

# Harnett County Department of Public Health

## Improvement Permit

A building permit cannot be issued with only an Improvement Permit

ISSUED TO: KB Home Raleigh      PROPERTY LOCATION: 170 John Stark Dr  
 SUBDIVISION Birchwood Grove      LOT # 5

NEW       REPAIR       EXPANSION       Site Improvements required prior to Construction Authorization Issuance: \_\_\_\_\_

Type of Structure: SFD (37'x48')

Proposed Wastewater System Type: 25% Reduction System

Projected Daily Flow: 360 GPD

Number of bedrooms: 3      Number of Occupants: 6 max

Basement  Yes       No

Pump Required:  Yes       No       May be required based on final location and elevations of facilities

Type of Water Supply:  Community       Public       Well      Distance from well \_\_\_\_\_ feet

Permit valid for:  Five years       No expiration

Permit conditions: \_\_\_\_\_

Authorized State Agent: RENS      Date: 4/7/22      SEE ATTACHED SITE SKETCH

The issuance of this permit by the Health Department in no way guarantees the issuance of other permits. The permit holder is responsible for checking with appropriate governing bodies in meeting their requirements. This site is subject to revocation if the site plan, plat, or the intended use changes. The Improvement Permit shall not be affected by a change in ownership of the site. This permit is subject to compliance with the provisions of the Laws and Rules for Sewage Treatment and Disposal and to conditions of this permit.

## Construction Authorization

(Required for Building Permit)

The construction and installation requirements of Rules .1950, .1952, .1954, .1955, .1956, .1957, .1958, and .1959 are incorporated by references into this permit and shall be met. Systems shall be installed in accordance with the attached system layout.

ISSUED TO: KB Home Raleigh      PROPERTY LOCATION: 170 John Stark Dr  
 SUBDIVISION Birchwood Grove      LOT # 5

Facility Type: SFD (37'x48')       New       Expansion       Repair

Basement?  Yes       No      Basement Fixtures?  Yes       No

Type of Wastewater System\*\* 25% Reduction System      (Initial) Wastewater Flow: ~~480~~ 600 GPD

(See note below, if applicable )

Panel Block (Repair)

Installation Requirements/Conditions      Number of trenches 1

Septic Tank Size 1000 1250 gallons      Exact length of each trench 260 feet      Trench Spacing: 9 Feet on Center

Pump Tank Size \_\_\_\_\_ gallons      Trenches shall be installed on contour at a      Soil Cover: 6 inches

Maximum Trench Depth of: 18 inches      (Maximum soil cover shall not exceed 36" above the trench bottom)

(Trench bottoms shall be level to +/-1/4" in all directions)

Pump Requirements: \_\_\_\_\_ ft. TDH vs. \_\_\_\_\_ GPM      \_\_\_\_\_ inches below pipe

Aggregate Depth: \_\_\_\_\_ inches above pipe

Conditions: FLOW REDUCTION BASED ON SESSION LAW      \_\_\_\_\_ inches total

2014-120 & 2013-413

**WATER LINES (INCLUDING IRRIGATION) MUST BE 10FT. FROM ANY PART OF SEPTIC SYSTEM OR REPAIR AREA.**  
**NO UTILITIES ALLOWED IN INITIAL OR REPAIR DRAIN FIELD AREA.**

*\*\*If applicable: I understand the system type specified is different from the type specified on the application. I accept the specifications of this permit.*

Owner/Legal Representative Signature: \_\_\_\_\_ Date: \_\_\_\_\_

This Construction Authorization is subject to revocation if the site plan, plat, or the intended use changes. The Construction Authorization shall not be transferred when there is a change in ownership of the site. This Construction Authorization is subject to compliance with the provisions of the Laws and Rules for Sewage Treatment and Disposal and to the conditions of this permit.      SEE ATTACHED SITE SKETCH

