

VICINITY MAP (N.T.S.)

- EXISTING IRON PIPE
- EXISTING IRON ROD
- ◆ EXISTING P.K. NAIL
- △ CALCULATED/SET POINT
- CONCRETE MONUMENT
- ⊙ CATV PEDESTAL
- ⊗ WATER METER
- ⊞ ELECTRIC PEDESTAL
- ⚡ POWER POLE
- ⊕ SEWER MANHOLE

Note 'A'
This property is located in Zone 'X' (minimal flood risk) and is not within a Special Flood Hazard Area
FIRM # 3720660001
Panel # 0660
Effective Date: 10/03/2006

Note 'C'
All distances are horizontal ground unless otherwise stated

Note 'B'
Surveyed on 12/22/2020

Note 'D'
All areas computed by coordinate method

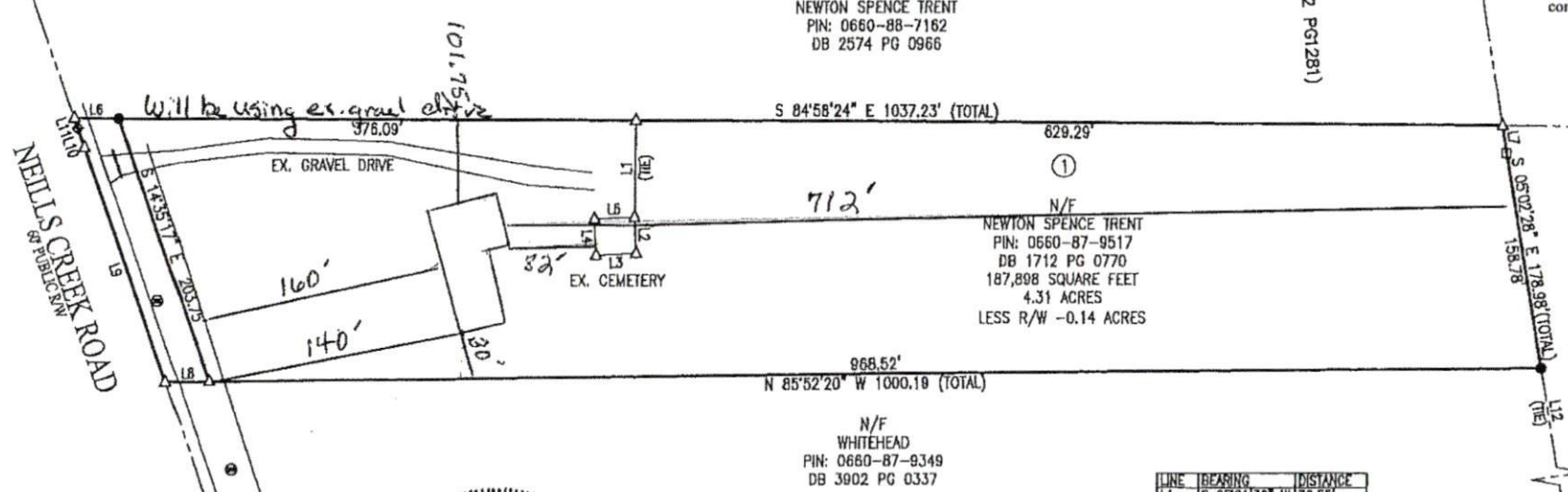
Note 'E'
The parcel(s) shown hereon are subject to any and all easements, rights of way and restrictions of record

Note 'F'
Underground utilities were not considered on this survey

N/F
NEWTON SPENCE TRENT
PIN: 0660-88-7162
DB 2574 PG 0966

N/F
JOHNSON
PIN: 0670-18-2063
DB 2580 PG 963

N/F
JOHNSON
PIN: 0870-07-4367
DB 3146 PG 0128



PER (PB2002 PG1281)

N 85°52'20" W 1000.10 (TOTAL)

S 84°58'24" E 1037.23' (TOTAL)

N/F
NEWTON SPENCE TRENT
PIN: 0660-87-9517
DB 1712 PG 0770
187,898 SQUARE FEET
4.31 ACRES
LESS R/W -0.14 ACRES

N/F
WHITEHEAD
PIN: 0660-87-9349
DB 3902 PG 0337

LINE	BEARING	DISTANCE
L1	S 05°01'38" W	70.55'
L2	S 01°47'44" W	26.00'
L3	N 88°12'18" W	29.14'
L4	N 01°47'44" E	28.00'
L5	S 88°12'18" E	29.14'
L6	S 84°58'24" E	31.85'
L7	S 04°53'05" E	20.20'
L8	N 85°52'20" W	31.67'
L9	N 14°35'17" W	181.13'
L10	N 14°35'17" W	14.98'
L11	N 14°35'17" W	7.86'
L12	S 05°02'28" E	191.04'

I, Michael S. Stokes, Professional Land Surveyor certify that this survey complies with the North Carolina Standards of Practice for Surveying Section 1600; that this is a class A survey, meeting the criteria of precision greater than 1:10,000; that conventional field procedure with DB 1712/0770 was utilized; that all units are U.S. Survey Feet unless otherwise stated; that all distances are ground distances unless otherwise stated. Any Easements, gaps, loppages, or encroachments are shown on this survey; that all areas were computed by coordinate method. This survey is not to be recorded without written permission from the surveyor. This map remains the property of the surveyor and is to be used only for conveyance of this lot by the person(s) shown on this map.



Michael S. Stokes

Witness my original signature, registration number and seal this 23th day of December, A.D. 2020.
Surveyor: Michael S Stokes
License # L-4996



Firm License # P-1139
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SCALE: 1" = 100' www.stokes-surveying.com