

GENERAL NOTES:

- All Written dimensions shall take the precedence over scaling of Drawings.
- Kickout flashing to be installed as needed
 - Exterior Wall finisher to verify kickout flashing is installed prior to finishing
- Carpenter to flash all exterior windows and doors per min. and IRC code requirements
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WINDOWS:

- Marvin Essential Series
 - Type and Size Per Plan
- Windows Designated with "T" are tempered glass
- Windows designated with "E" meet egress codes
- Builder to verify all rough opening dimensions and header heights.

EXTERIOR FINISHES:

- Siding (As Noted)
 - Hardie Plank Lap Siding
 - 5" Exposure
 - Hardie Panel Vertical Siding
 - Batten Boards at 16" O.C
 - Hardie Panel Vertical Siding
 - Smooth with Trim Boards
 - Thinset Brick Veneer or Cultured Stone
 - 1/2 2 1/4" Rock Face Stone Cap
 - Hardie Trim Boards
 - Thickness and Width as Noted

- Truss supplier to verify all spans, pitches, heel heights and other conditions critical to proper truss fabrication.
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STRUCTURAL NOTICE:

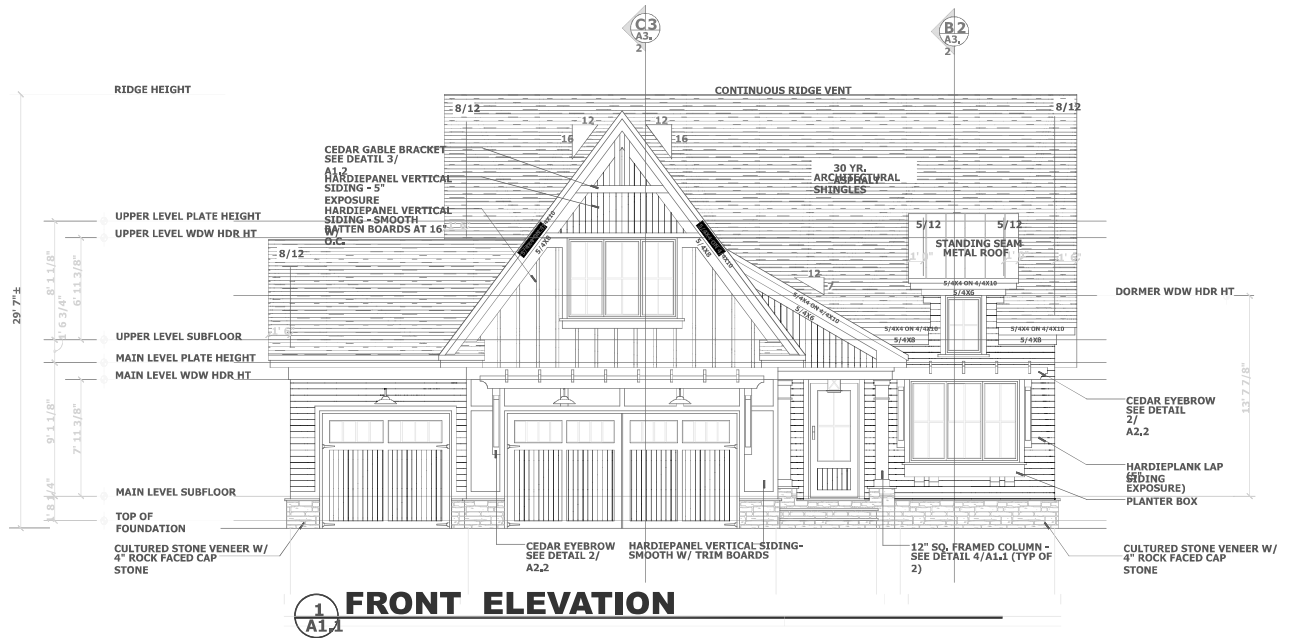
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FOUNDATION ENGINEERING:

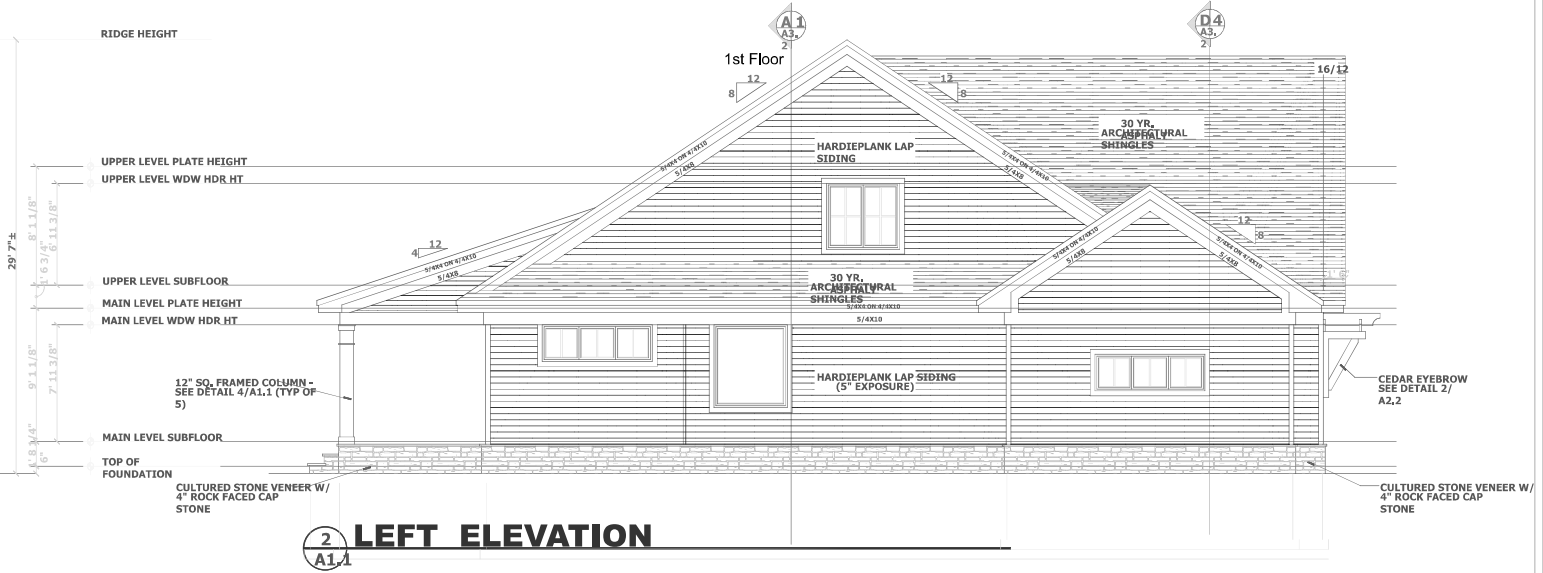
All building foundation footing, sizes and reinforcing, including post footings, to be designed on site by local engineer or foundation contractor based on existing site conditions.

FOOTING FROST DEPTH:

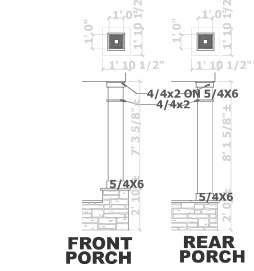
Owner/Contractor to adjust depth of all house, garage, slab and deck post footings to meet local codes.



FRONT ELEVATION



LEFT ELEVATION



COLUMN DETAIL



NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
EXTERIOR ELEVATIONS AND COLUMN DETAILS

PROJECT DESCRIPTION:
CEDAR CREEK

DRAWINGS PROVIDED BY:
**TBP HOMES OF RALEIGH
107 Fayetteville, #300
Raleigh, NC 27601**

DATE:

SCALE:

SHEET:

