10" D W/ 2 #4 CONT.
  4. WF1.4 - 16" WX 12" D THICKENED SLAB W/ 2 #5 CONT.
  5. F2.0 - 24" X 24" X 16" W/ 3 #5 EW
  6. FO.8 8" THICKENED SLAB
  7. BALLOON FRAMED WALLS (EXTERIOR WALL OVER 15') TO BE (2) 2X6 @ 12" OC
  8. ROOF TRUSS FRAMING BY OTHERS

STEM WALL OPTION



3 TYPICAL WALL FOOTING DETAIL  
SCALE: NTS



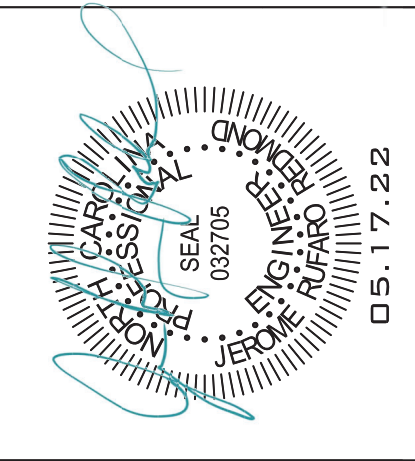
PROVIDE CONTROL JOINTS BETWEEN CONSTRUCTION JOINTS WITH SPACING NOT TO EXCEED IN FEET 3 TIMES THE SLAB THICKNESS IN INCHES IN EACH DIRECTION. CONTROL JOINTS TO BE FORMED WHILE CONCRETE IS STILL PLASTIC OR SAW CUT WITHIN 8 HOURS OF PLACING CONCRETE.

D1A SAWED CONTROL JOINT (S.J.)  
DET

MARK	DATE	REVISION

ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITIES INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SURVEYING INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY GEOTECHNICAL INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ENVIRONMENTAL INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY HISTORICAL INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ARCHITECTURAL INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ENGINEERING INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSULTANT INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PROFESSIONAL INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY LEGAL INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY FINANCIAL INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY TAX INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ACCOUNTING INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY MARKETING INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY OPERATIONAL INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY MAINTENANCE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REPAIR INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REPLACEMENT INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY DEMOLITION INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SAFETY INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY HEALTH INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ENVIRONMENTAL INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SOCIAL INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CULTURAL INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ECONOMIC INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY POLITICAL INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY LEGISLATIVE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY JUDICIAL INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY EXECUTIVE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY LEGISLATIVE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY JUDICIAL INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY EXECUTIVE INFORMATION.

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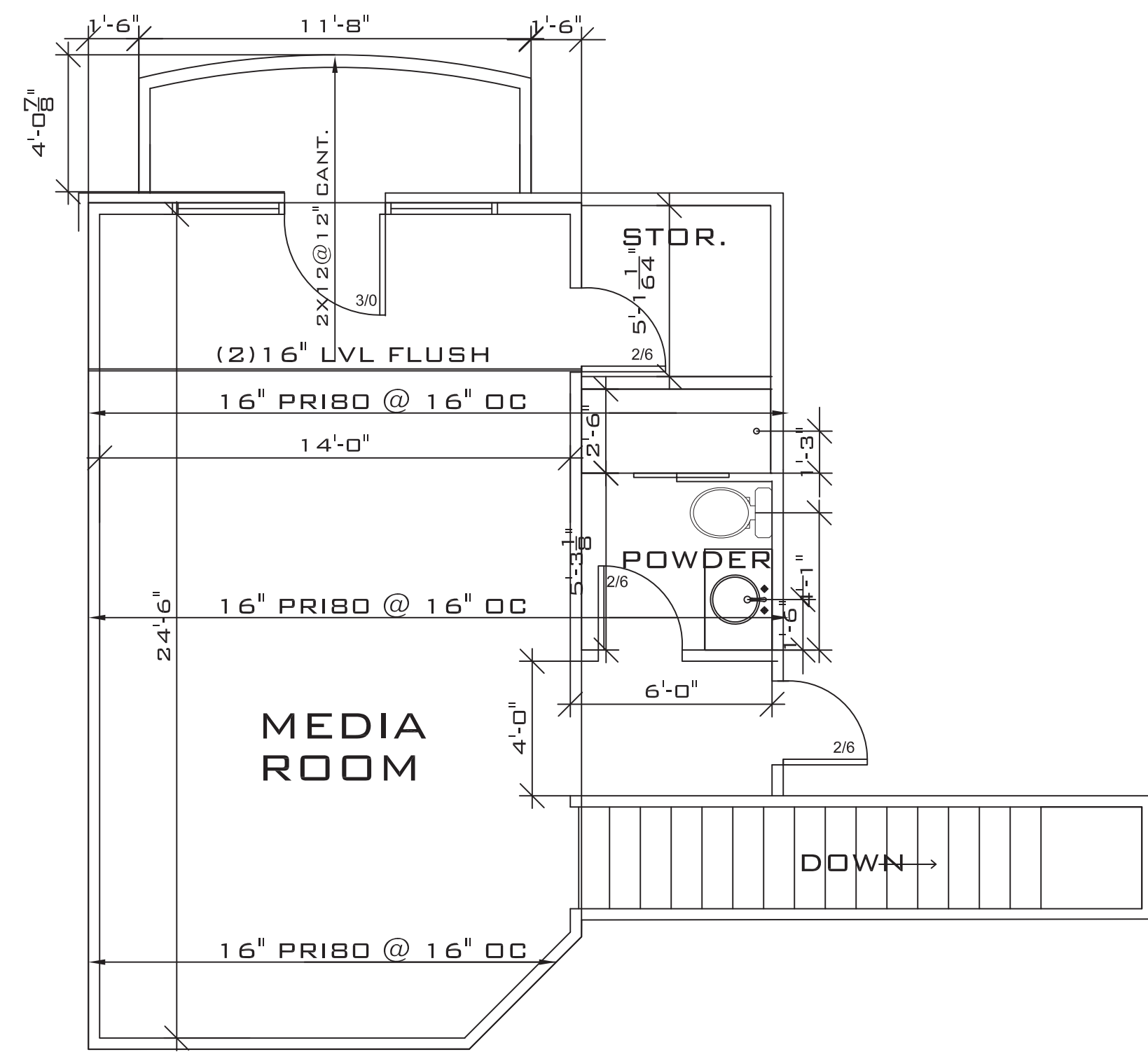


**FINOL NEW RESIDENCE  
HARNETT COUNTY, NC**

DRAWING TITLE  
FOUNDATION PLAN  
AND DETAILS

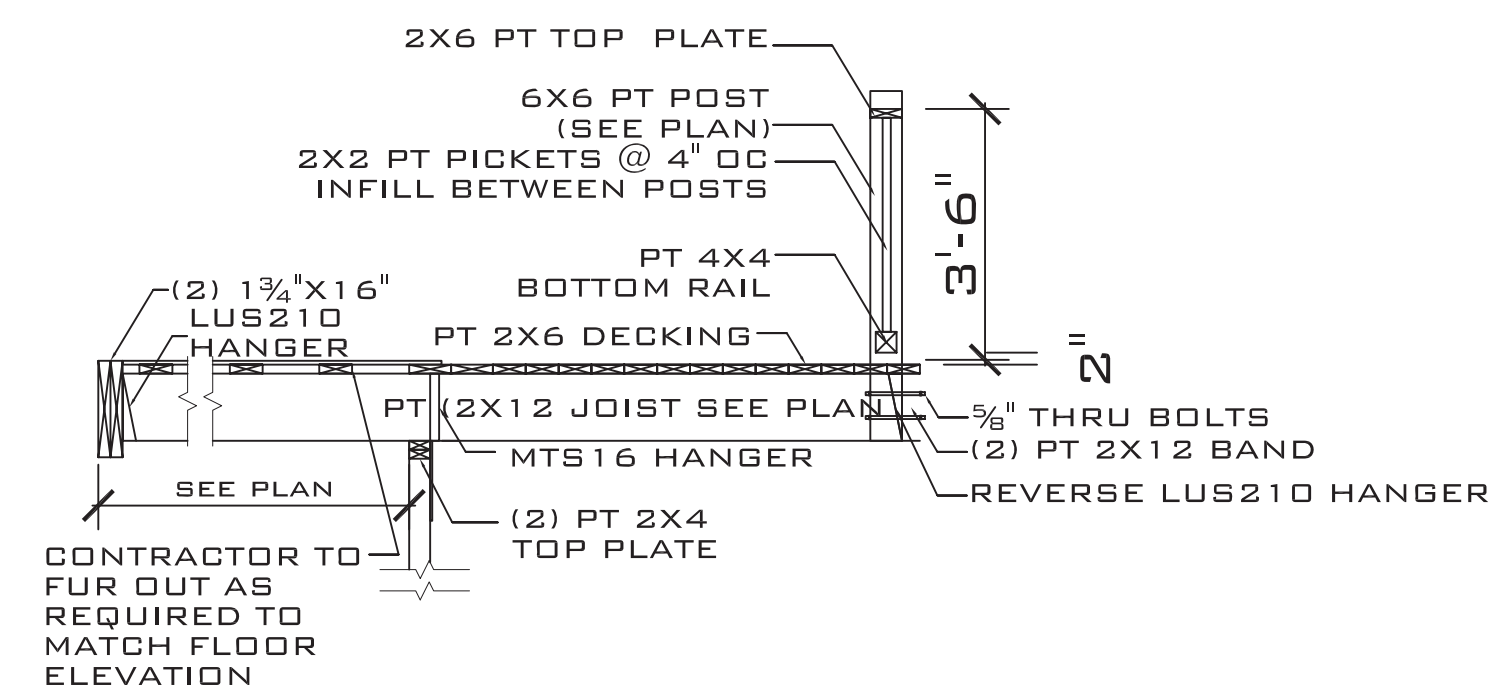
DRAWN BY: JRR  
CHECKED BY: JRR  
SCALE: AS SHOWN  
DATE: 12.05.21  
PROJECT SHEET  
IN021412 **S2**



