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REAR ELEVATION
SCALE: 1/4"=1'-0"



FRONT ELEVATION
SCALE: 1/4"=1'-0"

Project REFERENCE OF

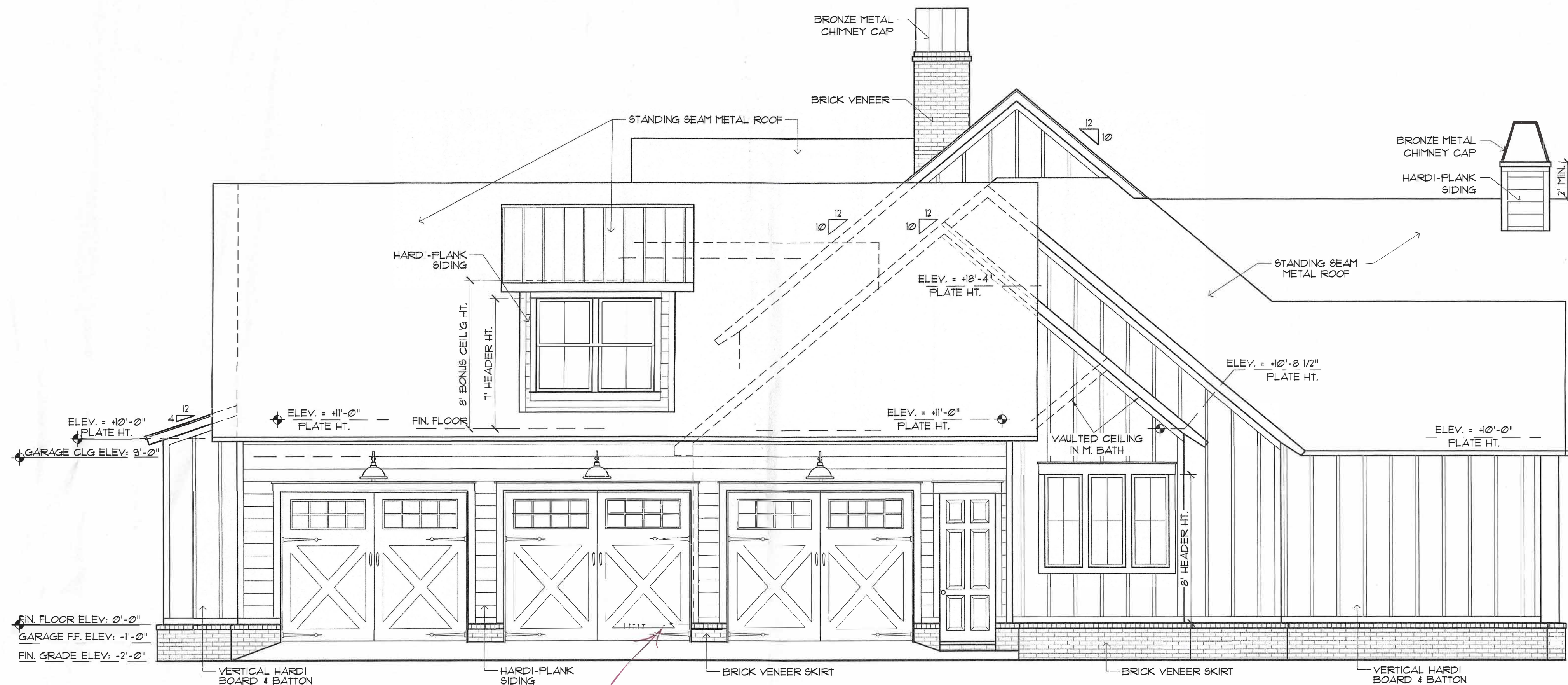
MADDEN
HOME DESIGN
8375 Rushing Road
Denham Springs, Louisiana 70726
Phone: (225) 791-2912

Project No.: The Tanglewood-Mirror
DATE: JUNE 15, 2020
DRAWN BY: Steven Madden
DESIGNED BY: Steven Madden
REVISED:

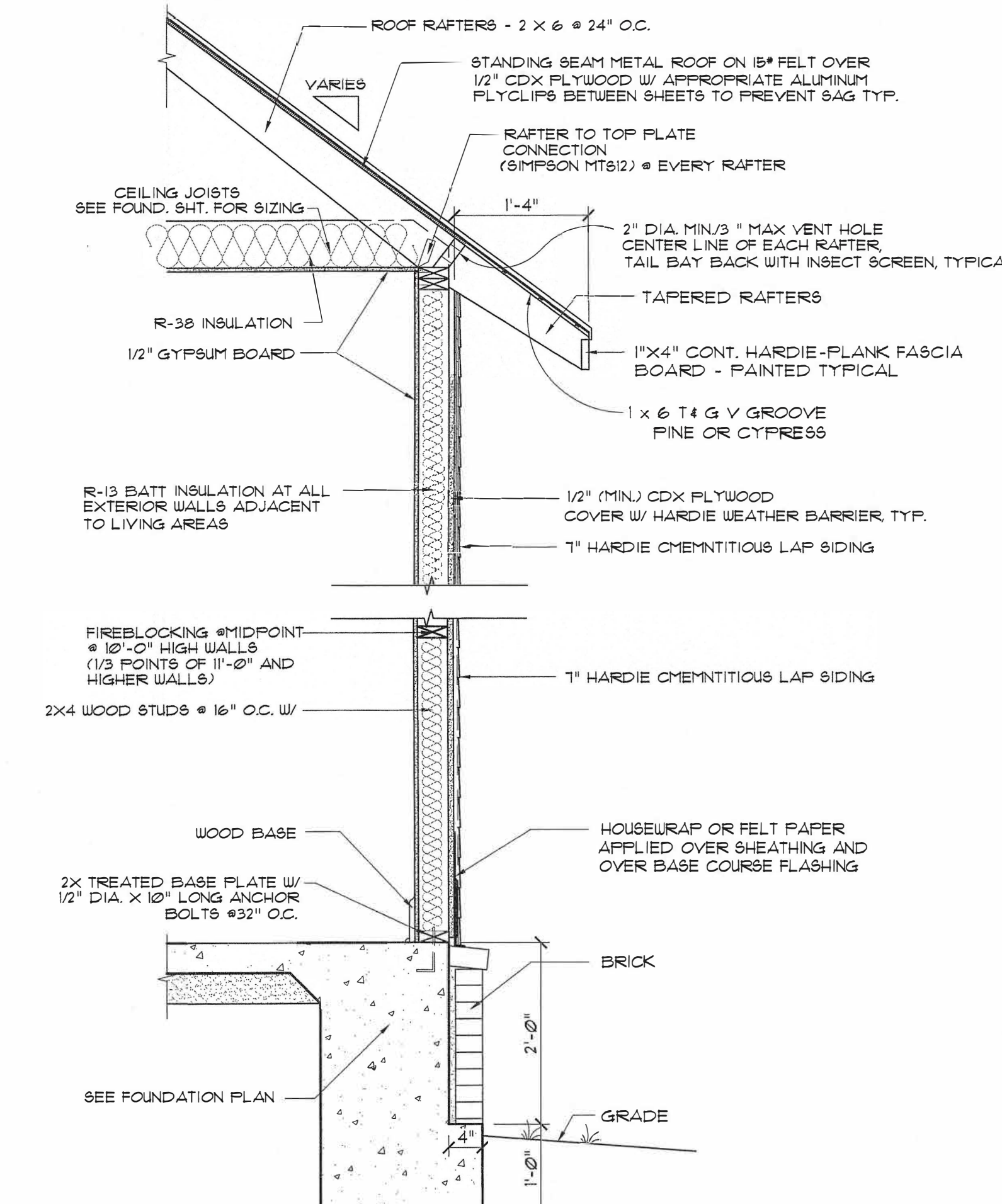
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Sheet Title
FRONT & REAR ELEVATIONS

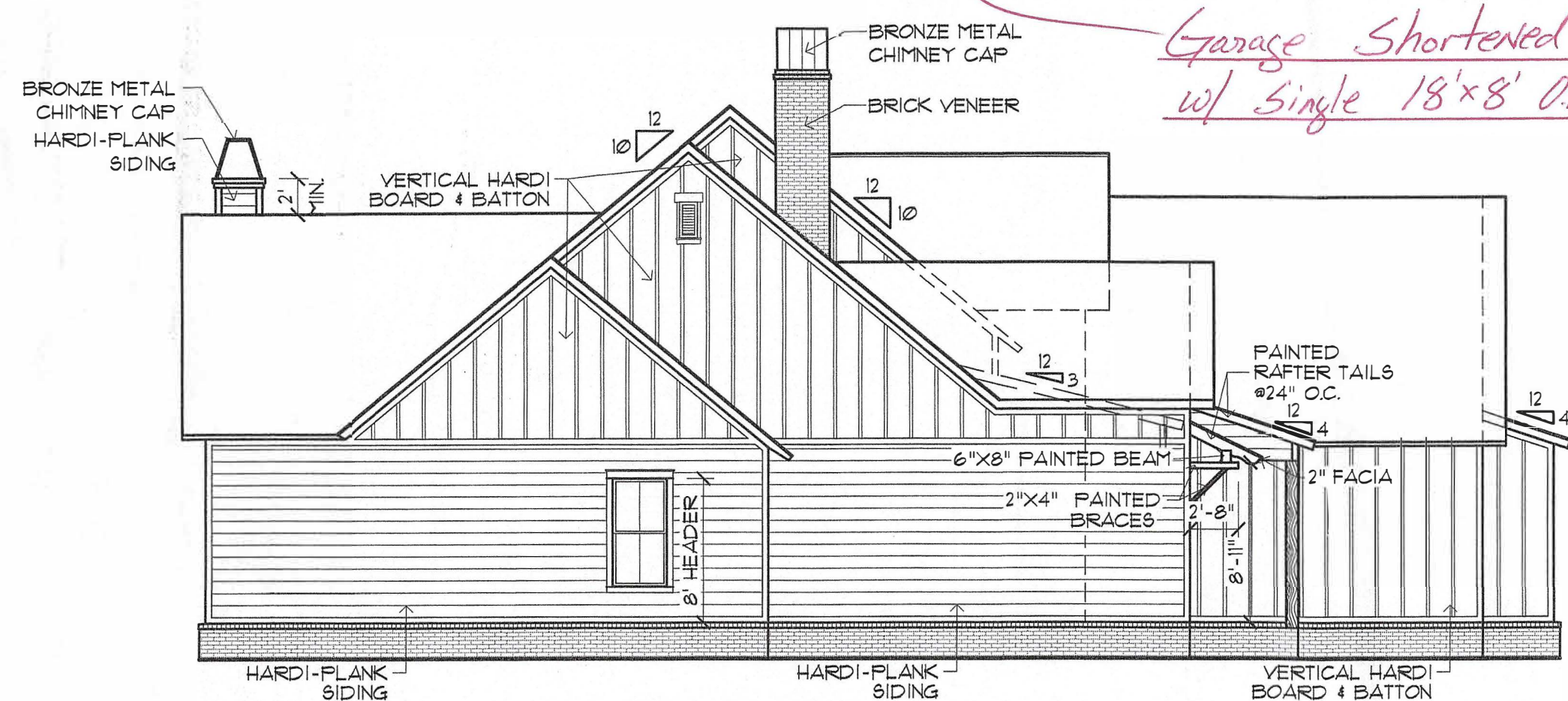
Sheet:
 Preliminary Dwg.
 Bidding Doc.
 Construction Doc.
A2.0



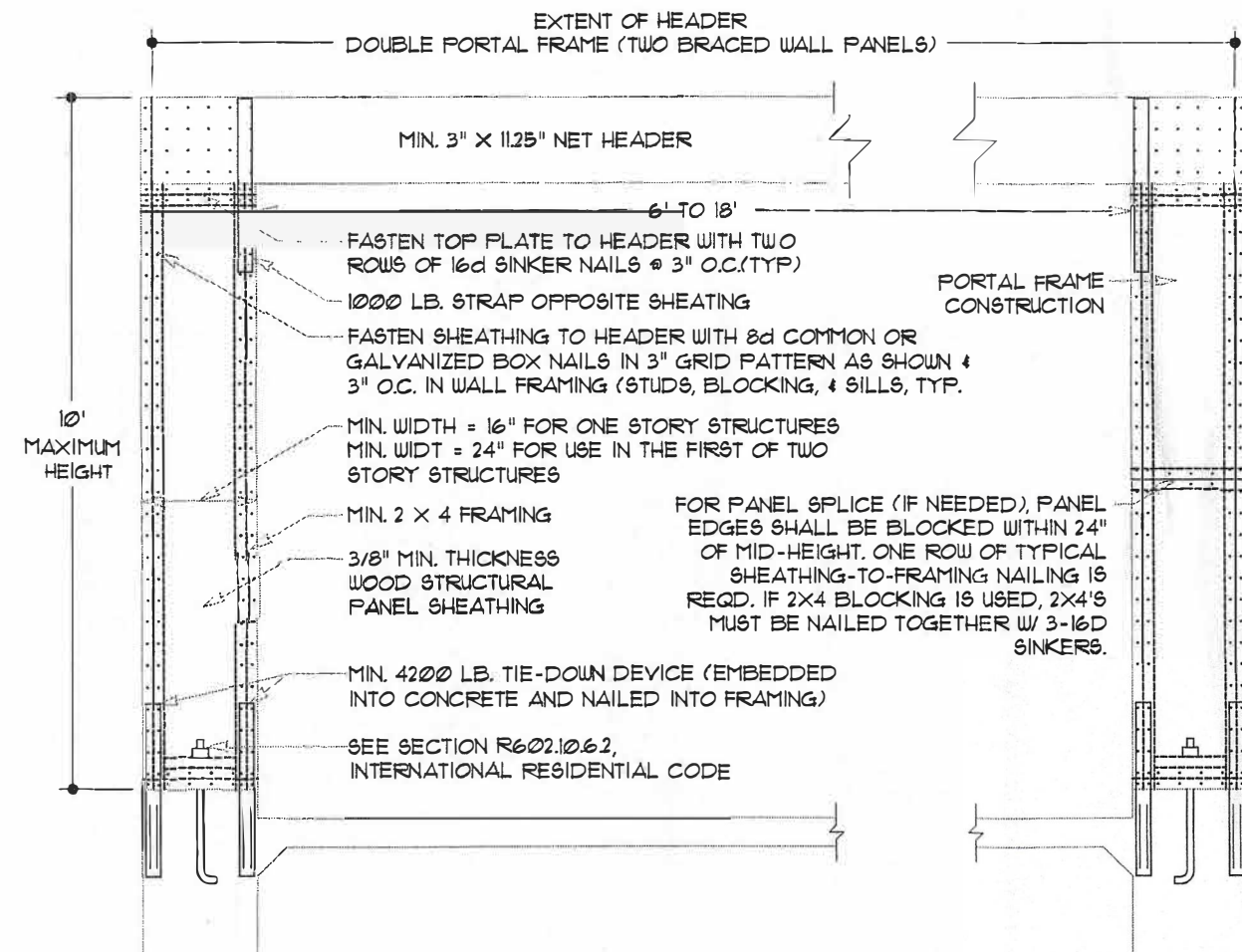
RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