A-1.1

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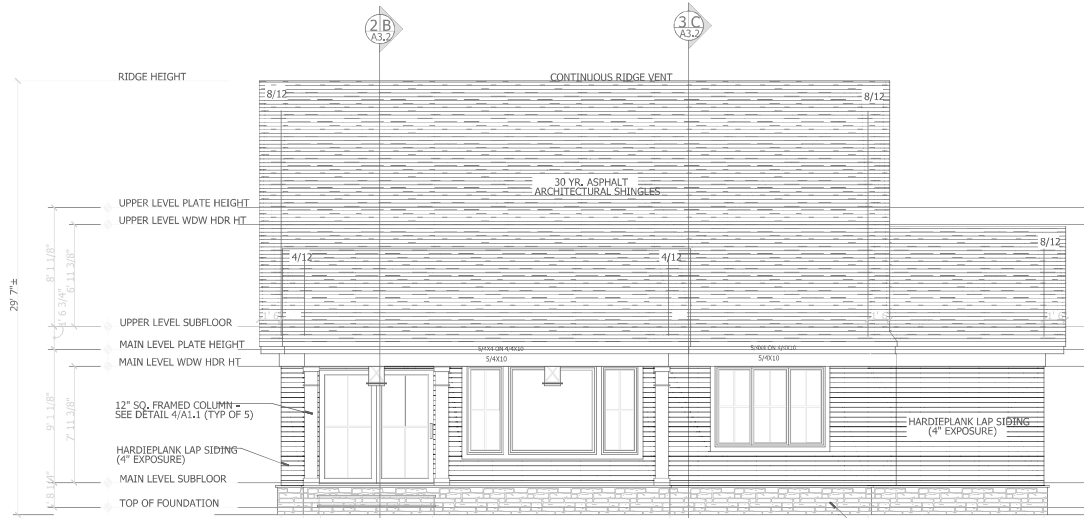
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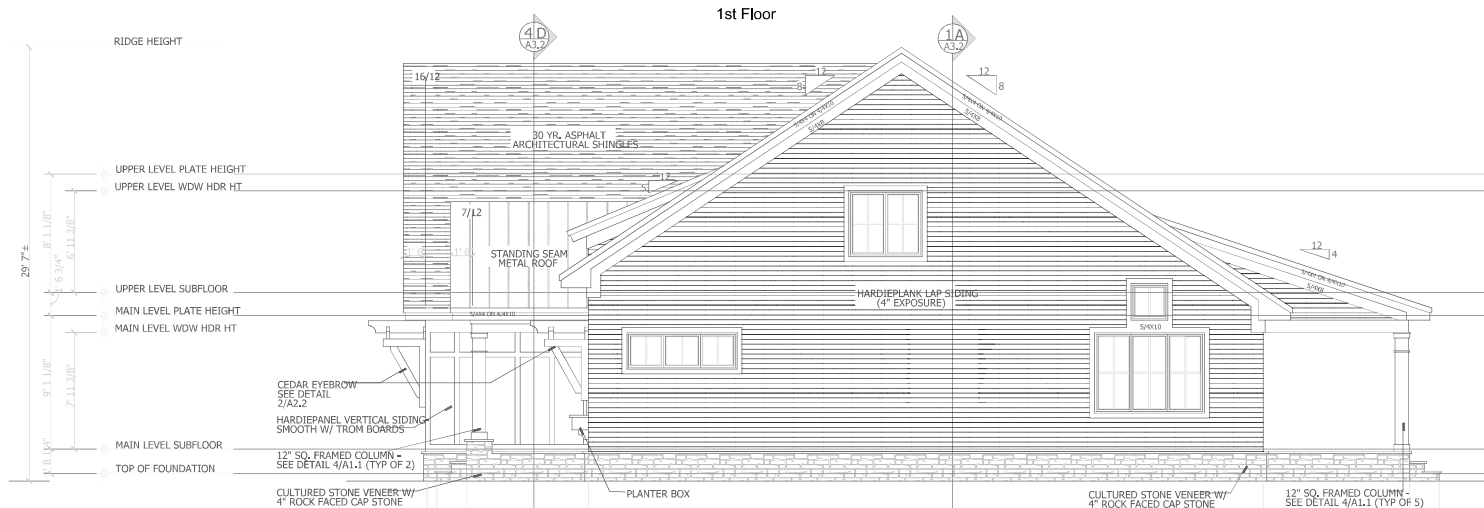
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FOOTING FROST DEPTH:

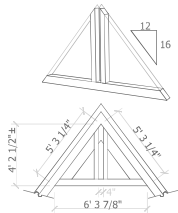
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1 REAR ELEVATION



2 RIGHT ELEVATION



3 GABLE BRACKET DETAIL

SCALE : NONE



NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
**EXTERIOR ELEVATIONS
GABLE BRACKET DETAIL**

PROJECT DESCRIPTION:
CEDAR CREEK

DRAWINGS PROVIDED BY:
**TBP HOMES OF RALEIGH
107 Fayetteville, #300
Raleigh, NC 27601**

DATE:

SCALE:

SHEET:

A-1.2

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FOOTING FROST DEPTH:

Owner/Contractor to adjust depth of all house, garage, slab and deck post footings to meet local codes.

FOUNDATION LEGEND

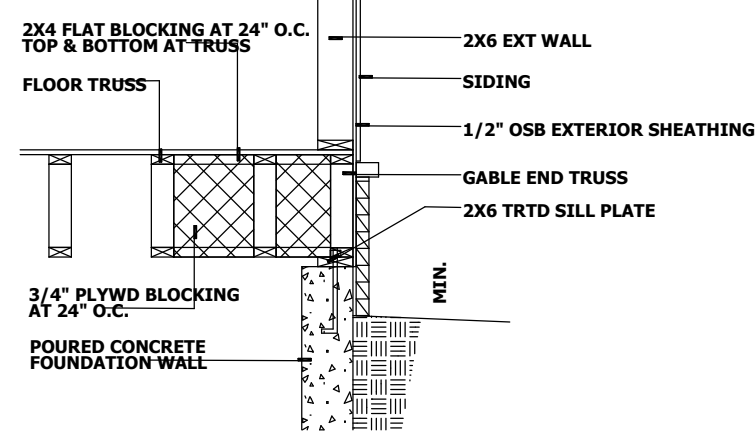
- A: 8" W x 5'0" H Poured on 20" x 8" Concrete Footing
 - B: 8" W x 8" H Poured on 12" W x 4'4" H Poured on 20" x 8" Conc Footing - 4" W x 8" H Ext. Ledge
 - C: 6" W x 8" H Poured on 8" W x 4'4" H Poured on 20" x 8" Conc Footing - 2" W x 8" H EXT Ledge
 - D: 6" W x 8" H Poured on 8" W x 4'4" H Poured on 20" x 8" Conc footing - 2" w x 8" H Int. Ledge
 - E: 6" W x 8" H Poured on 12" W x 4'4" H Poured on 20" x 8" Concrete footing 4" W x 8" H Ext. Ledge 2" W x 8" H Int. Ledge
 - F: 8" W x 4'4" H Poured on 20" x 8" Concrete footing
 - G: 3" O.C. Adjustable steel column on spread footing. Size and reinforcing by others.
 - H: 2x4 bearing w/ 16" W x 4" H Poured conc curb on 16" x 8" Concrete footing.
- Adjust wall height as required to accommodate local Frost line

FLOOR SYSTEM

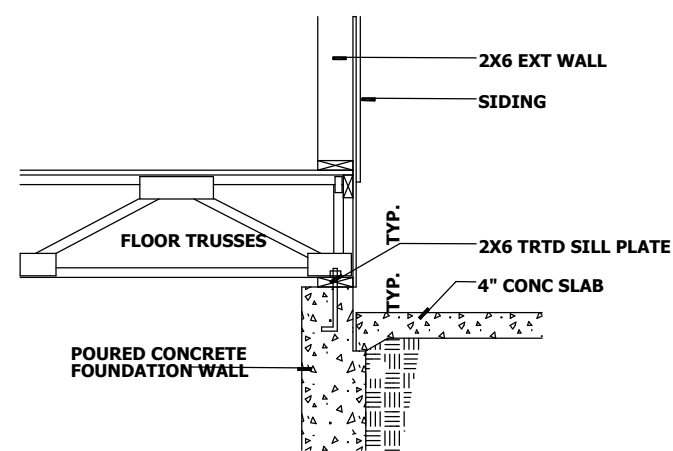
- Engineered wood floor trusses
 - Designed to min. L/480 Deflection or less
- Truss Manufacturer to provide chases for all supply and return ductwork
- Truss manufacturer to verify framing at cantilevers for point loads from above
- Truss manufacturer to verify locations of any concentrated loads, such as granite countertops, and provide proper framing as needed

FRAMING:

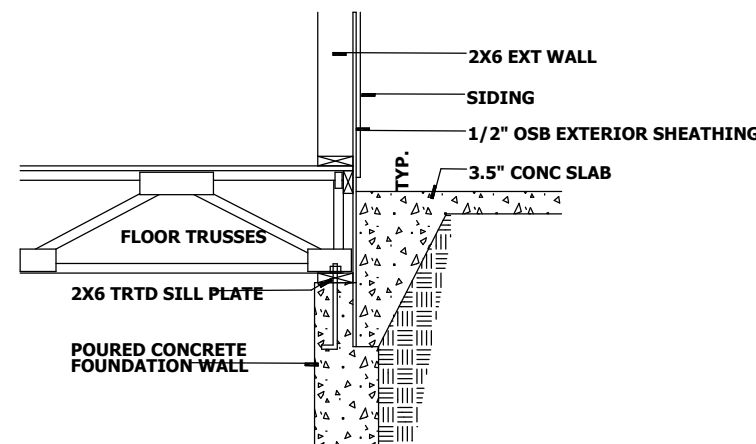
- 5' 1 1/2" rough ceiling height
- Provide solid blocking at all point loads
 - Provide continuous solid blocking to foundation below - verify loads w/ local structural engineer



