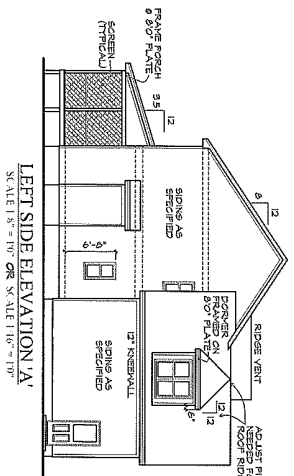
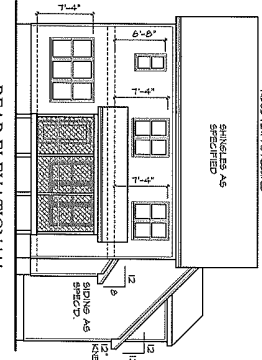


THIS PLAN DESIGNED UNDER NORTH CAROLINA
RESIDENTIAL CODE 2018 EDITION (2015 IRC)
12/23/2021 AND IS 100% COMPLETE

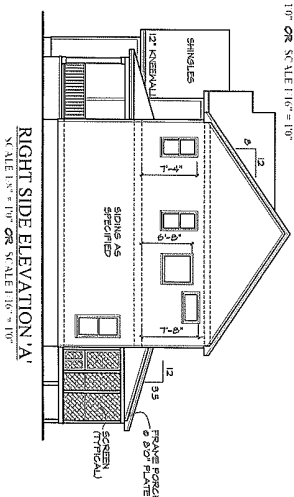
ATTIC VENTILATION:
 THE ATTIC VENTILATION SHALL BE PROVIDED BY THE FOLLOWING MEANS:
 1. UNFINISHED ATTIC SHALL BE VENTILATED BY THE FOLLOWING MEANS:
 a. UNFINISHED ATTIC SHALL BE VENTILATED BY THE FOLLOWING MEANS:
 b. UNFINISHED ATTIC SHALL BE VENTILATED BY THE FOLLOWING MEANS:
 c. UNFINISHED ATTIC SHALL BE VENTILATED BY THE FOLLOWING MEANS:
 d. UNFINISHED ATTIC SHALL BE VENTILATED BY THE FOLLOWING MEANS:
 e. UNFINISHED ATTIC SHALL BE VENTILATED BY THE FOLLOWING MEANS:
 f. UNFINISHED ATTIC SHALL BE VENTILATED BY THE FOLLOWING MEANS:
 g. UNFINISHED ATTIC SHALL BE VENTILATED BY THE FOLLOWING MEANS:
 h. UNFINISHED ATTIC SHALL BE VENTILATED BY THE FOLLOWING MEANS:
 i. UNFINISHED ATTIC SHALL BE VENTILATED BY THE FOLLOWING MEANS:
 j. UNFINISHED ATTIC SHALL BE VENTILATED BY THE FOLLOWING MEANS:
 k. UNFINISHED ATTIC SHALL BE VENTILATED BY THE FOLLOWING MEANS:
 l. UNFINISHED ATTIC SHALL BE VENTILATED BY THE FOLLOWING MEANS:
 m. UNFINISHED ATTIC SHALL BE VENTILATED BY THE FOLLOWING MEANS:
 n. UNFINISHED ATTIC SHALL BE VENTILATED BY THE FOLLOWING MEANS:
 o. UNFINISHED ATTIC SHALL BE VENTILATED BY THE FOLLOWING MEANS:
 p. UNFINISHED ATTIC SHALL BE VENTILATED BY THE FOLLOWING MEANS:
 q. UNFINISHED ATTIC SHALL BE VENTILATED BY THE FOLLOWING MEANS:
 r. UNFINISHED ATTIC SHALL BE VENTILATED BY THE FOLLOWING MEANS:
 s. UNFINISHED ATTIC SHALL BE VENTILATED BY THE FOLLOWING MEANS:
 t. UNFINISHED ATTIC SHALL BE VENTILATED BY THE FOLLOWING MEANS:
 u. UNFINISHED ATTIC SHALL BE VENTILATED BY THE FOLLOWING MEANS:
 v. UNFINISHED ATTIC SHALL BE VENTILATED BY THE FOLLOWING MEANS:
 w. UNFINISHED ATTIC SHALL BE VENTILATED BY THE FOLLOWING MEANS:
 x. UNFINISHED ATTIC SHALL BE VENTILATED BY THE FOLLOWING MEANS:
 y. UNFINISHED ATTIC SHALL BE VENTILATED BY THE FOLLOWING MEANS:
 z. UNFINISHED ATTIC SHALL BE VENTILATED BY THE FOLLOWING MEANS:



