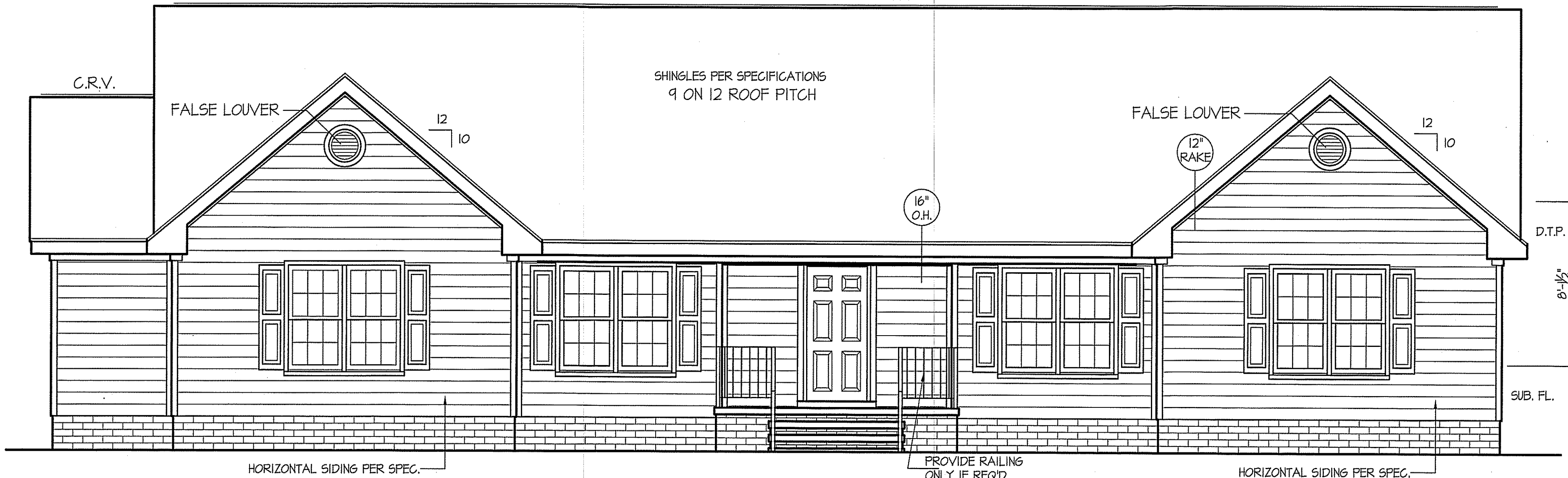


THIS PLAN IS DESIGNED TO MEET THE REQUIREMENTS OF THE NORTH CAROLINA RESIDENTIAL CODE 2018 EDITION

CONTINUOUS RIDGE VENT



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

WIND ZONES (PER TABLE R301.2(4))

