

SURVEY FOR

FAMILY BUILDING COMPANY

LOT 21, CAPTAIN'S LANDING SUBDIVISION, BLOCK 12
810 JASMINE ROAD
PIN# 0613-85-0389
D.B. 4132, PAGE 736
B.M. 21, PAGE 52

BUCKHORN TOWNSHIP
HARNETT COUNTY, NORTH CAROLINA
JANUARY 31, 2024
REVISED FEBRUARY 7, 2024



SCALE 1"=40'

LOT 38
N/F
DAVID F. MCRAE &
DAVID H. MCRAE
D.B. 3318, 152
PIN# 0613-75-9556

LOT 37
N/F
ALTON DEEMS BAIN
& KELLY SMITH BAIN
D.B. 3320, PAGE 120
PIN# 0613-75-9427

LOT 36
N/F
DONALD E. HARROP &
JENNIFER SMITH HARROP
D.B. 3318, PAGE 178
PIN# 0613-75-8490

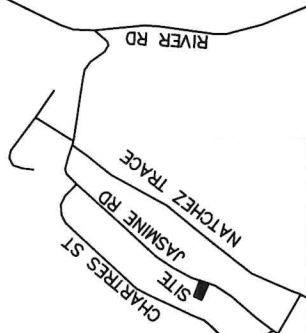
N/F
DAVILE B. LECROY
D.B. 4170, PAGE 2511
PIN# 0613-85-0350

N/F
CAROLYN L. CLEVELAND
D.B. 1961, PAGE 856
PIN# 0613-85-1427

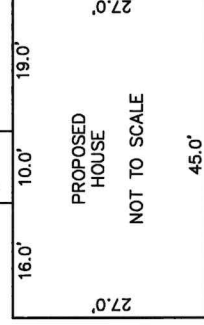
NOTE:
-REVISION DATE OF FEBRUARY 7,
2024 FOR ADDITION OF PROPOSED
HOUSE AND DRIVEWAY. NO
ADDITIONAL SURVEY WORK DONE.

- LEGEND:**
- EIP - EXISTING IRON PIPE
 - EIB - EXISTING IRON BAR
 - BEIP - BENT IRON PIPE
 - BEIB - BENT IRON BAR
 - CM - CONCRETE MONUMENT
 - EPK - EXISTING PK NAIL
 - SPK - SET PK NAIL
 - NIP - NEW IRON PIPE SET
 - R/W - RIGHT OF WAY
 - CATV - CABLE TV BOX
 - EB - ELECTRIC BOX
 - TEL - TELEPHONE PEDESTAL
 - PP - POWER POLE
 - OHL - OVERHEAD LINE
 - LP - LIGHT POLE
 - WM - WATER METER
 - WV - WATER VALVE
 - CO - SEWER CLEAN-OUT
 - CC - CONCRETE
 - CB - CATCH BASIN
 - MH - MANHOLE
 - FH - FIRE HYDRANT