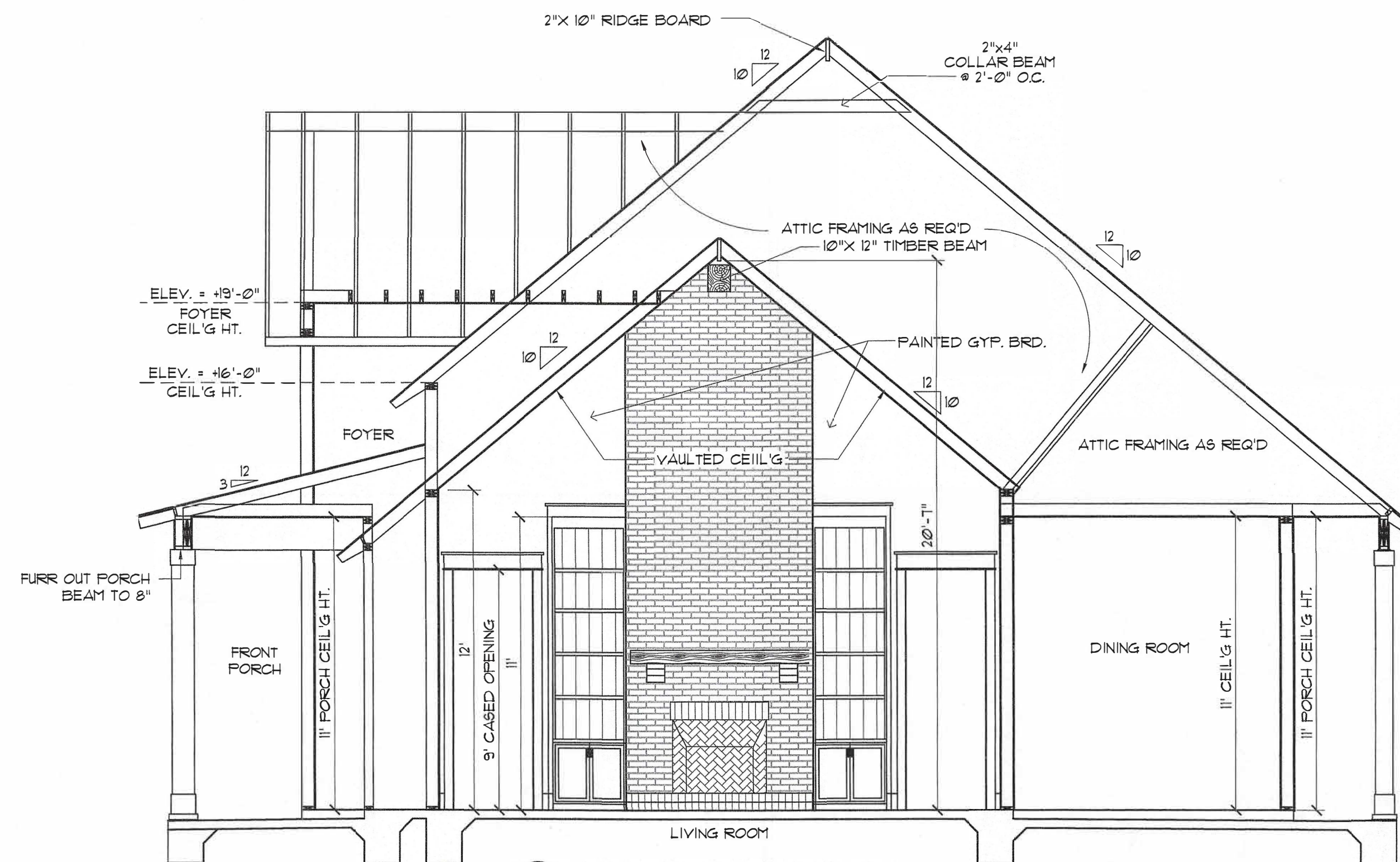
TYPICAL WALL SECTION @ LAP SIDING
SCALE: 3/4" = 1'-0"



LEFT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



① GARAGE PORTAL DETAIL
NOT TO SCALE



② CROSS SECTION
SCALE: 1/4" = 1'-0"

Garage Shortened to 26' w/ Single 18'x8' O.H. Gar Door

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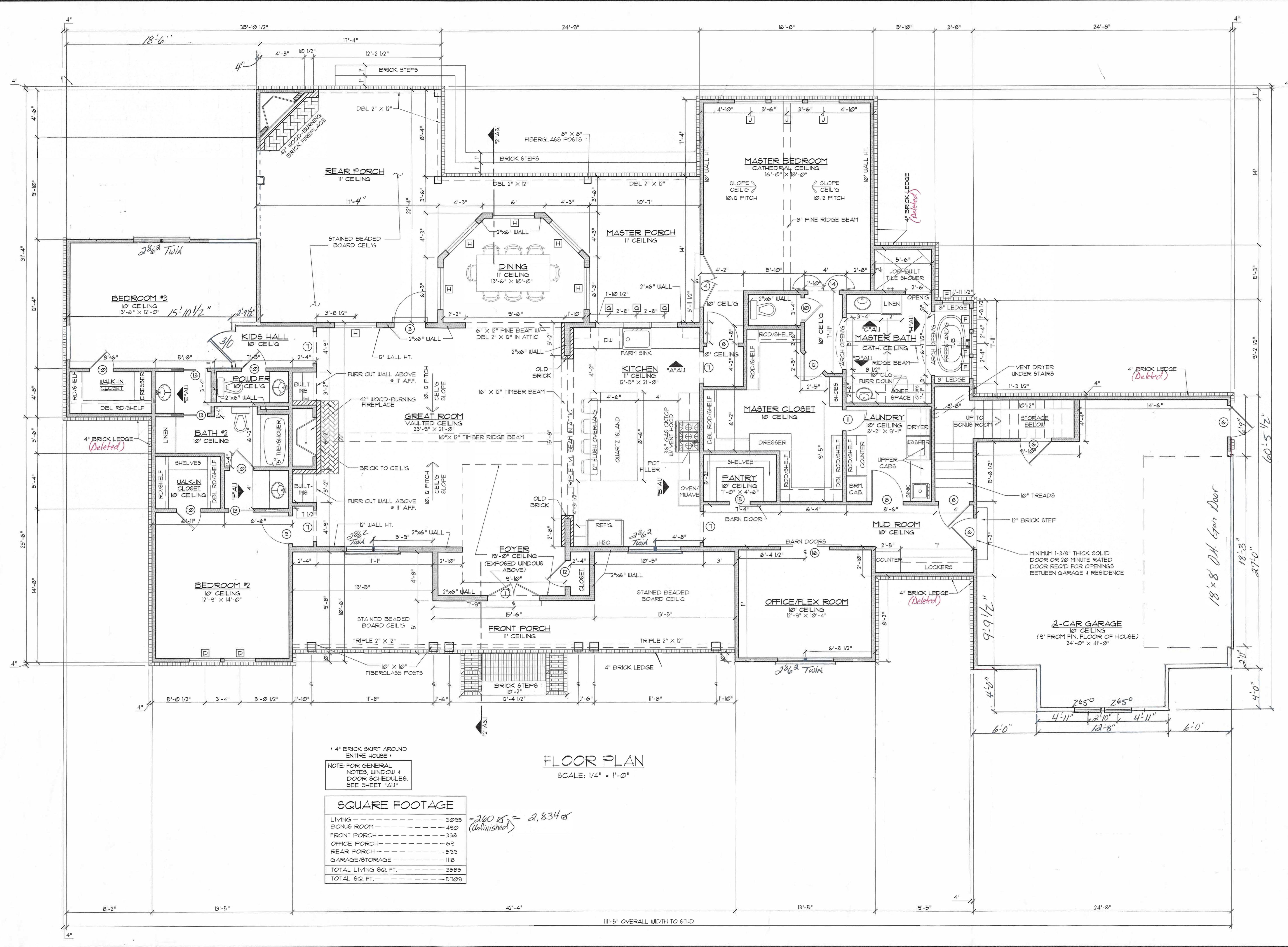
ELEVS. & CROSS SECTION

- Preliminary Dwg.
- Bidding Doc.
- Construction Doc.

Sheet:
A3.0

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* 4" BRICK SKIRT AROUND ENTIRE HOUSE *

NOTE: FOR GENERAL NOTES, WINDOW & DOOR SCHEDULES, SEE SHEET "A11"

FLOOR PLAN
SCALE: 1/4" = 1'-0"

SQUARE FOOTAGE	
LIVING ROOM	3035
BONUS ROOM	490
FRONT PORCH	338
OFFICE PORCH	63
REAR PORCH	593
GARAGE/STORAGE	1118
TOTAL LIVING SQ. FT.	3585
TOTAL SQ. FT.	5103

2605 = 2,834 (Unfinished)

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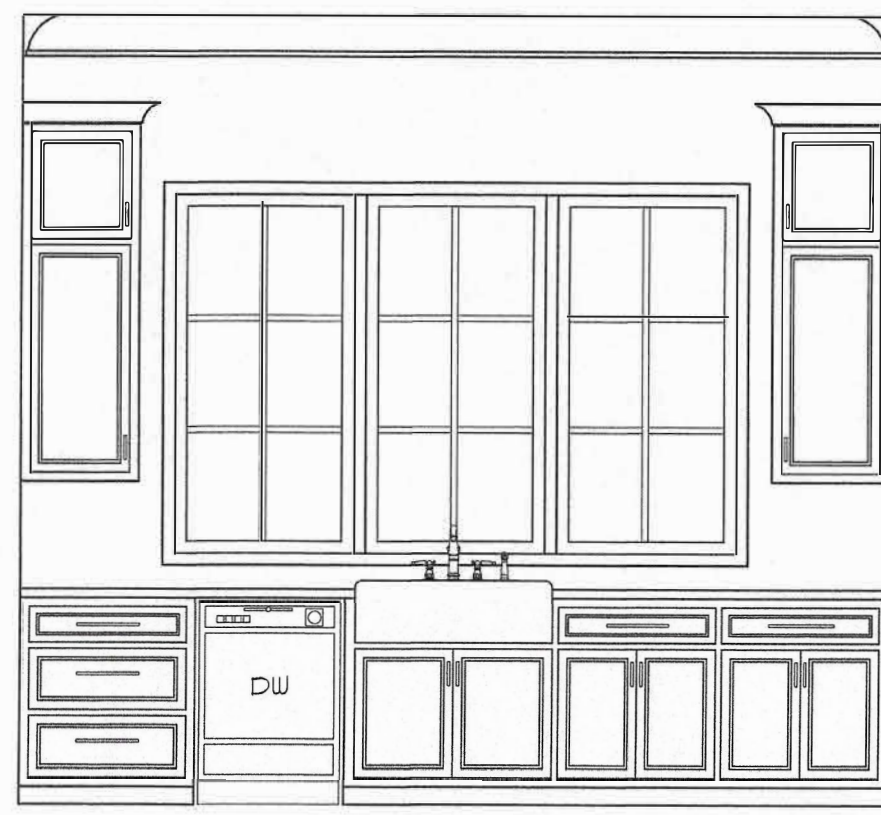
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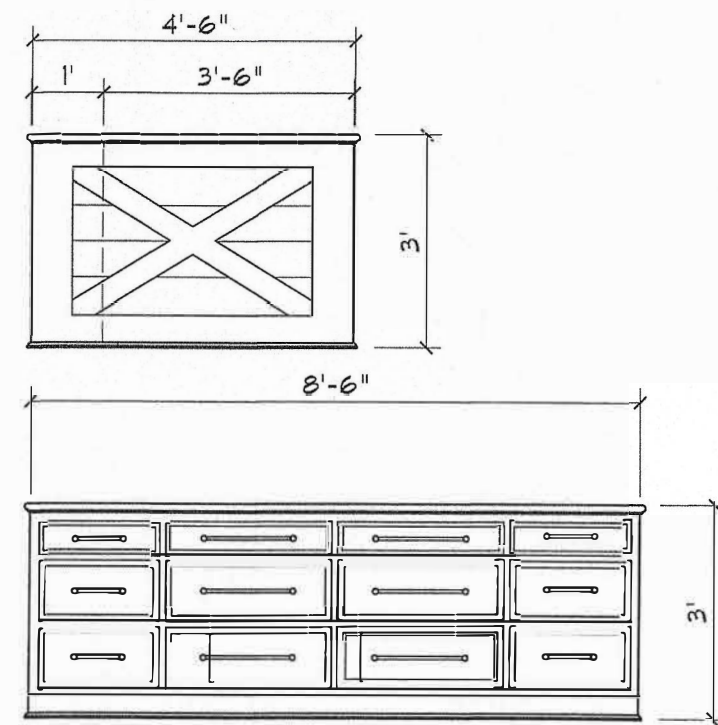
FLOOR PLAN