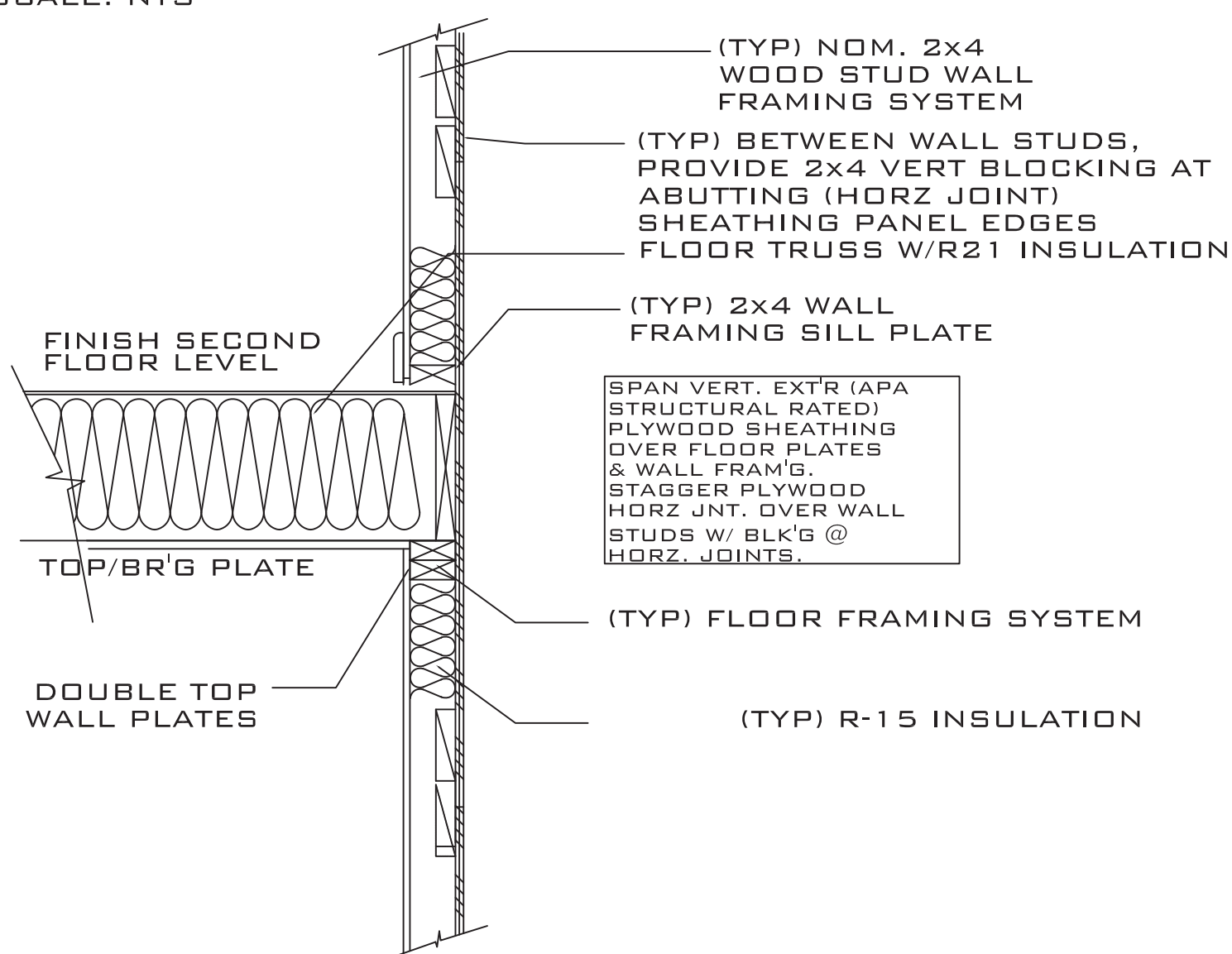


## 2ND FLOOR PLAN

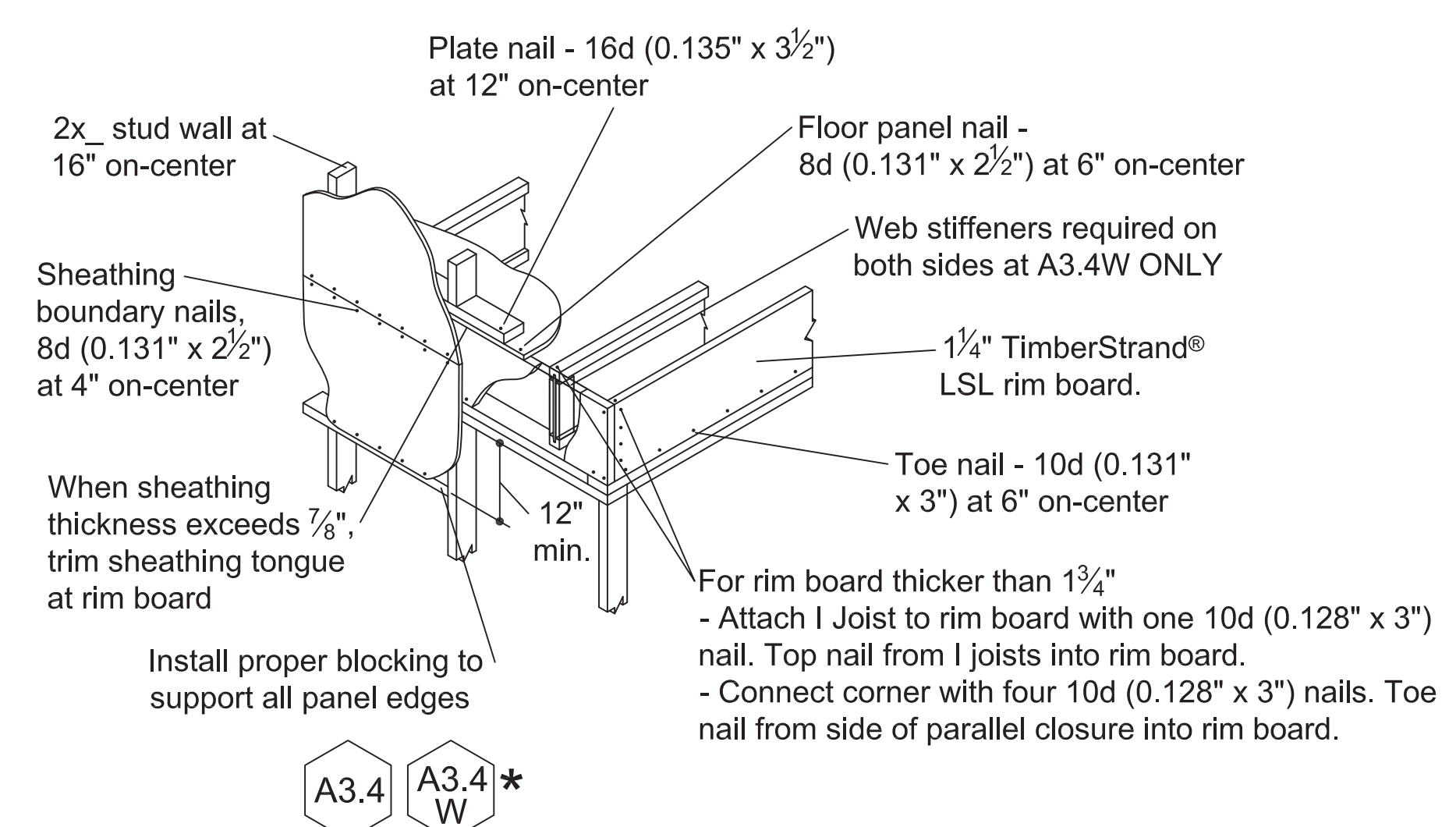
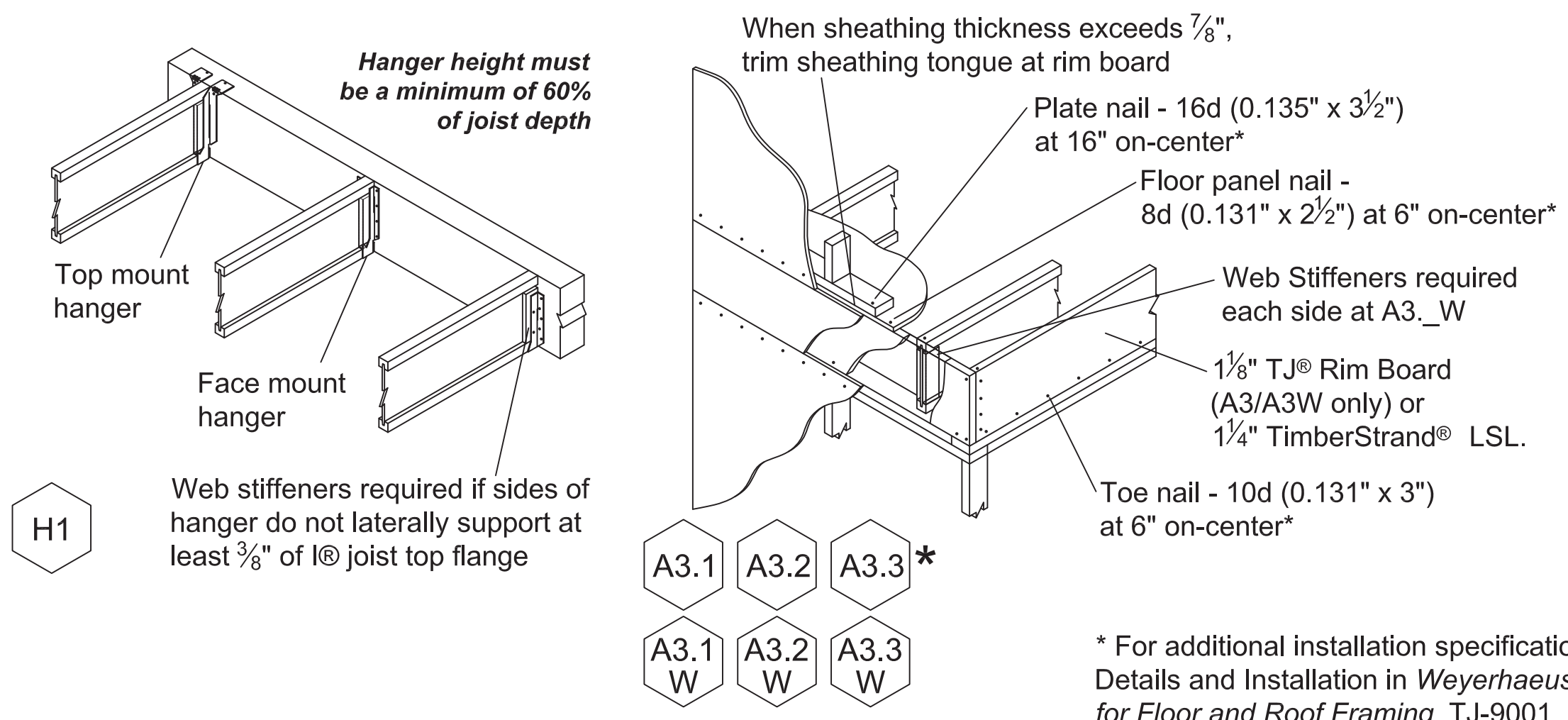
SCALE: 1/4" = 1'-0"



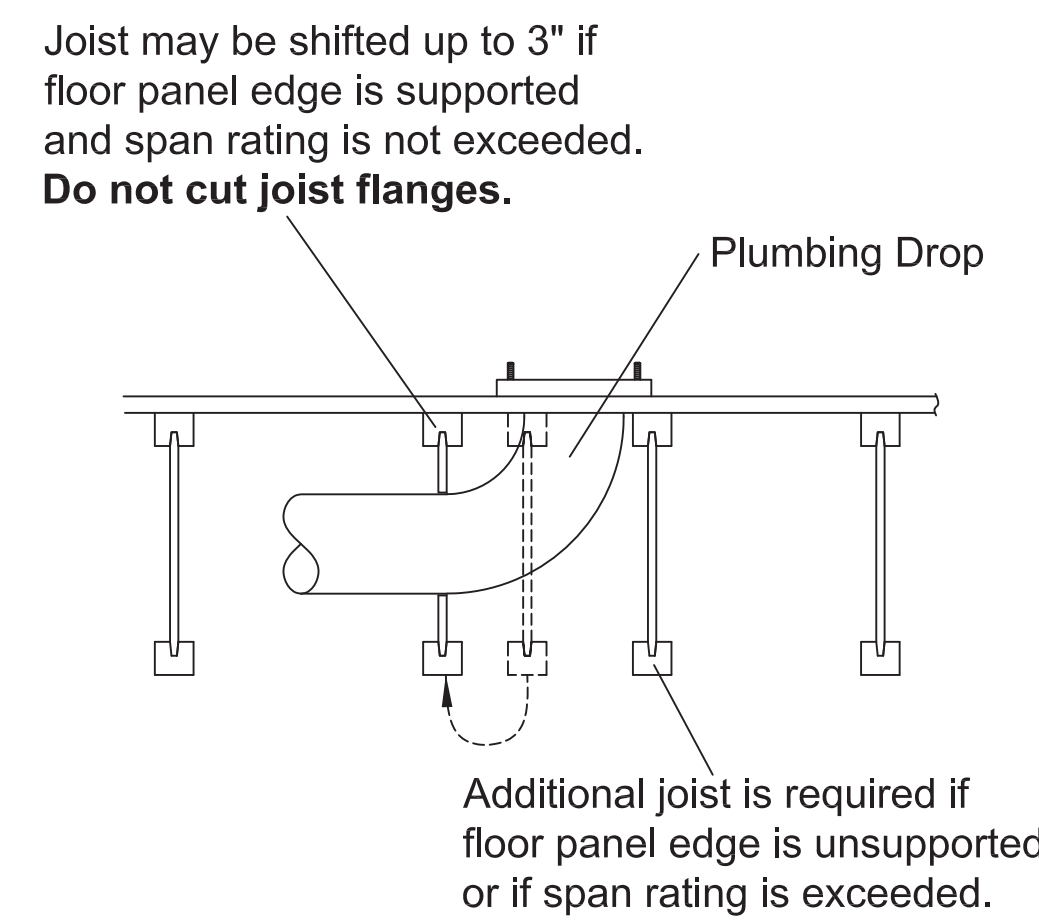
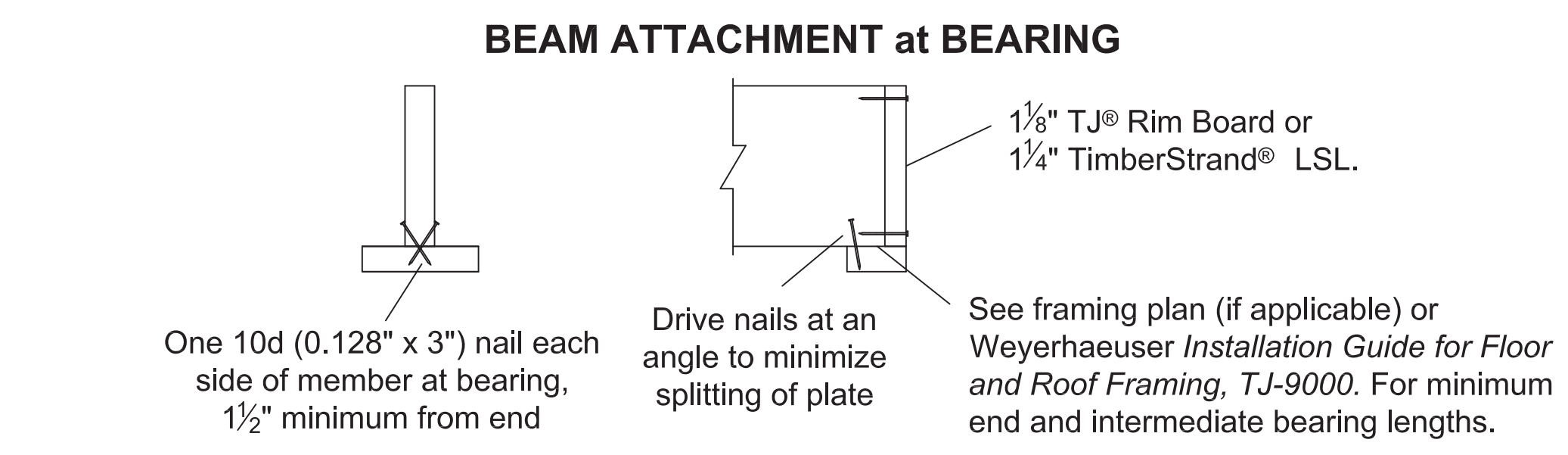
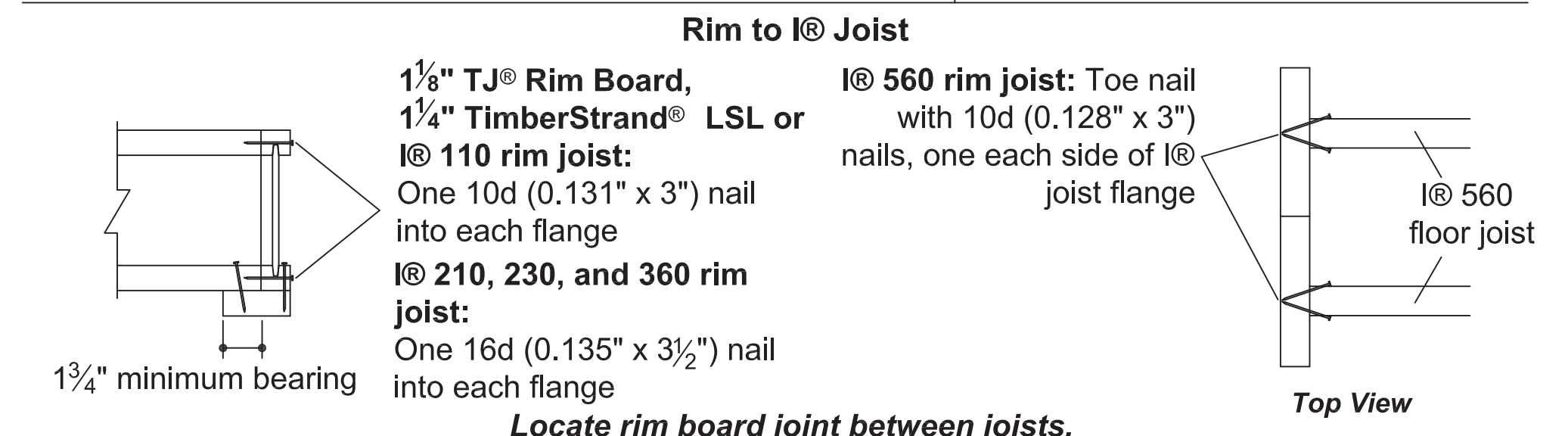
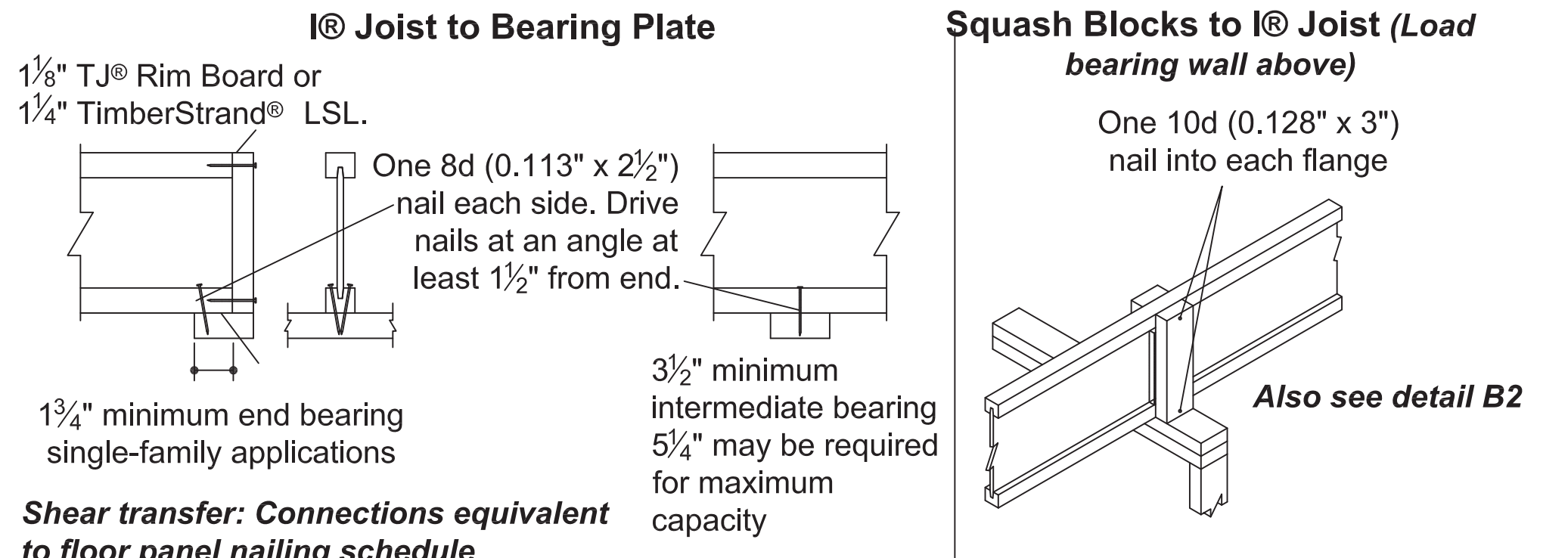
**C** CANTILEVER FRAMING SECTION  
SCALE: NTS