LEFT SIDE ELEVATION 'A'
SCALE 1/8" = 1'-0" OR SCALE 1/16" = 1'-0"



REAR ELEVATION 'A'
SCALE 1/8" = 1'-0" OR SCALE 1/16" = 1'-0"

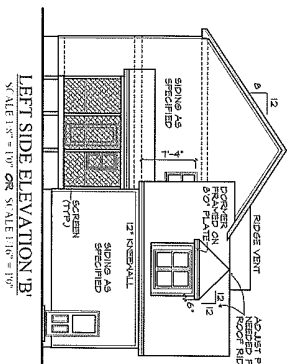


RIGHT SIDE ELEVATION 'A'
SCALE 1/8" = 1'-0" OR SCALE 1/16" = 1'-0"

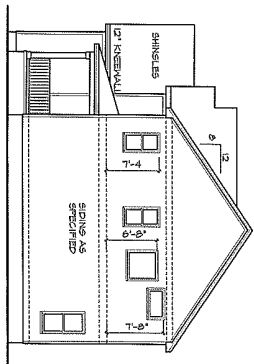
The Jade

DATE	REV	DATE	REV

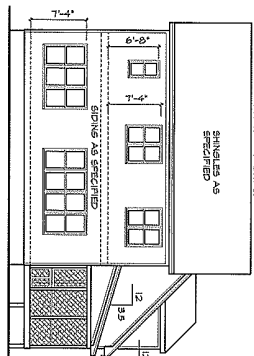
MidTown Designs Inc. 1008 Ridge Dr. Clayton NC 27520 Phone: 919-783-8626 www.midtowndesigns.com



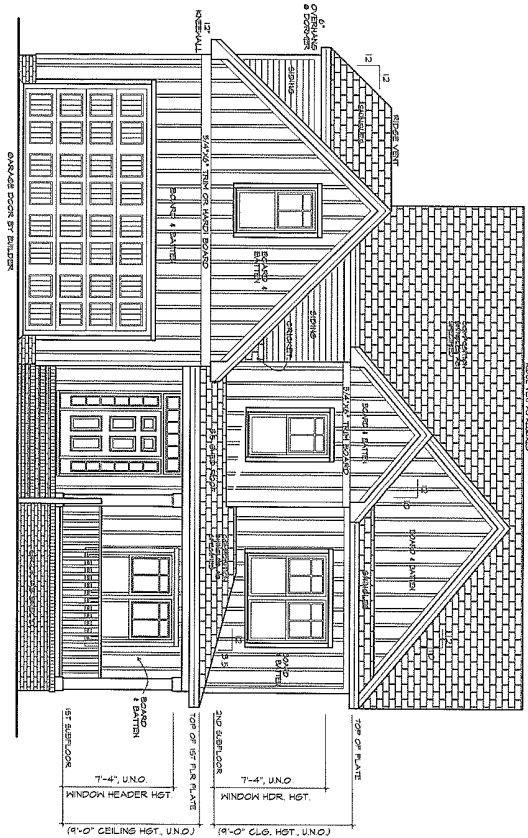
LEFT SIDE ELEVATION 'B'
SCALE 1/8" = 1'-0" OR SCALE 1/16" = 1'-0"



