

Grid North
NAD 83 (2011)

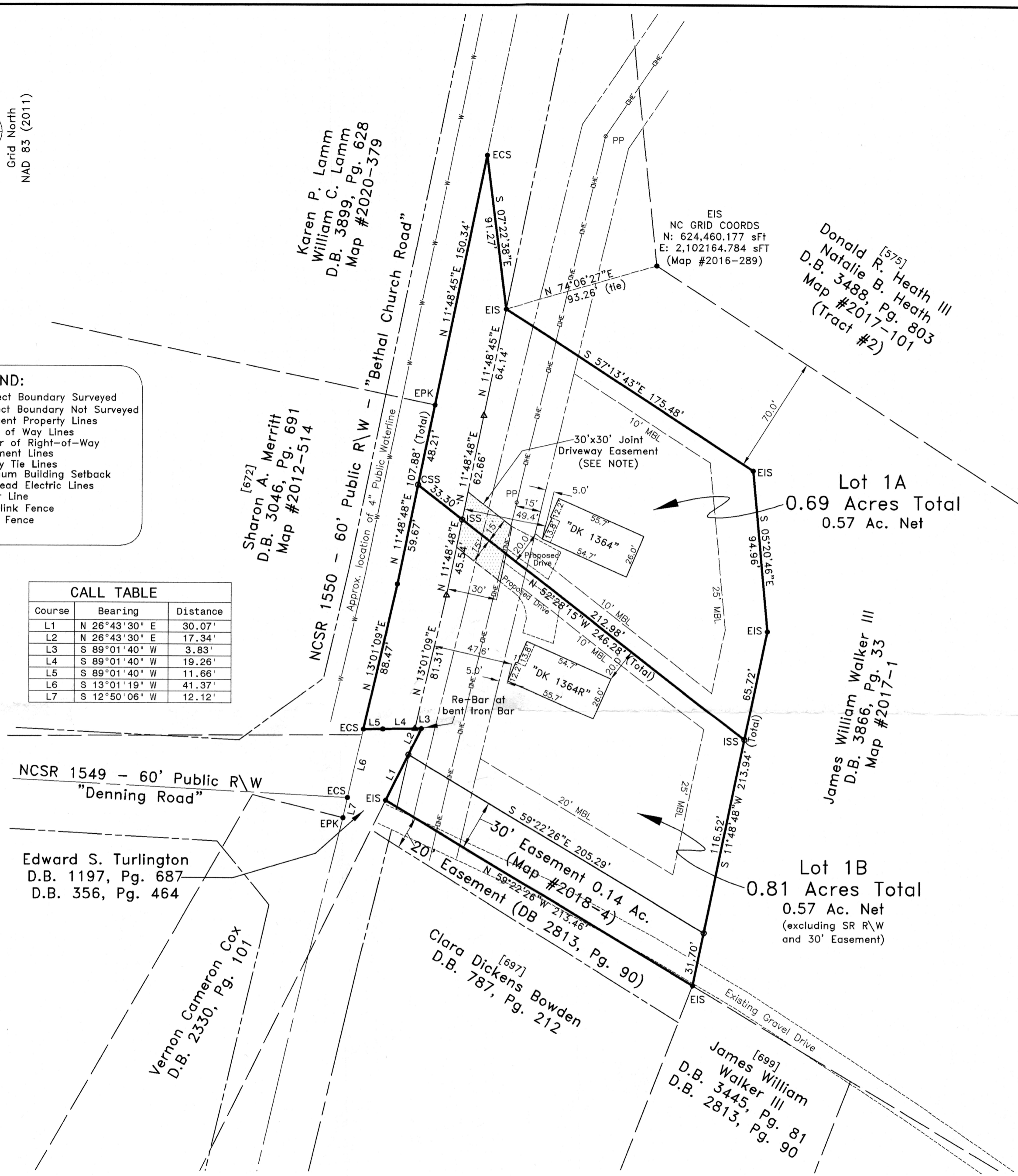
- SYMBOLS & ABBREVIATIONS:**
- EIP/EIS... Existing Iron Pipe or Stake
 - ERB..... Existing ReBar Stake
 - ERRS... Existing Rail Road Spike
 - EPK..... Existing Parker-Kaylon Nail
 - EMN..... Existing Magnetic Nail
 - ECS..... Existing Cotton Picker Spindle
 - ⊠ ECM..... Existing Concrete Monument
 - △ AG/BG..... Above/Below Ground Surface
 - △ CP..... Calculated Point (not set)
 - ⊙ CNTRL..... Control Point - Grid Coordinates
 - ISS..... Iron Stake Set (#4 rebar)
 - MNS..... Magnetic Nail Set
 - CSS..... Cotton Spindle Set
 - ⊕ FH..... Fire Hydrant
 - ⊙ PP..... Power Pole
 - OHE..... Overhead Electric Lines
 - Land Hook (Property combined)
 - C/L..... Centerline of Road or Easement
 - R/W..... Right-of-Way
 - D.B..... Deed Book
 - P.B/P.C..... Plat Book / Plat Cabinet
 - M.B..... Map Book
 - NC_PIN..... Parcel Identifier Number
 - Ac..... Acres (Area of property)
 - SF..... Square Feet
 - [123]..... House Address