**D** TYPICAL 2ND FLOOR FRAMING  
SCALE: NTS



### NAILING AT BEARING (FLOOR)



- INSTALLATION TIPS**
- Subfloor adhesive will improve floor performance, but may not be required.
  - Squash blocks and blocking panels carry stacked vertical loads (details B1 and B2). Packing out the web of a I@ joist (with web stiffeners) is not a substitute for squash blocks or blocking panels.
  - When joists are doubled at non-load bearing parallel partitions, space joists apart the width of the wall for plumbing or HVAC.
  - Additional joist at plumbing drop (see detail).

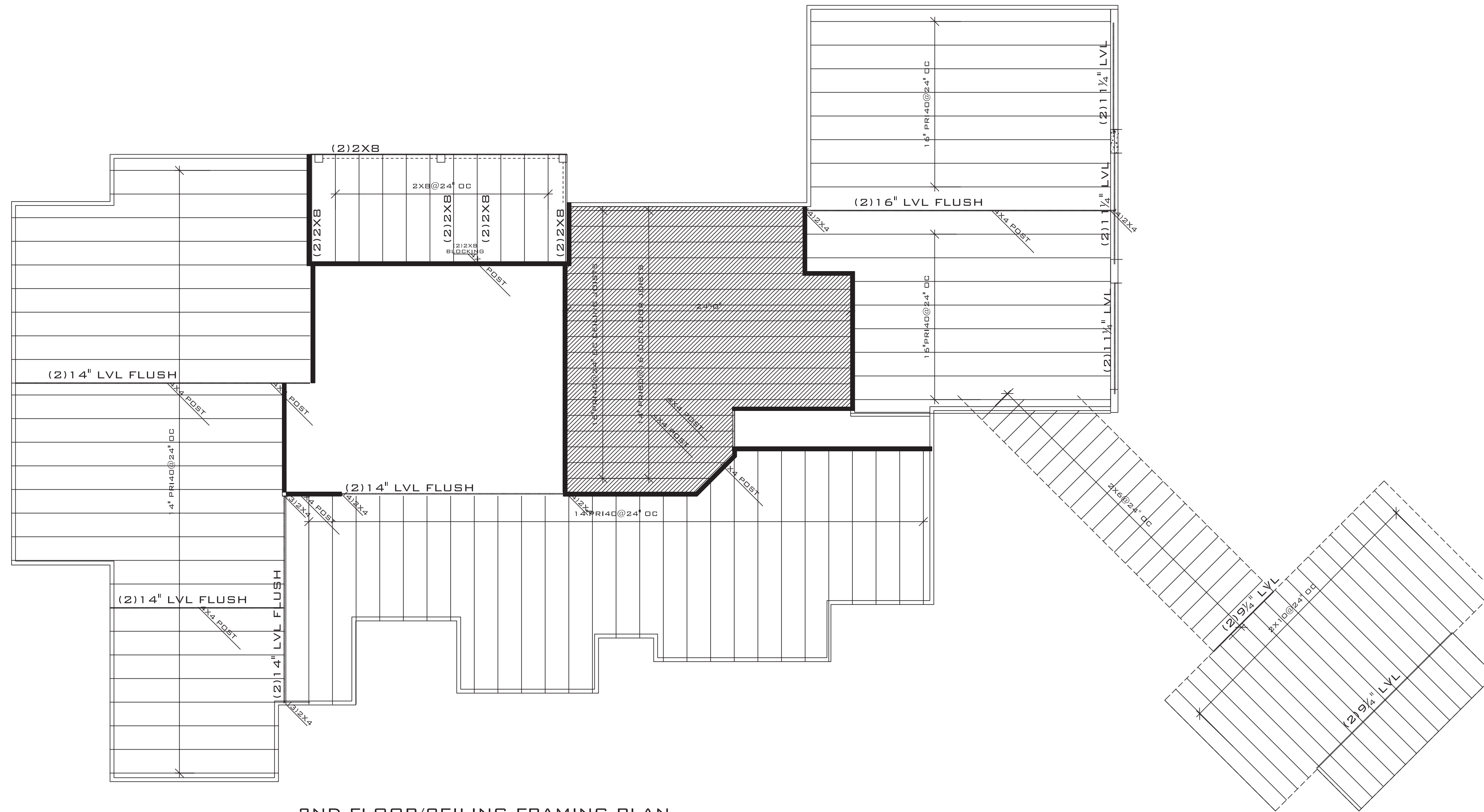
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**FINOL NEW RESIDENCE  
HARNETT COUNTY, NC**

DRAWING TITLE	
FRAMING PLAN	
2ND FLOOR	
I JOIST DETAILS	
DRAWN BY:	JRR
CHECKED BY:	JRR
SCALE:	AS SHOWN
DATE:	12.05.21
PROJECT	SHEET
IN021412	<b>S3</b>

MARK	DATE	REVISION





**2ND FLOOR/CEILING FRAMING PLAN**

SCALE: 3/16" = 1'-0"

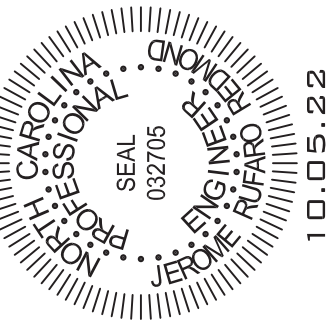
NOTES:

1. LIVE LOAD 10 PSF
2. ALL HEADERS TO BE (2) 2XB FOR 2X4 WALLS AND (3) 2XB FOR 2X6 WALLS UNO
3. PROVIDE DOUBLE STUD JACK SUPPORT FOR ALL HEADERS UNO

FLOOR LIVE LOAD 40 PSF

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**FINOL NEW RESIDENCE  
HARNETT COUNTY, NC**

DRAWING TITLE  
I JOISTS DETAILS

DRAWN BY: JRR

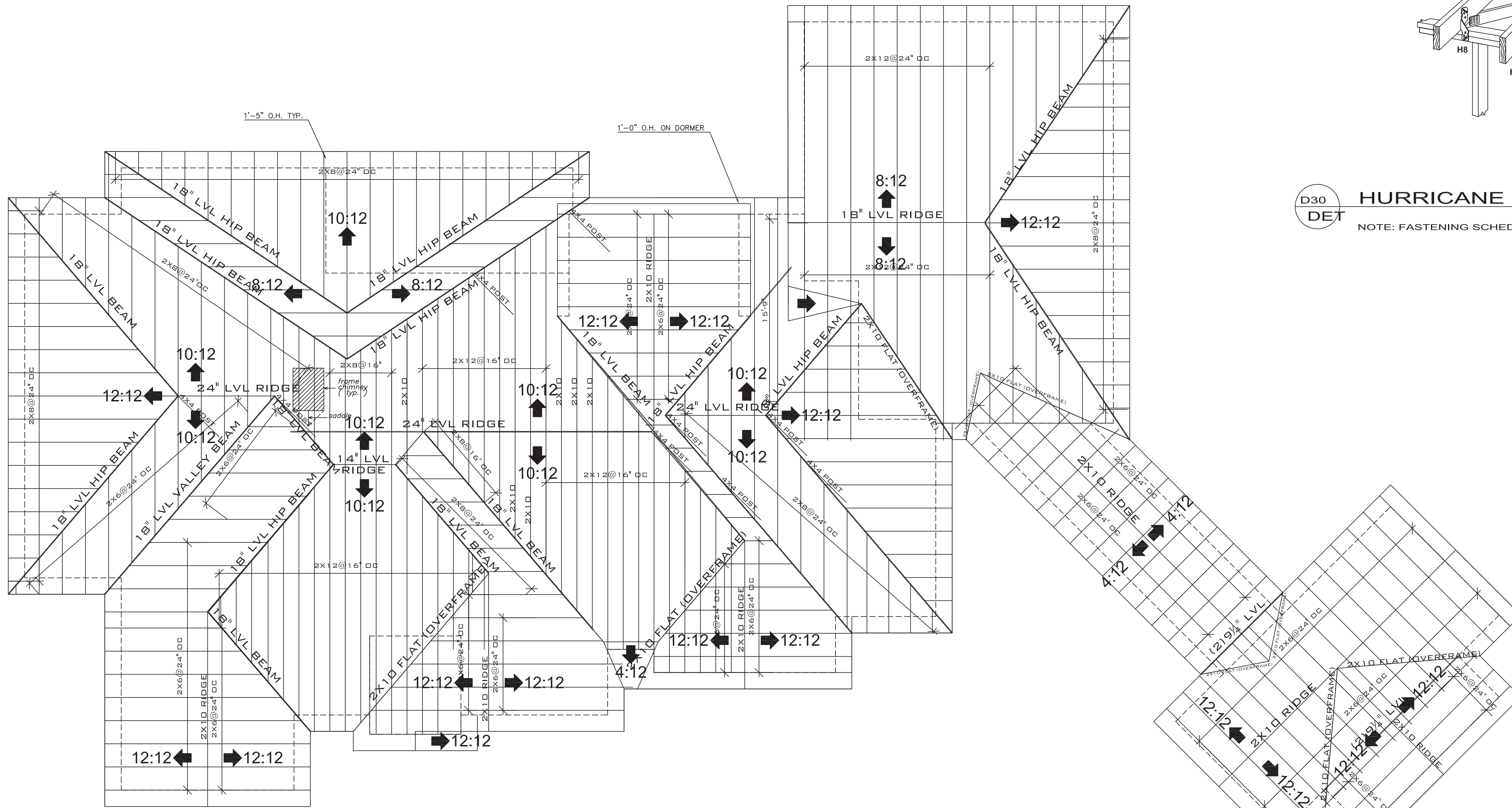
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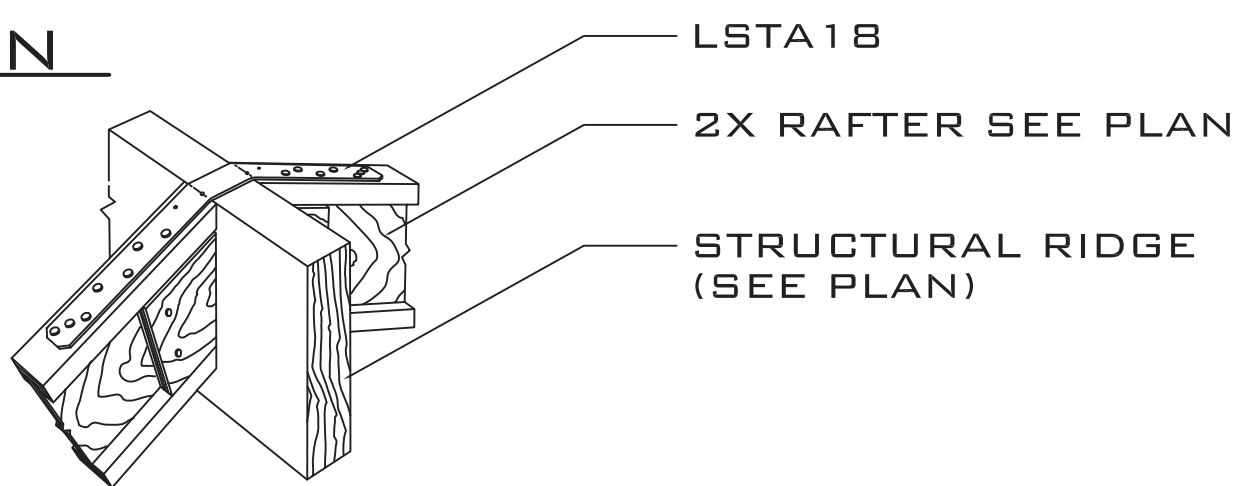
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MARK	DATE	REVISION

