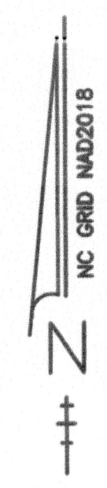
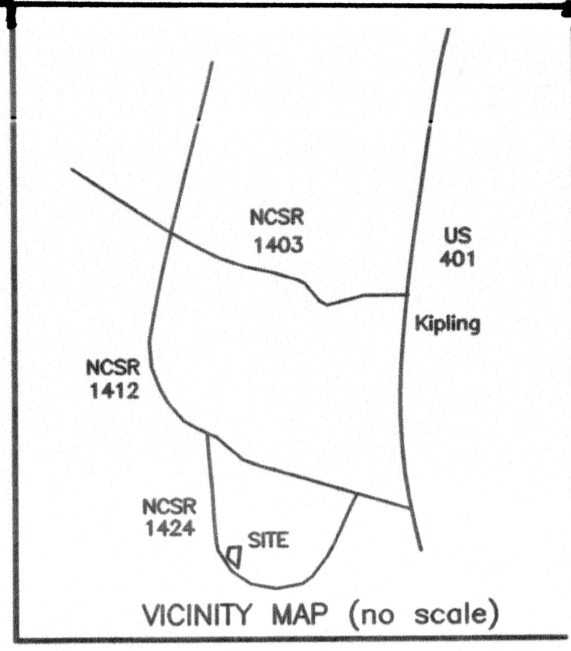


**LEGEND**  
 D.B. - DEED BOOK  
 B.M. - BOOK OF MAPS  
 SQ.FT. - SQUARE FEET  
 EIP - EXISTING IRON PIPE  
 EIS - EXISTING IRON STAKE  
 ISS - IRON STAKE SET  
 R/W - RIGHT OF WAY  
 WM - WATER METER  
 CO - CLEAN OUT  
 INTX. - INTERSECTION  
 TP - TELEPHONE PEDESTAL  
 CATV - CABLE TV PEDESTAL  
 ET - ELECTRIC TRANSFORMER  
 GM - GAS METER  
 HVAC - HEAT/AC UNIT

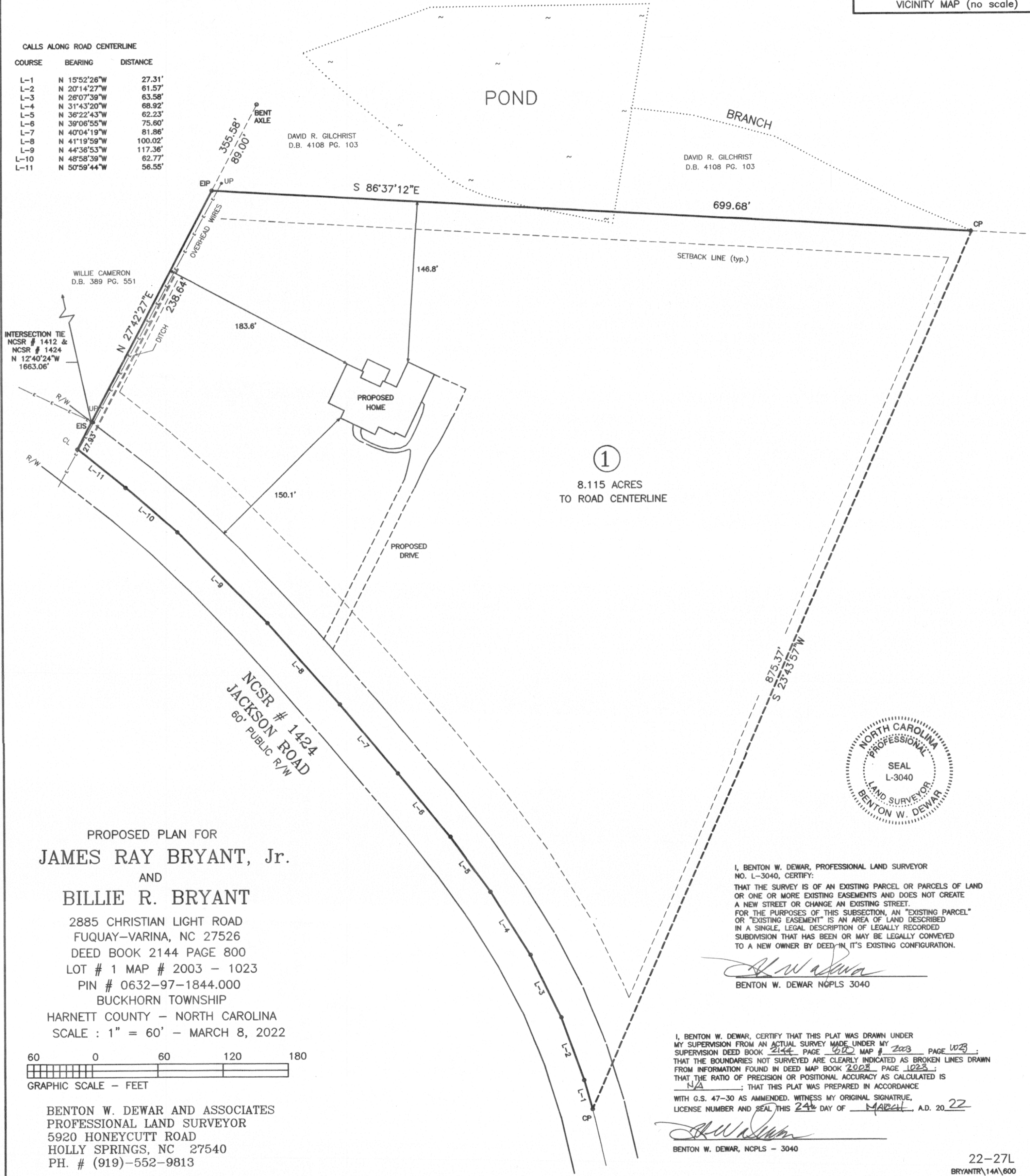
**NOTES**  
 AREA BY COORDINATES.  
 THIS PROPERTY IS NOT LOCATED IN A FEMA MAPPED  
 FLOOD HAZARD AREA. FEMA MAP # 3720062200J;  
 ZONE X; EFF. DATE 10/3/2006.  
 SUBJECT TO ABOVE AND OR UNDERGROUND  
 UTILITIES AND OR EASEMENTS.