- LINE LEGEND:**
- Subject Boundary Surveyed
 - - - Subject Boundary Not Surveyed
 - - - Adjacent Property Lines
 - - - Right of Way Lines
 - - - Center of Right-of-Way
 - - - Easement Lines
 - - - Survey Tie Lines
 - - - Minimum Building Setback
 - - - Overhead Electric Lines
 - - - Water Line
 - - - Chainlink Fence
 - - - Wood Fence

CALL TABLE

Course	Bearing	Distance
L1	N 26°43'30" E	30.07'
L2	N 26°43'30" E	17.34'
L3	S 89°01'40" W	3.83'
L4	S 89°01'40" W	19.26'
L5	S 89°01'40" W	11.66'
L6	S 13°01'19" W	41.37'
L7	S 12°50'06" W	12.12'

- SURVEY NOTES:**
- Iron Stakes (1/2" Re-bar) set at all new property corners unless labeled otherwise.
 - Magnetic Nails set at all points in paved road surfaces, unless otherwise indicated.
 - Areas determined by coordinate method.
 - All distances & dimensions are horizontal ground distances unless otherwise indicated.
 - No NC Geodetic Survey monuments or other such control monuments were found within 2,000 feet of the subject property unless otherwise shown herein.
 - This survey is based upon the references shown as taken from County GIS records. No title search was provided for this survey. A complete title search by a licensed attorney may reveal other easements, restrictions, and title issues not made available to the surveyor.
 - No underground utilities were marked by providers prior to this survey. Call NC 811 prior to any excavation to locate any underground utilities.
 - Wetlands, soil conditions, or other environmental features were not delineated for this survey.



**Harnett County
Minimum Building
Setback Requirements**
RA-20R, RA-20M,
RA-30 & RA-40

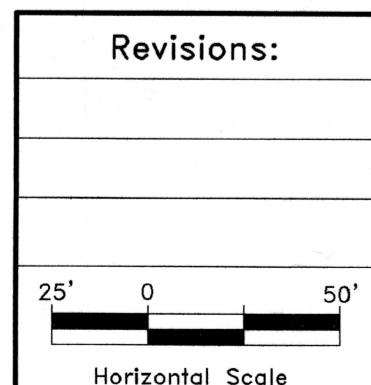
FRONT: 35' from R/W
REAR: 25'
SIDE: 10'
CORNER LOT SIDE: 20'
MAXIMUM HEIGHT: 35'

NOTE-JOINT DRIVEWAY
Lots 1A & 1B shall have shared driveway easement (as shown) with no additional access to SR 1550 (Bethal Church Road)

REFERENCE
Deed Book 4045, Page 458
Map # 2022-55,
Map #2017-1; Map #2018-4

FEMA FLOOD HAZARD STATEMENT
The subject property shown on this plot is located within the FEMA "Zone X" (Minimal Flood Risk) Area as shown on FIRM Number: 3720160200K
Effective date: 6/20/2018

~PRELIMINARY PLOT PLAN~
- Not an actual survey -
This plan represents proposed improvements to a lot of record. This plan is subject to review and approval by County Planning and Inspections Departments.



"PLOT PLAN FOR"
GREGORY INC.

Subject Property Address:
665 & ___ Bethal Church Rd., Angier, NC 27521

GROVE TOWNSHIP - HARNETT COUNTY - NORTH CAROLINA

ZONE: RA-30

Lot 1A ~ PIN: 1602-24-1220.000 ~ PID: 071602 0005 02
Lot 1B ~ PIN: 1602-24-1103.000 ~ PID: 071602 0005 05

STREAMLINE LAND SURVEYING, Inc.
NC FIRM C-1898
870 NC 55 W, Coats, N.C. 27521
Phone: 910-897-7715

DATE: February 10, 2022

SCALE: 1" = 50' SURVEYED BY: REG DRAWN BY: MGG

FILE: DATA\1602\211206GR.dwg (PlotPlan-Lots1A&1B)