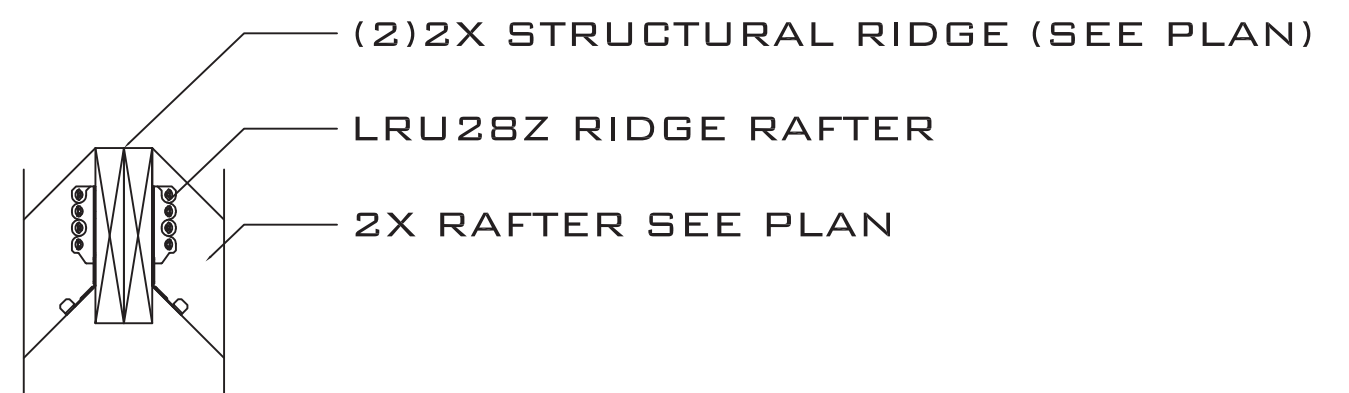
PROJECT SHEET  
IN021412 **S3a**



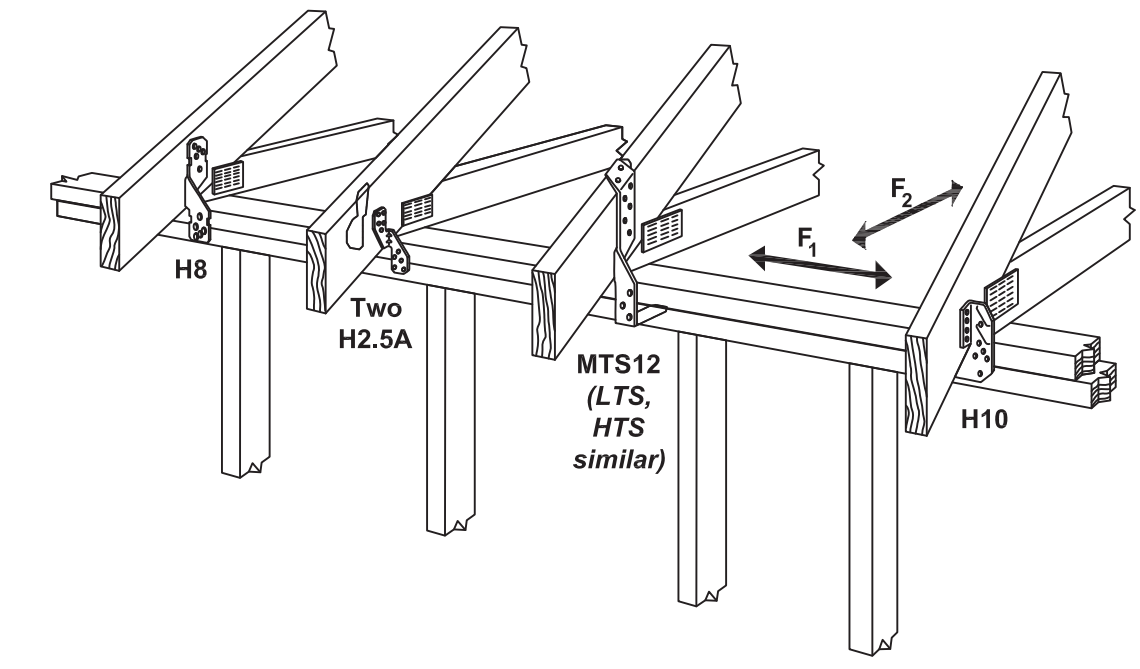
**ROOF FRAMING LAYOUT PLAN**  
SCALE: 3/16" = 1'-0"



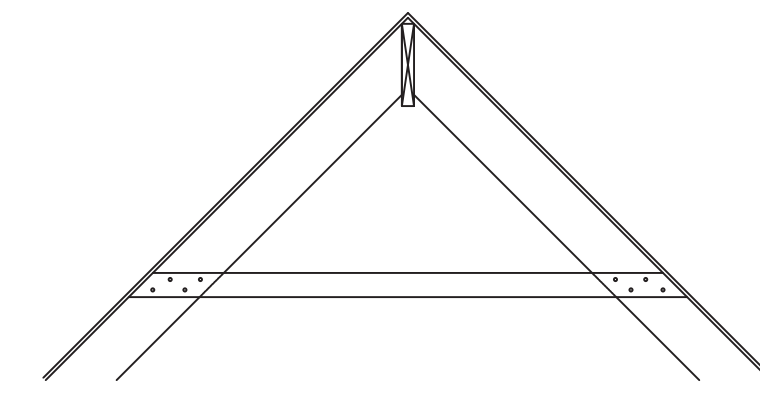
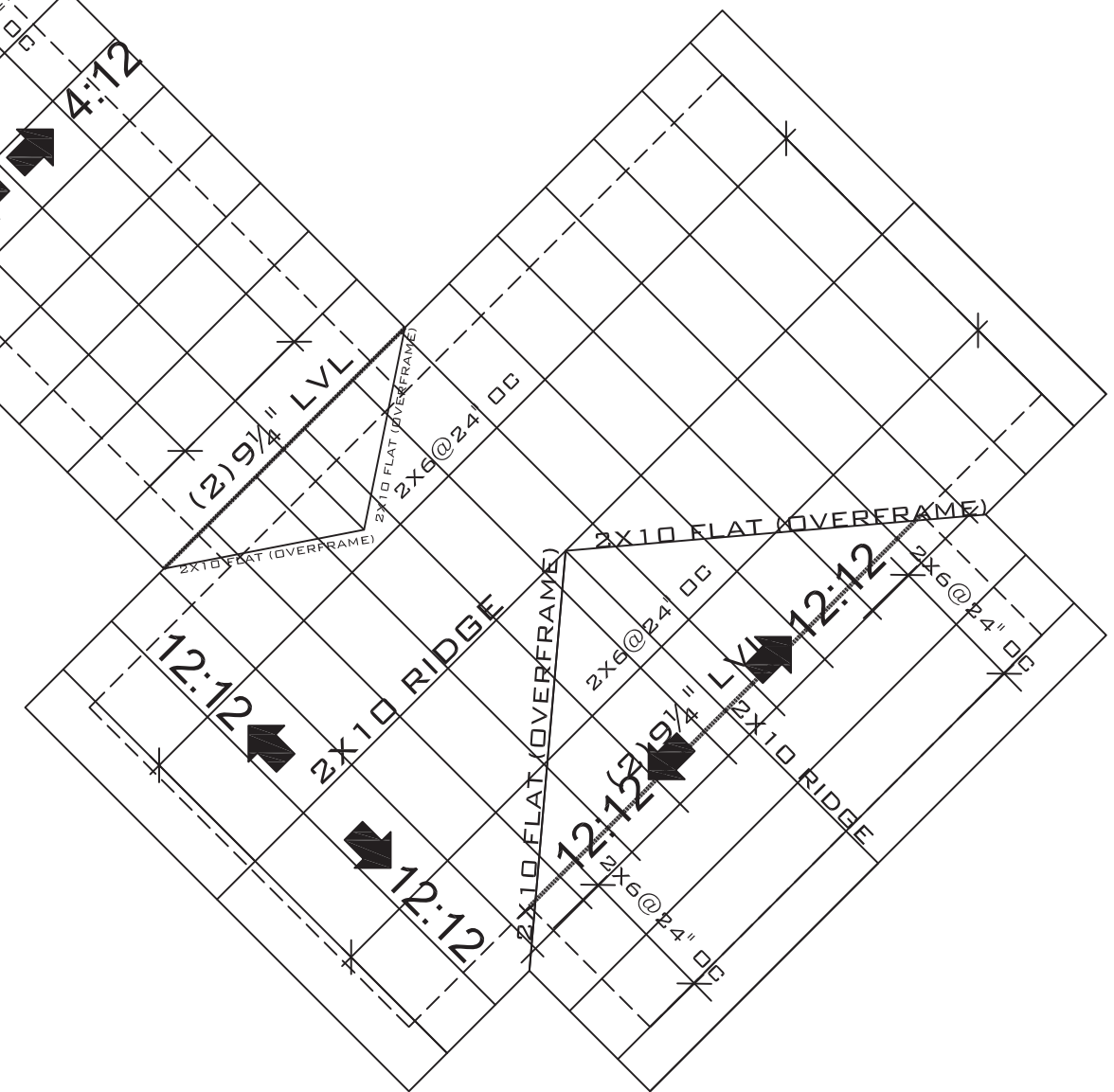
**D31 STRUCTURAL RIDGE/RAFTER STRAP OPTION**  
DET NOTE: FASTENING SCHEDULE PER MANUFACTURER'S RECOMMENDATIONS



**D32 STRUCTURAL RIDGE/RAFTER HANGER OPTION**  
DET NOTE: FASTENING SCHEDULE PER MANUFACTURER'S RECOMMENDATIONS



**D30 HURRICANE TIE OPTIONS**  
NOTE: FASTENING SCHEDULE PER MANUFACTURER'S RECOMMENDATIONS

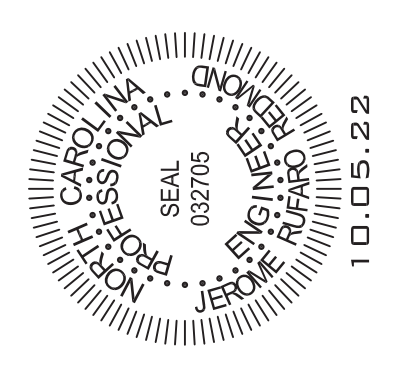


INSTALL 2X6 COLLAR TIES TO EVERY OTHER RAFTER WITH (4) 10D NAILS EACH END. LOCATE COLLAR TIES IN THE UPPER THIRD OF THE ROOF.