RIGHT SIDE ELEVATION 'B'
SCALE 1/8" = 1'-0" OR SCALE 1/16" = 1'-0"



REAR ELEVATION 'B'
SCALE 1/8" = 1'-0" OR SCALE 1/16" = 1'-0"



FRONT ELEVATION
SCALE 1/4" = 1'-0" OR SCALE 1/8" = 1'-0"

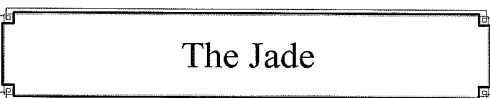
ATTIC VENTILATION:

THE ATTIC VENTILATION SYSTEM SHALL BE INSTALLED AS SHOWN ON THIS DRAWING. THE SYSTEM SHALL BE MAINTAINED CLEAR OF ALL OBSTRUCTIONS AND SHALL BE PROTECTED FROM DAMAGE BY THE ELEMENTS. THE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. THE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

- 1. THE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- 2. THE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
- 3. THE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
- 4. THE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

DATE	REV	DATE	REV

PROJECT # 181011



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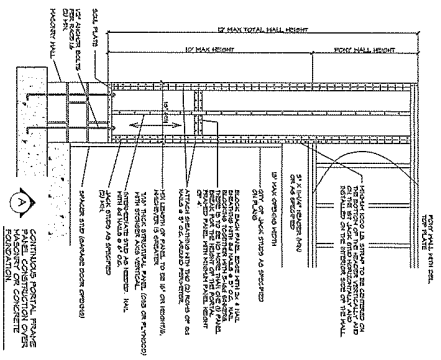
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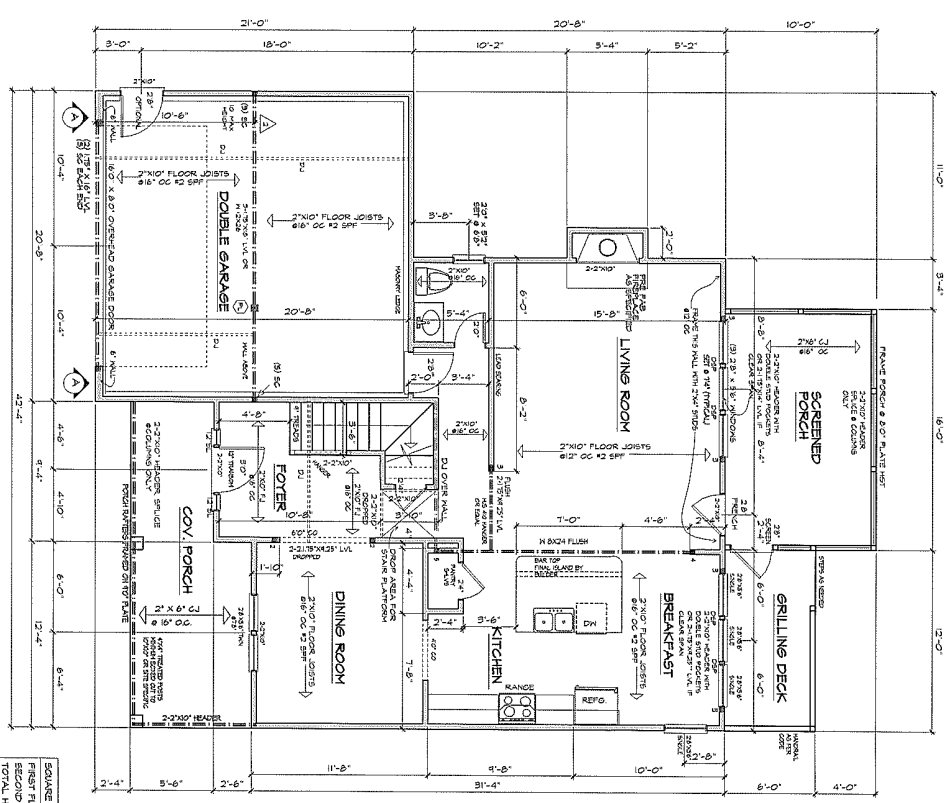
5/25/2018
P. E. F. P. LLC
 2705 WATERLOO CT. NC 27615
 PSTRAGUE@INTEGRITY.COM
 (919)541-5271 (LIC. # 14089)