Sheet:
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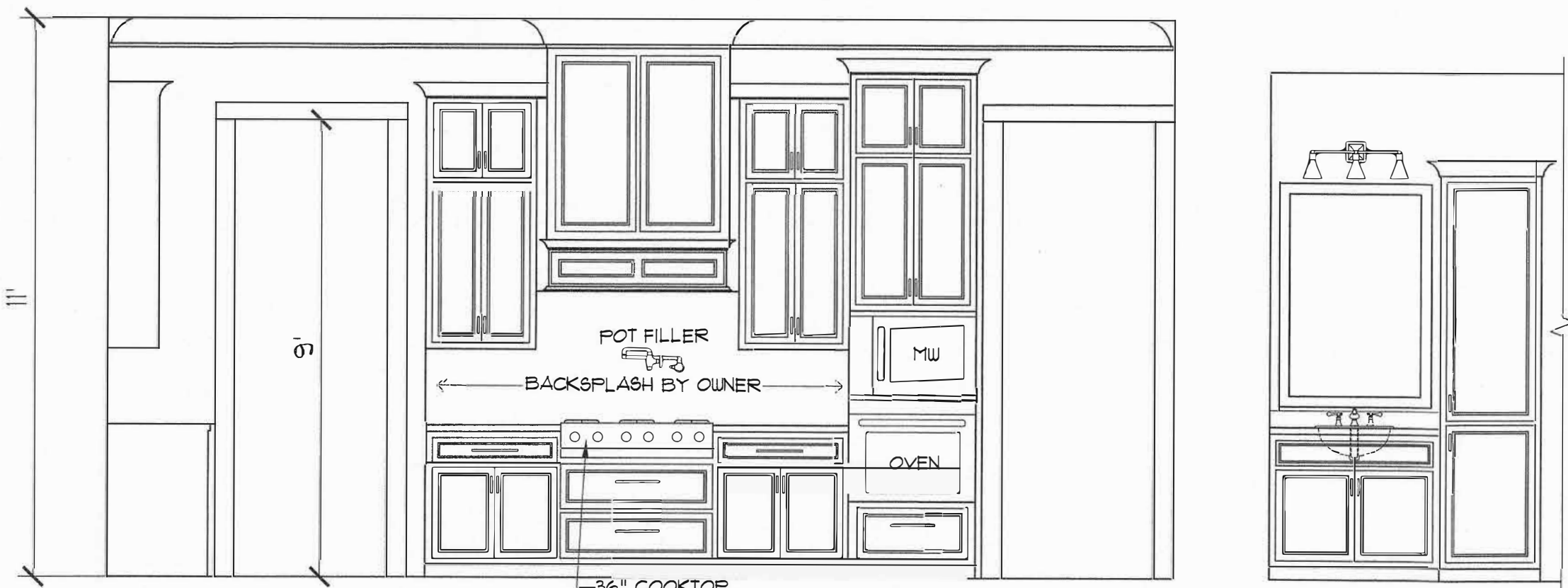
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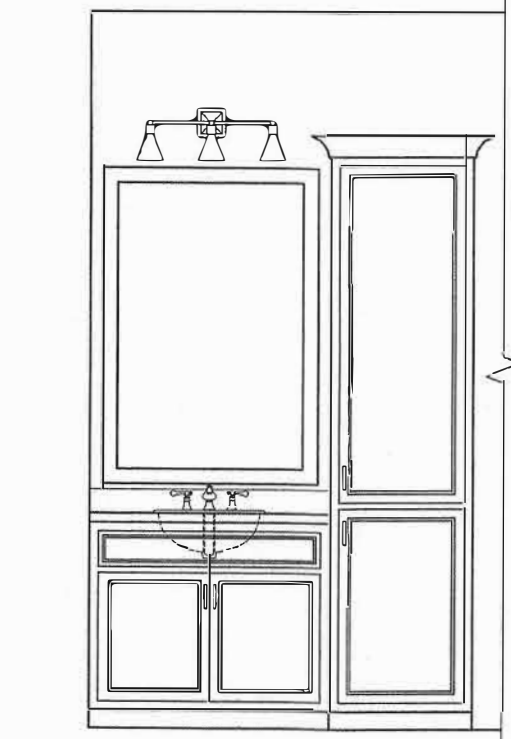
A ELEVATION
SCALE: 3/8" = 1'-0"



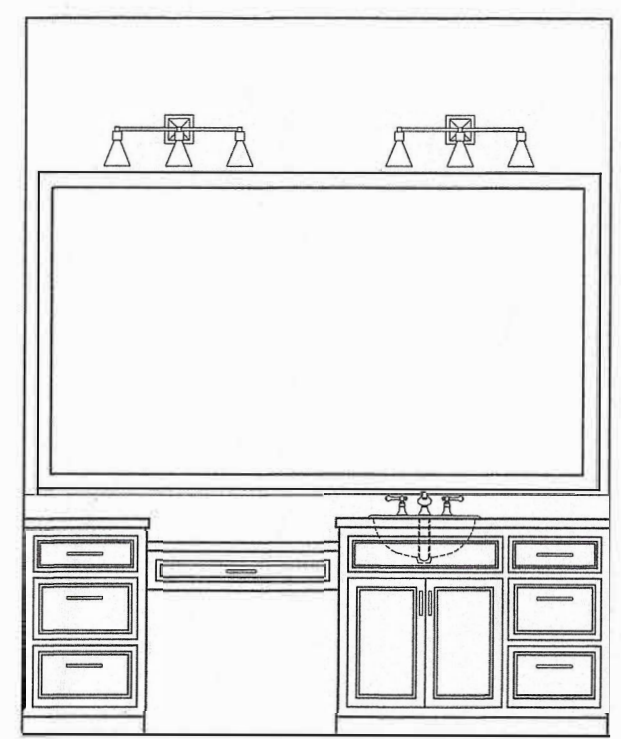
ISLAND ELEVATIONS
SCALE: 3/8" = 1'-0"



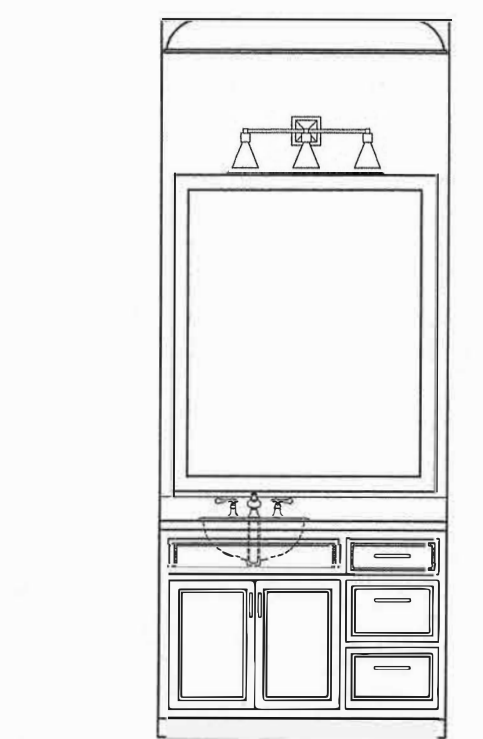
B ELEVATION
SCALE: 3/8" = 1'-0"



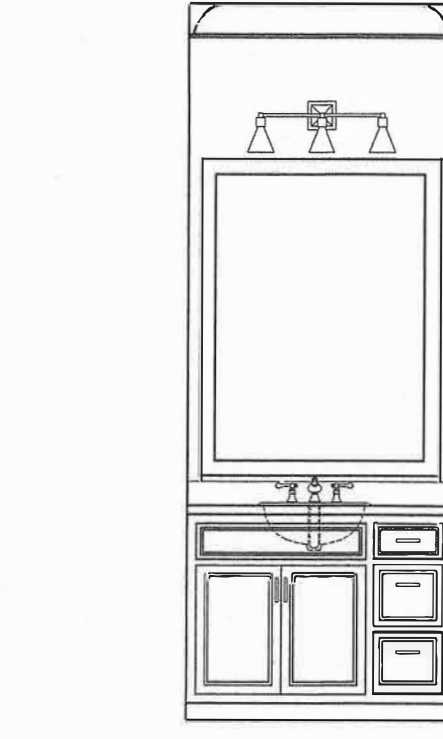
C ELEVATION
SCALE: 3/8" = 1'-0"



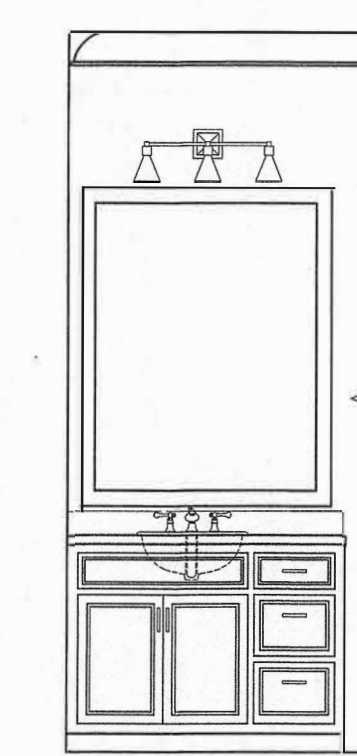
D ELEVATION
SCALE: 3/8" = 1'-0"



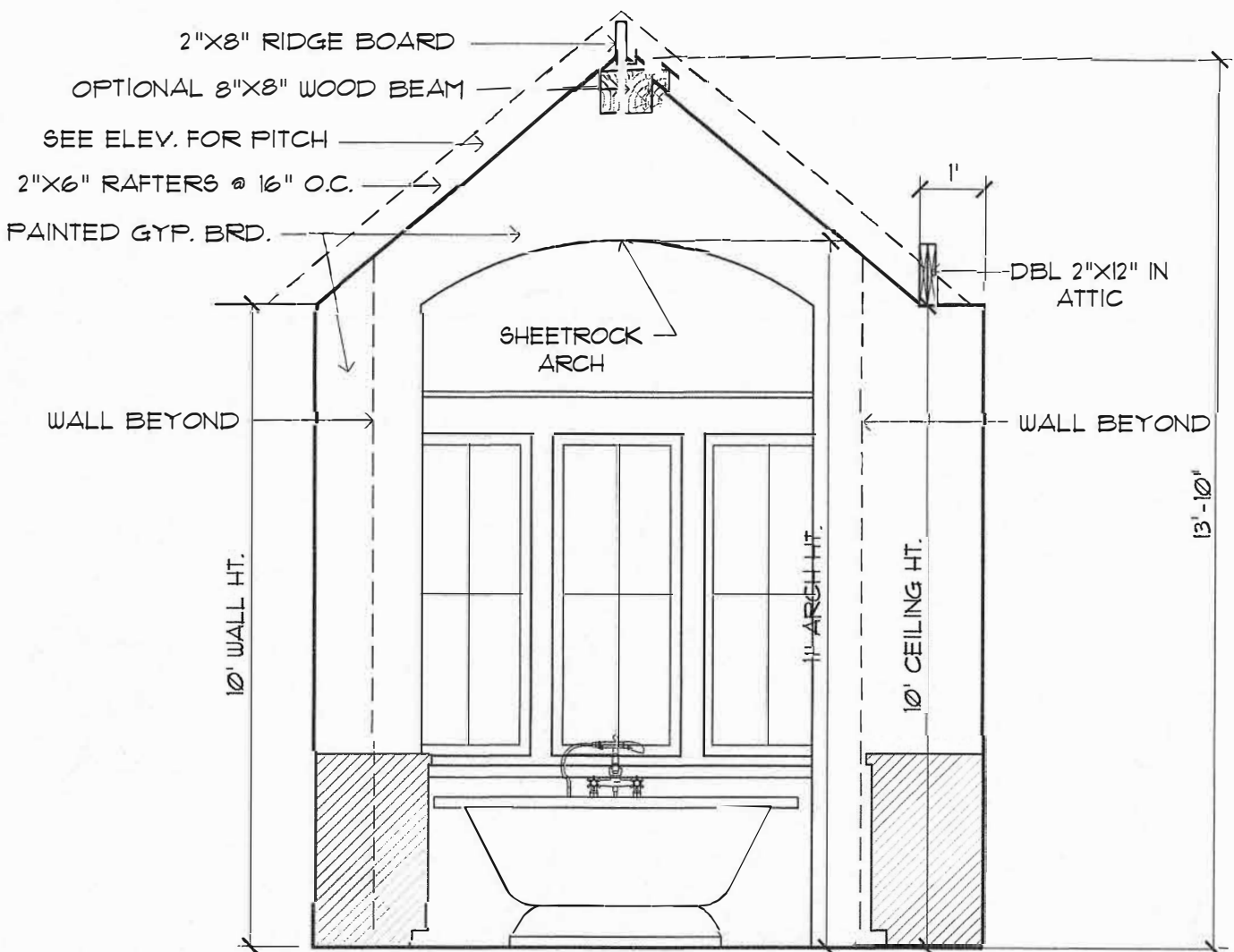
E ELEVATION
SCALE: 3/8" = 1'-0"