**COLLAR TIE DETAIL**  
SCALE: NTS

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**FINOL NEW RESIDENCE**  
**HARNETT COUNTY, NC**

DRAWING TITLE  
FRAMING PLAN  
ROOF

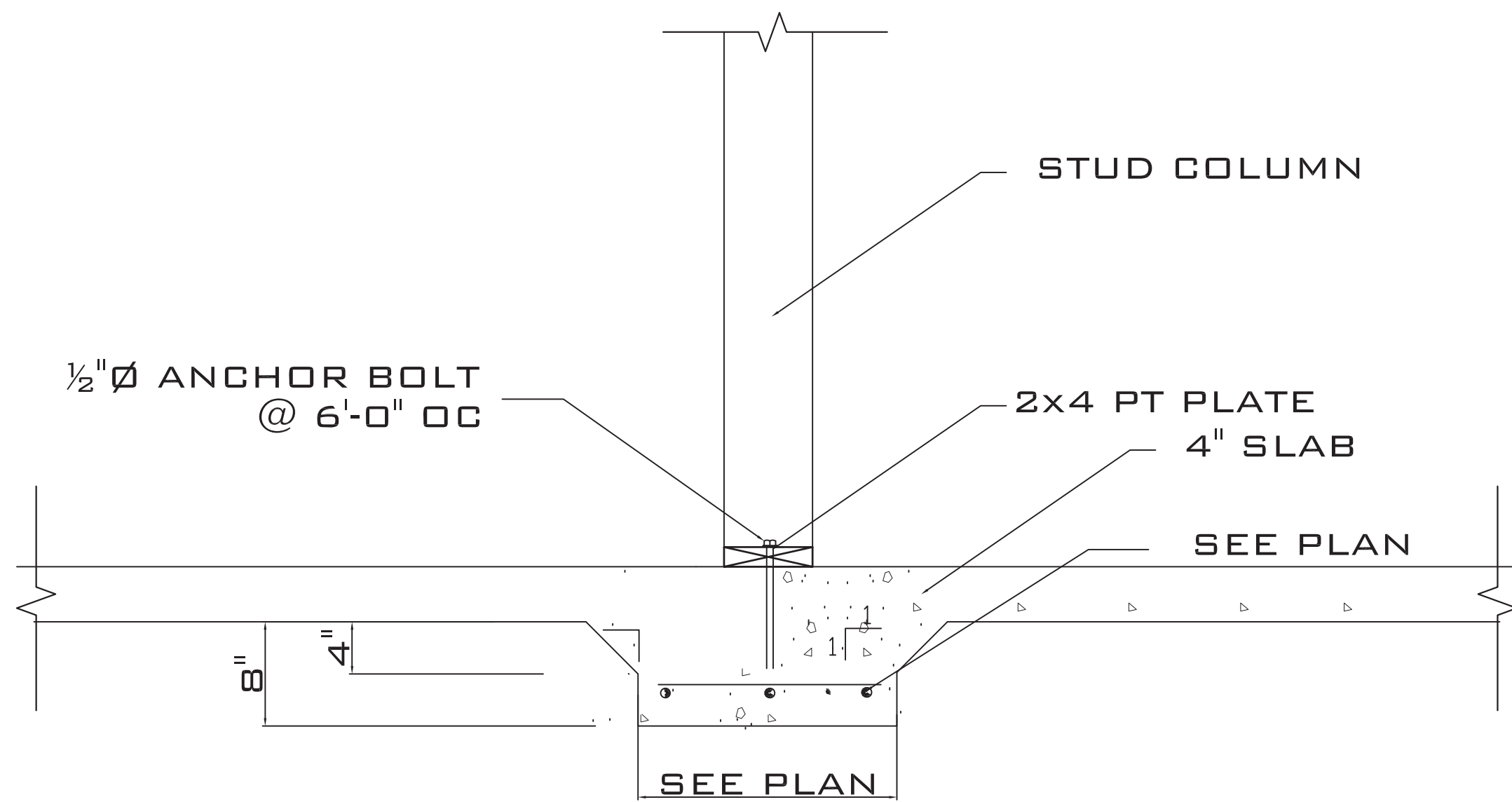
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SCALE: AS SHOWN  
DATE: 12.05.21

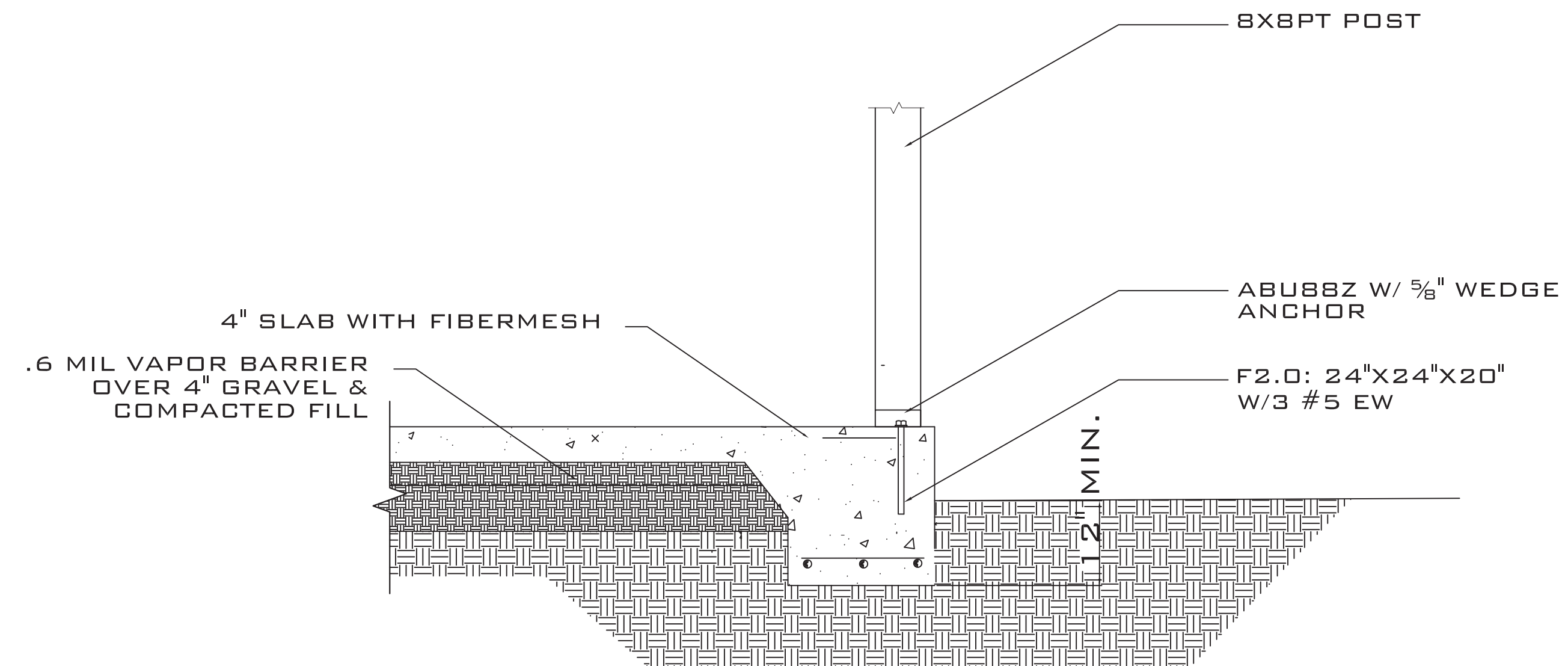
PROJECT SHEET  
IN021412 **S4**

MARK	DATE	REVISION

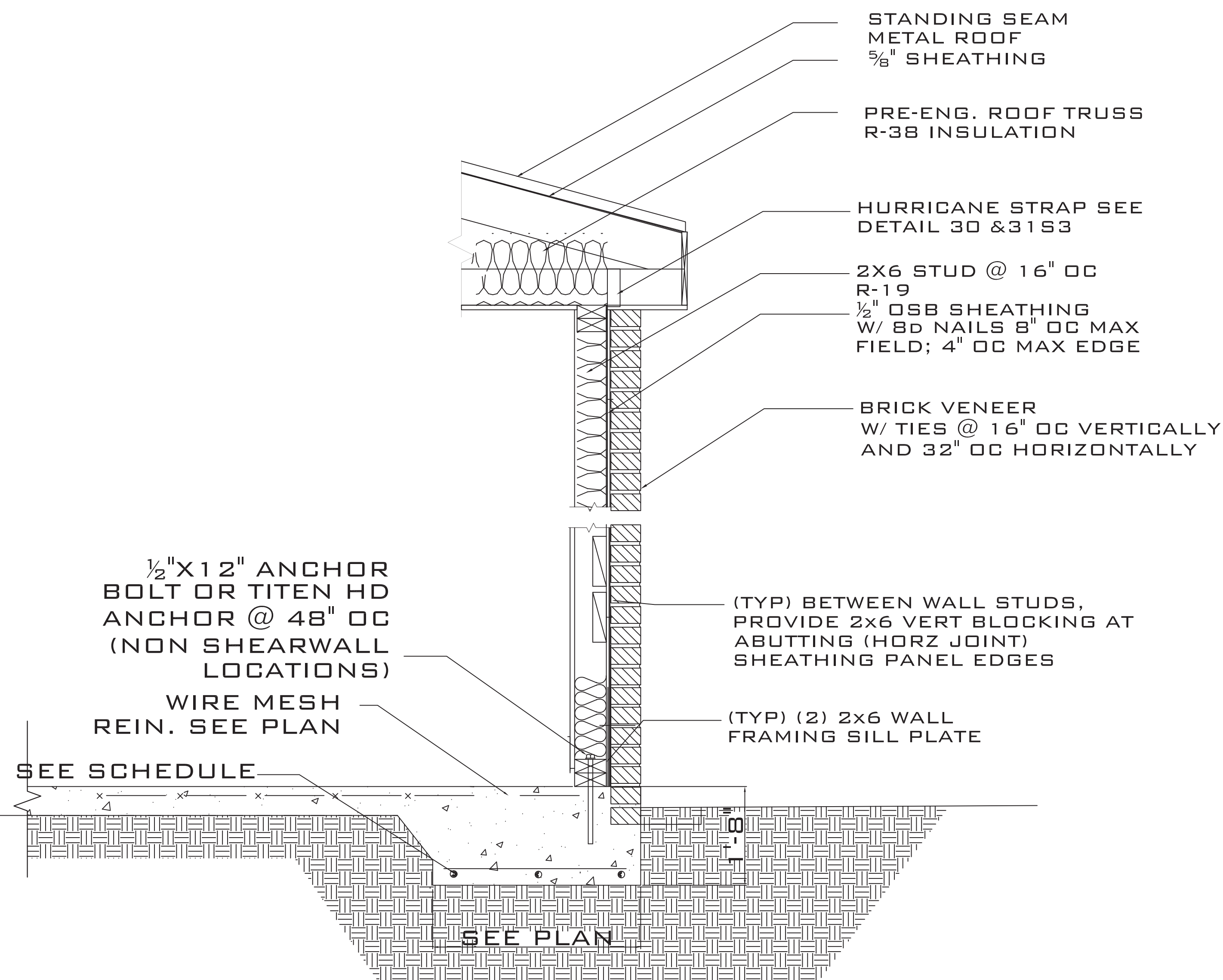




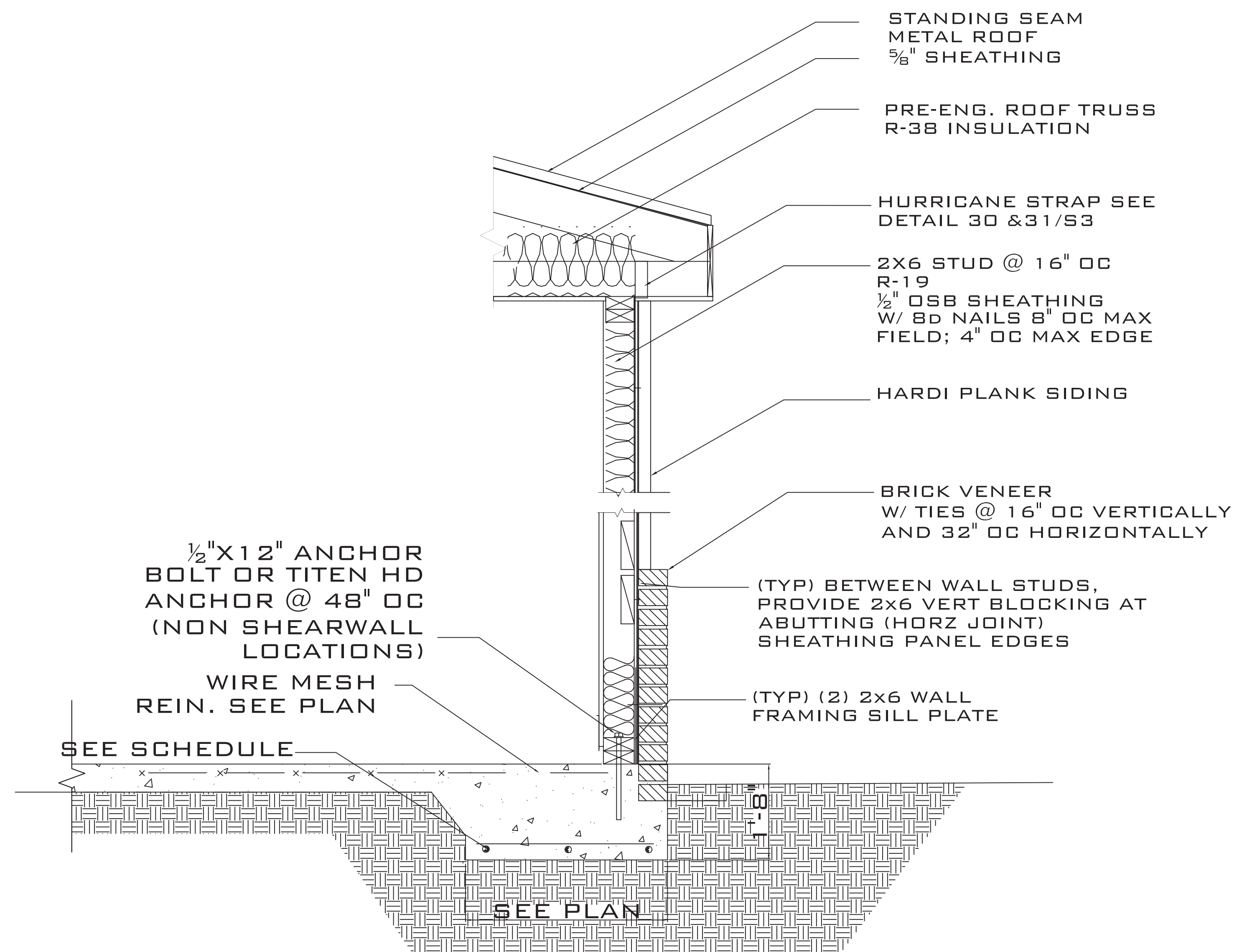
**5 THICKENED SLAB**  
S5 SCALE: NTS



**P TYPICAL POST SECTION**  
S5 SCALE: NTS



**6 TYPICAL WALL SECTION**  
S55 SCALE: NTS



**7 TYPICAL WALL SECTION**  
S5 SCALE: NTS

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**FINOL NEW RESIDENCE  
HARNETT COUNTY, NC**