FINISH SCHEDULE

- 1 2-2"X10" DROPPED
- 2 2-2"X6" FLUSH
- 3 2-2"X6" DROPPED
- 4 2-1"X4"X25" L.V.L. FLUSH
- 5 2-1"X4"X25" L.V.L. DROPPED
- 6 1"X2"X4" FLUSH
- 7 2-1"X4"X25" L.V.L. DROPPED
- 8 1"X2"X4" DROPPED
- 9 3-1"X3"X6" L.V.L. FLUSH
- 10 3-1"X3"X6" L.V.L. DROPPED
- 11 2-1"X3"X6" L.V.L. DROPPED



FIRST FLOOR PLAN 'A'
 SCALE 1/4" = 1'-0" OR 1/8" = 1'-0"



FOOTPRINTS - PLAN 'A'

FIRST FLOOR	401 SQ. FT.
SECOND FLOOR	1281 SQ. FT.
TOTAL HTD.	2140 SQ. FT.
SCREENED PORCH	426 SQ. FT.
COVERED PORCH	150 SQ. FT.
GRILLING DECK	72 SQ. FT.

DATE	REV	DATE	REV

PROJECT #	181011
SCALE	
REV	
DATE	

The Jade

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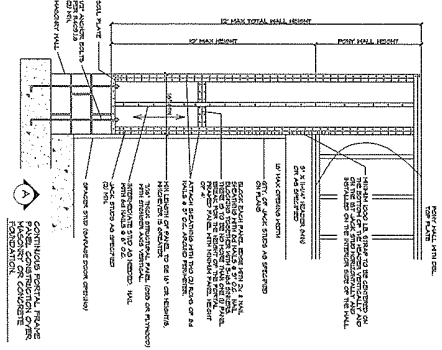
5/25/2019
P. ETTEAGUE, P.E., PLLC
 2705 WATERLOO CT., NC 27613
 PSTFA@GMAIL.COM
 (919)247-2572 (Cell: 919)807