Authorized State Agent: RENS      Date: 4/7/22      REVISED 4/7/20

Construction Authorization Expiration Date: 4/7/27

Application # SFD2203-0108

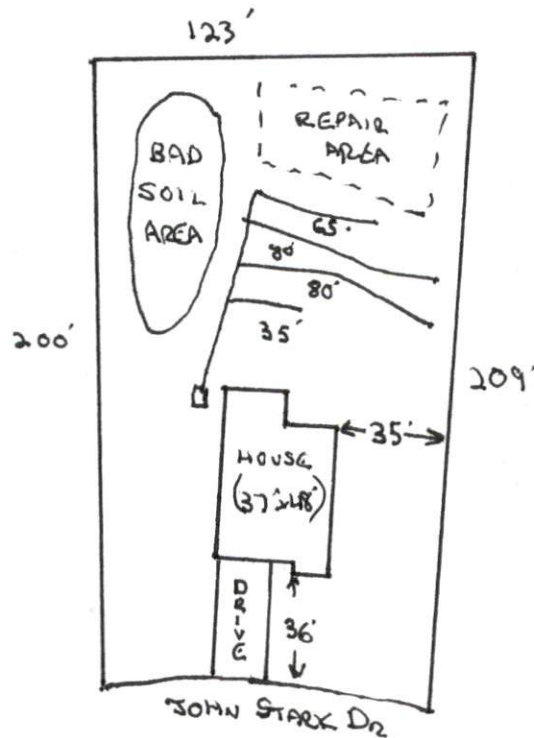
## Harnett County Department of Public Health Site Sketch

Property Location: 170 John Stark Dr

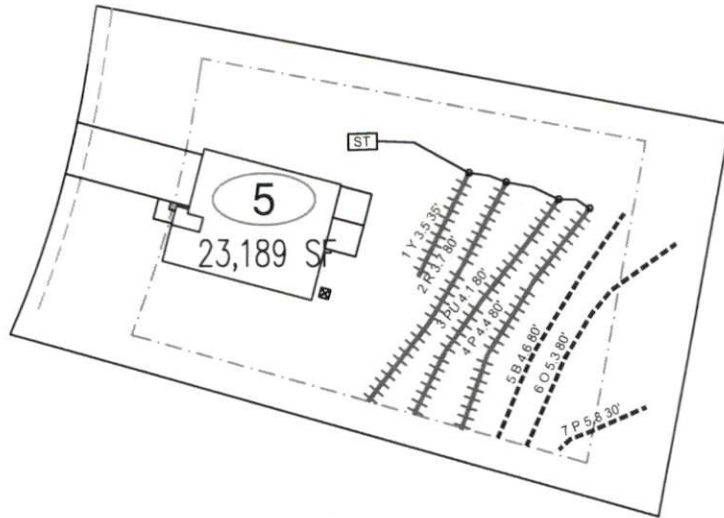
Issued To: KB Home Raleigh Subdivision Birchwood Grove Lot # 5

Authorized State Agent: ~~REVIS (OLIVER TOLKSDOTT)~~ Date: 4/7/22

\*CALL WITH ANY  
QUESTIONS PRIOR  
TO INSTALLATION



This drawing is for illustrative purposes only. System installation must meet all pertinent laws, rules, and regulations.



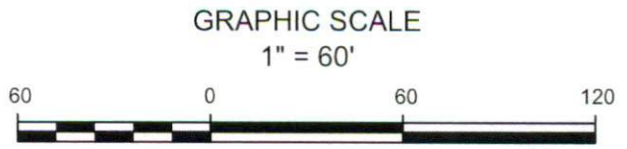
System: =====  
 Repair: -----

- \*Keep tanks and drain lines 10' from property lines.
- \*Not a survey.
- \*Not a guarantee of a septic permit.
- \*Keep supply lines >5' from property lines.
- \*Some lines are flagged longer in the field than lengths indicate.
- \*No grading septic area.

System: Gravity Serial Dist.  
 Lines: 1-4, (275')  
 Accepted Status System  
 0.35 Soil LTAR

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Repair: Pressure Manifold  
 Lines: 5-7, (190')  
 T&J Panel 50% Reduction  
 0.35 Soil LTAR



Central Carolina Soil Consulting, PLLC  
 1900 South Main Street, Suite 110  
 Wake Forest, North Carolina 27587  
 Phone (919)569-6704 Fax (919)569-6703

3-Bedroom Septic Layout  
 Lot 5, Birchwood Subdivision  
 Harnett County, North Carolina

Job# : 3753
Drawn By : LW
Date : 10/11/2021
Revision: 3/03/2022