FLOOR TRUSSES - PARALLEL FULL BASEMENT



FLOOR TRUSSES - PERPENDICULAR HOUSE / GARAGE

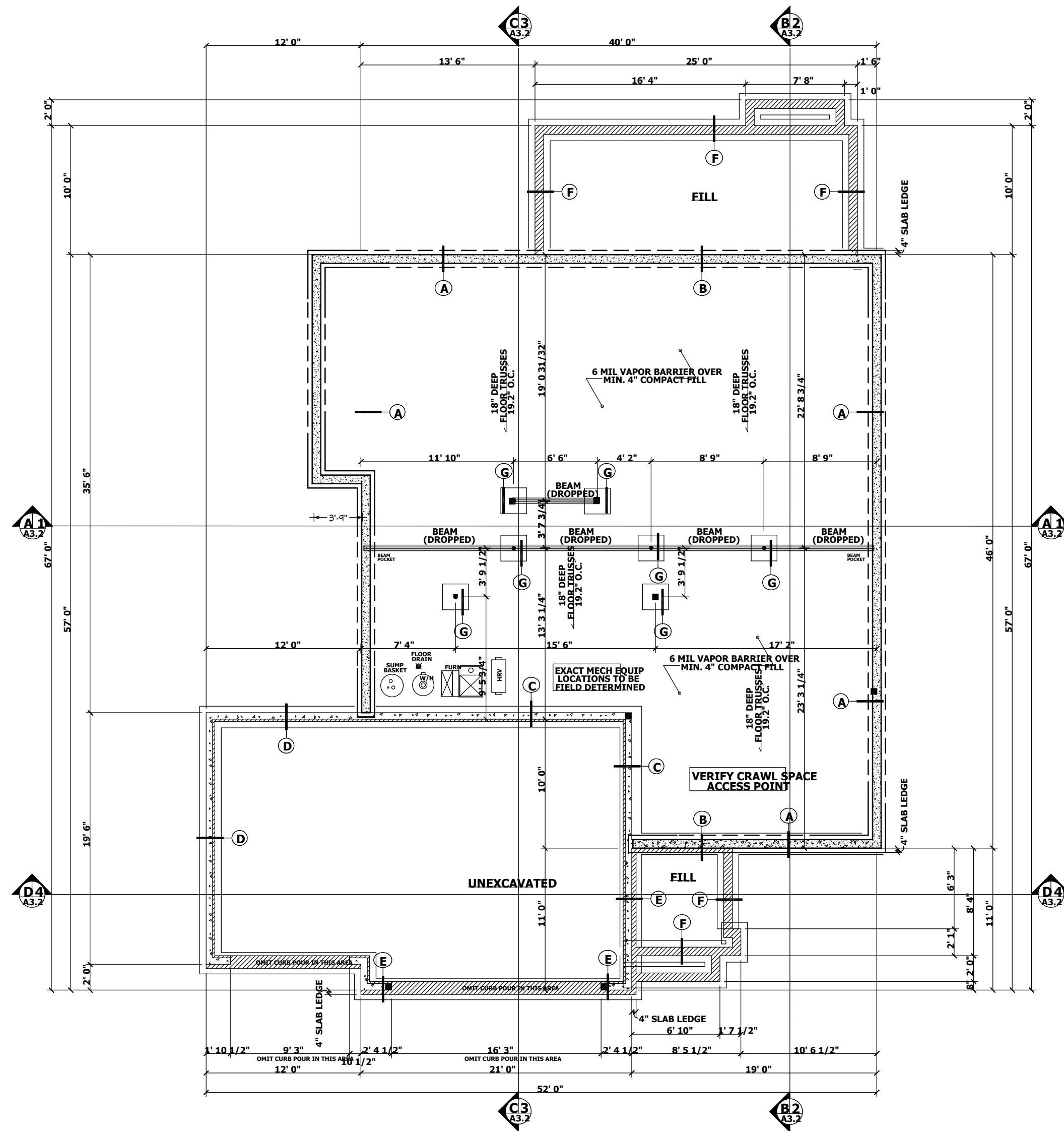


FLOOR TRUSSES - PERPENDICULAR AT STOOP

2 A2.1 FLOOR FRAMING DETAILS

SCALE : 3/4" = 1' 0"

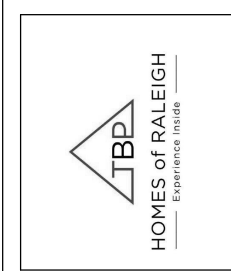
1st Floor



1 A2.1 FOUNDATION PLAN

1st Floor

1st Floor



NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
**FOUNDATION PLAN
FLOOR FRAMING DETAIL**

PROJECT DESCRIPTION:
CEDAR CREEK

DRAWINGS PROVIDED BY:
**TBP HOMES OF RALEIGH
107 Fayetteville, #300
Raleigh, NC 27601**

DATE:

SCALE:

SHEET:
A2.1

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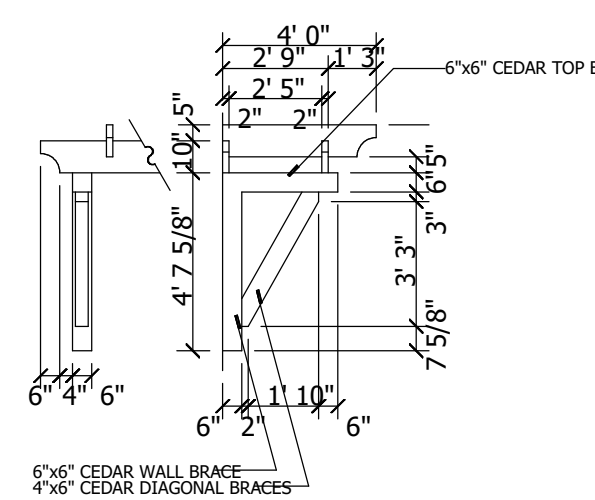
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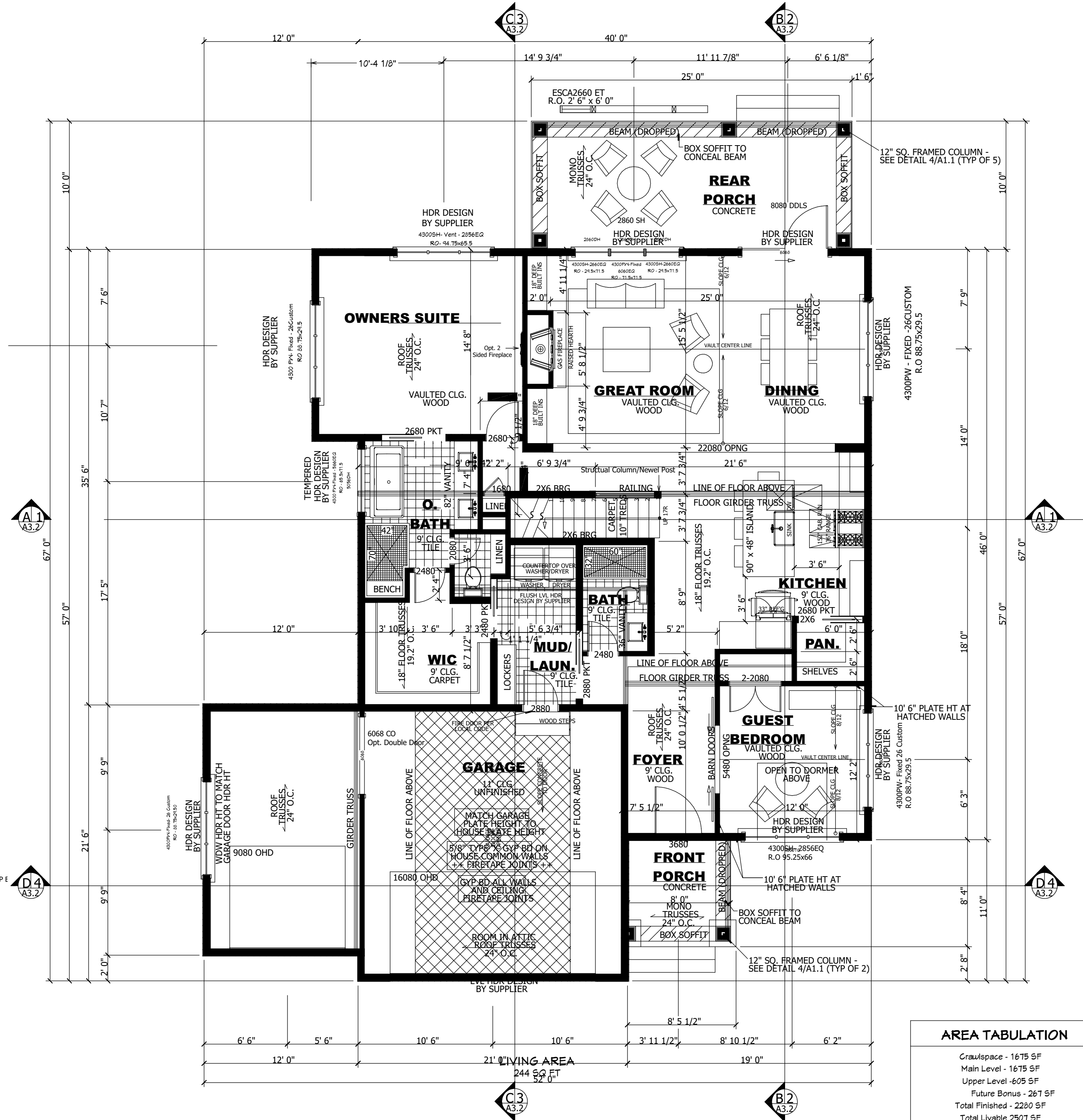
FRAMING:

- 1 1/8" Plate height (U.N.O)
- 2x6 walls at all pocket doors
- Provide solid blocking at all point loads

Door Schedule Symbol
2468 Represents a 2'4" Wide x 6'8" High Door



2 EYEBROW DETAIL
1st Floor



1 MAIN LEVEL FLOOR PLAN
1st Floor

AREA TABULATION

- Crawlspace - 1675 SF
- Main Level - 1675 SF
- Upper Level - 605 SF
- Future Bonus - 267 SF
- Total Finished - 2280 SF
- Total Livable 2507 SF
- Garage - 610 SF
- Front Porch - 655 SF
- Rear Porch - 250 SQ FT

Floor areas are calculated from the outside walls and/or outside face of exterior stud at framed walls. Stairs are included in calculations at all levels.



NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
MAIN LEVEL FLOOR PLAN
EYEBROW DETAIL

PROJECT DESCRIPTION:
CEDAR CREEK

DRAWINGS PROVIDED BY:
TBP HOMES OF RALEIGH
107 Fayetteville, #300
Raleigh, NC 27601

DATE:

SCALE:

SHEET:

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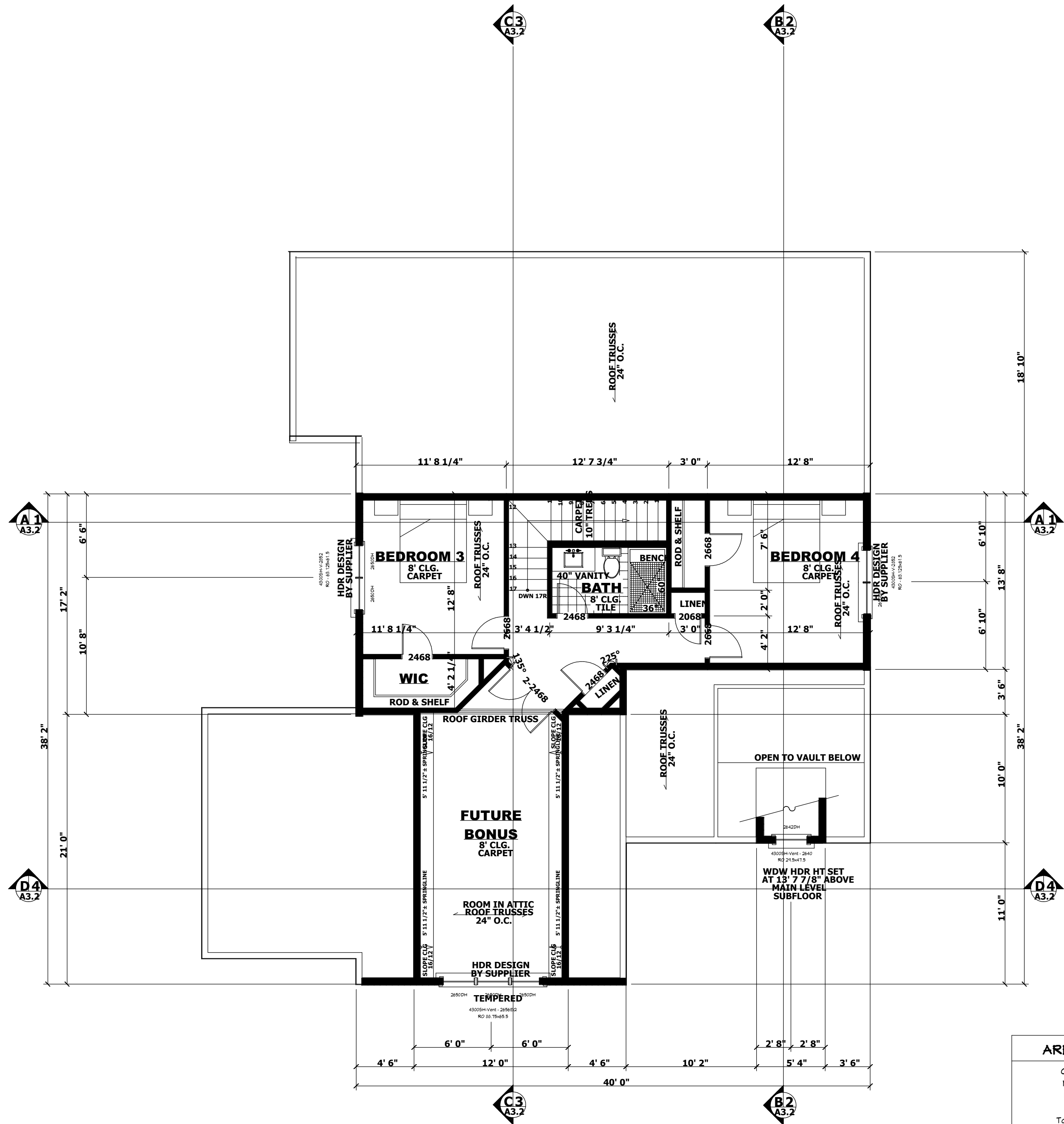
FLOOR SYSTEM:

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- Truss Manufacturer to verify framing at cantilevers for point loads from above

FRAMING:

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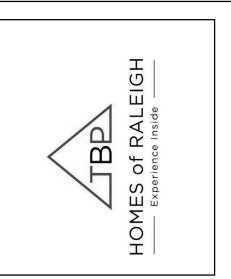


1 UPPER LEVEL PLAN

1st Floor

1st Floor

AREA TABULATION	
Crawlspace	- 1675 SF
Main Level	- 1675 SF
Upper Level	- 605 SF
Future Bonus	- 267 SF
Total Finished	- 2280 SF
Total Livable	- 2507 SF
Garage	- 610 SF
Front Porch	- 655F
Rear Porch	- 250 SQ FT
Floor areas are calculated from the outside walls and/or outside face of exterior stud at framed walls. Stairs are included in calculations at all levels.	



NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
UPPER LEVEL FLOOR PLAN

PROJECT DESCRIPTION:
CEDAR CREEK

DRAWINGS PROVIDED BY:
TBP HOMES OF RALEIGH
107 Fayetteville, #300
Raleigh, NC 27601

DATE:

SCALE:

SHEET:
A2 . 3

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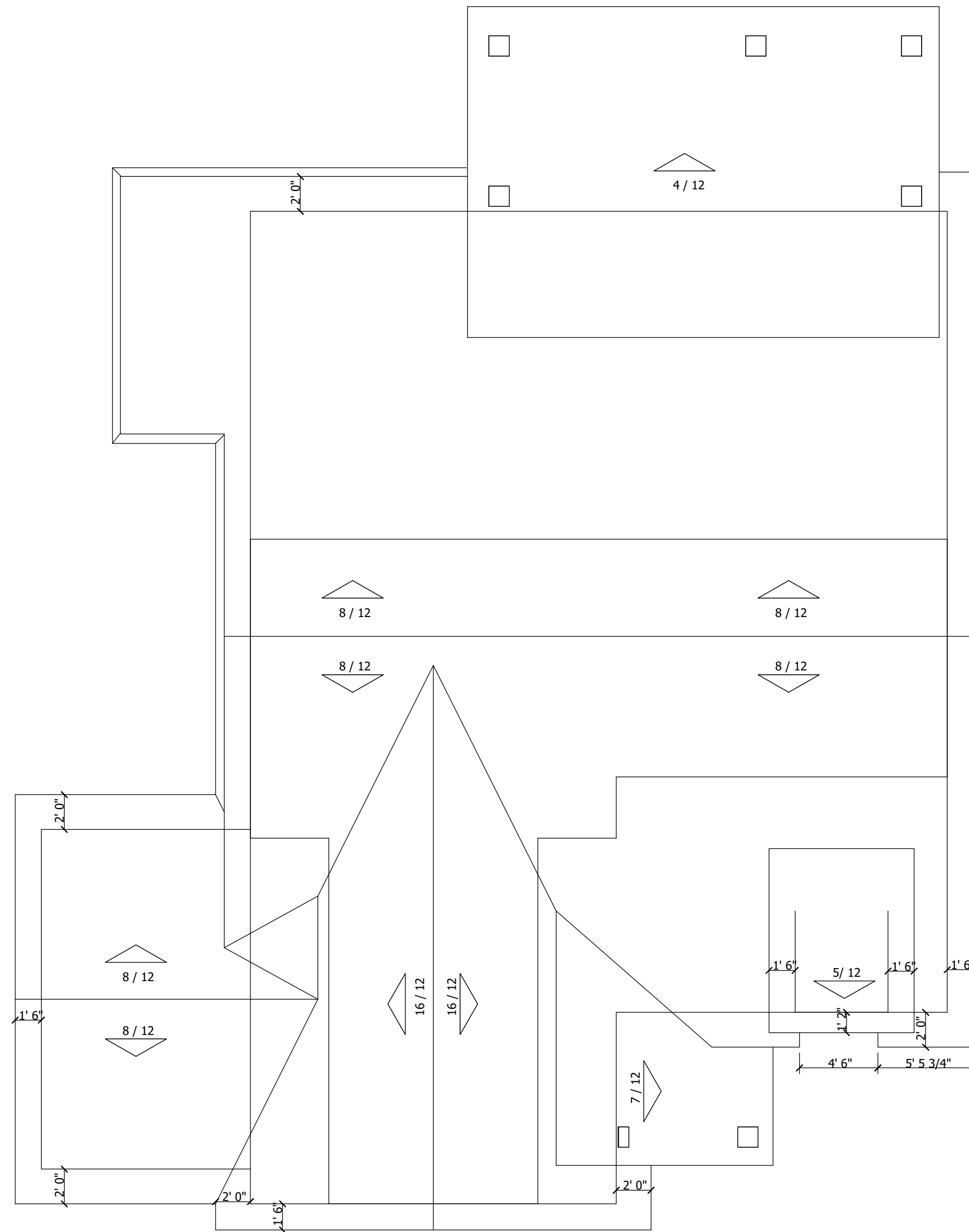
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Door Schedule Symbol
2468 Represents a 2'4" Wide x 6'8" High Door