F ELEVATION
SCALE: 3/8" = 1'-0"



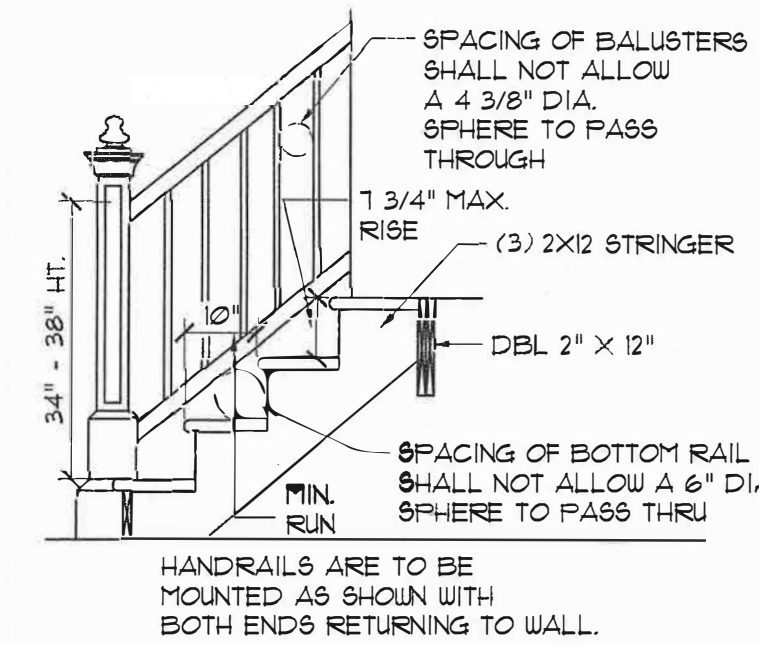
G ELEVATION
SCALE: 3/8" = 1'-0"



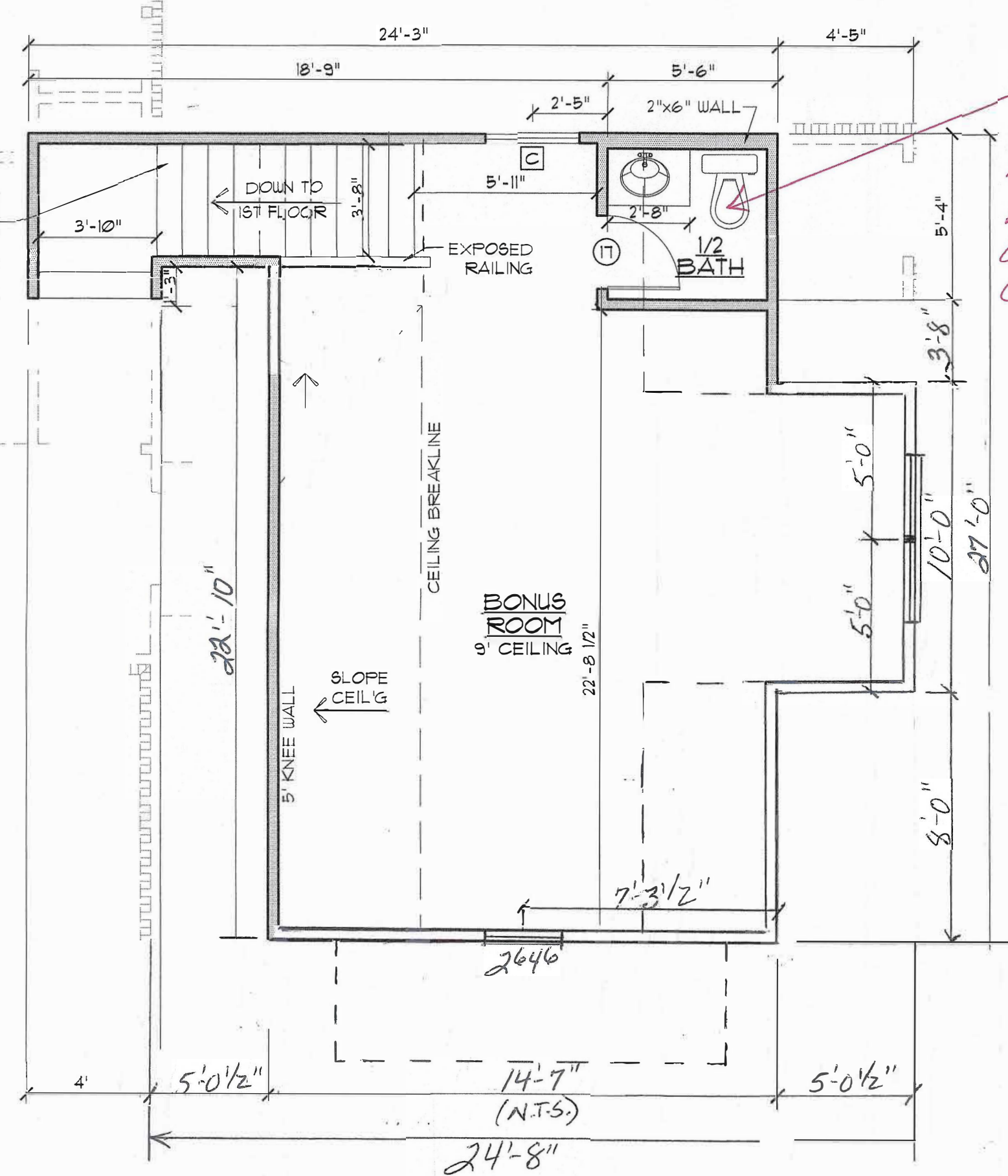
M. BATH ELEVATION
SCALE: 3/8" = 1'-0"

CODE DISCLAIMER:

- THESE PLANS WERE DESIGNED TO MEET IRC 2015 AT THE TIME OF THEIR CREATION AND MORE SPECIFICALLY THE MINIMAL LOCAL CODES OF THE SOUTH LOUISIANA AREA. IT IS HIGHLY RECOMMENDED THAT THESE PLANS BE REVIEWED BY A LOCAL STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.
- BEAMS AND FLOOR JOISTS ARE NOT SIZED DUE TO THE MANY GEOGRAPHIC LOCATIONS THESE PLANS ARE SOLD. THESE ITEMS SHALL BE SIZED BY A LOCAL ENGINEER OR MANUFACTURER.
- ALL CEILING & FLOOR JOISTS (IF CONVENTIONAL FRAMING) SHOULD BE SIZED USING THE LATEST VERSION OF THE IRC OR APPLICABLE CODES AT SITE TO MEET THE LOCAL REQUIREMENTS SUCH AS SNOW LOADS AND OTHER FACTORS. THE CEILING JOIST SIZES LABELED (IF PRESENT) WERE SIZED USING THE 2015 IRC AT THE TIME OF THEIR CREATION. THEY MUST BE VERIFIED AND MODIFIED AS REQUIRED TO MEET THE LATEST EDITION OF THE (IRC) INTERNATIONAL RESIDENTIAL CODE.
- ALL FOUNDATION AND FOOTING DETAILS SHALL BE REVIEWED AND APPROVED BY A LOCAL ENGINEER.
- CONTRACTOR SHALL PROVIDE ALL HIGH WIND STRAPPING AND ANCHOR BOLTS AS REQUIRED BY THE LOCAL CODE REQUIREMENTS AND THE LATEST VERSION OF THE IRC.



STAIR DETAILS
N.T.S.



BONUS ROOM FLOOR PLAN
SCALE: 1/4" = 1'-0"

Steel height will need to be raised to achieve 6'-8" Clear Headroom @ E of Toilet.

GENERAL NOTES:

- ALL KITCHEN AND UTILITY COUNTERTOPS ARE SHOWN AS 2'-0" WIDE UNLESS STATED OTHERWISE.
- ALL BATHROOM LAVATORY COUNTERTOPS SHOWN AS 1'-10" WIDE.
- ALL EXTERIOR OVERALL DIMENSIONS ARE FROM EDGE OF FOUNDATION.
- ALL INTERIOR DIMENSIONS ARE FROM STUD FACE TO STUD FACE.
- ALL INTERIOR WALL THICKNESS SHOWN AS 4" UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK.
- BRICK VENEER WALL TIES (MAX 24" O.C. EACH WAY)
- PURCHASER OF THIS PLAN ASSUMES LIABILITY FOR ANY MODIFICATIONS MADE TO THE LAYOUT OF THIS PLAN.
- ALL WOOD FRAMING SHALL BE NO. 2 GRADE - SOUTHERN PINE LUMBER. ALL CEILING JOISTS SPANS ARE BASED ON TABLE R802.4(2) OF THE IRC. 2015 AND ARE DESIGNED FOR ATTICS WITH LIMITED STORAGE. (REFER TO FOUNDATION SHEET FOR SPANS)
- RE: SEC. 308 GLAZING IN HAZARDOUS LOCATIONS & TEMPERED GLASS FOR WINDOWS THAT ARE WITHIN 24" OF THE DOOR IN THE CLOSED POSITION, PROVIDING THE WINDOW IS LESS THAN 60" ABOVE THE FLOOR. (R308 IRC, 2015)
- MASONRY VENEER SHALL BE ANCHORED TO THE SUPPORTING WALL WITH CORROSION-RESISTANT METAL TIES SPACED NOT MORE THAN 24" ON CENTER HORIZONTALLY AND VERTICALLY AND SHALL SUPPORT NOT MORE THAN 261 SQ. FEET OF WALL PER SECTION R103.1.4(1)
- VENT HOOD IN KITCHEN MUST VENT TO THE OUTSIDE. MICROWAVE HOODS MUST VENT TO THE OUTSIDE WHERE APPLICABLE.
- DRYER VENT MUST HAVE MAX LENGTH 25'
- ATTIC SPACES MUST PROVIDE 1 SQ. FT. VENTILATION PER 150 SQ. FT. OF AREA UNLESS CONDITIONED SPACE. (ATTICS R306)

WIND ZONE NOTES

- VERIFY WINDOW CODE REQUIREMENTS AT EACH BUILDING LOCATION AND INSTALL WINDOWS AS PER CODE. REQUIREMENTS WILL VARY FROM DOUBLE INSULATED VINYL TO IMPACT RESISTANT DOUBLE INSULATED VINYL WINDOWS.
- ALL WINDOWS SHALL COMPLY WITH THE GOVERNING IRC/IBC. WINDOWS SHALL BE SELECTED BASED UPON THE COMPONENT AND CLADDING DESIGN PRESSURES.
- CONTRACTOR RESPONSIBLE FOR ANCHORAGE OF BOTTOM PLATE AND WALL STUDS TO FOUNDATION IN COMPLIANCE WITH THE GOVERNING EDITION OF IRC/IBC 603.

HEADER SPANS FOR LOAD BEARING WALLS:

- SINGLE STORY:**
- 2 FLY 2"x6" 4'-3" MAX
 - 2 FLY 2"x8" 5'-4" MAX
 - 2 FLY 2"x10" 7'-6" MAX
- 2 STORY:**
- 2 FLY 2"x6" 3'X1" MAX
 - 2 FLY 2"x8" 4'X6" MAX
 - 2 FLY 2"x10" 6'X2" MAX
- 2 PLY 2X6 HEADERS FOR ALL NON-LOAD BEARING WALLS**
- OSB BETWEEN ALL HEADER FLIES
 - NO BOXED HEADERS
- REFER TO IRC R502.5 (1) AND (2) FOR ADDITIONAL HEADER AND GIRDER SPANS

NOTE:

GENERAL CONTRACTOR TO PROVIDE ADEQUATE ROOF VENTILATION BUILDING SYSTEMS PER IRC CODE (SECTION R806.1) SYSTEMS TO BE USED TO MEET ROOF VENTILATION REQUIREMENTS ARE AS FOLLOWS: CONTINUOUS RIDGE VENTS, POWER VENTS, BOX VENTS, AND GABLE/DORMER VENTS WHEN APPROVED BY OWNER.

SOFFIT VENTS TO BE USED ONLY IN ACCORDANCE W/ IRC CODE (SECTION R302 AND TABLE R302.1) TO ACCOMMODATE APPROPRIATE FIRE SEPARATION DISTANCES.

GENERAL MATERIALS:

- EXTERIOR WALLS:
 - BRICK VENEER
 - REINFORCED CEMENTITIOUS SIDING
 - "TYVEK" BUILDING WRAP
 - 1/2" O.S.B. SHEATHING
 - R-13 BATT INSULATION
 - 2X4 STUDS @ 1'-4" O.C. (UNLESS NOTED)
 - 1/2" GYPSUM BOARD INTERIOR
- INTERIOR WALLS:
 - 2X4 STUDS @ 1'-4" O.C.
 - 1/2" GYPSUM BOARD ON BOTH SIDES
- CEILING:
 - 2X JOISTS @ 1'-4" O.C.
 - 1/2" GYPSUM BOARD
- ROOF SYSTEM:
 - R-38 INSULATION
 - 30 YEAR FIBERGLASS SHINGLES
 - 5/8" O.S.B. OR CDX PLYWOOD
 - STANDING SEAM METAL ROOF
 - 15# FELT
 - 2X6 RAFTERS @ 2'0" O.C.