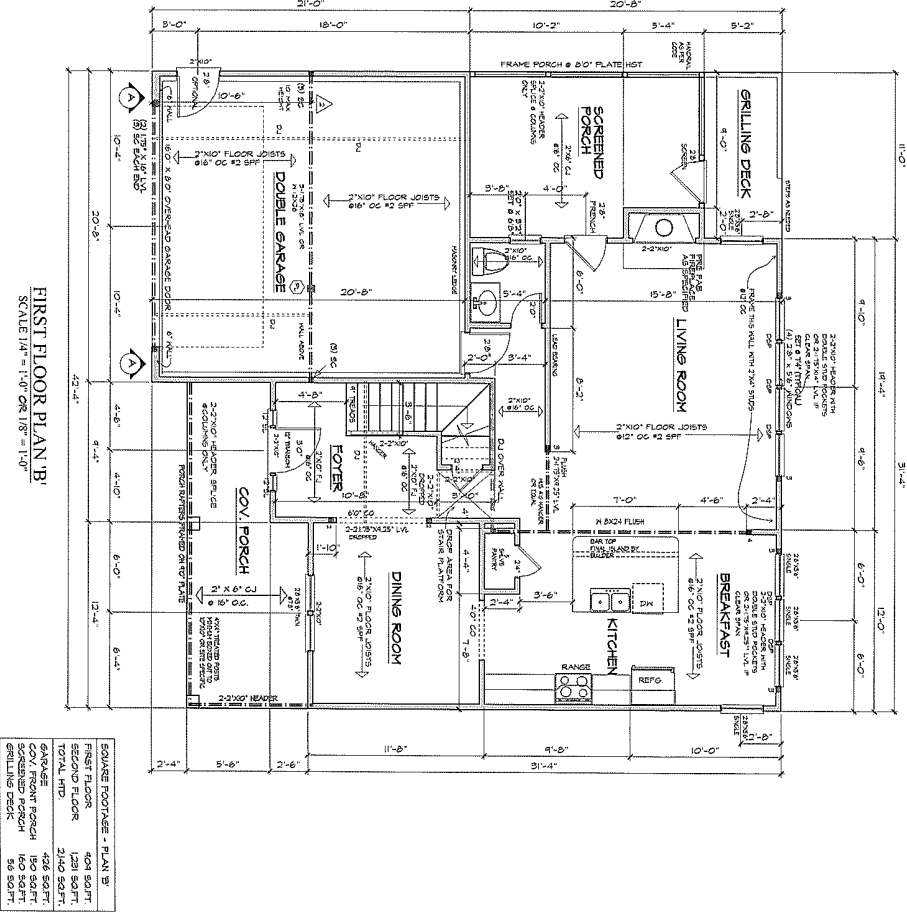
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- BEAM SCHEDULE**
- 1 2-2"X10" FLUSH
 - 2 2-2"X10" DROPPED
 - 3 2-2"X8" FLUSH
 - 4 2-2"X8" DROPPED
 - 5 2-1"X8"X25' LVL FLUSH
 - 6 2-1"X8"X25' DROPPED
 - 7 2-1"X8"X25' LVL FLUSH
 - 8 2-1"X8"X25' DROPPED
 - 9 2-1"X8"X25' LVL FLUSH
 - 10 2-1"X8"X25' DROPPED
 - 11 2-1"X8"X25' LVL FLUSH
 - 12 2-1"X8"X25' DROPPED
 - 13 2-1"X8"X25' LVL FLUSH
 - 14 2-1"X8"X25' DROPPED



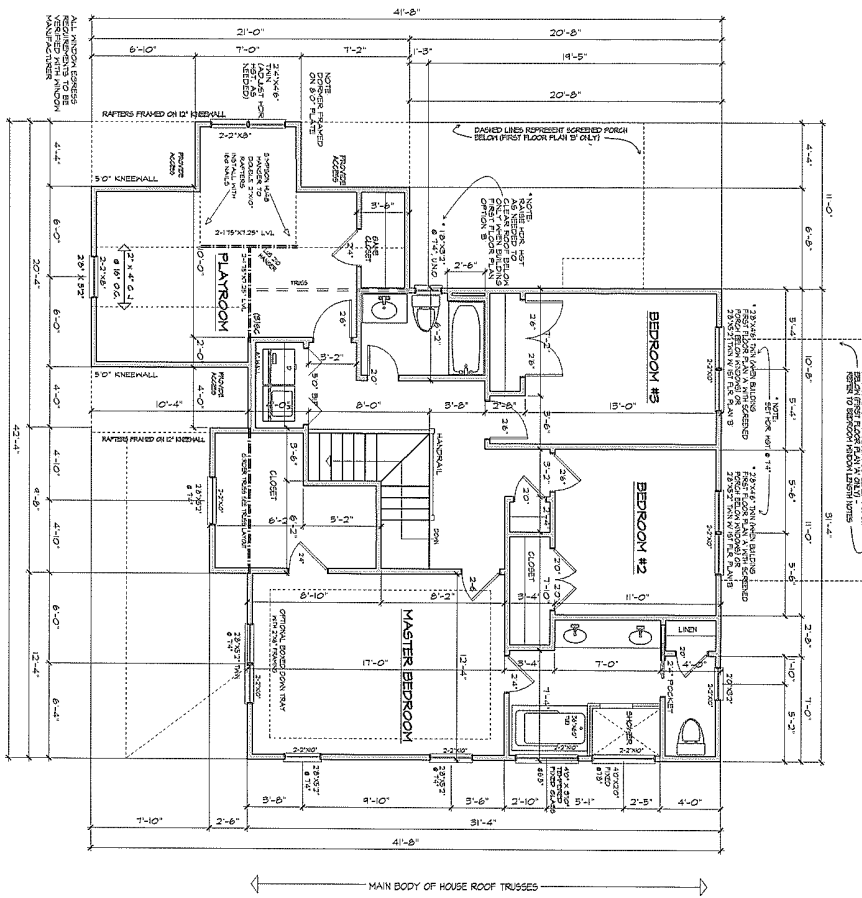
FIRST FLOOR PLAN 'B'
 SCALE 1/4" = 1'-0" OR 1/8" = 1'-0"