COUNTY	MPH
HARNETT	120
JOHNSTON	120
SAMPSON	130
WAKE	115

ROOF VENTILATION REQ'MTS.
2651 ATTIC SQ. FT. / 300 = 8.83

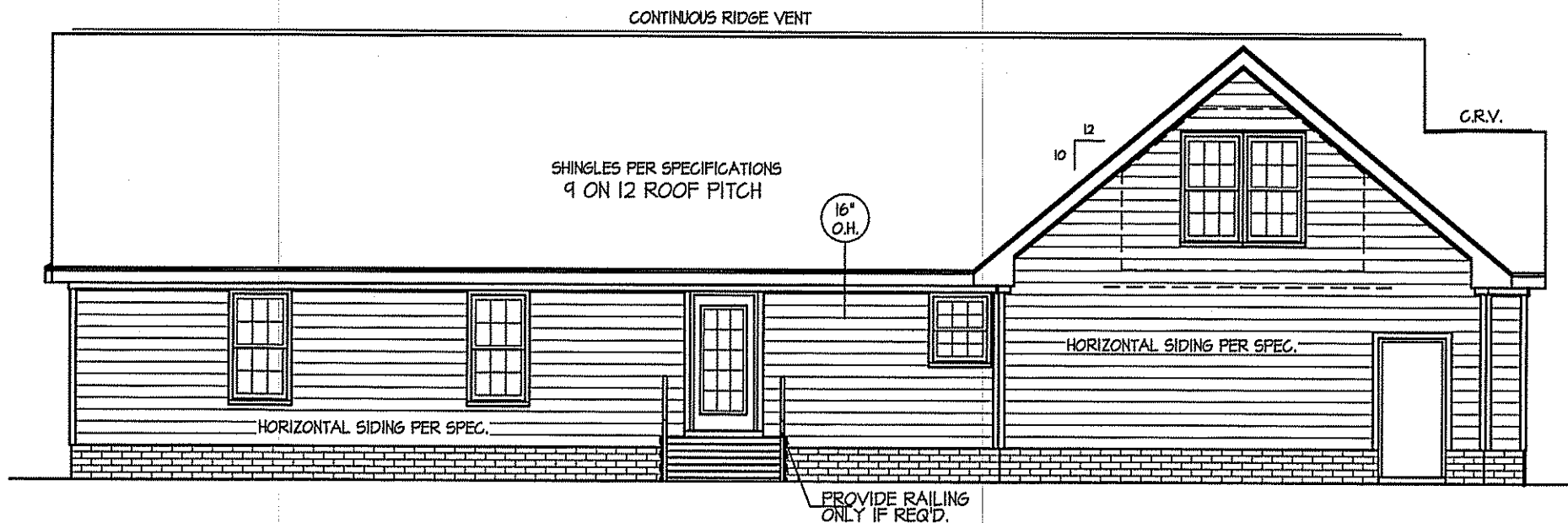
PROVIDED ON PLAN
133 L.F. RIDGE VENT = 24.94
138 L.F. SOFFIT VENT = 8.62
TOTAL = 33.56 S.F. FREE NET AREA

INSULATION and FENESTRATION REQUIREMENTS

CLIMATE ZONE	ZONE-3	ZONE-4
FENESTRATION U-FACTOR	0.35	0.35
GLAZED FENESTRATION SHGC	0.30	0.30
MINIMUM CEILING R-VALUE	R-38	R-38
MINIMUM WALL R-VALUE	R-15, I3+2.5	R-15, I3+2.5
MINIMUM FLOOR R-VALUE	R-19	R-19
MIN. CRAWL SPACE WALL R-VALUE	5/13	10/15
MIN. SLAB R-VALUE	0	R-10