NOTE: ALL ROOFING PRODUCTS, MATERIALS AND INSTALLATION SHALL COMPLY WITH THE REQUIREMENTS UNLESS CHANGED BY GENERAL CONTRACTOR AT OWN DISCRETION.

PROTECTION AGAINST TERMITES:

- SUBTERRANEAN TERMITE CONTROL. IN AREAS FAVORABLE TO TERMITE DAMAGE METHODS OF PROTECTION SHALL BE BY CHEMICAL SOIL TREATMENT, PRESSURE-TREATED WOOD, NATURALLY TERMITES RESISTANT WOOD OR PHYSICAL BARRIERS (SUCH AS METAL OR PLASTIC TERMITES SHIELDS), OR ANY COMBINATION OF THESE METHODS.
- CHEMICAL SOIL TREATMENT. THE CONCENTRATION, RATE OF APPLICATION AND TREATMENT METHOD OF THE TERMITICIDE LABEL.
- PRESSURE-TREATED AND NATURALLY RESISTANT WOOD. HEARTWOOD OF REDWOOD AND EASTERN RED CEDAR SHALL BE CONSIDERED TERMITES RESISTANT. PRESSURE-TREATED WOOD AND NATURALLY TERMITES RESISTANT WOOD SHALL NOT BE USED AS A PHYSICAL BARRIER UNLESS A BARRIER CAN BE INSPECTED FOR ANY TERMITES SHELTER TUBES AROUND THE INSIDE AND OUTSIDE EDGES AND JOINTS OF A BARRIER.
- FIELD TREATMENT. FIELD CUT ENDS, NOTCHES, AND DRILLED HOLES OF PRESSURE-TREATED WOOD SHALL BE RETREATED IN THE FIELD ACCORDING TO AUPA M4.

IMPORTANT NOTE:

ALL EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. GRADE FLOOR WINDOWS MAY HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24". THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20". MAXIMUM SILL HEIGHT - 44" AFF.

WINDOW SCHEDULE			
MARK	OPENING SIZE	DESCRIPTION	QTY.
A	2'6" x 4'6"	2/2 LITE VINYL FIXED INSULATED WINDOW (SEE ELEVATIONS)	3
B	2'0" x 2'0"	4 LITE VINYL FIXED INSULATED WINDOW (SEE ELEVATIONS)	2
C	3'0" x 5'0"	2/2 LITE VINYL SINGLE HUNG WINDOW INSULATED	3
D	3'0" x 6'0"	2/2 LITE VINYL SINGLE HUNG WINDOW INSULATED	4
E	2'6" x 5'0"	2/2 LITE VINYL SINGLE HUNG WINDOW INSULATED	2
F	2'0" x 5'0"	4 LITE VINYL FIXED PICTURE W/ TEMPERED GLASS	4
G	2'6" x 5'0"	4 LITE VINYL FIXED INSUL. WINDOW W/ 16" TRANSOM (MULLED)	3
H	4'0" x 7'0"	2/2 LITE VINYL S.H. INSULATED WINDOW W/ 20" TRANSOM	6
J	3'0" x 7'0"	2/2 LITE VINYL S.H. INSULATED WINDOW W/ 24" TRANSOM	3

DOOR SCHEDULE			
MARK	SIZE	DESCRIPTION	QTY.
1	DBL 2'6" x 8'0"	EXT. & LITE 3/4 FRENCH SOLID WOOD DOORS W/ 20" TRANS.	3 PAIR
2	3'0" x 8'0"	EXTERIOR & LITE 3/4 FRENCH SOLID WOOD DOOR	1
3	3'0" x 8'0"	EXT. & LITE FULL FRENCH SOLID WOOD DOOR W/ 20" TRANS.	1
4	DBL 2'6" x 8'0"	EXTERIOR & LITE FULL FRENCH SOLID WOOD DOORS	1 PAIR
5	10'0" x 8'0"	INSULATED METAL CARRIAGE STYLE GARAGE DOOR W/ LITES	3
6	3'0" x 8'0"	EXTERIOR RAISED PANEL METAL DOOR	3
7	3'0" x 8'0"	CASED OPENING	4
8	3'0" x 8'0"	INTERIOR RAISED PANEL HOLLOW CORE MASONITE DOOR	3
9	2'8" x 8'0"	INTERIOR RAISED PANEL HOLLOW CORE MASONITE DOOR	3
10	2'4" x 8'0"	INTERIOR RAISED PANEL HOLLOW CORE MASONITE DOOR	6
11	2'0" x 8'0"	INTERIOR RAISED PANEL HOLLOW CORE MASONITE DOOR	2
12	2'6" x 8'0"	INTERIOR RAISED PANEL HOLLOW CORE MASONITE DOOR	2
13	2'4" x 8'0"	INTERIOR RAISED PANEL MASONITE POCKET DOOR	3
14	DBL 1'6" x 8'0"	INTERIOR RAISED PANEL HOLLOW CORE MASONITE DOORS	1 PAIR
15	2'0" x 8'0"	SLIDING BARN DOOR - OWNER SELECT	1
16	DBL 2'4" x 8'0"	SLIDING BARN DOORS - OWNER SELECT	1 PAIR
17	2'4" x 6'8"	INTERIOR RAISED PANEL HOLLOW CORE MASONITE DOOR	1
18	2'8" x 6'8"	SOLID CORE ATTIC ACCESS DOOR	2

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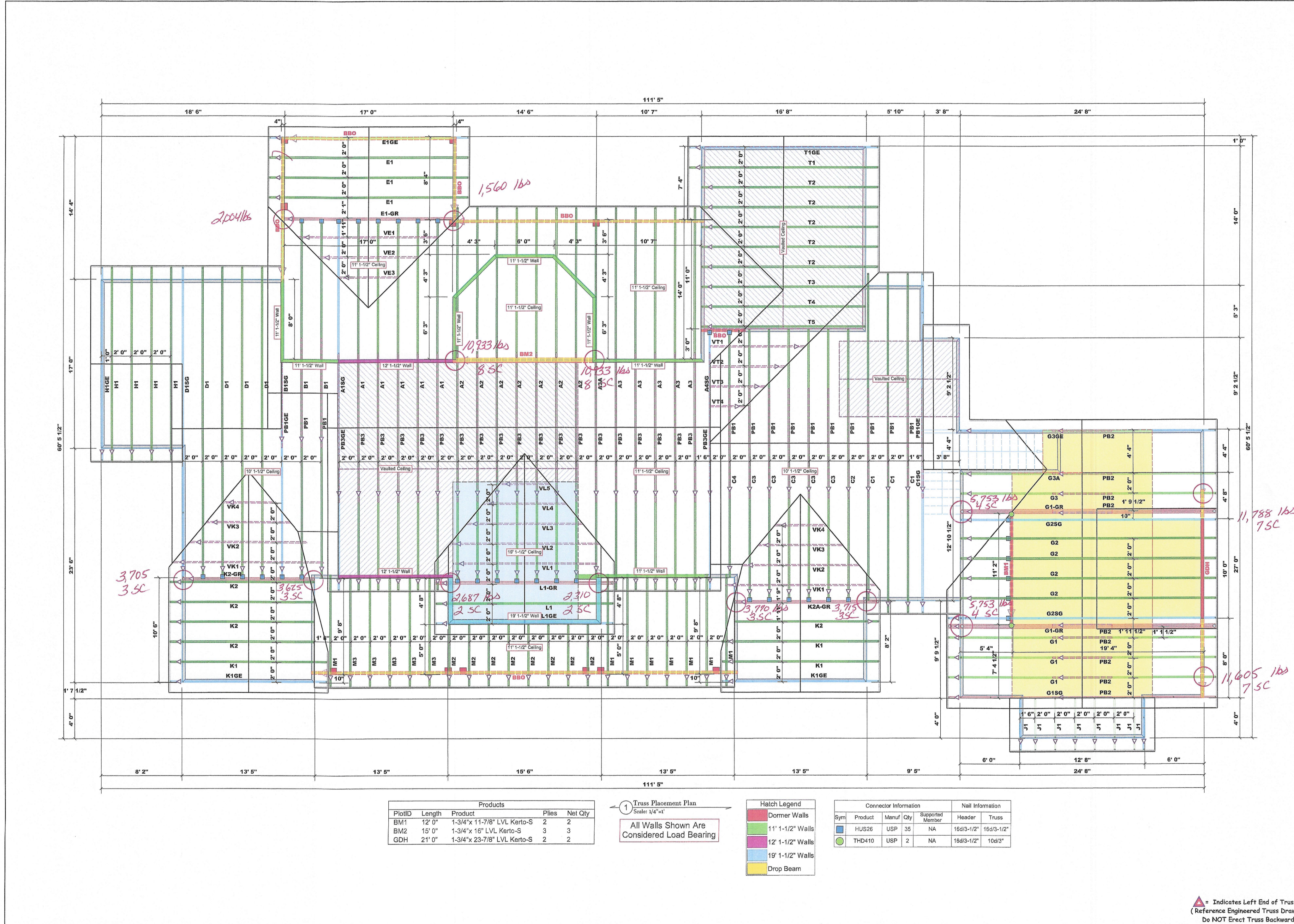
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Sheet Title

BONUS ROOM/ INT. ELEVATIONS

Sheet:
 Preliminary Dwg.
 Bidding Doc.
 Construction Doc.

A1.1



Product	Length	Product	Pieces	Net Qty
BM1	12' 0"	1-3/4" x 11-7/8" LVL Kerto-S	2	2
BM2	15' 0"	1-3/4" x 16" LVL Kerto-S	3	3
GDH	21' 0"	1-3/4" x 23-7/8" LVL Kerto-S	2	2

Truss Placement Plan
Scale: 1/4" = 1'-0"

All Walls Shown Are Considered Load Bearing

Color	Product
Red	Dormer Walls
Green	11' 1-1/2" Walls
Blue	12' 1-1/2" Walls
Purple	19' 1-1/2" Walls
Yellow	Drop Beam

Symbol	Product	Manufacturer	Quantity	Supported Member	Header	Truss
Blue square	HUS26	USP	35	NA	160/3-1/2"	160/3-1/2"
Green circle	THD410	USP	2	NA	160/3-1/2"	100/3"

▲ Indicates Left End of Truss
(Reference Engineered Truss Drawing)
Do NOT Erect Truss Backwards

ROOF & FLOOR TRUSSES & BEAMS

Relly Road Industrial Park
Fayetteville, N.C. 28309
Phone: (910) 864-8787
Fax: (910) 864-6664

THIS IS A TRUSS PLACEMENT DRAWING ONLY. IT IS NOT A STRUCTURAL DRAWING. THE TRUSS DESIGN IS THE PROPERTY OF COMTECH TRUSSES & BEAMS. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE TRUSS DESIGNER IS NOT RESPONSIBLE FOR ANY DAMAGE TO PROPERTY OR PERSONS ARISING FROM THE USE OF THIS DRAWING. THE TRUSS DESIGNER IS NOT RESPONSIBLE FOR ANY DAMAGE TO PROPERTY OR PERSONS ARISING FROM THE USE OF THIS DRAWING. THE TRUSS DESIGNER IS NOT RESPONSIBLE FOR ANY DAMAGE TO PROPERTY OR PERSONS ARISING FROM THE USE OF THIS DRAWING.

Drawn by: **David Landry**
Sales Rep: **David Landry**

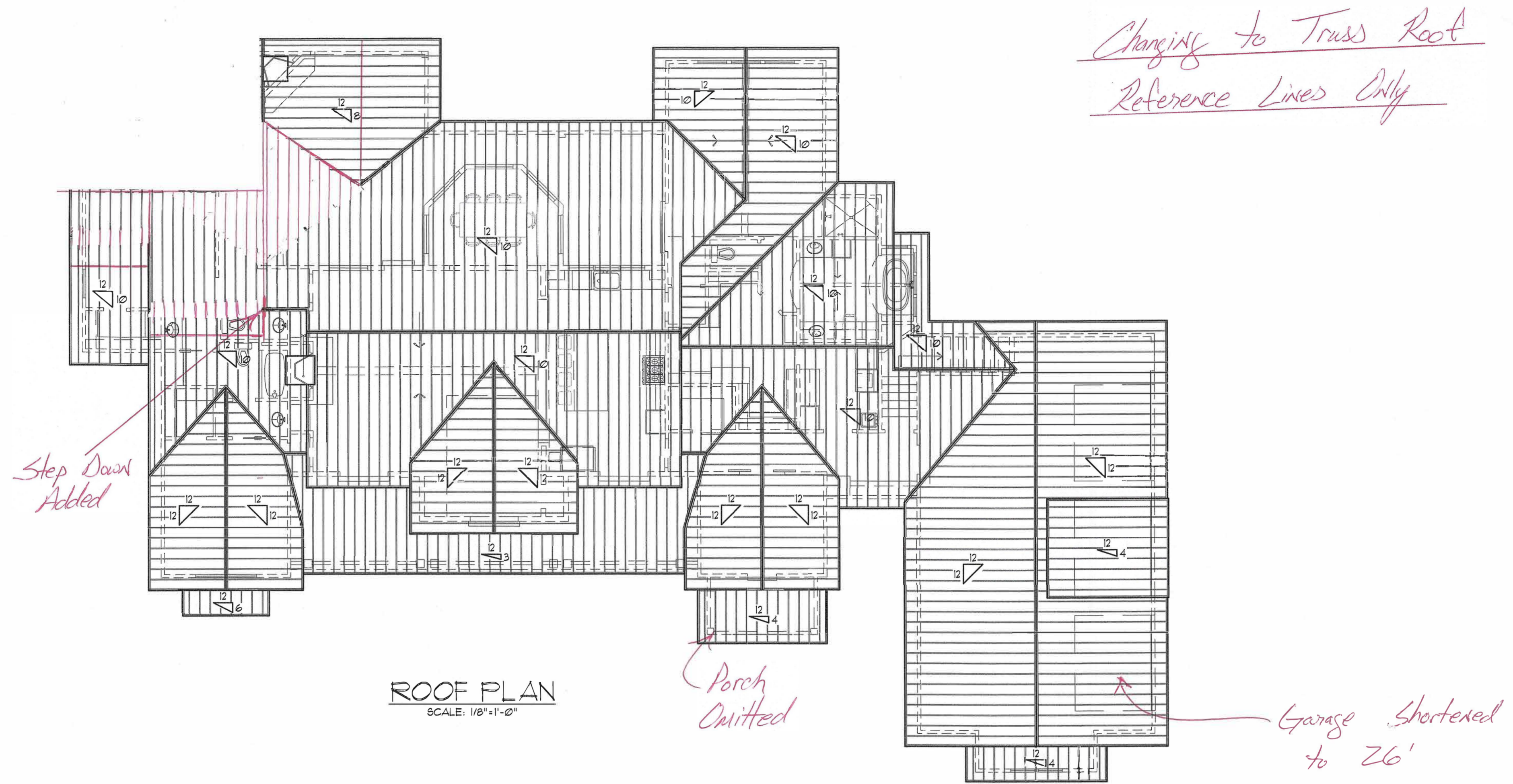
BUILDER	Camberland Homes, Inc.	CITY / CO	Johnston Co. / Johnston
JOB NAME	Holland Residence	ADDRESS	Site Address
PLAN	Holland Residence	MODEL	Roof
SEAL DATE	Seal Date	DATE REV.	03/01/22
QUOTE #	J0225-1061	DRAWN BY	David Landry
JOB #		SALES REP	Larry Norris