HARNETT COUNTY JURISDICTION  
 PROPERTY IS ZONED RA 20 R  
 WATERSHED - WS - IV - P  
 MINIMUM BUILDING SETBACKS  
 FRONT - 35'  
 SIDE - 10'  
 REAR - 25'  
 CORNER SIDE - 20'



**CALLS ALONG ROAD CENTERLINE**

COURSE	BEARING	DISTANCE
L-1	N 15°52'26"W	27.31'
L-2	N 20°14'27"W	61.57'
L-3	N 26°07'39"W	63.58'
L-4	N 31°43'20"W	68.92'
L-5	N 36°22'43"W	62.23'
L-6	N 39°06'55"W	75.60'
L-7	N 40°04'19"W	81.86'
L-8	N 41°19'59"W	100.02'
L-9	N 44°36'53"W	117.36'
L-10	N 48°58'39"W	62.77'
L-11	N 50°59'44"W	56.55'



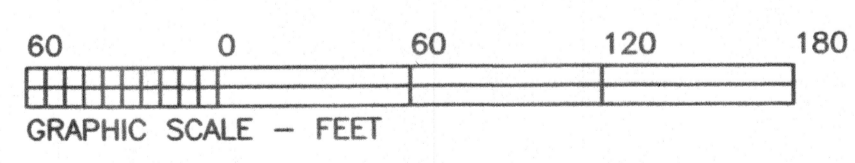
**PROPOSED PLAN FOR**  
**JAMES RAY BRYANT, Jr.**  
 AND  
**BILLIE R. BRYANT**  
 2885 CHRISTIAN LIGHT ROAD  
 FUQUAY-VARINA, NC 27526  
 DEED BOOK 2144 PAGE 800  
 LOT # 1 MAP # 2003 - 1023  
 PIN # 0632-97-1844.000  
 BUCKHORN TOWNSHIP  
 HARNETT COUNTY - NORTH CAROLINA  
 SCALE : 1" = 60' - MARCH 8, 2022

I, BENTON W. DEWAR, PROFESSIONAL LAND SURVEYOR  
 NO. L-3040, CERTIFY:  
 THAT THE SURVEY IS OF AN EXISTING PARCEL OR PARCELS OF LAND  
 OR ONE OR MORE EXISTING EASEMENTS AND DOES NOT CREATE  
 A NEW STREET OR CHANGE AN EXISTING STREET.  
 FOR THE PURPOSES OF THIS SUBSECTION, AN "EXISTING PARCEL"  
 OR "EXISTING EASEMENT" IS AN AREA OF LAND DESCRIBED  
 IN A SINGLE, LEGAL DESCRIPTION OF LEGALLY RECORDED  
 SUBDIVISION THAT HAS BEEN OR MAY BE LEGALLY CONVEYED  
 TO A NEW OWNER BY DEED IN ITS EXISTING CONFIGURATION.

*Benton W. Dewar*  
 BENTON W. DEWAR NCPLS 3040

I, BENTON W. DEWAR, CERTIFY THAT THIS PLAT WAS DRAWN UNDER  
 MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY  
 SUPERVISION DEED BOOK 2144 PAGE 800 MAP # 2003 PAGE 1023;  
 THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS BROKEN LINES DRAWN  
 FROM INFORMATION FOUND IN DEED MAP BOOK 2003 PAGE 1023;  
 THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY AS CALCULATED IS  
 NA; THAT THIS PLAT WAS PREPARED IN ACCORDANCE  
 WITH G.S. 47-30 AS AMENDED. WITNESS MY ORIGINAL SIGNATURE,  
 LICENSE NUMBER AND SEAL THIS 24th DAY OF MARCH, A.D. 2022

*Benton W. Dewar*  
 BENTON W. DEWAR, NCPLS - 3040



BENTON W. DEWAR AND ASSOCIATES  
 PROFESSIONAL LAND SURVEYOR  
 5920 HONEYCUTT ROAD  
 HOLLY SPRINGS, NC 27540  
 PH. # (919)-552-9813