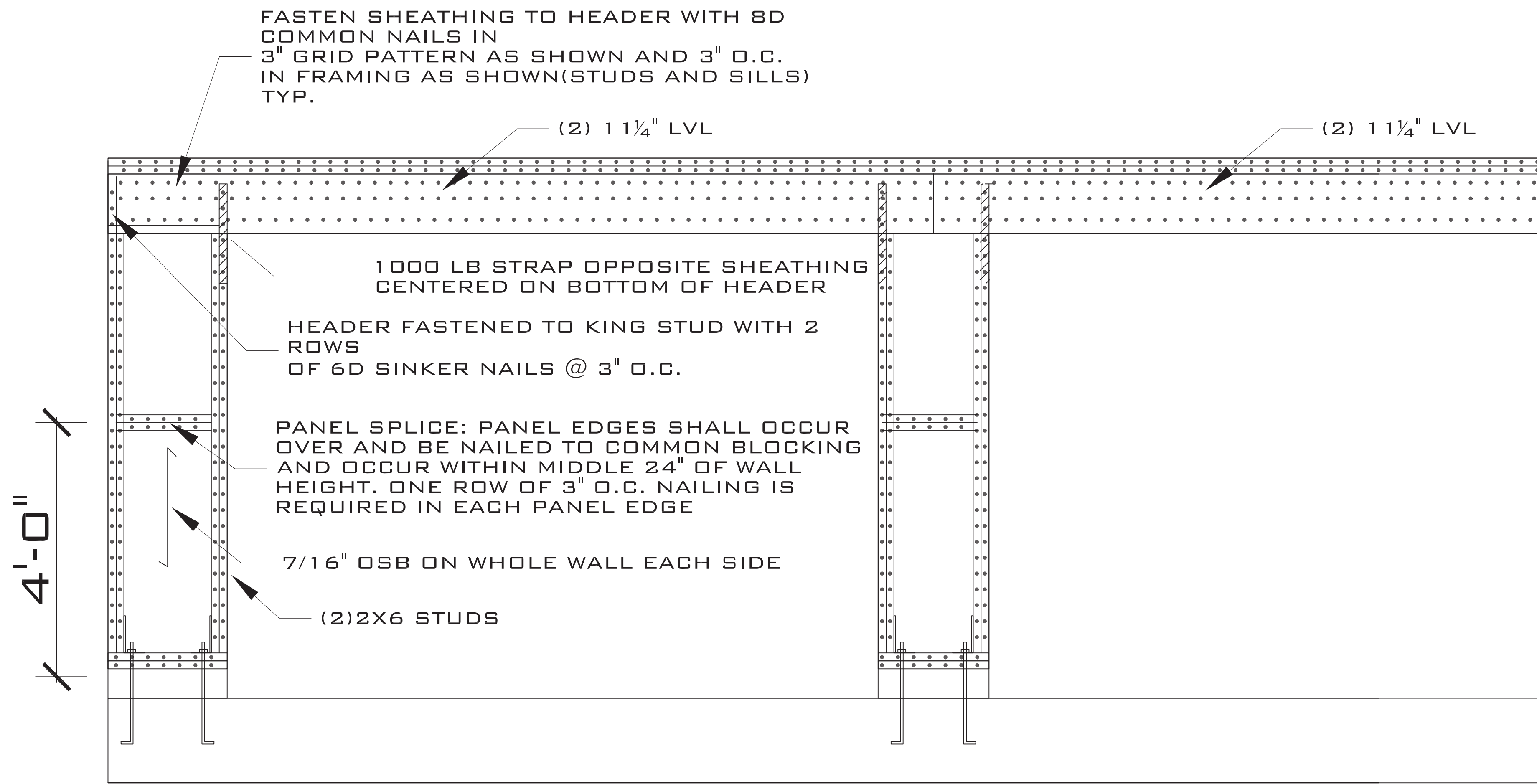
DRAWING TITLE  
FRAMING DETAILS

DRAWN BY: JRR  
CHECKED BY: JRR

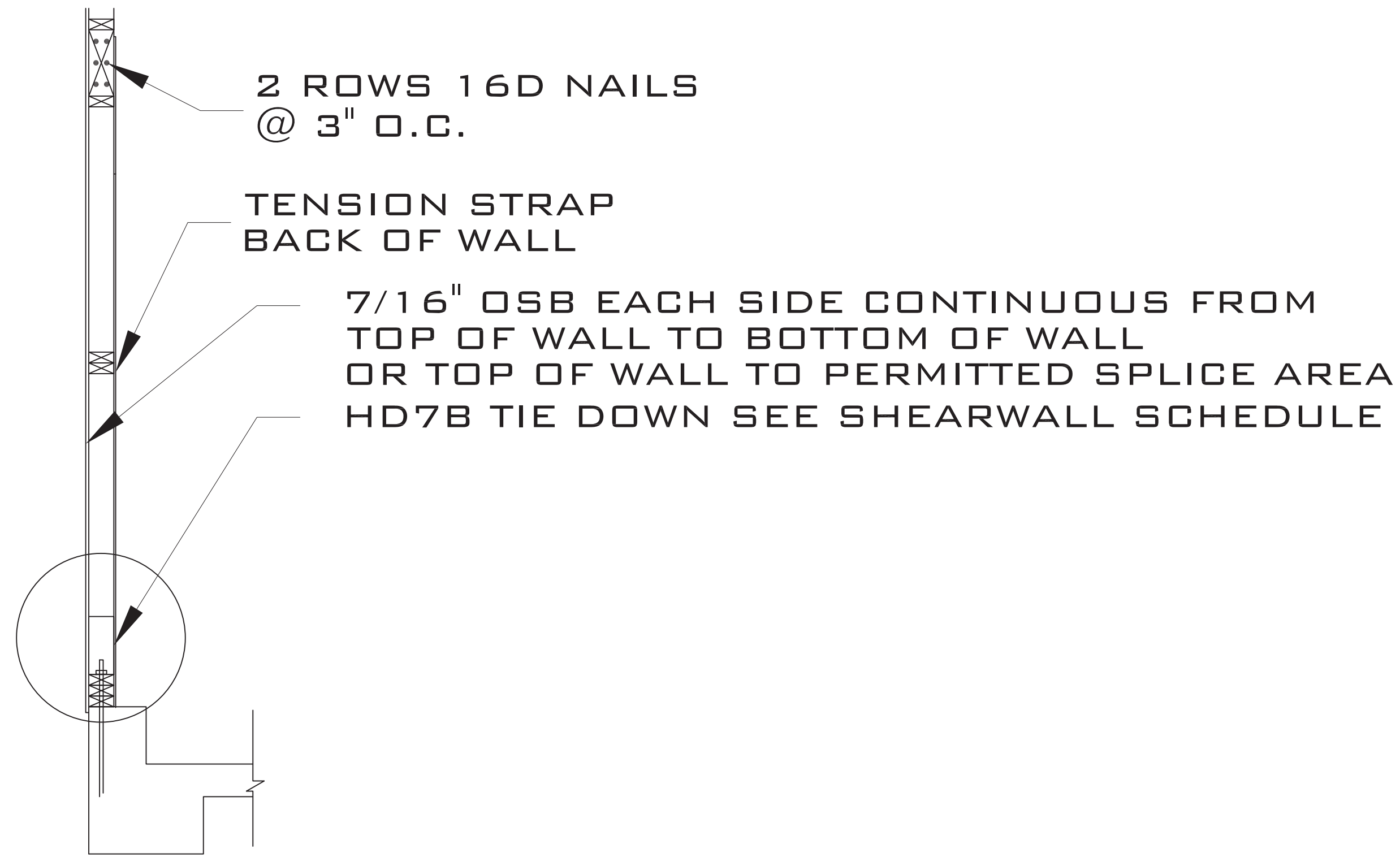
SCALE: AS SHOWN  
DATE: 12.05.21

PROJECT SHEET  
IN021412 **S5**

MARK	DATE	REVISION



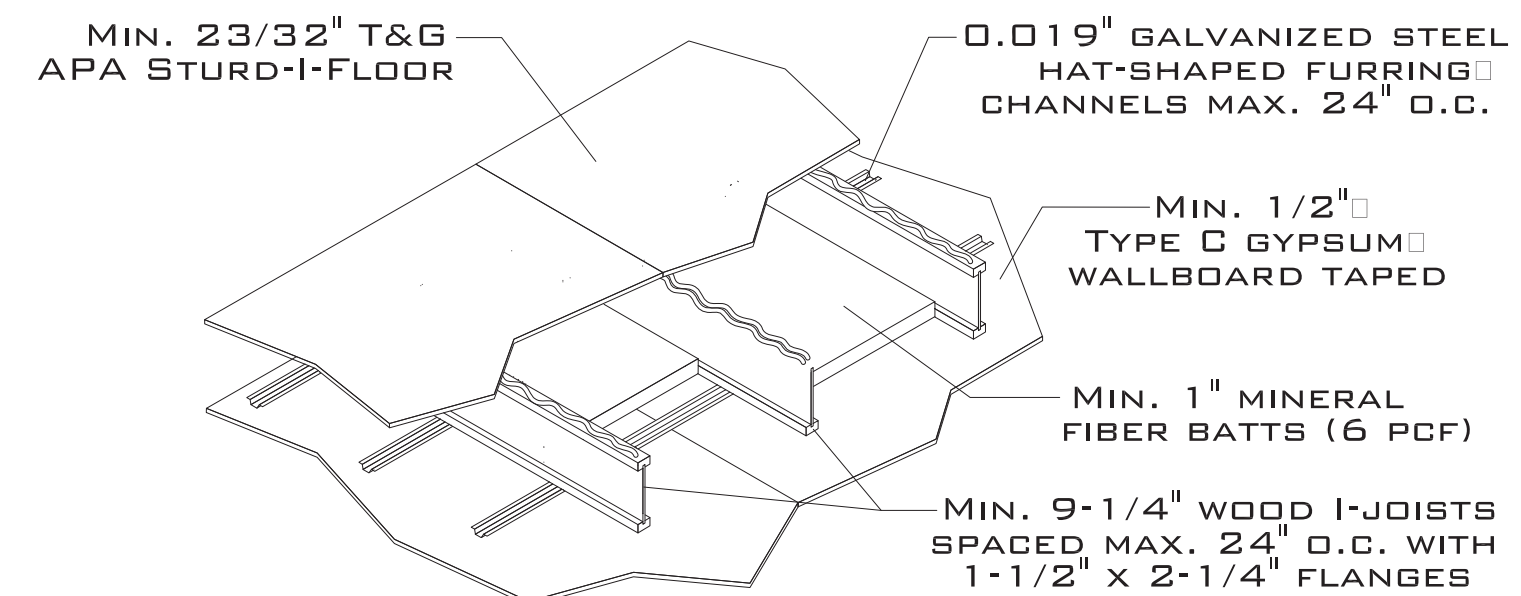
## GARAGE PORTAL FRAME DETAIL



## SIDE ELEVATION

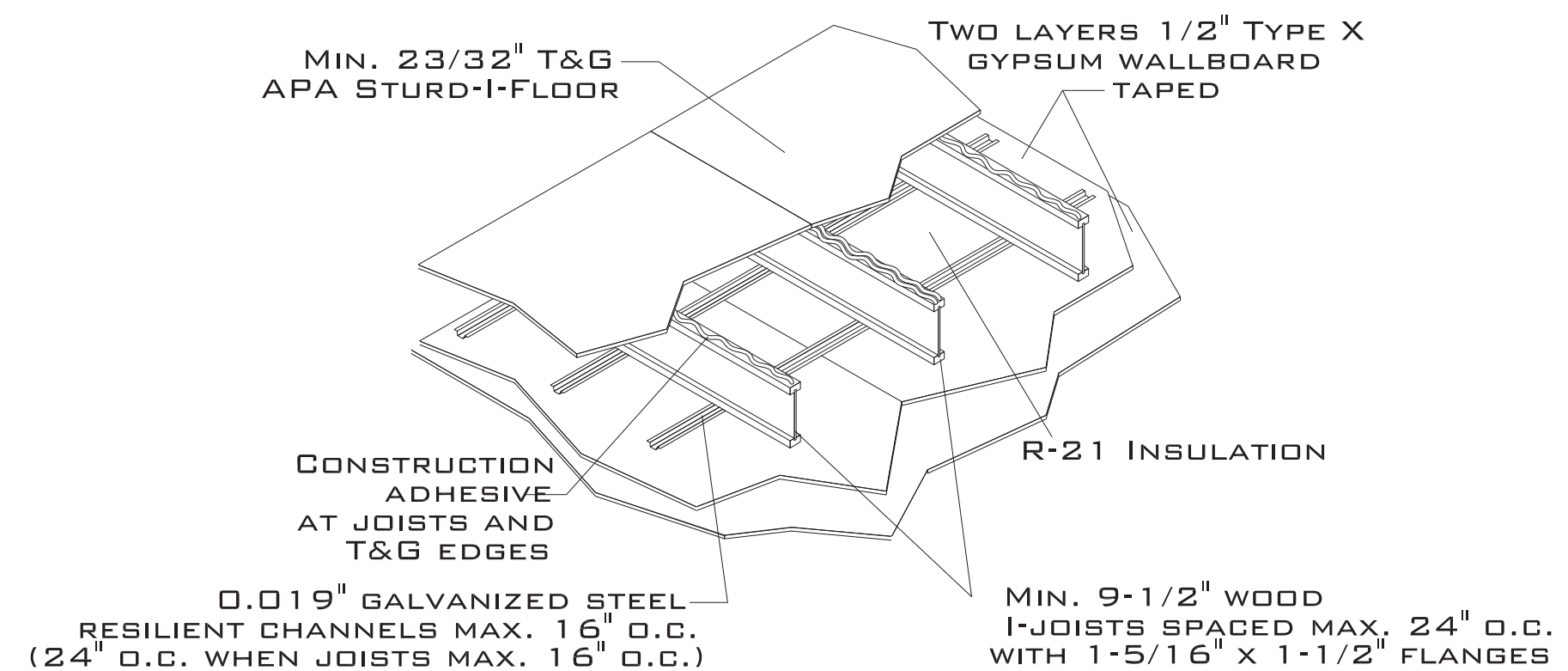
### ONE-HOUR COMBUSTIBLE FLOOR-CEILING ASSEMBLIES-I-JOISTS

#### 29A-ONE-HOUR FIRE-RESISTIVE/CEILING ASSEMBLY



FOR ADDITIONAL DETAILS, SEE AWC DCA 3, ASSEMBLY WIJ-1.4 (WWW.AWC.ORG)