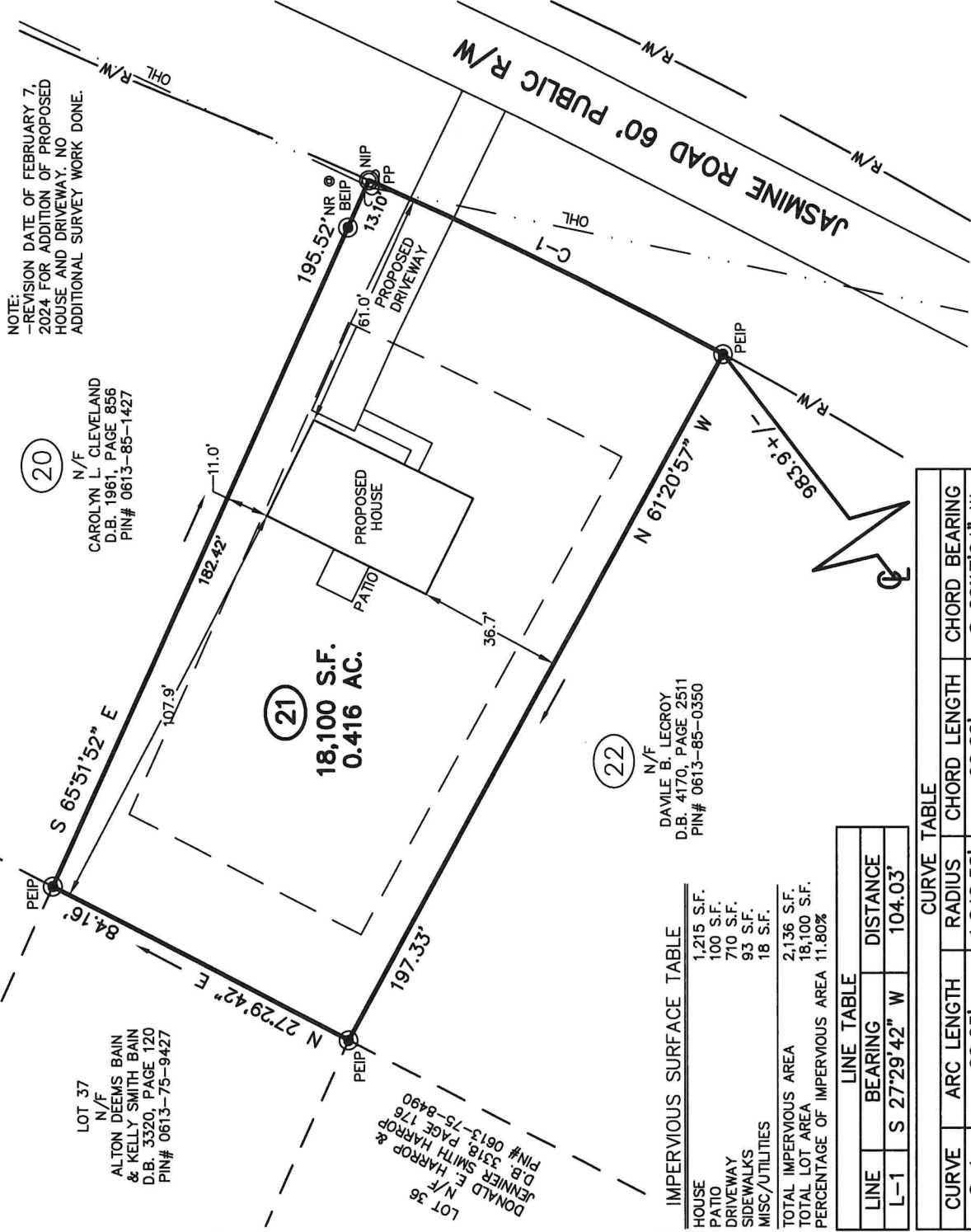
VICINITY MAP



ADOPTED FROM B.M. 21, PAGE 52



PROPOSED HOUSE
NOT TO SCALE

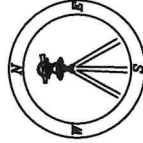


IMPERVIOUS SURFACE TABLE

| | |
|--------------------------------------|--------------------|
| HOUSE | 1,215 S.F. |
| PATIO | 100 S.F. |
| DRIVEWAY | 710 S.F. |
| SIDEWALKS | 93 S.F. |
| MISC/UTILITIES | 18 S.F. |
| TOTAL IMPERVIOUS AREA | 2,136 S.F. |
| TOTAL LOT AREA | 18,100 S.F. |
| PERCENTAGE OF IMPERVIOUS AREA | 11.80% |

| LINE TABLE | | |
|------------|---------------|----------|
| LINE | BEARING | DISTANCE |
| L-1 | S 27°29'42" W | 104.03' |

| CURVE TABLE | | | |
|-------------|------------|-----------|---------------|
| CURVE | ARC LENGTH | RADIUS | CHORD BEARING |
| C-1 | 99.65' | 1,242.58' | S 26°17'04" W |



Professional Land Surveyors
C-1525
333 S. White Street
Post Office Box 1253
Wake Forest, N.C. 27588
(919)556-3148



I DECLARE THAT THIS SURVEY COMPLIES WITH THE NORTH CAROLINA STANDARDS OF PRACTICE FOR SURVEYING, (SECTION 1600) FOR CLASS A SURVEYS AND THAT THE CALCULATED RATIO OF PRECISION BEFORE ADJUSTMENTS IS 1:10,000+. FURTHERMORE, PROPERTY CORNERS SHOWN ARE PRIMARY CONTROL MONUMENTATION FOR THE RE-ESTABLISHMENT OF PROPERTY CORNERS IN THE ABSENCE OF GRID MONUMENTS AND OTHER SUBDIVISION PROPERTY CORNERS. THIS SURVEY IS NOT TO BE RECORDED WITHOUT THE WRITTEN AUTHORIZATION OF THE SURVEYOR.

Jason L. Panchera
2/8/2024
PROFESSIONAL LAND SURVEYOR L-3835