CURVE

RADIUS

LENGTH

CHORD DIRECTION

CHORD

28.93

CURVE TABLE

29.35

C37 C38

C39

25.00' 25.00' 50.00

39.52' 15.22'

N56°49'32"E S60°20'10"E S59°43'02"E

35.60'

1" = 40 ft.SCALE:

14.98'

A 5' PUBLIC UTILITY EASEMENT LIES PARALLEL TO THE ROADWAY RIGHT OF WAY ALONG EACH SIDE, EXCEPT OPEN SPACE 4.
PROPERTY OWNER: KB HOME RALEIGH- DURHAM INC.
4506 S. MIAMI BLVD. #100

DURHAM, NC. 27703

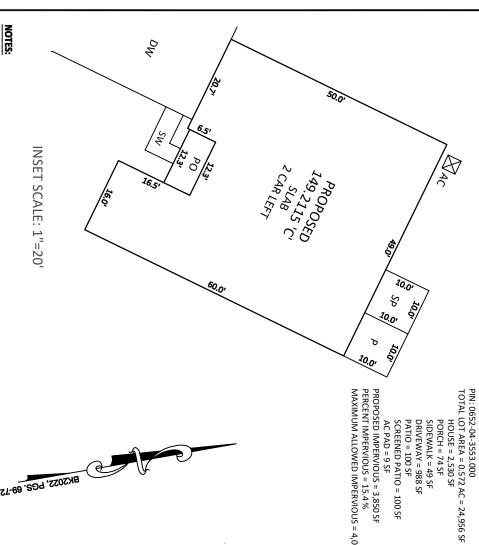
THE PROPERTY LIES IN ZONE 'X' PER NATIONAL FLOOD INSURANCE PROGRAM F.I.R.M. MAP #3720064200J, DATED OCTOBER 03 2006.

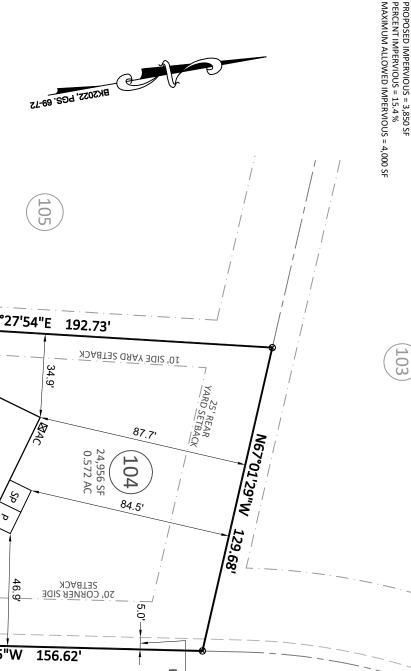
RIPARIAN BUFFERS PERFORMED BY THIS FIRM.
SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE

THIS MAP IS NOT FOR RECORDATION AND SHOULD BE REVIEWED BY A LOCAL GOVERNMENT AGENCY FOR COMPLIANCE WITH ANY APPLICABLE LAND DEVELOPMENT REGULATIONS.

THE BASIS OF NORTH AND ALL EASEMENTS, RIGHTS-OF-WAYS, BUFFERS, SETBACKS

AND ADJOINERS, ETC. REFERENCED IN TITLE BLOCK.
NO INVESTIGATION INTO THE EXISTENCE OF JURISDICTIONAL WETLANDS OR





N13°27'54"E 50' PUBLIC RIGHT-OF-WAY & UTILITY **C37** 15. 16.0' ETHAN ALLEN COURT 70 8 2 CAR LEFT 149,2115 6 PROPOSED SLAB N77°46'21"W 36.0' 35' FRONT YARD SETBACK 66.97 76.0' DRAWN PER PLAT STORM DRAINAGE 51.0 EASEMENT **C39** S11°25'25"W TRIANGLE NCDOT SIGHT EASEMENT 5' PUBLIC — UTILITY ARTEMAS WARD DRIVE

THIS SURVEY WAS PREPARED BY BATEMAN CIVIL SURVEY CO., UNDER THE SUPERVISION OF STEVEN P. CARSON, PLS.
THIS PLAN HAS BEEN PREPARED FOR LAYOUT AND PERMITTING PURPOSES ONLY.
PROPERTY LINES SHOWN WERE TAKEN FROM EXISTING FIELD EVIDENCE, EXISTING

DEEDS AND/OR PLATS OF PUBLIC RECORD, AND INFORMATION SUPPLIED TO THE SURVEYOR BY THE CLIENT.

ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES AND ALL BEARINGS ARE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM UNLESS OTHERWISE



KIPLING RO

US-401

SITÉ

Callinand Callinand

LOT INFORMATION:

Bateman Civil Survey Company Engineers • Surveyors • Planners

2524 Reliance Avenue, Apex, NC 27539 Ph; 919.577.1080 Fax: 919.577.1081 www.batemancivilsurvey.com info@batemancivilsurvey.com

NCBELS Firm No. C-2378

DEGEND

LEGEND

PO = PORCH
PO = PATIO
SP = SCREENED PORCH OR PATIO
PO = PATIO
SP = SCREENED PORCH OR PATIO
PO = ROND DECK
SW = SIDEWALK
DW = CONC DRIVEWAY
SO = COMPUTED POINT
PO = IRON PIPE FOUND
PIPE FOUND
PIPE SET (IPS)
CO = CLEANOUT
AC = AIR CONDITIONER
CO = CLEANOUT
AC = AIR CONDITIONER
CO = CLEANOUT
AC = AIR CONDITIONER
CI = CURB INLET
YI = YARD INLET
YI = YARD INLET
YI = YARD INLET
YI = FIRE HYDRANT
HP = HANDICAP PORTAJOHN WITH SCREENING
SO = SEWER MANHOLE
FIRE HYDRANT
TR = TRASH RECEPTACLES

This ma BUILDING SETBACKS:
FRONT = 35 ft
SIDE = 10 ft
REAR = 25 ft
CORNER SIDE = 20 ft CHRISTIAN LIGHT RD BUILDER TO VERIFY HOUSE LOCATION, VICINITY MAP O REFERENCED IN TITLE BLOCK; THAT THE BOUNDARIES
NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN
FROM INFORMATION LISTED UNDER REFERENCES;
THAT THE RATIO OF PRECISION AS CALCULATED IS
1:0,000+; AND THAT THIS MAP MEETS. HE
REQUIREMENTS OF THE STANDARD PRACTICE FOR
LAND SURVEYING IN NORTH CAROUNA. L-4752
DATED: (Not to Scale) SURVEY MADE UNDER MY SUPERVISION (PLAT BOOK DRAWN UNDER MY DIRECT SUPERVISION FROM A , STEVEN P. CARSON, CERTIFY THAT THIS PLAT WAS and is only intended for the parties and This map is of an existing parcel of land recordation. No title report provided. purposes shown. This map not for

50' PUBLIC RIGHT-OF-WAY & UTILITY

IMPERVIOUS NOTED ON THIS PLOT PLAN PRELIMINARY PLOT PLAN

DIMENSIONS AND REVIEW TOTAL

KB HOMES

FOR

HECTORS CREEK TOWNSHIP, HARNETT COUNTY ETHAN ALLEN COURT, FUQUAY-VARINA, NC **BIRCHWOOD GROVE - LOT 104**

DATE: 3/1/22 DRAWN BY: BMN CHECKED BY: SPC

REFERENCE: BK2022, PGS. 69-72

PROJECT# 220207 SCALE: 1"= 40'