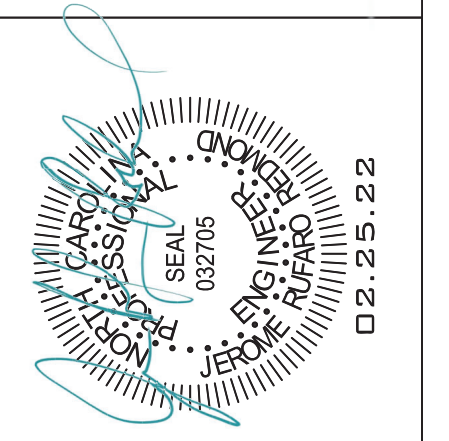
#### 29B-ONE-HOUR FIRE-RESISTIVE FLOOR/CEILING ASSEMBLY



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**FINOL NEW RESIDENCE  
HARNETT COUNTY, NC**

DRAWING TITLE  
GARAGE  
FRAMING DETAILS

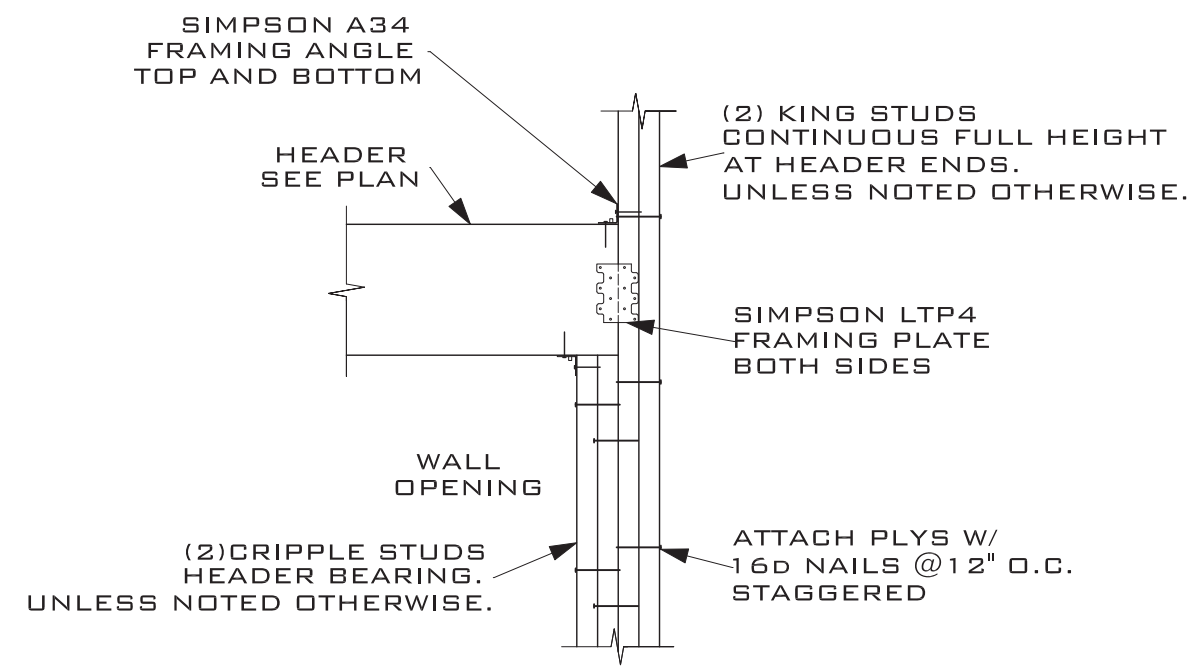
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DATE: 12.05.21

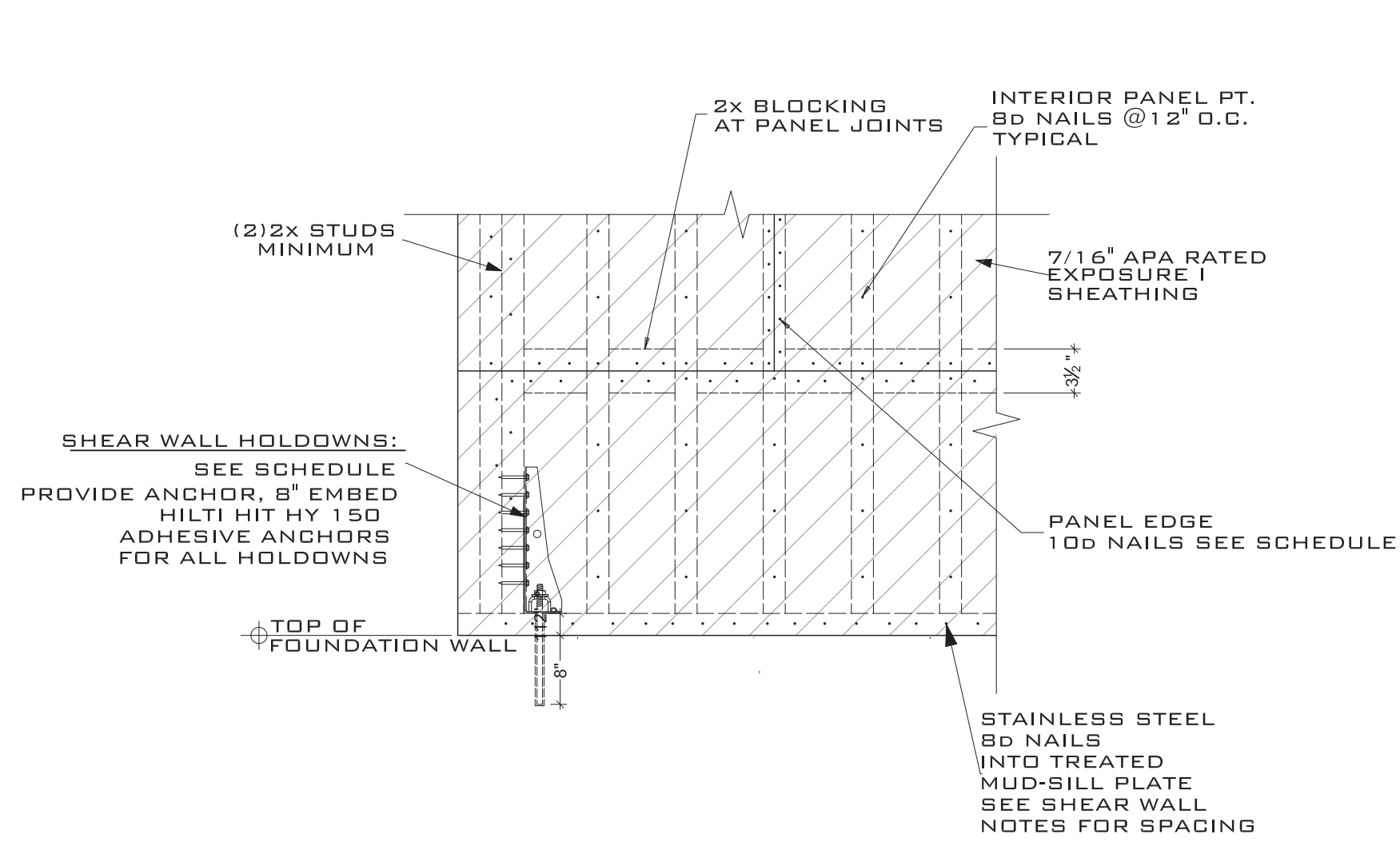
PROJECT SHEET  
IN021412 S6

MARK	DATE	REVISION

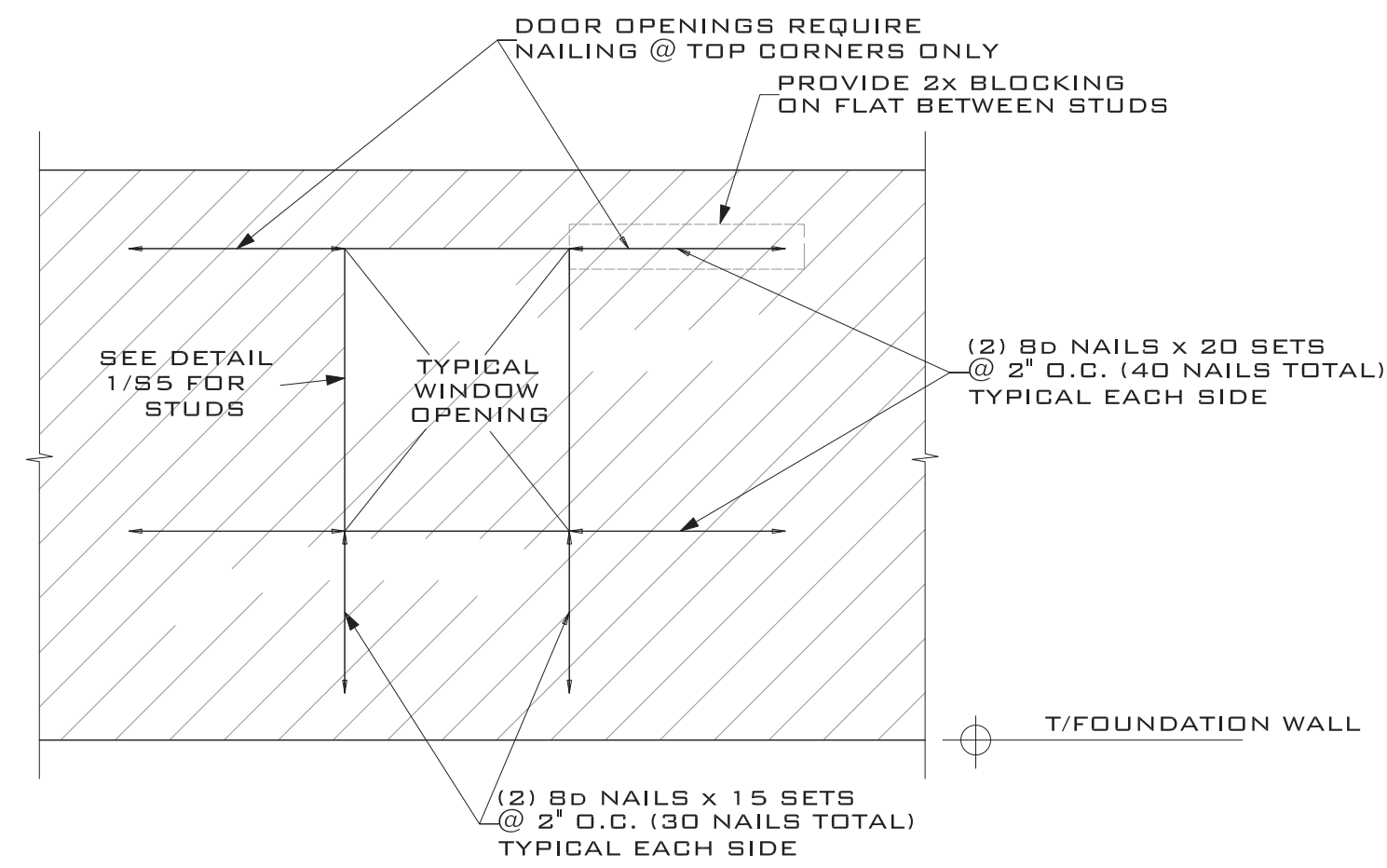




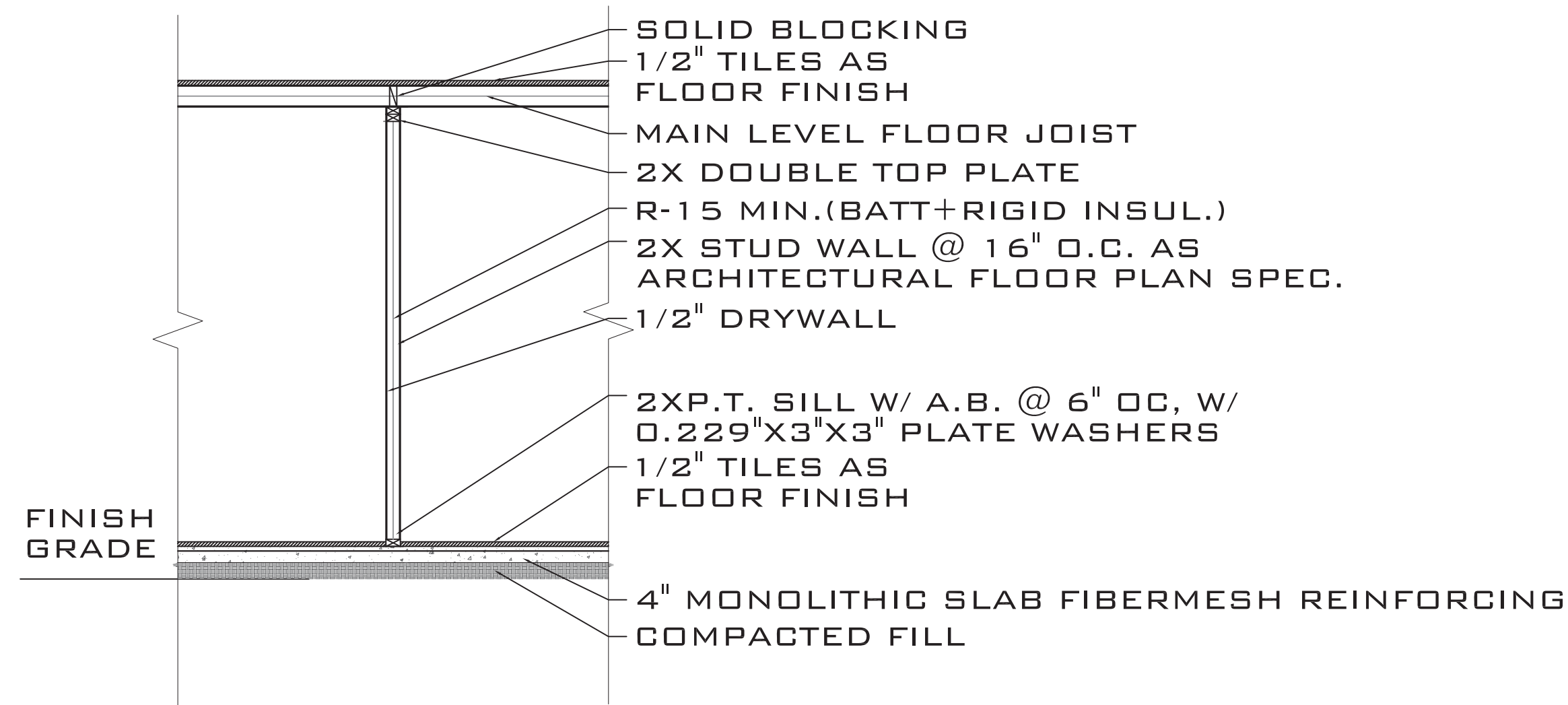
**3** TYPICAL HEADER FRAMING DETAIL  
S7 SCALE: NTS