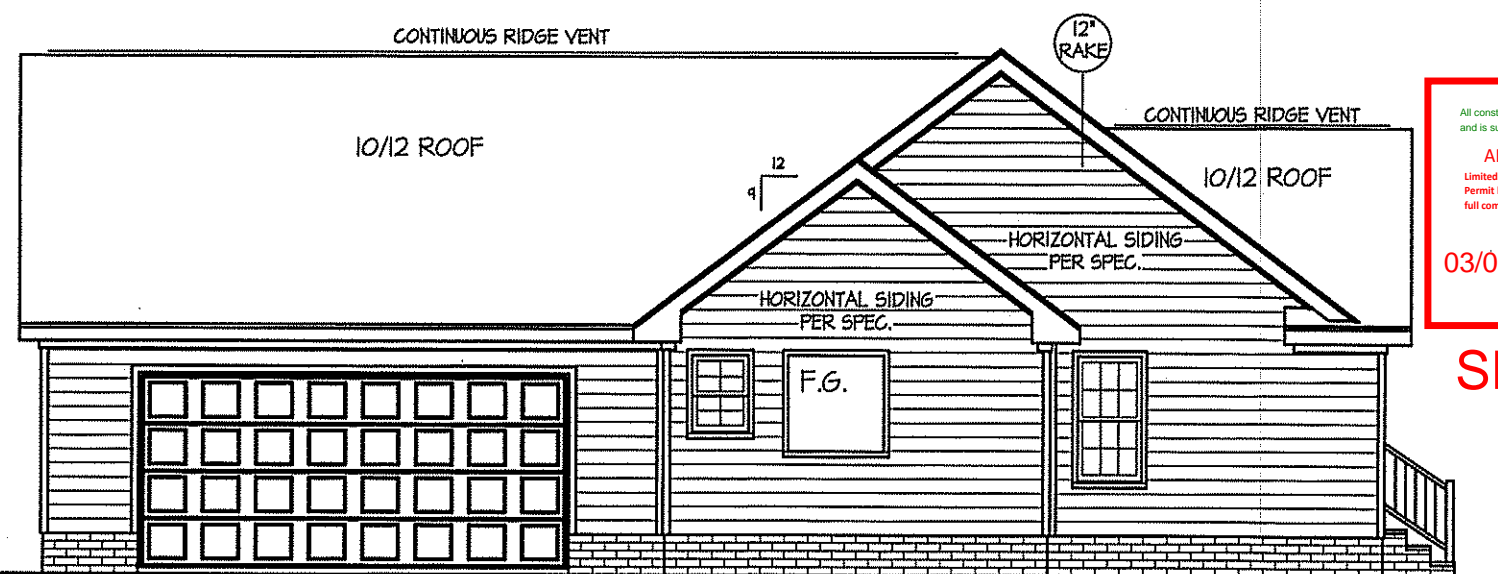
PROVIDE STEPS AS REQUIRED
GRADE MAY VARY - BUILDER TO VERIFY

ALL EXTERIOR WALLS TO BE
SHEATHED WITH CS-WSP (7/16" OSB)
IN ACCORDANCE WITH SECTION
R602.10.3 UNLESS OTHERWISE NOTED.



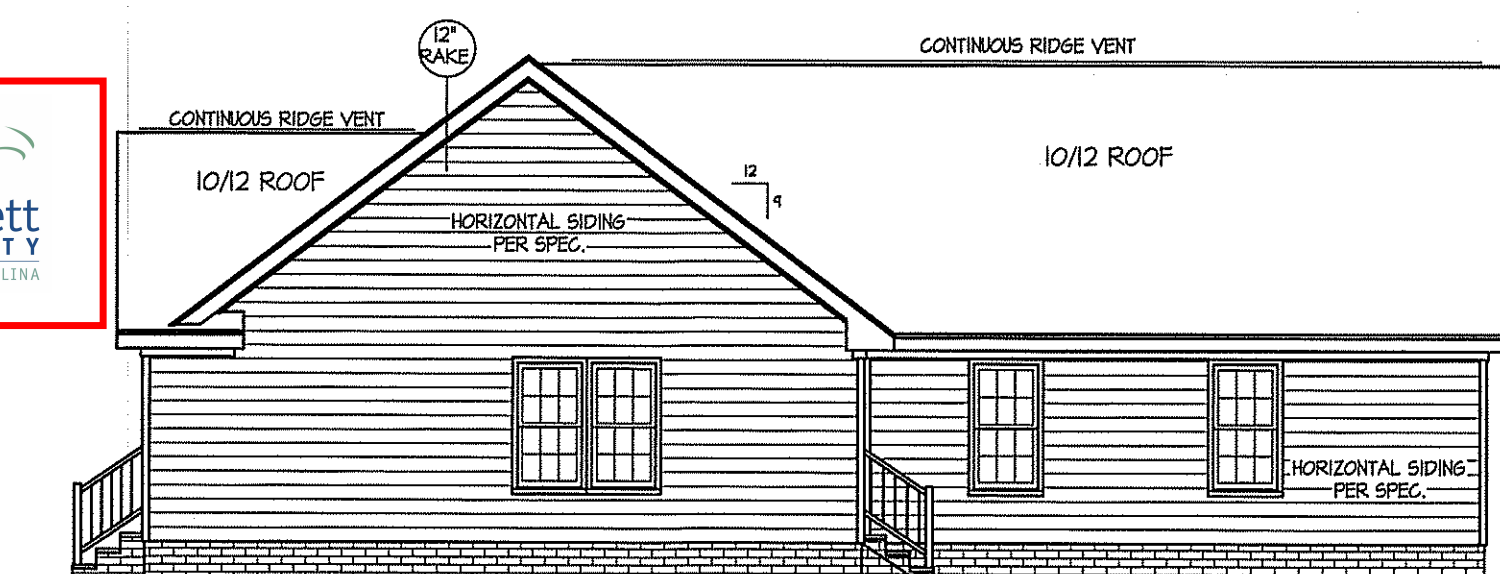
REAR ELEVATION

SCALE: 1/8" = 1'-0"