SOURCE FOOTINGS - PLAN 'B'	
FIRST FLOOR	408 SQ.FT.
SECOND FLOOR	1281 SQ.FT.
TOTAL FTD	2140 SQ.FT.
GARAGE	
COVERED PORCH	150 SQ.FT.
SCREENED PORCH	120 SQ.FT.
GRILLING DECK	80 SQ.FT.

PROJECT #
 181011

DATE	REV	DATE	REV

SECOND FLOOR PLAN
SCALE 1/4" = 1'-0" OR 1/8" = 1'-0"



5/25/2019
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2705 WATERLOO CT., NC 27613
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(919)247-2571 FAX: (919)247-2571



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1819 W. SHELTON
CLAYTON, NC 27520
919-783-8626
www.midtowndesigns.com

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DATE	REV	DATE	REV

PROJECT # 181011
SCALE 1/4" = 1'-0" OR 1/8" = 1'-0"
DATE 5/25/2019
SHEET 999



5/25/2019
P. TEAGUE, P.E., PLLC
2705 WATERLOO CT, NC 27613
PSTEAGUE@INTERGITY.COM
(919)241-2572 (cell: 919-95807)



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DATE	REV	DATE	REV

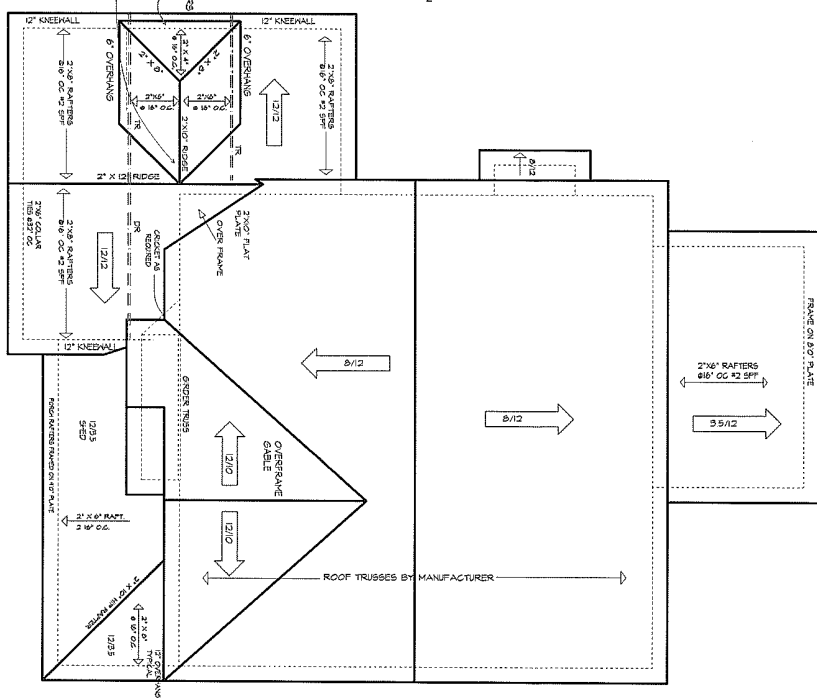
PROJECT # 191011

SCALE

DATE 5/25/2019

BY

1/8" = 1'-0" OR 1/8" = 1'-0"



