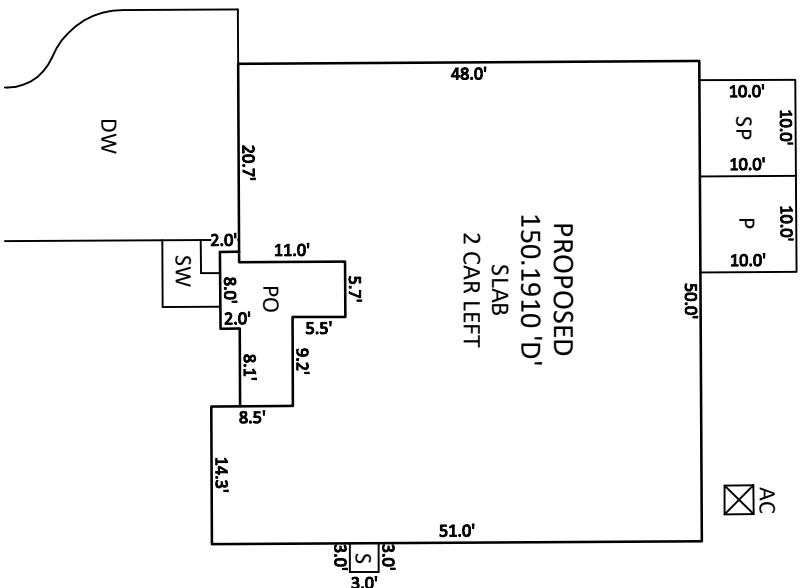


**LOT INFORMATION:**

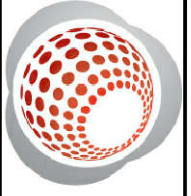
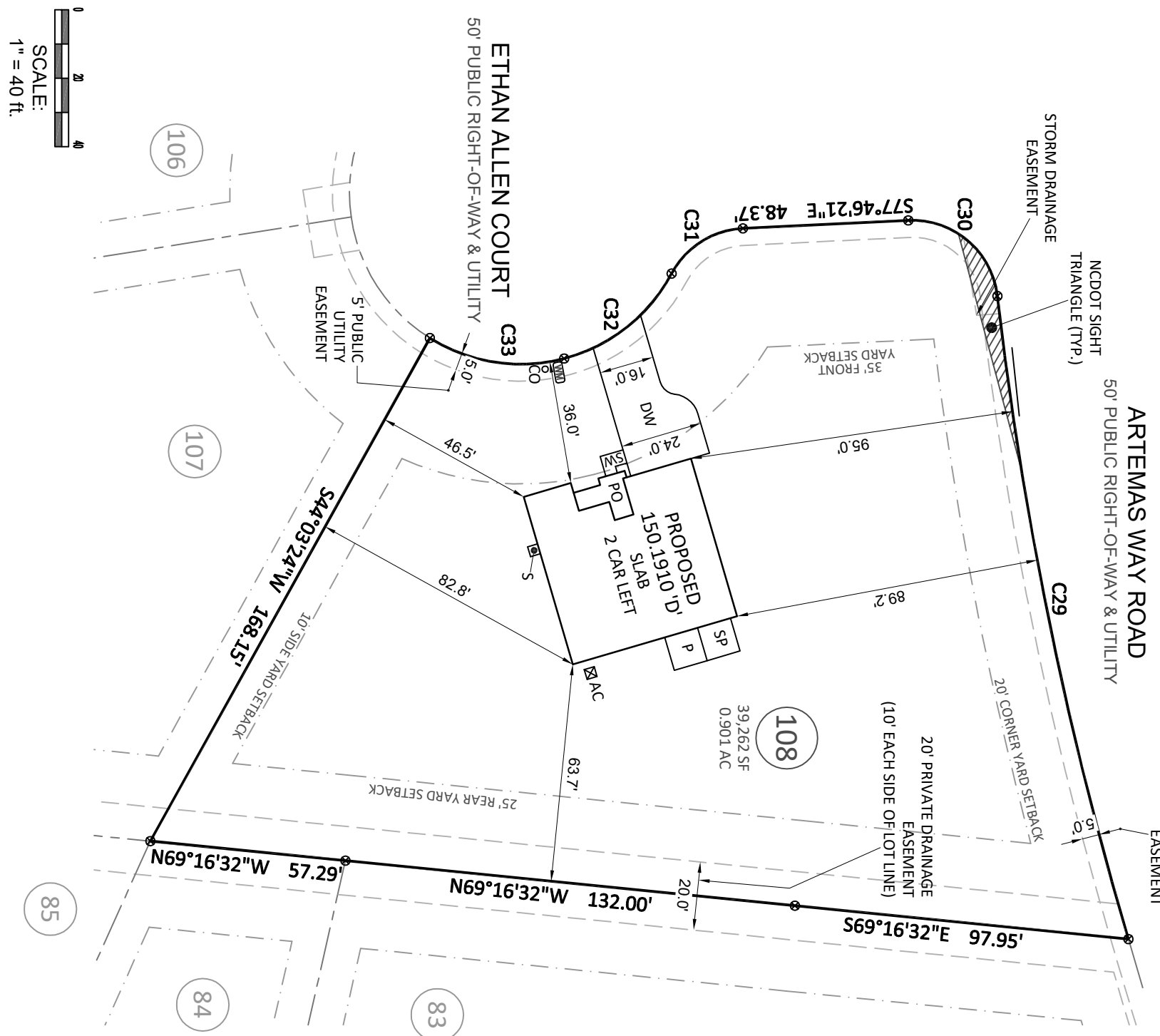
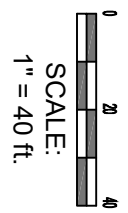
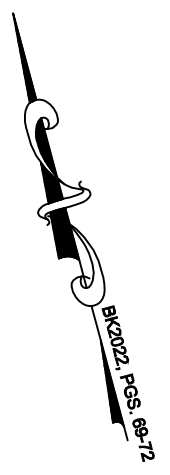
PIN: 0652-04-2279.000  
 TOTAL LOT AREA = 0.901 AC = 39,262 SF  
 HOUSE = 2,329 SF  
 PORCH = 130 SF  
 SIDEWALK = 34 SF  
 DRIVEWAY = 808 SF  
 PATIO = 100 SF  
 SCREENED PATIO = 100 SF  
 STOOP = 9 SF  
 AC PAD = 9 SF  
 PROPOSED IMPERVIOUS = 3,519 SF  
 PERCENT IMPERVIOUS = 9.0%  
 MAXIMUM ALLOWED IMPERVIOUS = 4,000 SF