LEFT ELEVATION

SCALE: 1/8" = 1'-0"




RIGHT ELEVATION

SCALE: 1/8" = 1'-0"

NOTICE TO CONTRACTOR
All construction must comply with current NC Building Codes and is subject to field inspection and verification.

APPROVED
Limited building only review
Permit holder responsible for full compliance with the code

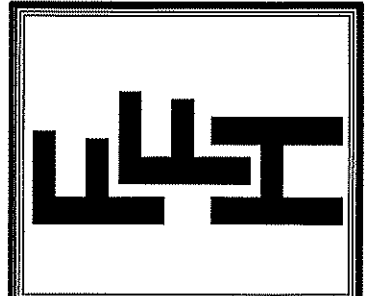
03/04/2022




SEE NOTES

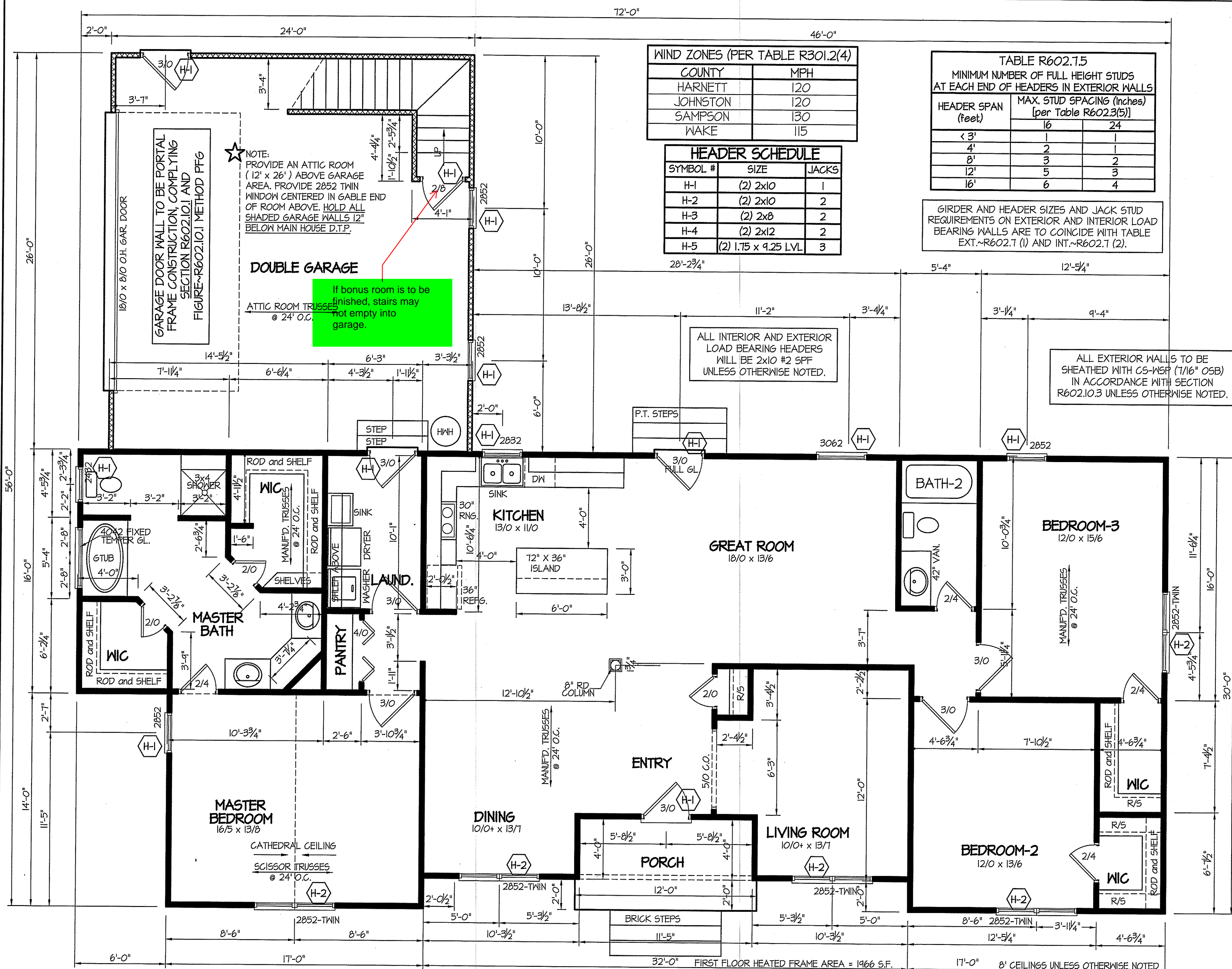
DATE:
DEC. 15, 2021

FREEDOM FAMILY HOMES
P.O. BOX 608
DUNN, N.C. - 28335
O: (910) 892-1231 FAX: (910) 892-5680
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EXCLUSIVE PLAN FOR
FREEDOM FAMILY HOMES
PLANTATION~SCHLIEMAN

SHEET NO.
1



WIND ZONES (PER TABLE R301.2(4))

COUNTY	MPH
HARNETT	120
JOHNSTON	120
SAMPSON	130
WAKE	115

HEADER SCHEDULE

SYMBOL #	SIZE	JACKS
H-1	(2) 2x10	1
H-2	(2) 2x10	2
H-3	(2) 2x8	2
H-4	(2) 2x12	2
H-5	(2) 1.75 x 9.25 LVL	3

TABLE R602.7.5
MINIMUM NUMBER OF FULL HEIGHT STUDS AT EACH END OF HEADERS IN EXTERIOR WALLS