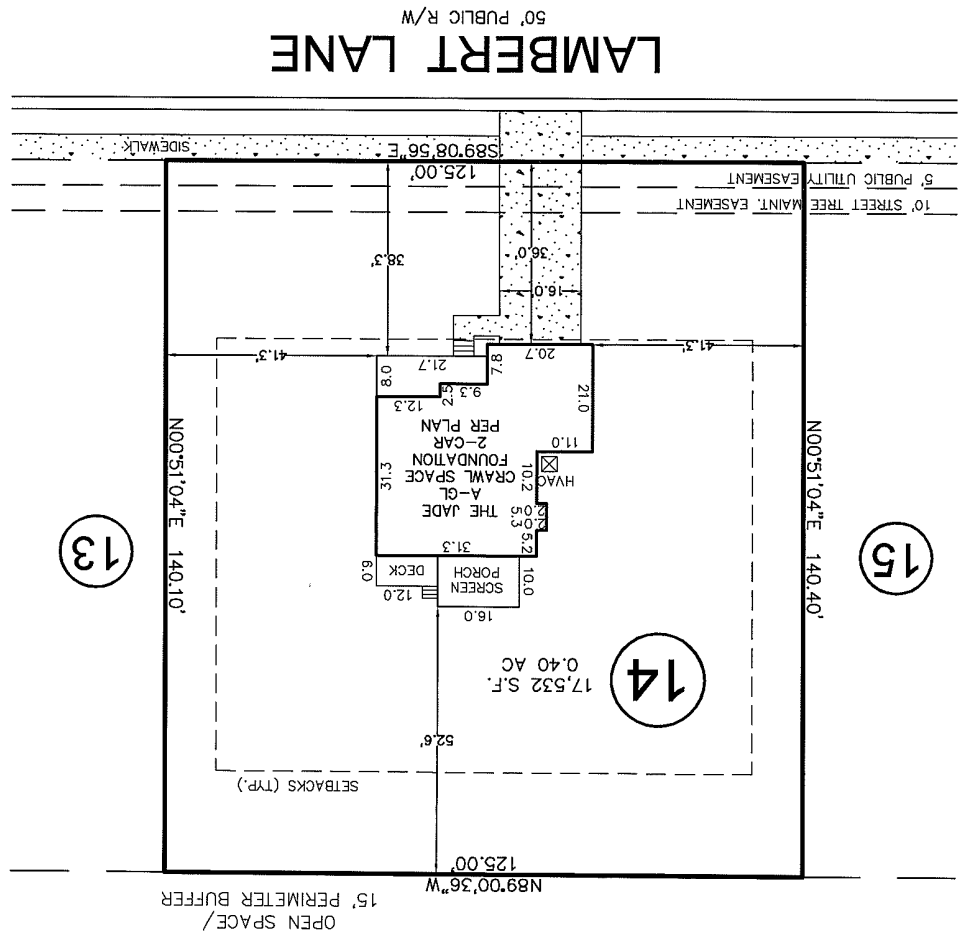
- ### ROOF FRAMING NOTES:
1. ALL ROOF RAFTERS TO BE 2" X 12" @ 16" O.C. WITH 2" X 12" CEILING RAFTERS.
2. ALL ROOF RAFTERS TO BE 2" X 12" @ 16" O.C. WITH 2" X 12" CEILING RAFTERS.
3. ALL ROOF RAFTERS TO BE 2" X 12" @ 16" O.C. WITH 2" X 12" CEILING RAFTERS.
4. ALL ROOF RAFTERS TO BE 2" X 12" @ 16" O.C. WITH 2" X 12" CEILING RAFTERS.
5. ALL ROOF RAFTERS TO BE 2" X 12" @ 16" O.C. WITH 2" X 12" CEILING RAFTERS.
6. ALL ROOF RAFTERS TO BE 2" X 12" @ 16" O.C. WITH 2" X 12" CEILING RAFTERS.
7. ALL ROOF RAFTERS TO BE 2" X 12" @ 16" O.C. WITH 2" X 12" CEILING RAFTERS.
8. ALL ROOF RAFTERS TO BE 2" X 12" @ 16" O.C. WITH 2" X 12" CEILING RAFTERS.
9. ALL ROOF RAFTERS TO BE 2" X 12" @ 16" O.C. WITH 2" X 12" CEILING RAFTERS.
10. ALL ROOF RAFTERS TO BE 2" X 12" @ 16" O.C. WITH 2" X 12" CEILING RAFTERS.
11. ALL ROOF RAFTERS TO BE 2" X 12" @ 16" O.C. WITH 2" X 12" CEILING RAFTERS.
12. ALL ROOF RAFTERS TO BE 2" X 12" @ 16" O.C. WITH 2" X 12" CEILING RAFTERS.
13. ALL ROOF RAFTERS TO BE 2" X 12" @ 16" O.C. WITH 2" X 12" CEILING RAFTERS.
14. ALL ROOF RAFTERS TO BE 2" X 12" @ 16" O.C. WITH 2" X 12" CEILING RAFTERS.
15. ALL ROOF RAFTERS TO BE 2" X 12" @ 16" O.C. WITH 2" X 12" CEILING RAFTERS.
16. ALL ROOF RAFTERS TO BE 2" X 12" @ 16" O.C. WITH 2" X 12" CEILING RAFTERS.
17. ALL ROOF RAFTERS TO BE 2" X 12" @ 16" O.C. WITH 2" X 12" CEILING RAFTERS.
18. ALL ROOF RAFTERS TO BE 2" X 12" @ 16" O.C. WITH 2" X 12" CEILING RAFTERS.
19. ALL ROOF RAFTERS TO BE 2" X 12" @ 16" O.C. WITH 2" X 12" CEILING RAFTERS.
20. ALL ROOF RAFTERS TO BE 2" X 12" @ 16" O.C. WITH 2" X 12" CEILING RAFTERS.

