

LINE LEGEND:

- Subject Boundary Surveyed
- - - Subject Boundary Not Surveyed
- Adjacent Property Lines
- Abandoned Property Lines
- - - Right of Way Lines
- - - Center of Right-of-Way
- - - Easement Lines
- - - Survey Tie Lines
- - - Minimum Building Setback
- - - Overhead Electric Lines
- - - Water Line
- - - Chainlink Fence
- - - Wood Fence



SYMBOLS & ABBREVIATIONS:

- EIP/EIS... Existing Iron Pipe or Stake
- ERB... Existing ReBar Stake
- ERS... Existing Rail Road Spike
- EPK... Existing Parker-Kaylan Nail
- EMN... Existing Magnetic Nail
- ECS... Existing Cotton Picker Spindle
- ECM... Existing Concrete Monument
- AG/BG... Above/Below Ground Surface
- △ CP... Calculated Point (not set)
- CNTRL... Control Point - Grid Coordinates
- ISS... Iron Stake Set (#4 rebar)
- MNS... Magnetic Nail Set
- CSS... Cotton Spindle Set
- FH... Fire Hydrant
- PP... Power Pole
- DHE... Overhead Electric Lines
- △ Land Hook (Property combined)
- C/L... Centerline of Road or Easement
- R/W... Right-of-Way
- D.B... Deed Book
- P.B/P.C... Plat Book / Plat Cabinet
- M.B... Map Book
- NC_PIN... Parcel Identifier Number
- Ac... Acres (Area of property)
- SF... Square Feet
- [123]... House Address

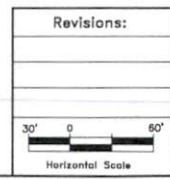
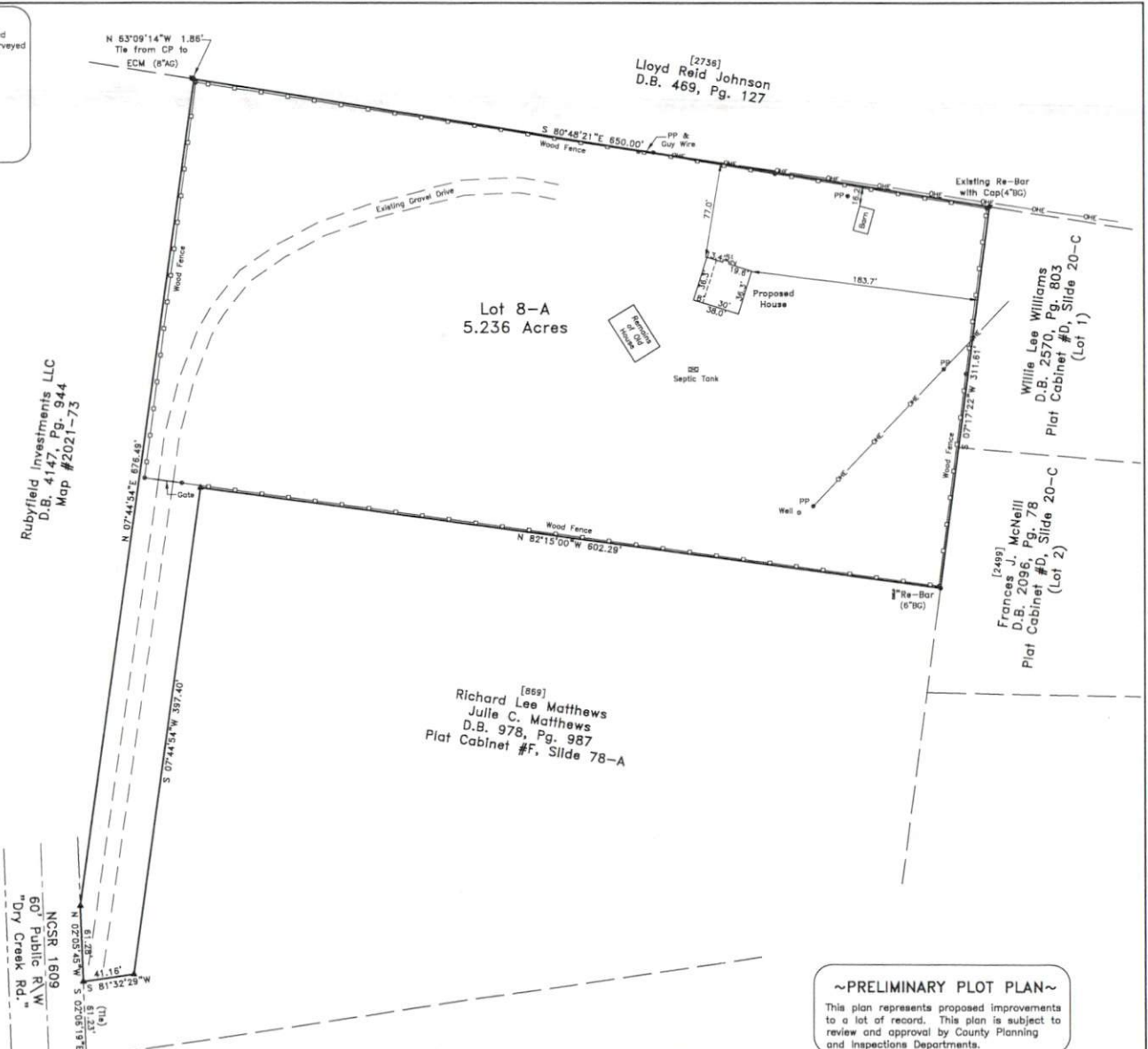
SURVEY NOTES:

- Iron Stakes (1/2" Re-bar) set of all new property corners unless labeled otherwise.
- Magnetic Nails set at all points in paved road surfaces, unless otherwise indicated.
- Areas determined by coordinate method.
- All distances & dimensions are horizontal ground distances unless otherwise indicated.
- No NC Geodetic Survey monuments or other such control monuments were found within 2,000 feet of the subject property unless otherwise shown hereon.
- This survey is based upon the references shown as taken from County GIS records. No title search was provided for this survey. A complete title search by a licensed attorney may reveal other assessments, restrictions, and title issues not made available to the surveyor.
- No underground utilities were marked by providers prior to this survey. Call NC 811 prior to any excavation to locate any underground utilities.
- Wetlands, soil conditions, or other environmental features were not delineated for this survey.

Harnett County Minimum Building Setback Requirements
 RA-20R, RA-20M, RA-30 & RA-40
 FRONT: 35' from R/W
 REAR: 25'
 SIDE: 10'
 CORNER LOT SIDE: 20'
 MAXIMUM HEIGHT: 35'

FEMA FLOOD HAZARD STATEMENT
 The subject property shown on this plat is located within the FEMA "Zone X" (Minimal Flood Risk Area as shown on FIRM Number: 3720088000.)
 Effective date: 10/3/2006

References:
 -Deed Book 4107, Pg. 293
 -Plat Cabinet #F, Slide 645-B



"PLOT PLAN"
 Survey For:
Brittany Raye Temple
 Mailing Address: 714 Darroch Rd., Bunnlevel, NC 28323-8672
 Care of: Raynor Builders, Inc.
 Physical Address: 871 Dry Creek Rd., Lillington, NC 27546

NEILL'S CREEK TOWNSHIP- HARNETT COUNTY - NORTH CAROLINA
 ZONE: RA-30 - PIN: 0661-56-5595.000 - PID: 110660 0094 19

STREAMLINE LAND SURVEYING, Inc.
 NC FIRM C-1898
 870 NC 55 W, Coats, N.C. 27521
 Phone: 910-897-7715

SURVEY DATE: JULY 8, 2022

SCALE: 1" = 60' SURVEYED BY: REG DRAWN BY: MGG

FILE: DATA\0661\220707TE.dwg (PlotPlan)

~PRELIMINARY PLOT PLAN~
 This plan represents proposed improvements to a lot of record. This plan is subject to review and approval by County Planning and Inspections Departments.