LOAD CHART FOR JACK STUDS

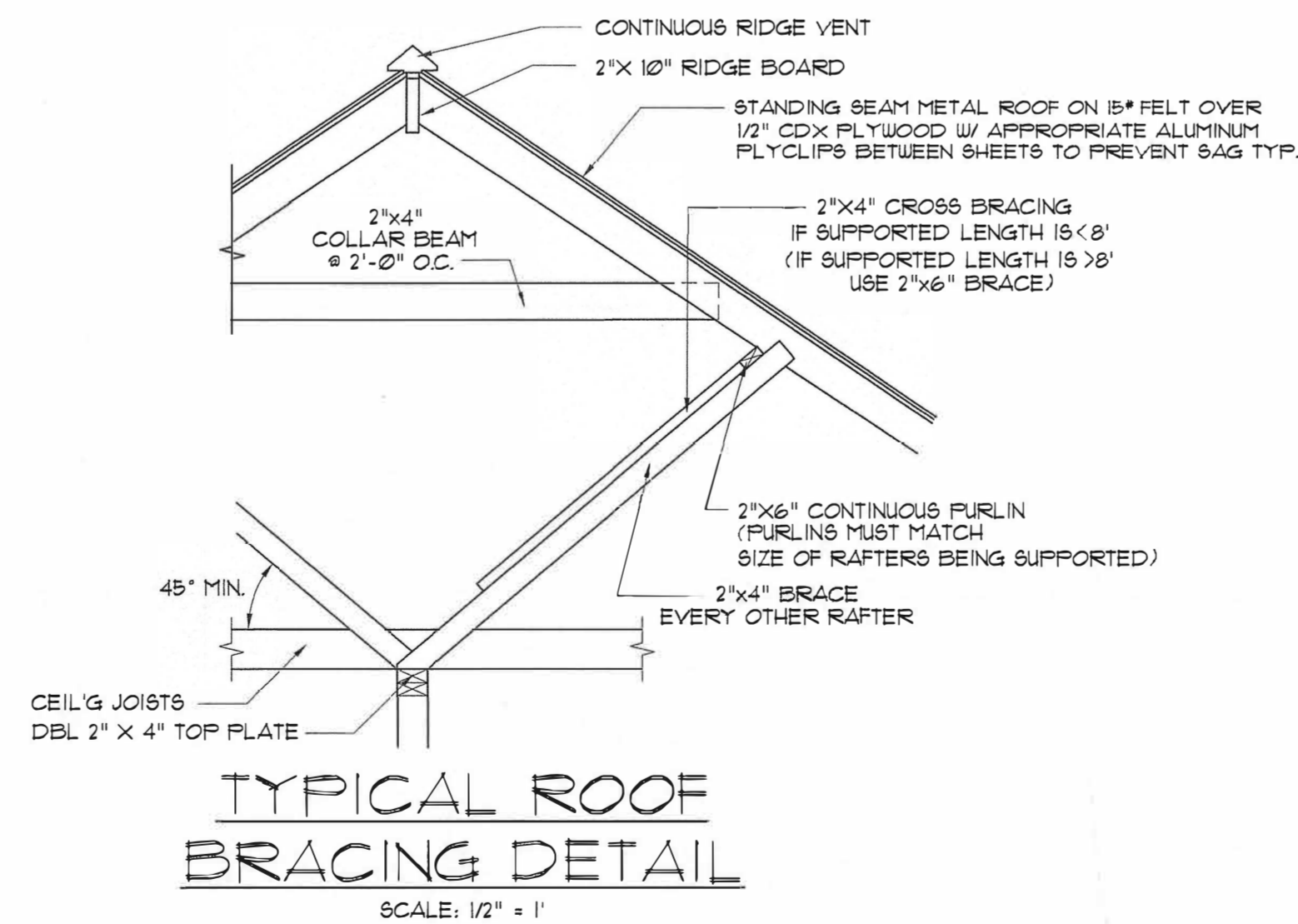
Truss Depth	Max. Spacing	Max. Load
12' 0"	16"	3400
14' 0"	16"	4800
16' 0"	16"	6200
18' 0"	16"	7600
20' 0"	16"	9000
22' 0"	16"	10400
24' 0"	16"	11800
26' 0"	16"	13200
28' 0"	16"	14600
30' 0"	16"	16000

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ROOF PLAN
SCALE: 1/8" = 1'-0"



TYPICAL ROOF BRACING DETAIL
SCALE: 1/2" = 1'

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Sheet Title

ROOF PLAN

□ Preliminary Dwg.

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Sheet:

A3.1

4th Bed & Bath Deleted

PRE-WIRE FOR THE FOLLOWING:

- TELEPHONE (ONE INCOMING LINE)
- CABLE VISION (ONE OUTLET PER ROOM MINIMUM)
- SECURITY SYSTEM - COORDINATE W/ OWNER
- COORDINATE ELECTRICAL SYSTEM WITH MECHANICAL CONTRACTOR
- ALL WIRING TO BE COPPER MIN. 12/2 W/ GROUND
- VERIFY LOCATION OF FLOOR OUTLETS IN FAMILY ROOM
- PROVIDE 110V OUTLET FOR GARAGE DISPOSAL UNDER KITCHEN SINK
- PROVIDE 110V OUTLET FOR WHIRLPOOL TUB MOTOR UNDER WHIRLPOOL TUB IN MASTER BATH
- PROVIDE 220V OUTLET FOR CLOTHES DRYER
- COORDINATE SURROUND SYSTEM W/ OWNER

ELECTRICAL NOTES:

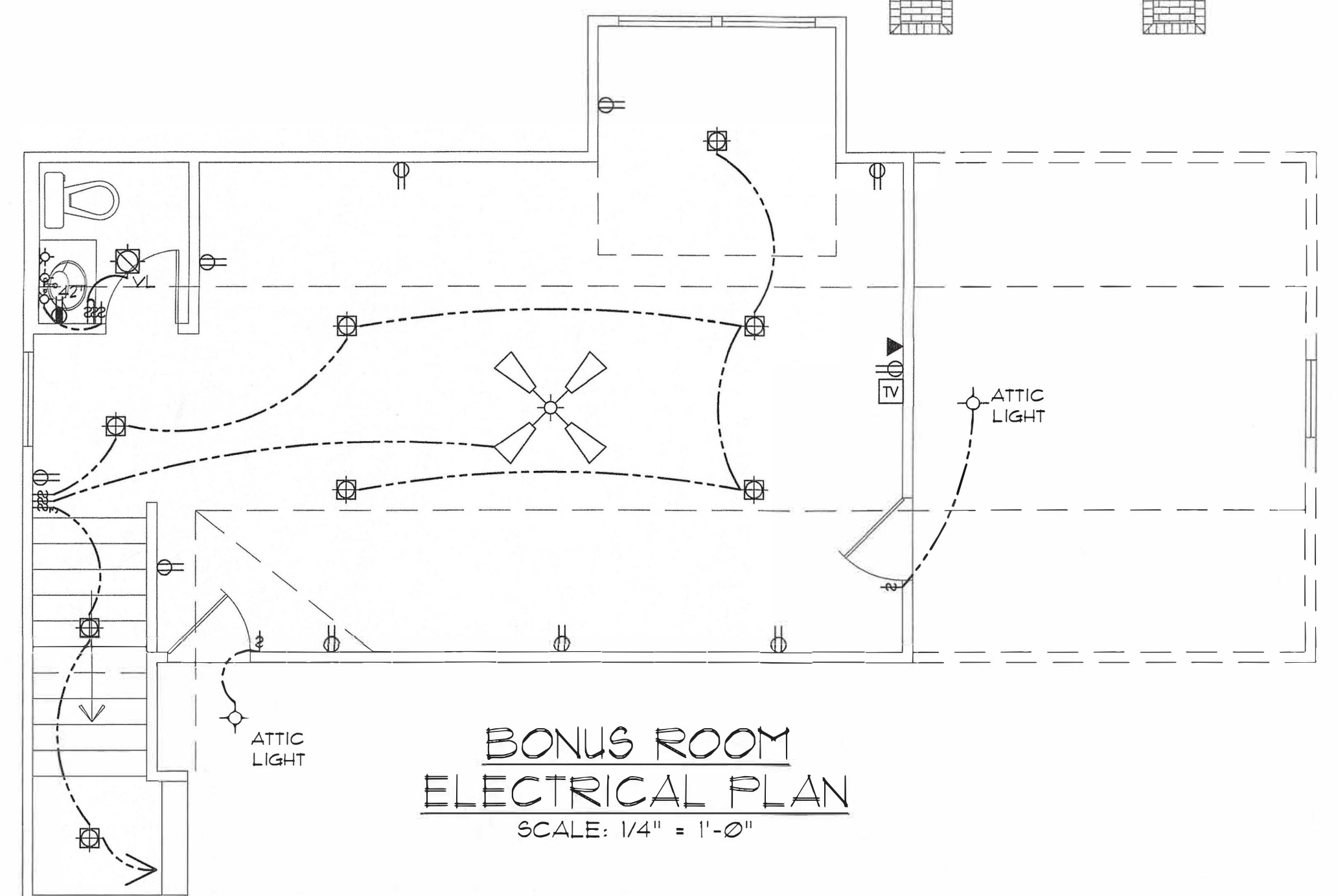
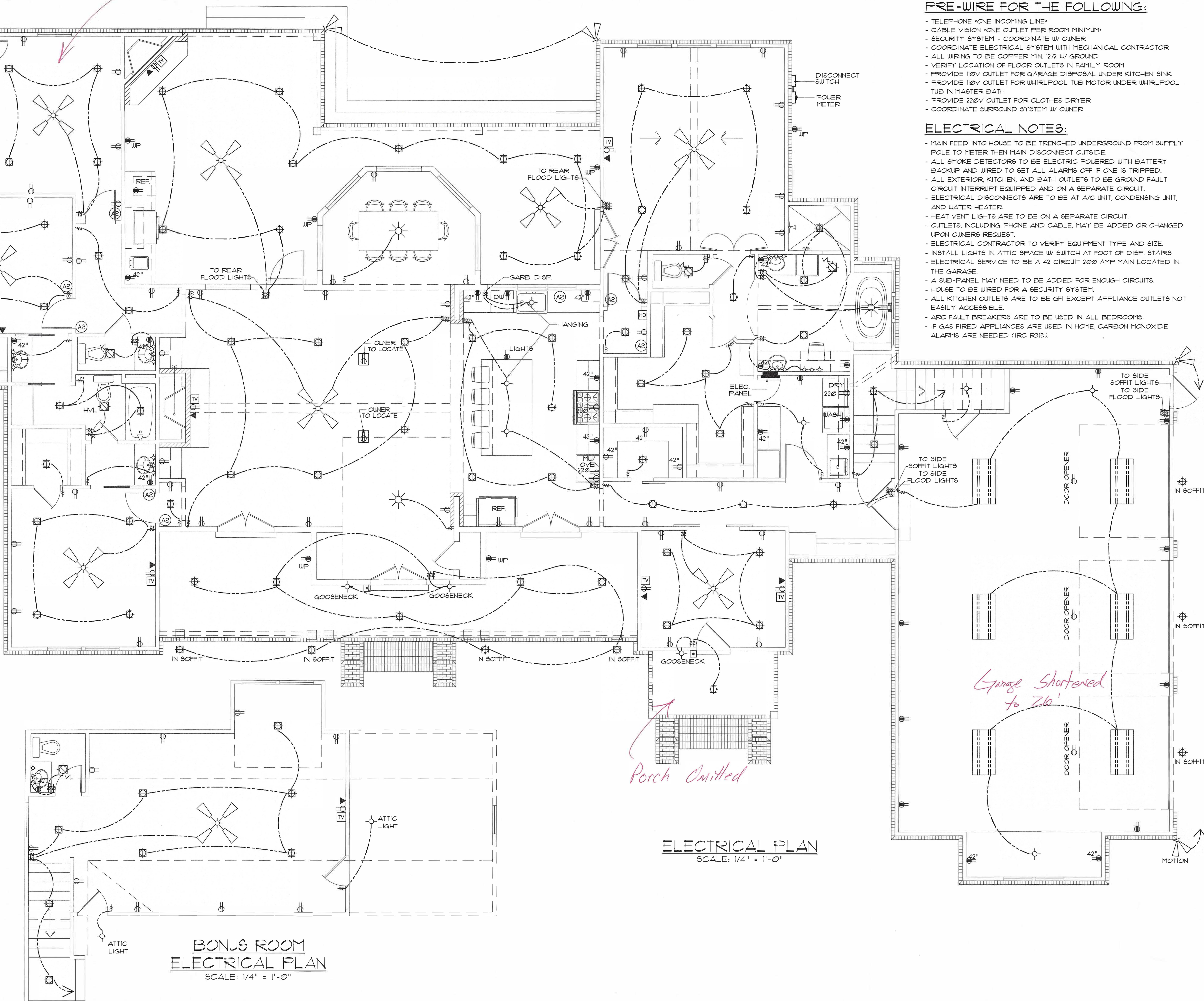
- MAIN FEED INTO HOUSE TO BE TRENCHED UNDERGROUND FROM SUPPLY POLE TO METER THEN MAIN DISCONNECT OUTSIDE.
- ALL SMOKE DETECTORS TO BE ELECTRIC POWERED WITH BATTERY BACKUP AND WIRED TO SET ALL ALARMS OFF IF ONE IS TRIPPED.
- ALL EXTERIOR, KITCHEN, AND BATH OUTLETS TO BE GROUND FAULT CIRCUIT INTERRUPT EQUIPPED AND ON A SEPARATE CIRCUIT.
- ELECTRICAL DISCONNECTS ARE TO BE AT A/C UNIT, CONDENSING UNIT, AND WATER HEATER.
- HEAT VENT LIGHTS ARE TO BE ON A SEPARATE CIRCUIT.
- OUTLETS, INCLUDING PHONE AND CABLE, MAY BE ADDED OR CHANGED UPON OWNERS REQUEST.
- ELECTRICAL CONTRACTOR TO VERIFY EQUIPMENT TYPE AND SIZE.
- INSTALL LIGHTS IN ATTIC SPACE W/ SWITCH AT FOOT OF DIAP. STAIRS
- ELECTRICAL SERVICE TO BE A 42 CIRCUIT 200 AMP MAIN LOCATED IN THE GARAGE.
- A SUB-PANEL MAY NEED TO BE ADDED FOR ENOUGH CIRCUITS.
- HOUSE TO BE WIRED FOR A SECURITY SYSTEM.
- ALL KITCHEN OUTLETS ARE TO BE GFI EXCEPT APPLIANCE OUTLETS NOT EASILY ACCESSIBLE.
- ARC FAULT BREAKERS ARE TO BE USED IN ALL BEDROOMS.
- IF GAS FIRED APPLIANCES ARE USED IN HOME, CARBON MONOXIDE ALARMS ARE NEEDED (IRC R315).