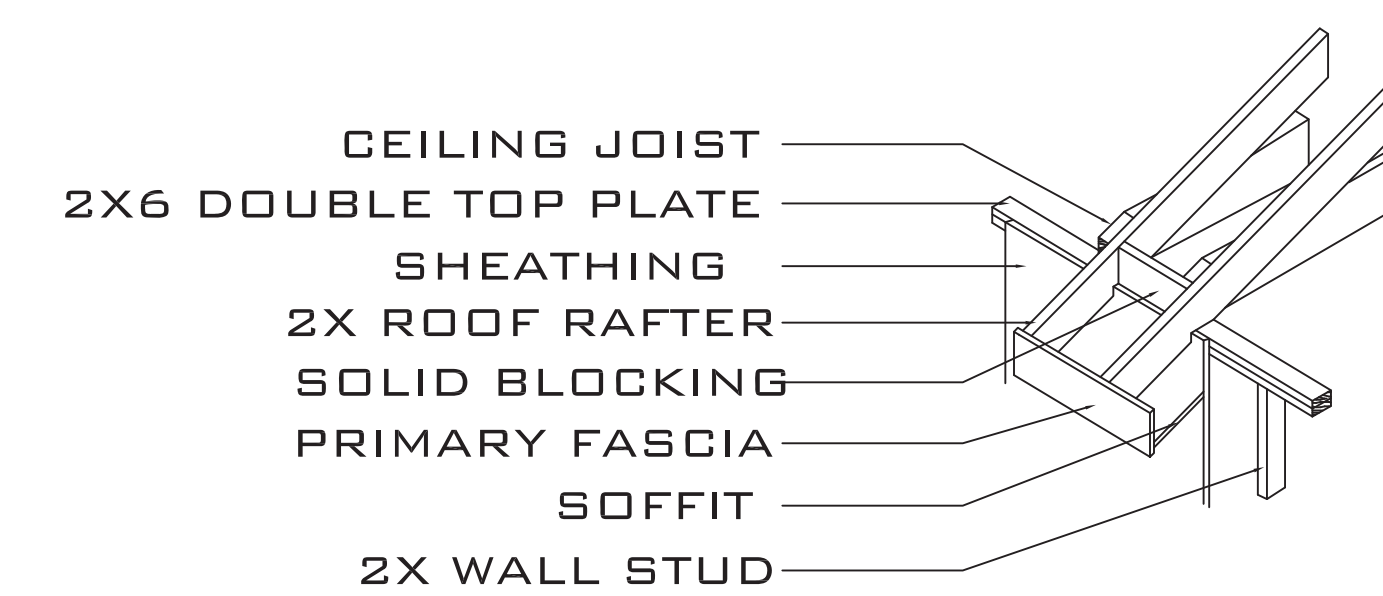
**6** TYP. WALL/ HOLDOWN DETAIL  
S7 SCALE: NOT TO SCALE



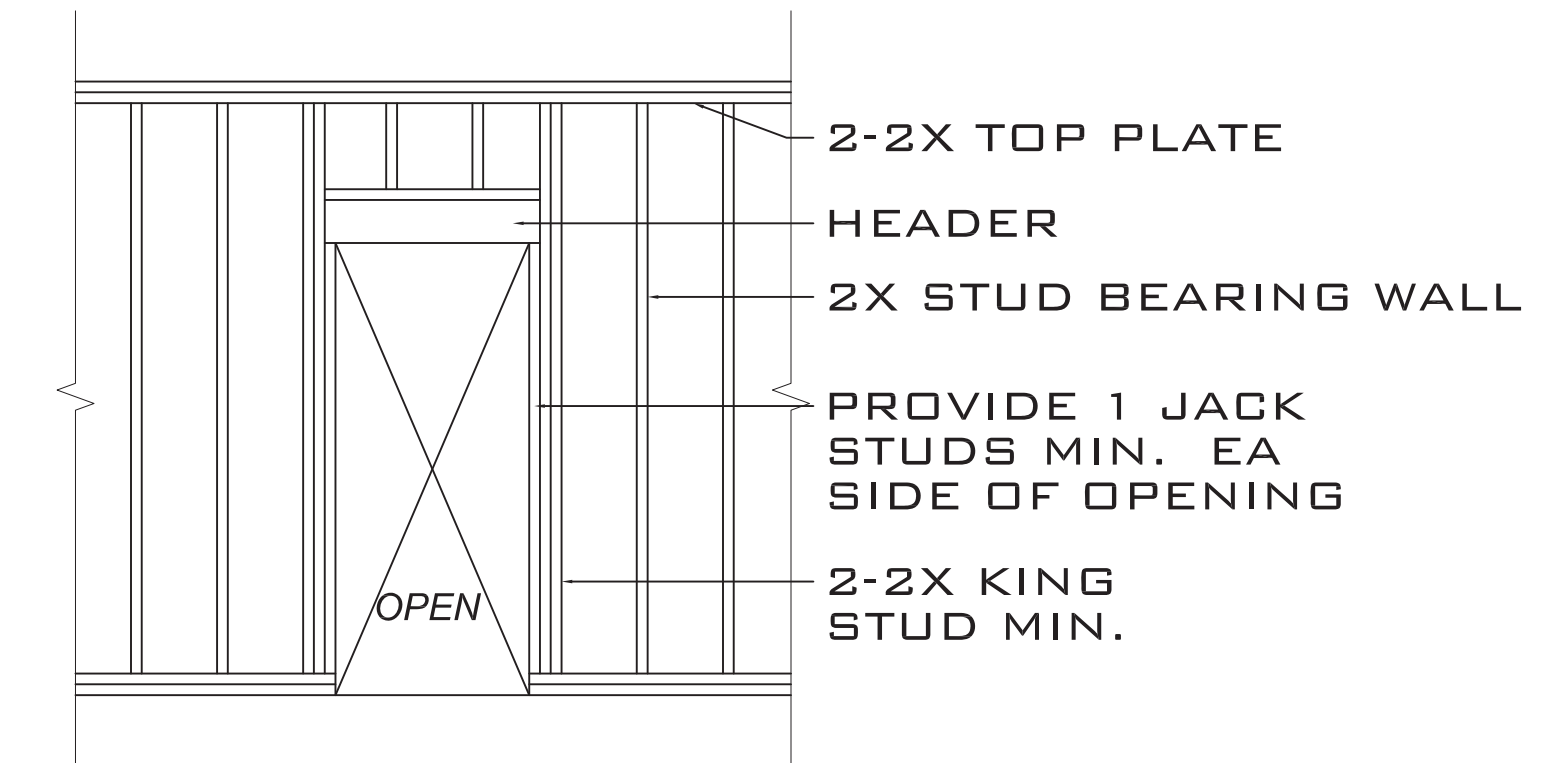
**7** TYP. WALL NAILING @ OPENINGS  
S7 SCALE = 1'-0"



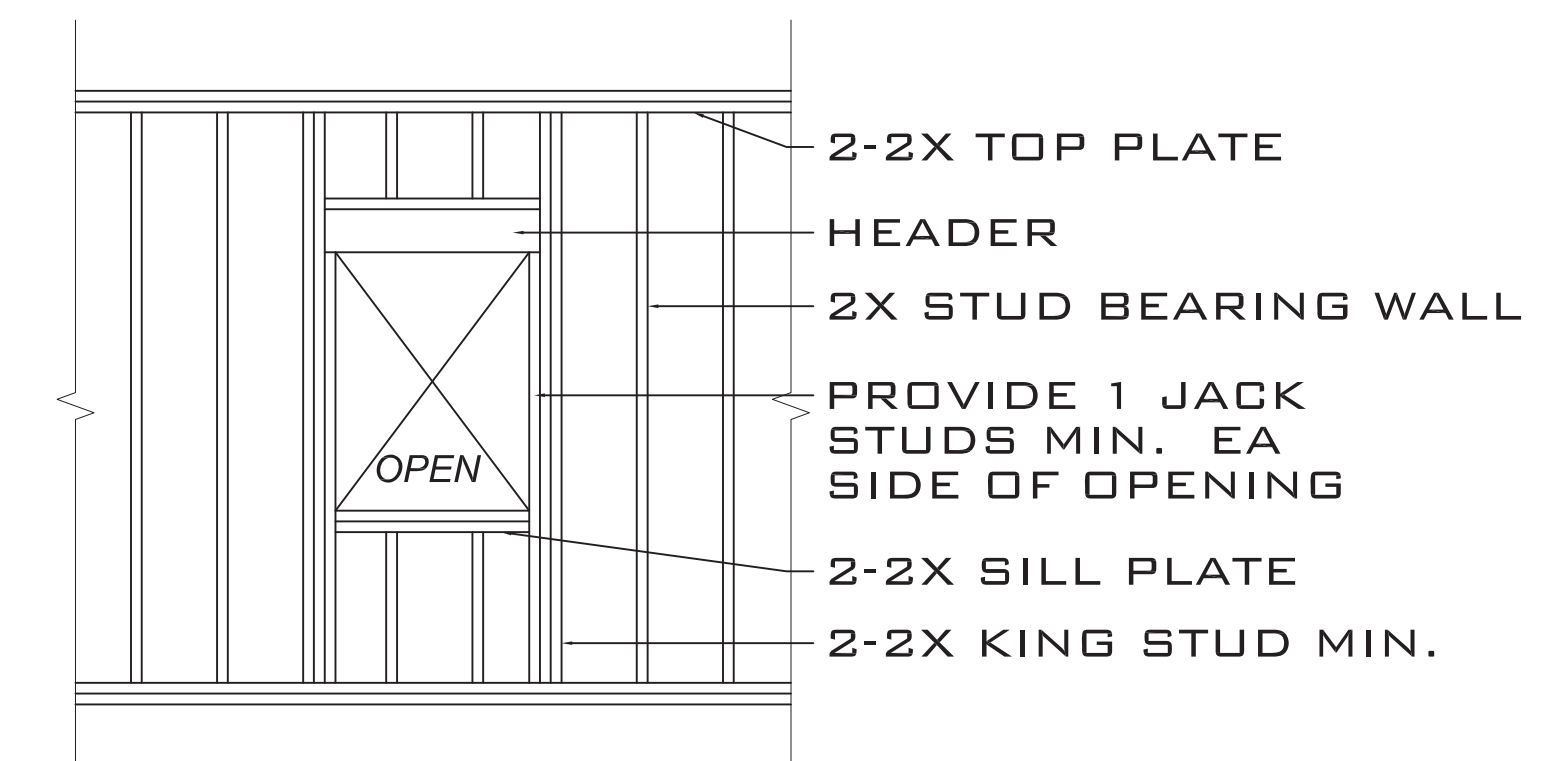
INTERIOR WALL TYPE  
SCALE : NTS



**D5** ROOF FRAMING AT EAVE  
S4



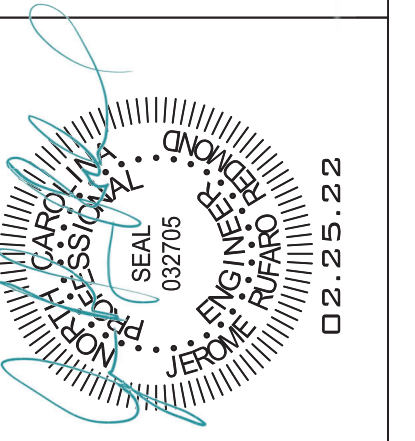
TYPICAL DOOR FRAMING  
SCALE:NTS



TYPICAL WINDOW FRAMING  
SCALE:NTS

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**FINOL NEW RESIDENCE  
HARNETT COUNTY, NC**

DRAWING TITLE  
FRAMING DETAILS

DRAWN BY: JRR  
CHECKED BY: JRR

SCALE: AS SHOWN  
DATE: 12.05.21

PROJECT SHEET  
IN021412 **S7**

MARK	DATE	REVISION