ROOF PLAN NOTES:

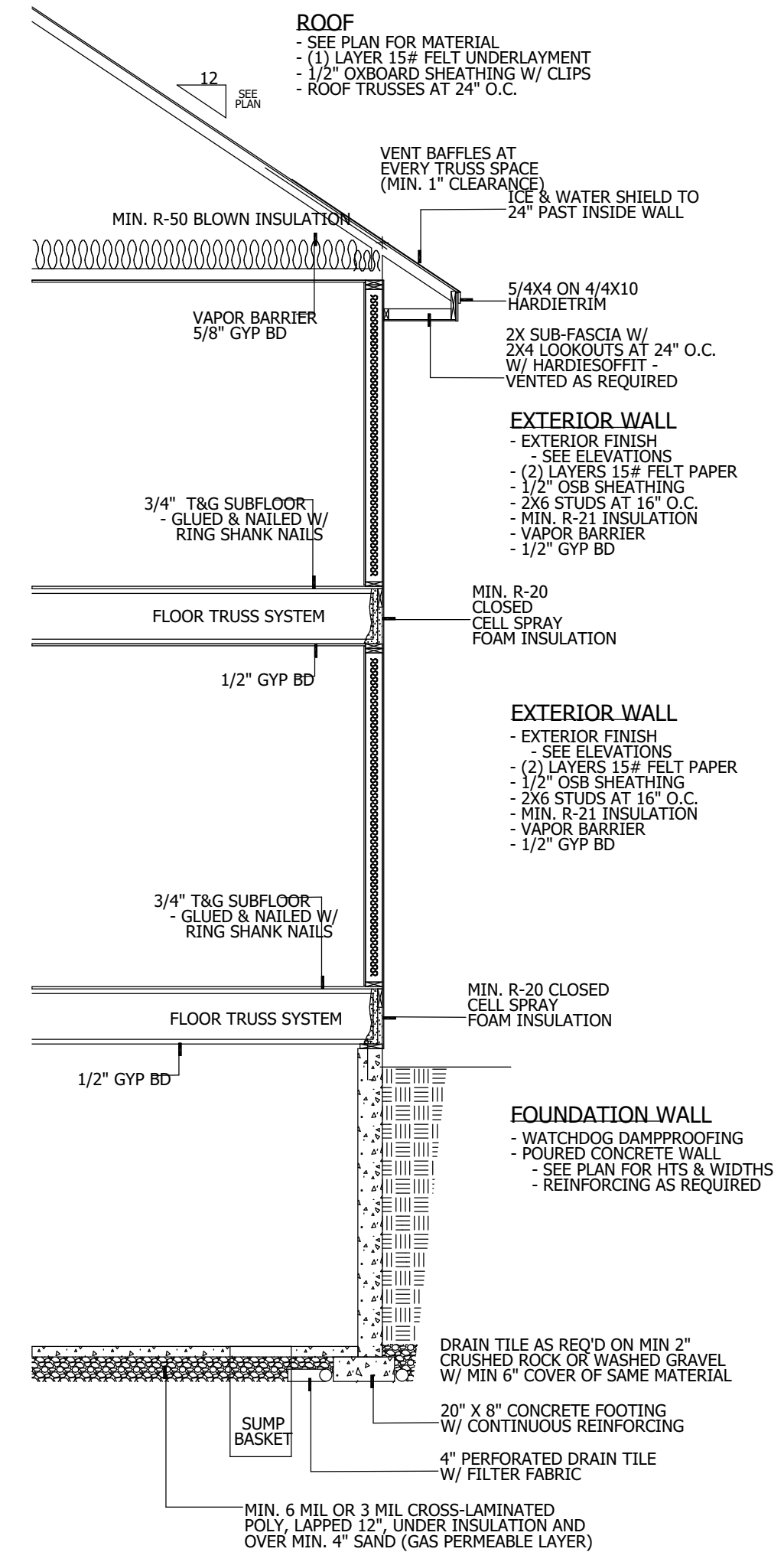
- Typical Overhang dimensions (U.N.O)
 - Eaves = 24"
 - Gables = 18"
- Roof venting to be 1/200 of attic area
 - 50% in Eave 50% in roof
- Keep roof penetrations on rear side of roof as much as possible
- Truss manufacturer to verify all pitches, overhangs, heel heights extended chords and kneewall heights
- Builder review truss design and layout prior to truss order
- Ice and water shield at eaves to point of 2'0" back from inside edge of exterior wall
- Full ice and water shield on roof pitches less than 4/12
- Roofing contractor to install kickout flashing as needed
 - Exterior Wall finisher to verify installation prior to finishing.



SHADED AREA INDICATES LOCATION OF STANDING SEAM METAL ROOFING

1 ROOF PLAN

1st Floor



2 TYPICAL WALL SECTION

AREA TABULATION	
1st Floor	Crawlspace- 1675 SF Main Level - 1675 SF Upper Level - 605 SF Future Bonus -267 SF Total Finished - 2280 SF Total Livable - 2507 SF Garage - 670 SF Front Porch 65 SF Rear Porch - 250 SF



NO.	DESCRIPTION	BY	DATE

PROJECT DESCRIPTION: CEDAR CREEK
SHEET TITLE: ROOF PLAN

DRAWINGS PROVIDED BY:
TBP HOMES OF RALEIGH
107 Fayetteville, #300
Raleigh, NC 27601

DATE:

SCALE:

SHEET:

A3.2

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
BUILDING SECTIONS

PROJECT DESCRIPTION:
CEDAR CREEK

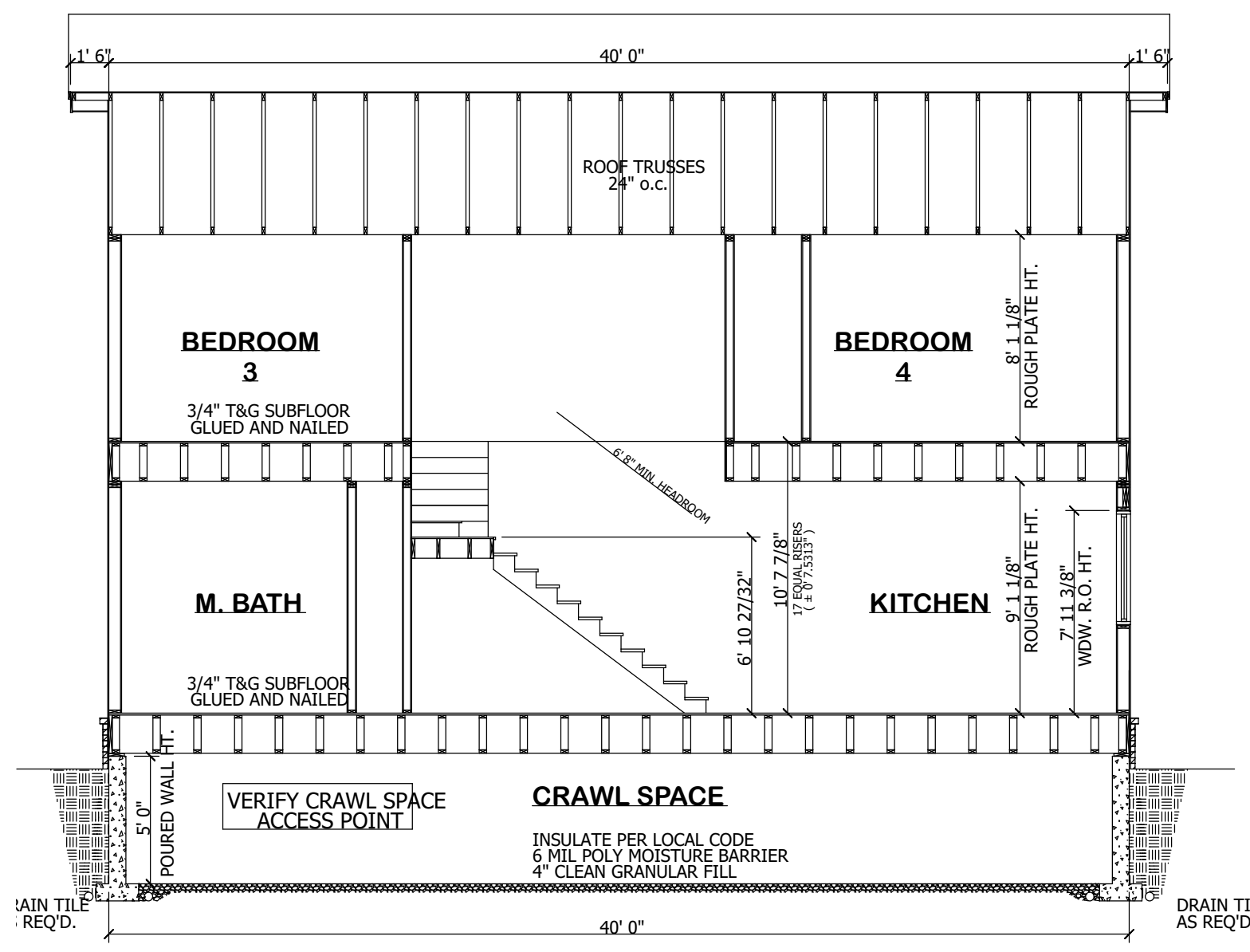
DRAWINGS PROVIDED BY:
TBP HOMES OF RALEIGH
107 Fayetteville, #300
Raleigh, NC 27601

DATE:

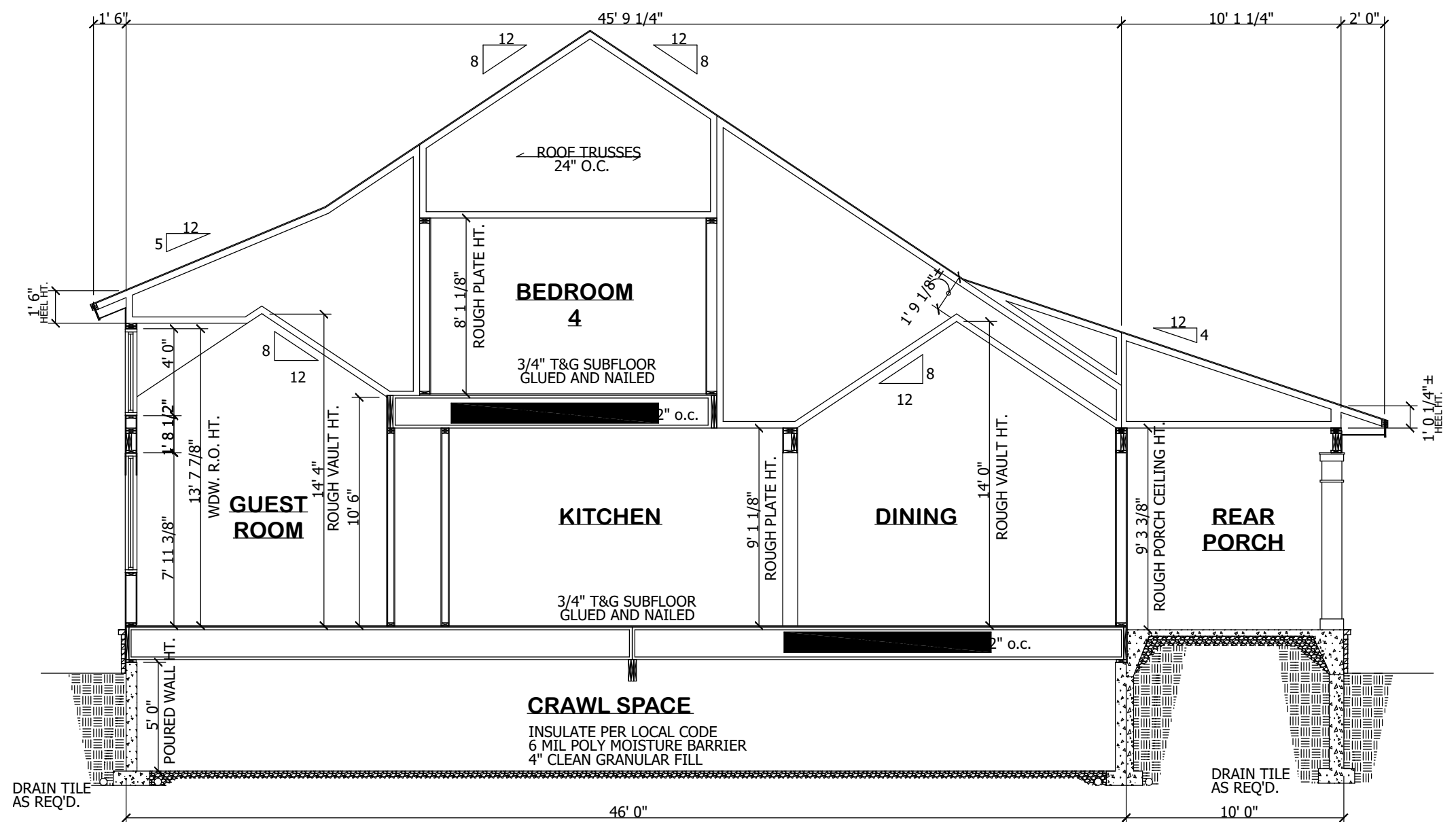
SCALE:

SHEET:

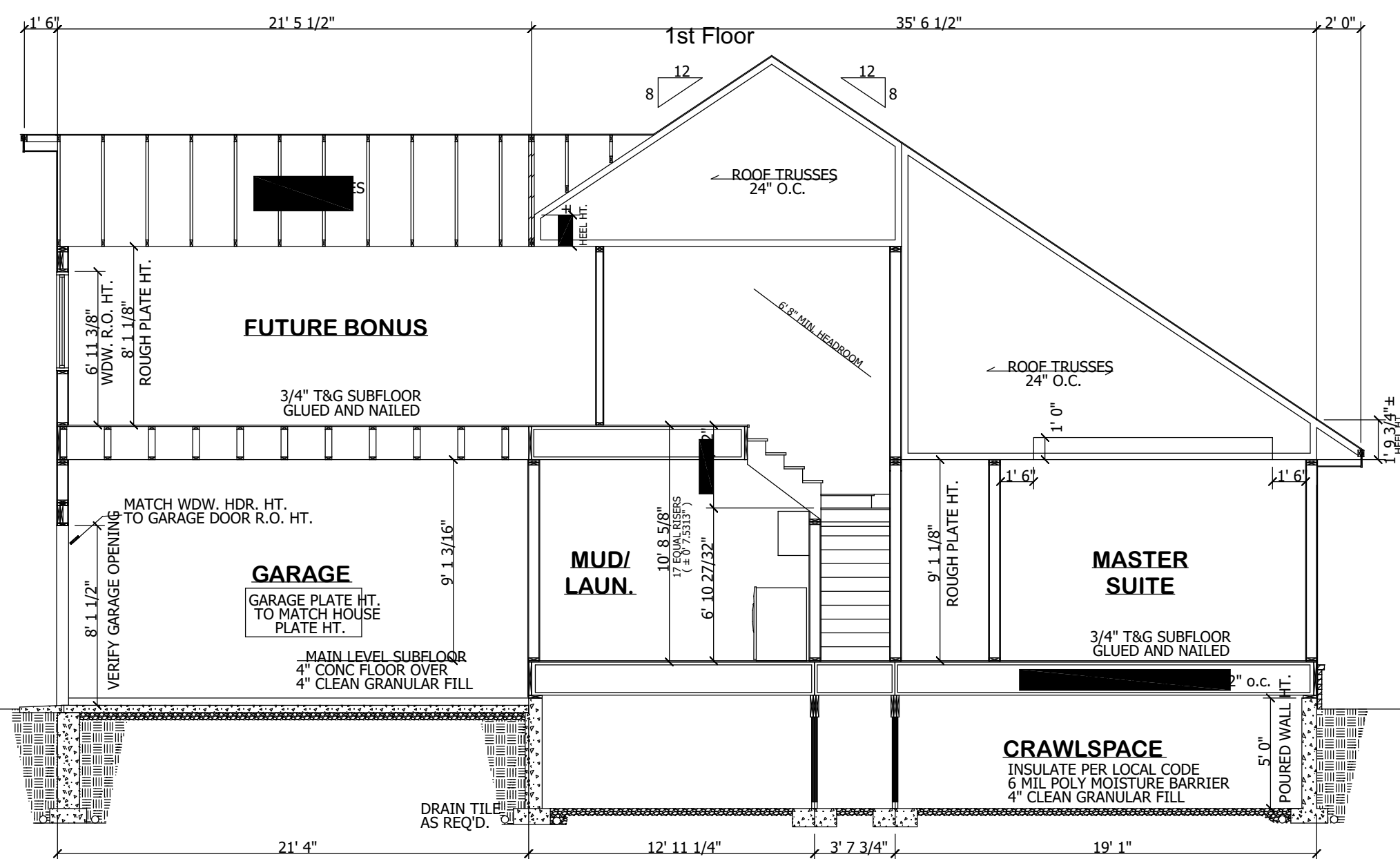
A3.2



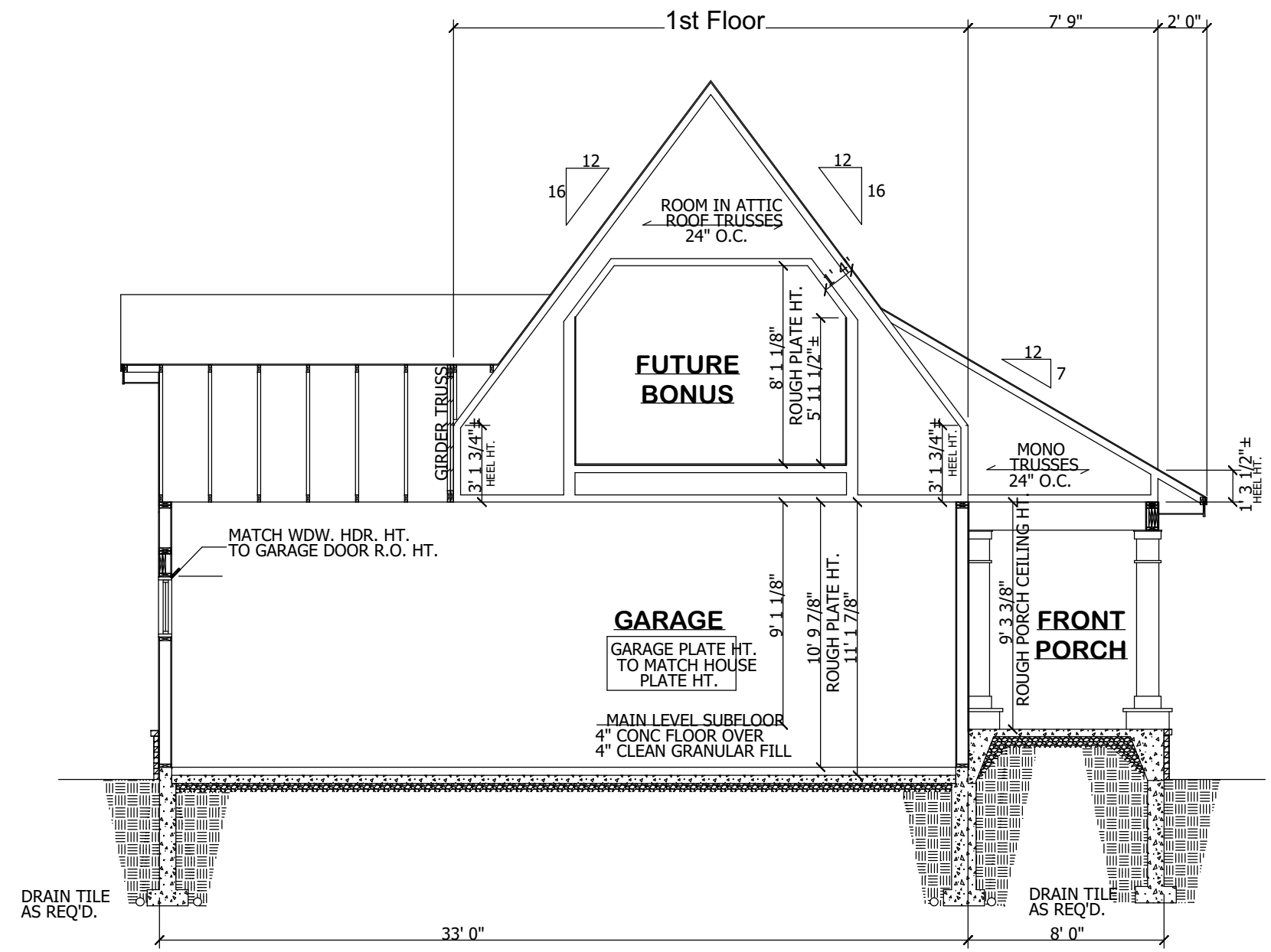
1 BUILDING SECTION 'A'
A3.2



2 BUILDING SECTION 'B'
A3.2



3 BUILDING SECTION 'C'
A3.2



4 BUILDING SECTION 'D'
A3.2

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
ELECTRICAL

PROJECT DESCRIPTION:
CEDAR CREEK

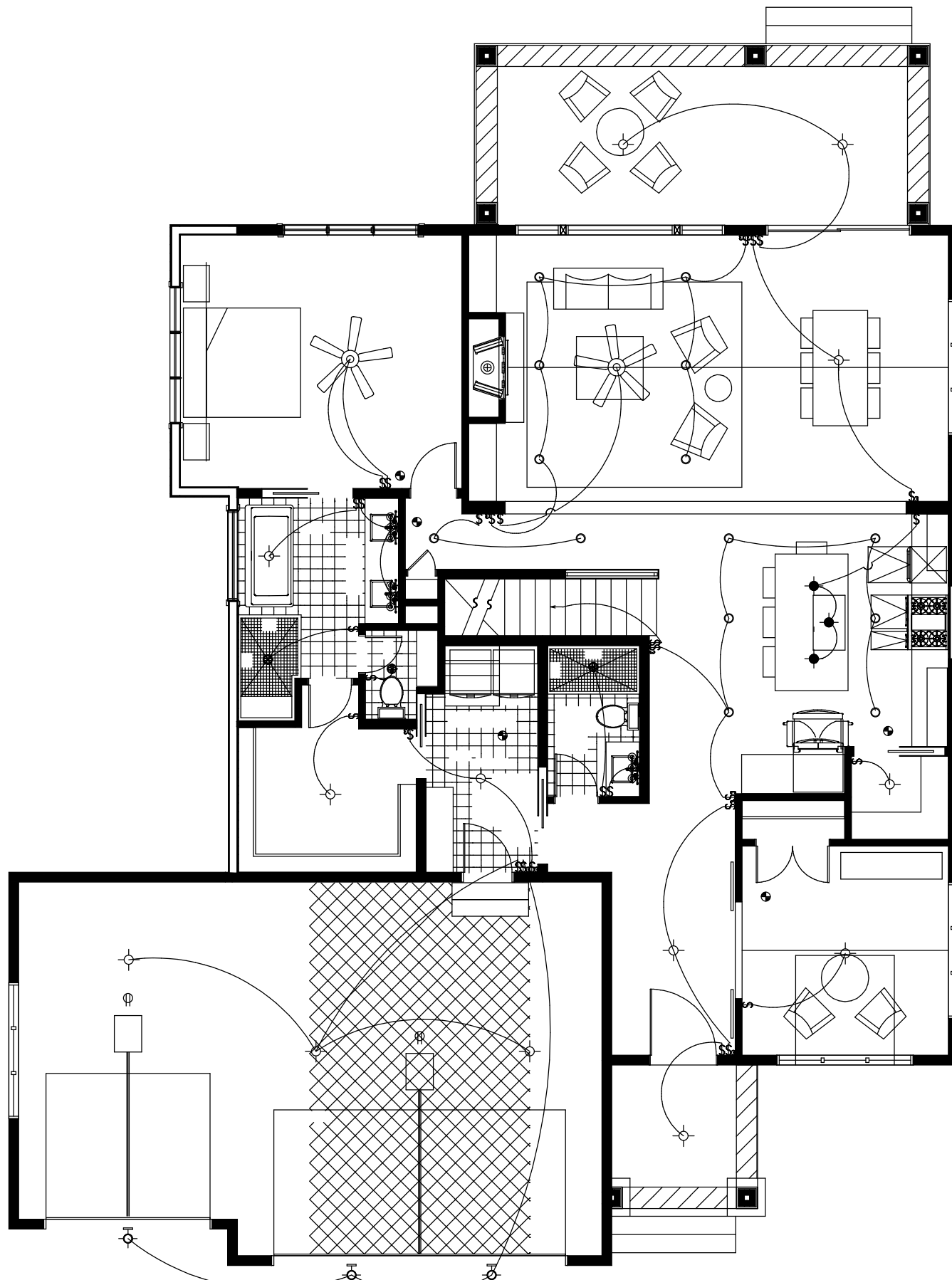
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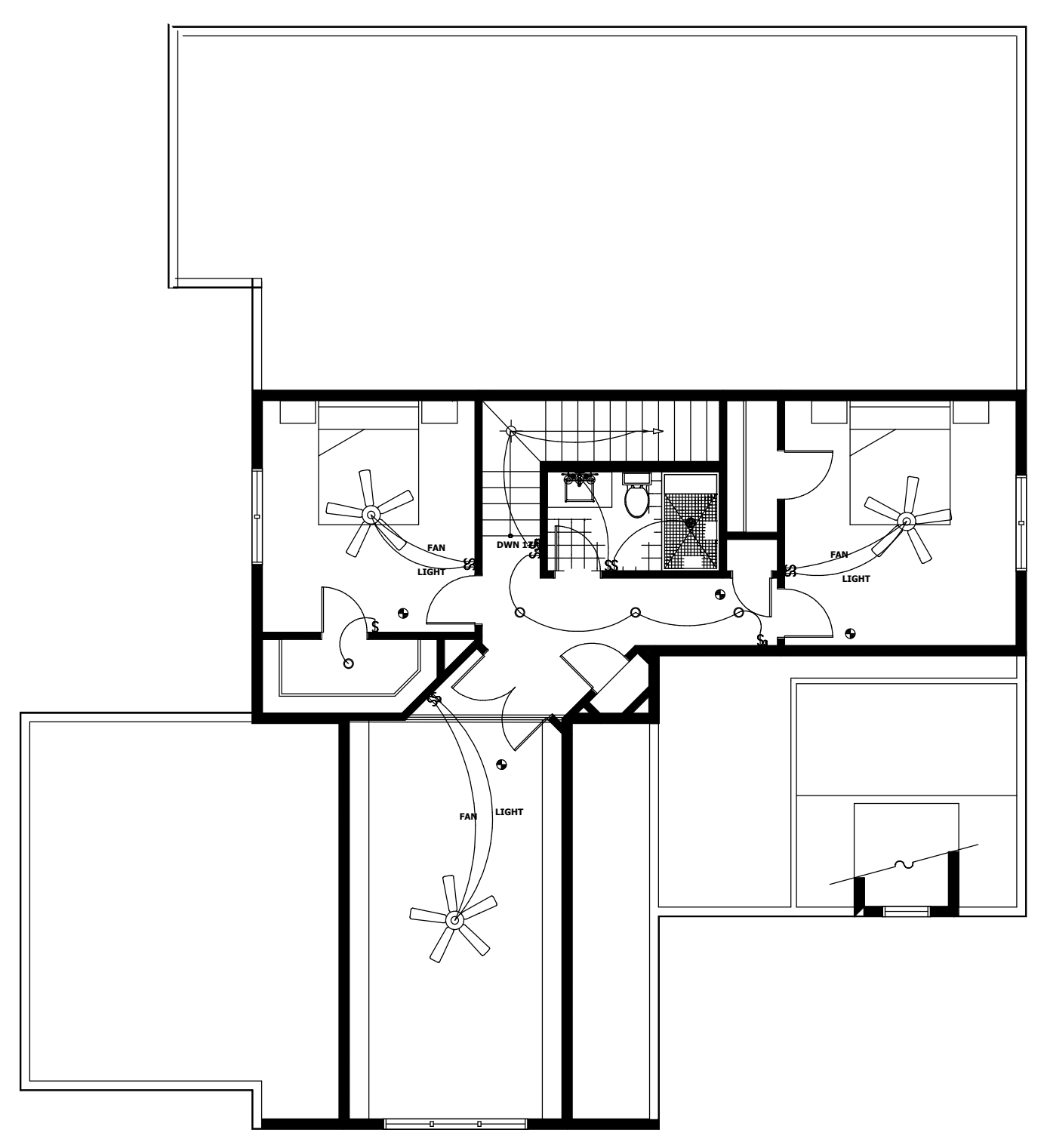
SCALE:

SHEET:

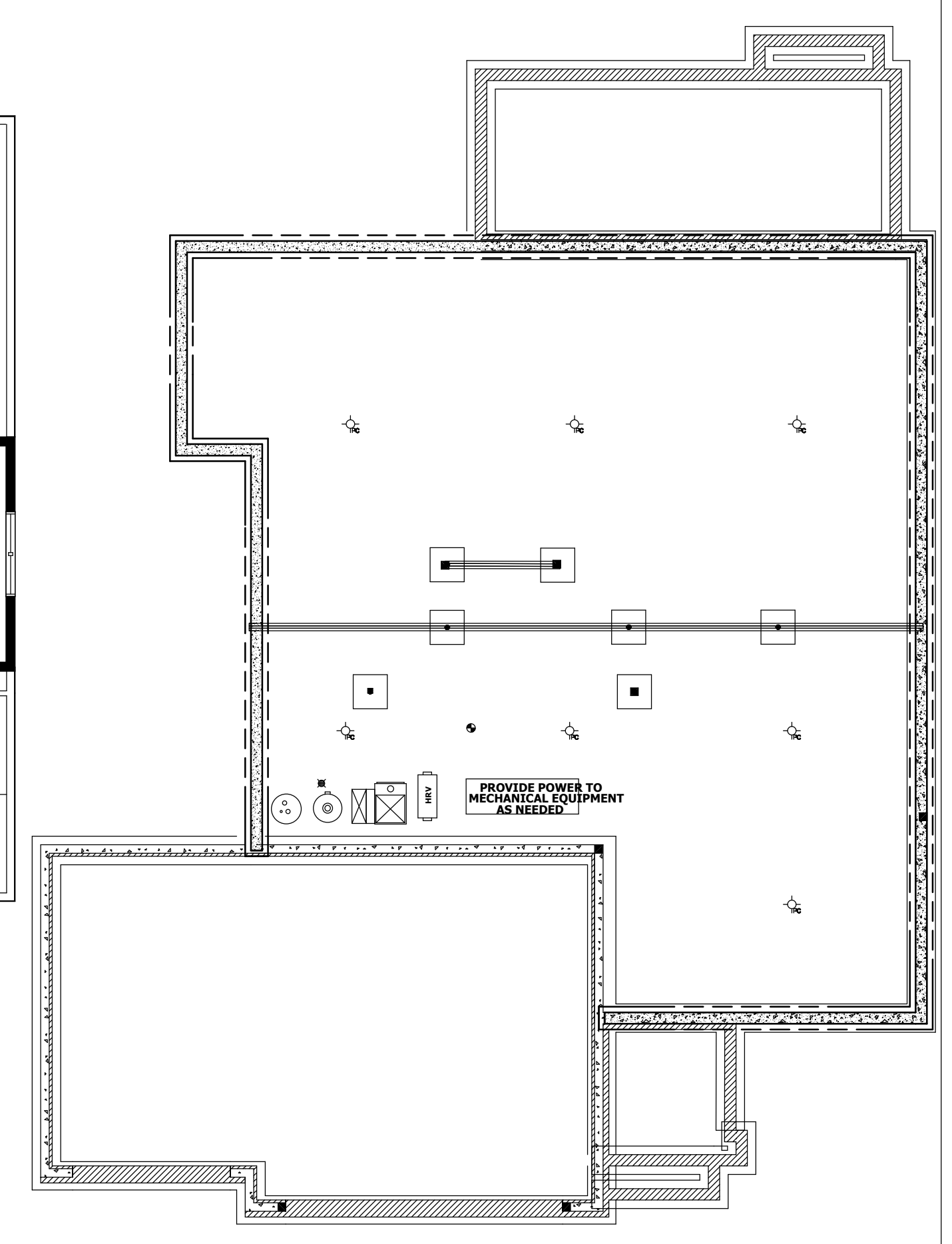
E1.1



2 MAIN LEVEL LIGHTING LAYOUT
 E1.1



3 UPPER LEVEL LIGHTING LAYOUT
 E1.1



1 FOUNDATION LIGHTING LAYOUT
 E1.1

ELECTRICAL LEGEND	
	CEILING MOUNT LIGHT FIXTURE
	PENDANT LIGHT FIXTURE
	WALL MOUNT LIGHT FIXTURE
	RECESSED CAN LIGHT FIXTURE
	BATH EXHAUST FAN
	COMBO LIGHT / BATH EXHAUST FAN
	SWITCH
	SWITCH - 3-WAY
	SWITCH - 4-WAY
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	VANITY LIGHT BAR
	UNDER CABINET LIGHTING
	120v OUTLET
	FAN/LIGHT COMBO FIXTURE

ALL ELECTRICAL TO BE INSTALLED IN ACCORDANCE TO THE LATEST NATIONAL AND LOCAL CODES