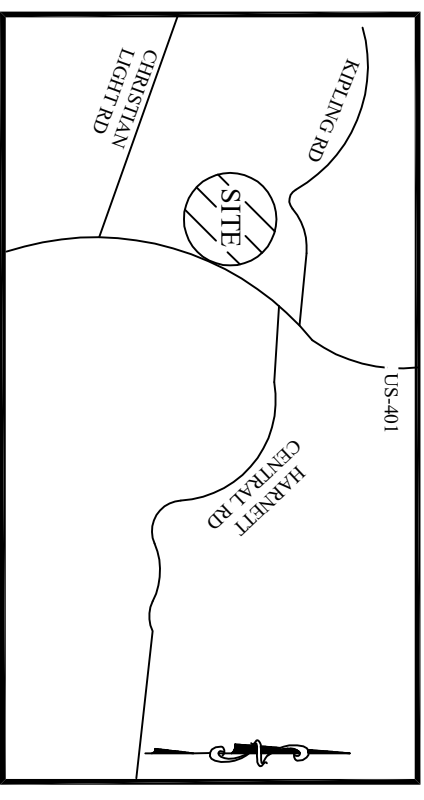
INSET SCALE: 1"=20'

- NOTES:**
1. THIS SURVEY WAS PREPARED BY BATEMAN CIVIL SURVEY CO., UNDER THE SUPERVISION OF STEVEN P. CARSON, PLS.
  2. THIS PLAN HAS BEEN PREPARED FOR LAYOUT AND PERMITTING PURPOSES ONLY. PROPERTY LINES SHOWN WERE TAKEN FROM EXISTING FIELD EVIDENCE, EXISTING DEEDS AND/OR PLATS OF PUBLIC RECORD, AND INFORMATION SUPPLIED TO THE SURVEYOR BY THE CLIENT.
  3. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES AND ALL BEARINGS ARE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM UNLESS OTHERWISE SHOWN.
  4. THIS MAP IS NOT FOR RECORDATION AND SHOULD BE REVIEWED BY A LOCAL GOVERNMENT AGENCY FOR COMPLIANCE WITH ANY APPLICABLE LAND DEVELOPMENT REGULATIONS.
  5. THE BASIS OF NORTH AND ALL EASEMENTS, RIGHTS-OF-WAYS, BUFFERS, SETBACKS AND ADJOINERS, ETC. REFERENCED IN TITLE BLOCK.
  6. NO INVESTIGATION INTO THE EXISTENCE OF JURISDICTIONAL WETLANDS OR RIPARIAN BUFFERS PERFORMED BY THIS FIRM.
  7. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
  8. THE PROPERTY LIES IN ZONE 'X' PER NATIONAL FLOOD INSURANCE PROGRAM F.I.R.M. MAP #37200642001, DATED OCTOBER 03 2006.
  9. ZONING IS: RA-40
  10. A 5' PUBLIC UTILITY EASEMENT LIES PARALLEL TO THE ROADWAY RIGHT-OF-WAY ALONG EACH SIDE, EXCEPT OPEN SPACE #4.
  11. PROPERTY OWNER: KB HOME RALEIGH- DURHAM INC. 4506 S. MIAMI BLVD. #100 DURHAM, NC. 27703

CURVE TABLE			
CURVE RADIUS	LENGTH	CHORD DIRECTION	CHORD
C29	1,109.37'	N03°28'56"E	191.77'
C30	25.00'	N34°39'58"W	34.17'
C31	25.00'	S72°39'23"W	24.68'
C32	50.00'	S66°40'42"W	40.02'
C33	50.00'	N66°20'17"W	39.70'



**Bateman Civil Survey Company**  
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 www.batemancivilsurvey.com info@batemancivilsurvey.com  
 NCBELS Firm No. C-2378



**VICINITY MAP**  
 (Not to Scale)

**LEGEND**

- PO = PORCH
- P = PATIO
- SP = SCREENED PORCH OR PATIO
- CP = COVERED PORCH OR PATIO
- WD = WOOD DECK
- SW = SIDEWALK
- DW = CONC DRIVEWAY
- ⊙ = COMPUTED POINT
- ⊗ = IRON PIPE FOUND
- ⊕ = IRON PIPE SET (IPS)
- ⊖ = WATER METER
- CO = CLEANOUT
- AC = AIR CONDITIONER
- ⊞ = ELECTRIC BOX
- ⊠ = CABLE BOX
- ⊚ = TELEPHONE PEDESTAL
- ⊙ = LIGHT POLE
- ⊙ = CURB INLET
- ⊙ = YARD INLET
- ⊙ = FIRE HYDRANT
- HP = HANDICAP PORTAJOHN WITH SCREENING
- ⊙ = SEWER MANHOLE
- ⊙ = FIRE HYDRANT
- S = STOOP

**BUILDING SETBACKS:**  
 FRONT = 35'ft  
 SIDE = 10'ft  
 REAR = 25'ft  
 CORNER SIDE = 20'ft

This map is of an existing parcel of land and is only intended for the parties and purposes shown. This map not for recordation. No title report provided.

**PRELIMINARY**

BUILDER TO VERIFY HOUSE LOCATION, DIMENSIONS AND REVIEW TOTAL IMPERVIOUS NOTED ON THIS PLOT PLAN

**PRELIMINARY PLOT PLAN**

FOR  
**KB HOMES**

**BIRCHWOOD GROVE - LOT 108**  
 ETHAN ALLEN COURT, FUQUAY-VARINA, NC  
 HECTOR'S CREEK TOWNSHIP, HARNETT COUNTY

DATE: 3/7/22 DRAWN BY: CPV CHECKED BY: SPC  
 REFERENCE: BK2022, PGS. 69-72 PROJECT# 220207 SCALE: 1"= 40'