ROOF PLAN 'A'
SCALE 1/8" = 1'-0" OR 1/8" = 1'-0"

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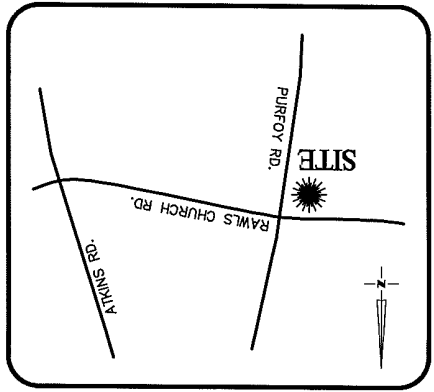
THIS DRAWING DOES NOT REFLECT AS-BUILT INFORMATION

PRELIMINARY PLAN
 NOT FOR RECORDATION, CONVEYANCES, OR SALES

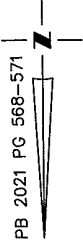


FRONT-35'
 REAR-20'
 SIDE-10'
 CORNER LOT SIDE - 10'

SETBACKS: (PB 2021, 567)
 Not To Scale
VICINITY MAP



OAK CREEK S/D
 PC#C, SLIDE 83D



DESCRIPTION	AREA
IMPERVIOUS SURFACE AREA	
HOUSE & PORCH	1,497 S.F.
SCREEN PORCH/HVAC	169 S.F.
DRIVEWAY & WALKS	628 S.F.
TOTAL	2,294 S.F.
LOT AREA	17,532 S.F.
% IMPERVIOUS AREA	=13.1%