HEADER SPAN (feet)	MAX. STUD SPACING (inches) [per Table R602.3(5)]	
	16	24
< 3'	1	1
4'	2	1
8'	3	2
12'	5	3
16'	6	4

GIRDER AND HEADER SIZES AND JACK STUD REQUIREMENTS ON EXTERIOR AND INTERIOR LOAD BEARING WALLS ARE TO COINCIDE WITH TABLE EXT.~R602.7 (1) AND INT.~R602.7 (2).

NOTE: PROVIDE AN ATTIC ROOM (12' x 26') ABOVE GARAGE AREA. PROVIDE 2052 TWIN WINDOW CENTERED IN GABLE END OF ROOM ABOVE. HOLD ALL SHADED GARAGE WALLS 12" BELOW MAIN HOUSE D.T.P.

If bonus room is to be finished, stairs may not empty into garage.

ALL INTERIOR AND EXTERIOR LOAD BEARING HEADERS WILL BE 2x10 #2 SPF UNLESS OTHERWISE NOTED.

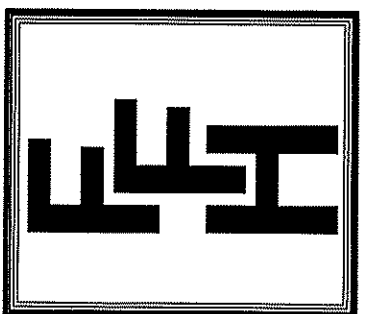
ALL EXTERIOR WALLS TO BE SHEATHED WITH CS-WSP (7/16" OSB) IN ACCORDANCE WITH SECTION R602.10.3 UNLESS OTHERWISE NOTED.

FIRST FLOOR HEATED FRAME AREA = 1966 S.F.
 PORCH AREA = 70 S.F.
 DOUBLE GARAGE AREA = 624 S.F.
 OPTIONAL BONUS ROOM OVER GARAGE = 312 S.F.