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CONTRACTORS SHALL ASSUME RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE FIELD. ANY VARIATION FROM ANY DIMENSIONS SET FORTH HEREIN, EVERY EFFORT HAS BEEN MADE TO SPECIFY STRUCTURAL DATA AND DIMENSIONS. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS IN THE FIELD AND SHALL BUILD HOME IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE 2015.

ELECTRICAL SYMBOL LEGEND

- TV CABLE OUTLET
- TELEPHONE/ ETHERNET OUTLET
- RECEPTACLE, 15A, 125V, 2 POLE 3 WIRE, GROUNDING, DUPLEX
- FLOOR DUPLEX RECEPTACLE
- GROUND-FAULT-CIRCUIT-INTERLIFT RECEPTACLE-USE SQUARE D QUICK GUARD FOR WF LOCATIONS
- RECEPTACLE, 50A, 220V, 2 POLE 3 WIRE, GROUNDING
- TOGGLE SWITCH, SINGLE POLE, 15A
- TOGGLE SWITCH, 3 WAY, 15A
- ELEC. DOOR BELL
- DOORBELL CHIME
- DIMMER SWITCH
- LIGHT FIXTURE, INCANDESCENT CEILING MOUNTED
- LIGHT FIXTURE, INCANDESCENT EXTERIOR FLOODS
- CEILING FAN W/ LIGHT- PROVIDE SEPERATE SWITCHES FOR F & L
- LIGHT FIXTURE - CHANDELIER W/ INCANDESCENT BULBS
- LED RECESSED LIGHT
- LIGHT FIXTURE - FLOURESCENT
- SMOKE ALARM - 110V ELEC. W/ CARBON MONOXIDE DETECTOR
- VANITY LIGHT
- VENT/LIGHT RECESSED CAN
- HEAT/VENT/LIGHT
- VENT/LIGHT ONLY
- SCONCE LIGHT
- ELECTRIC LANTERN



Porch Omitted

Garage Shortened to 26'

ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

BONUS ROOM ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

Project RESIDENCE OF

MADDEN HOME DESIGN
8375 Rushing Road
Denham Springs, Louisiana 70726
Phone: (225) 791-2912

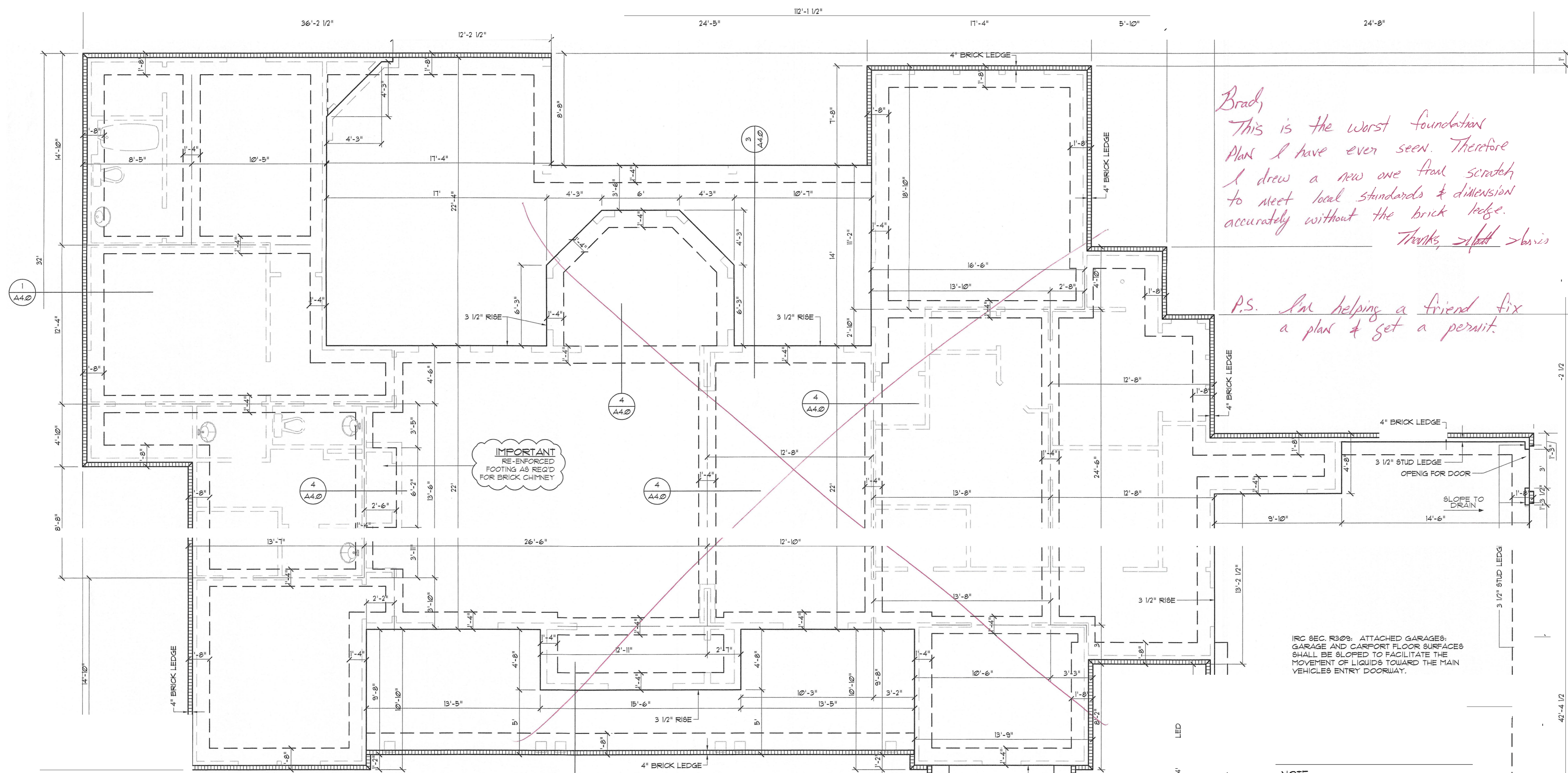
Project No.: The Tanglewood-Mirror
DATE: JUNE 15, 2020
DRAWN BY: Steven Madden
DESIGNED BY: Steven Madden
REVISED:

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Sheet Title

ELECTRICAL PLAN

Sheet:
E1.0

- Preliminary Dwg.
- Bidding Doc.
- Construction Doc.



Brady
 This is the worst foundation
 Plan I have ever seen. Therefore
 I drew a new one from scratch
 to meet local standards & dimension
 accurately without the brick ledge.
 Thanks, *Jeff Davis*

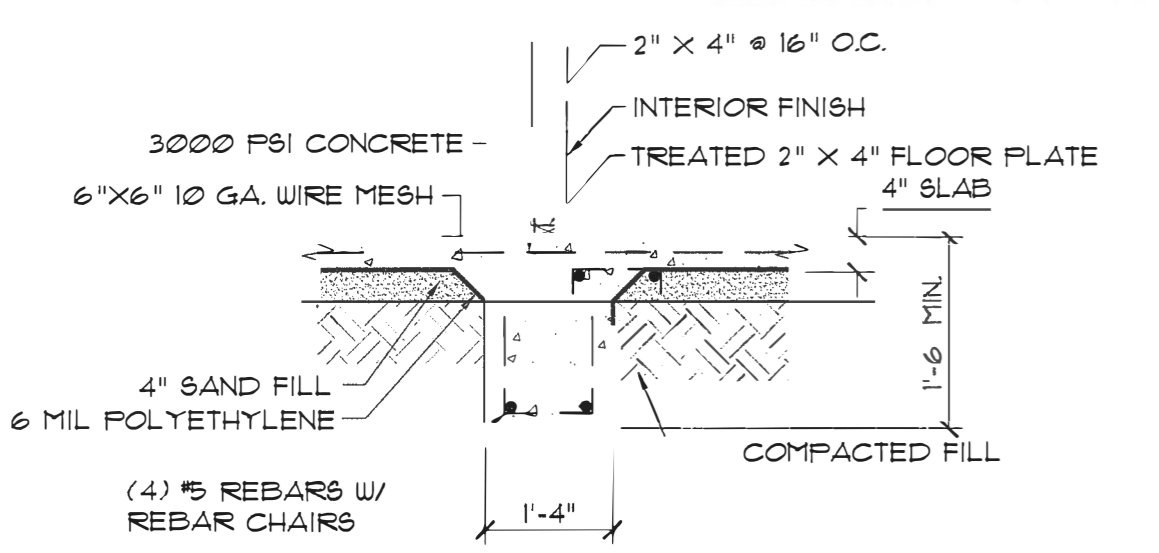
*P.S. I'm helping a friend fix
 a plan & get a permit.*

IMPORTANT
 RE-ENFORCED
 FOOTING AS REQ'D
 FOR BRICK CHIMNEY

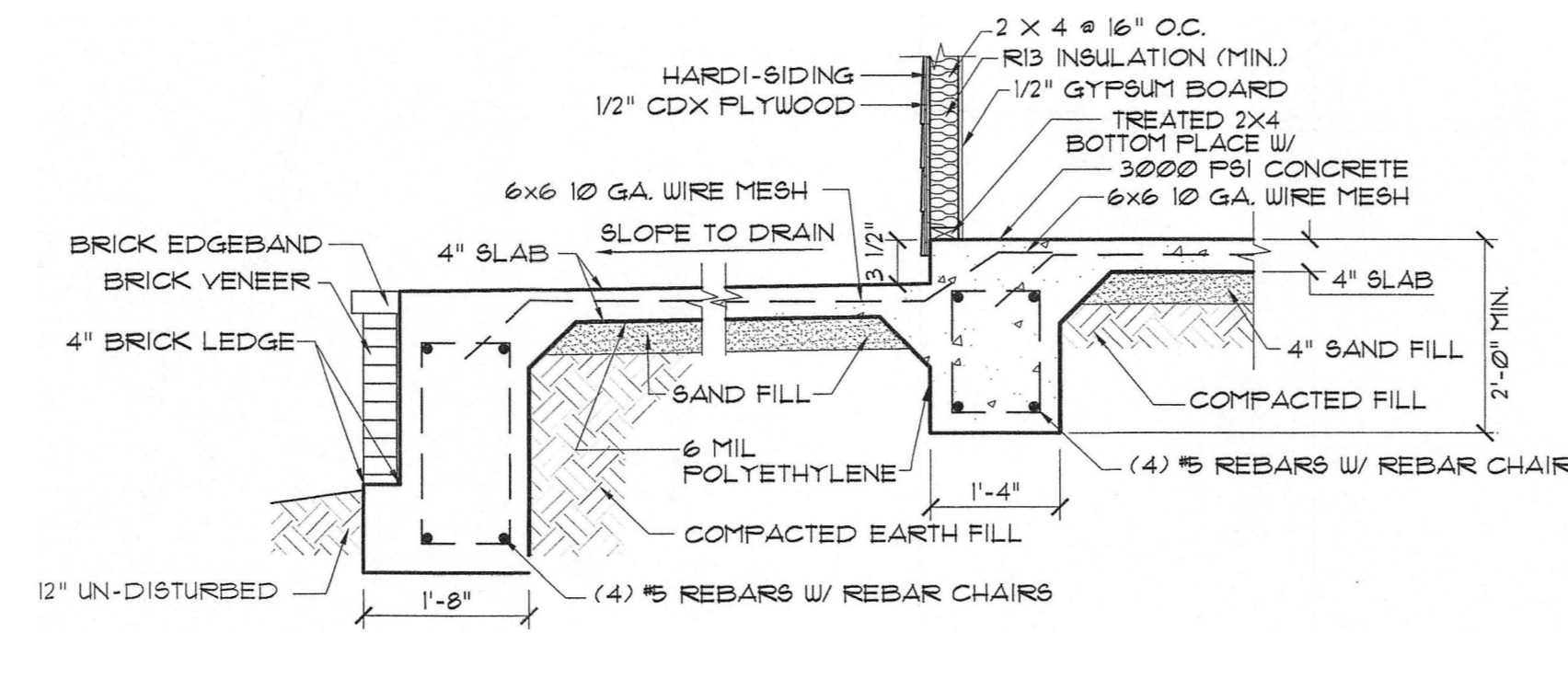
IRC SEC. R329: ATTACHED GARAGES:
 GARAGE AND GARPORT FLOOR SURFACES
 SHALL BE SLOPED TO FACILITATE THE
 MOVEMENT OF LIQUIDS TOWARD THE MAIN
 VEHICLES ENTRY DOORWAY.

NOTE:
 ALL EXTERIOR GRADE BEAMS TO
 EXTEND BELOW UNDISTURBED SOIL
 A MINIMUM OF 12".

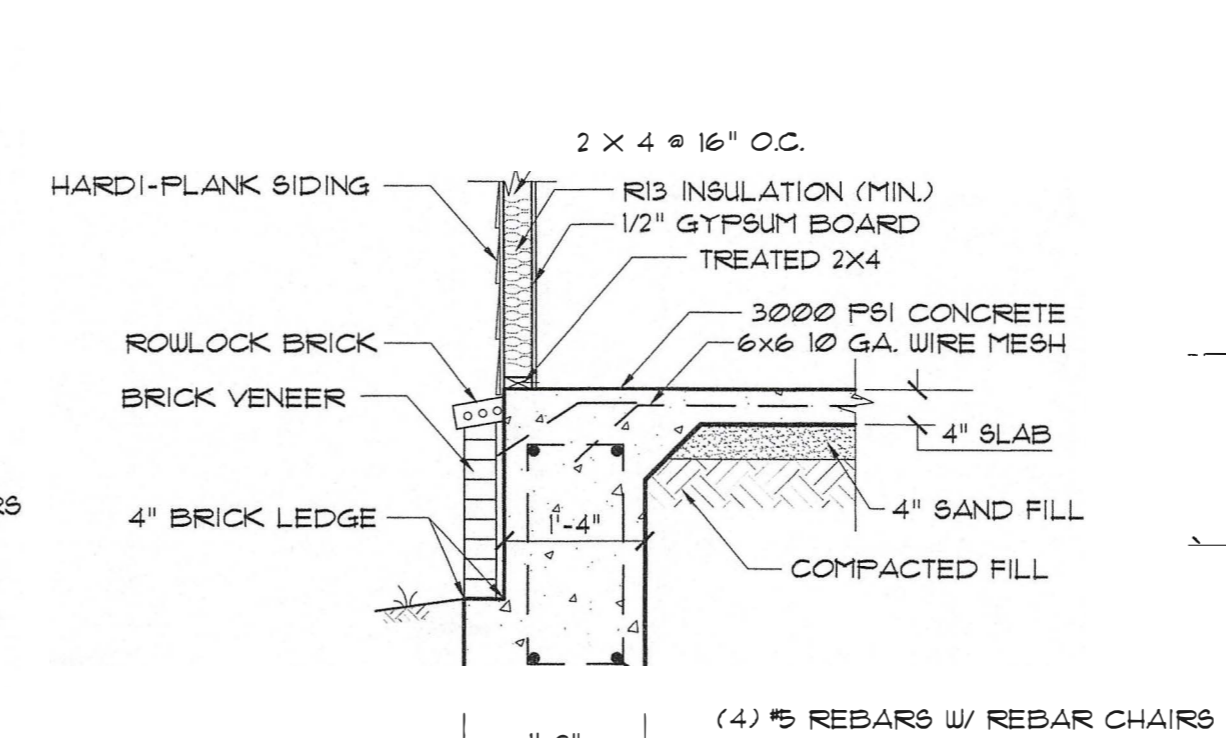
NOTE:
 THIS GENERIC FOUNDATION PLAN IS
 DESIGNED FOR NON EXPANSIVE SOILS WITH
 A BEARING CAPACITY OF AT LEAST 2500
 PSF. MADDEN HOME DESIGN IS NOT AN
 ENGINEER AND RECOMMENDS THAT A
 PROFESSIONAL ENGINEER BE CONSULTED
 FOR YOUR SPECIFIC LOT AS THE DESIGNER
 HAS NOT BEEN PROVIDED ANY
 INFORMATION BY THE CLIENT REGARDING
 THE BEARING CAPACITY OF THE SOILS FOR
 THIS LOT AND ASSUMES NO RESPONSIBILITY
 FOR THE STRUCTURAL PERFORMANCE OF
 THIS DESIGN.



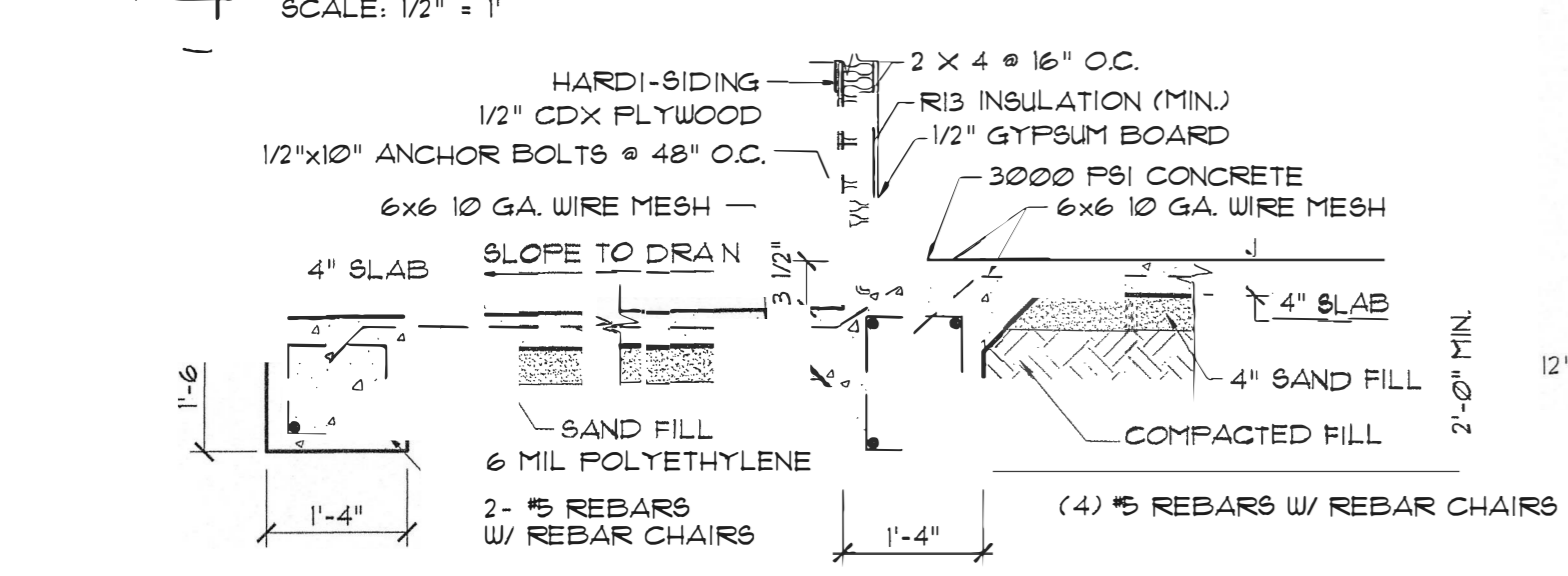
4 INTERIOR GRADE BEAM
 SCALE: 1/2" = 1"



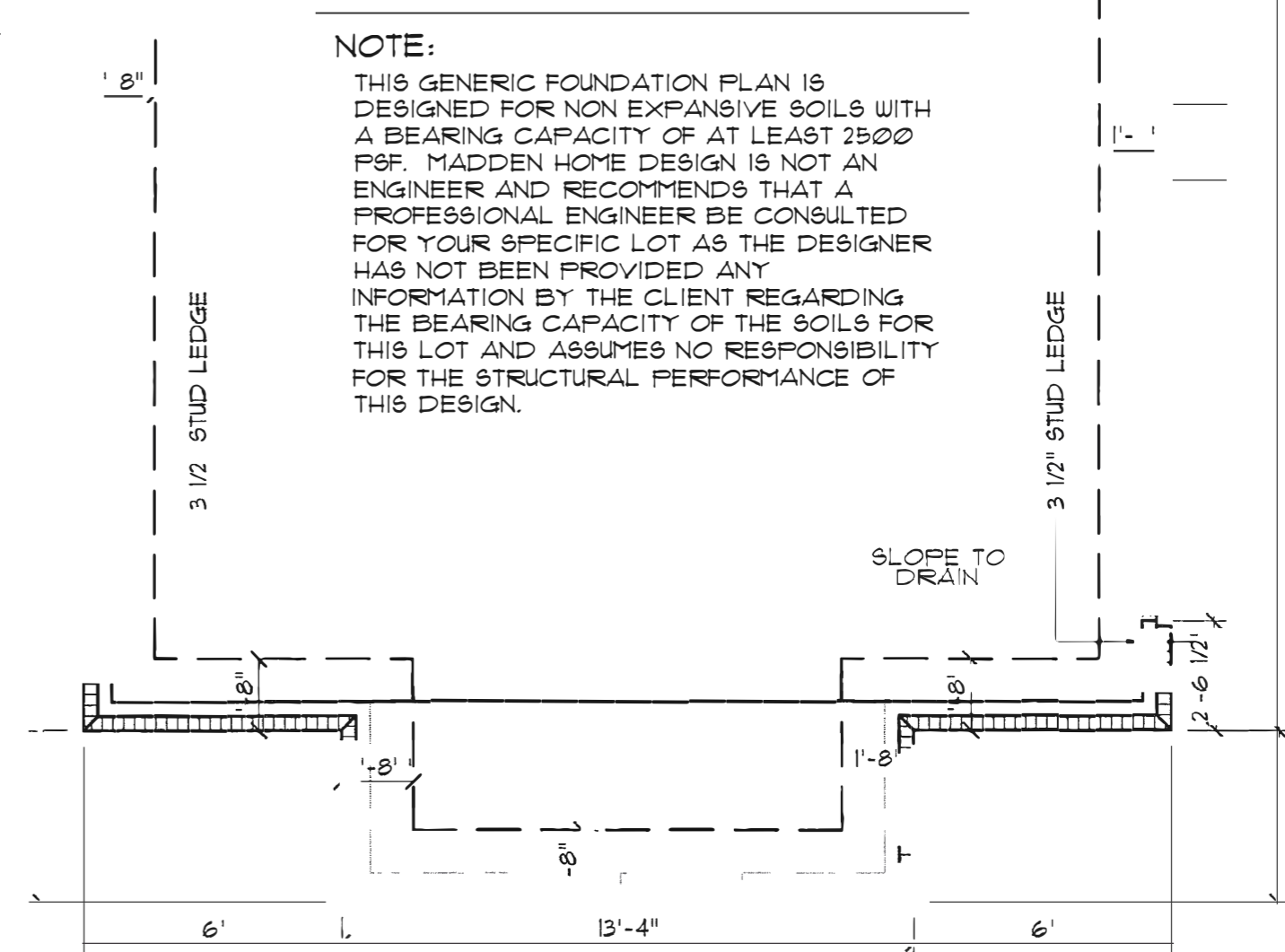
2 COVERED FRONT PORCH FOOTING
 SCALE: 1/2" = 1"



1 BRICK LEDGE BELOW HARDI
 EXT. FOOTING
 SCALE: 1/2" = 1"



3 COVERED REAR PORCH FOOTING
 SCALE: 1/2" = 1"



FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"

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Project
 RES DENCE OF

MADDEN
 HOME DESIGN
 8375 Rushing Road
 Denham Springs, Louisiana 70726
 Phone: (225) 791-2912

Project No.: The Tanglewood-Mirror
 DATE: JUNE 15, 2020
 DRAWN BY: Steven Madden
 DESIGNED BY: Steven Madden
 REVISED:

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 Sheet Title
FOUNDATION PLAN
 Sheet:
 Preliminary Dwg.
 Bidding Doc.
 Construction Doc.
A4.0