FLOOR PLAN
SCALE: 1/4" = 1'-0"

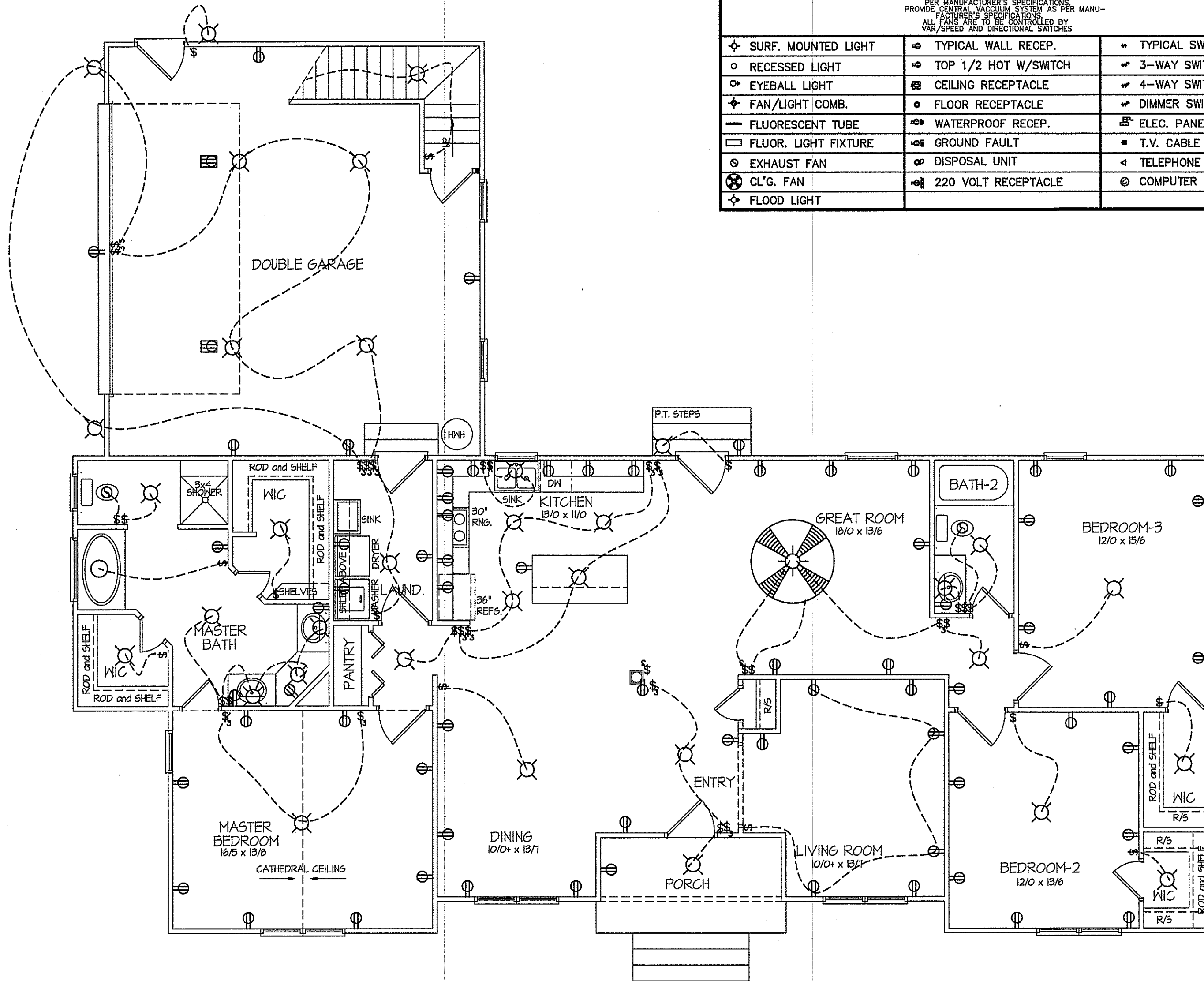
DATE:
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EXCLUSIVE PLAN FOR
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 PLANTATION~SCHLIEMAN

SHEET NO.
2



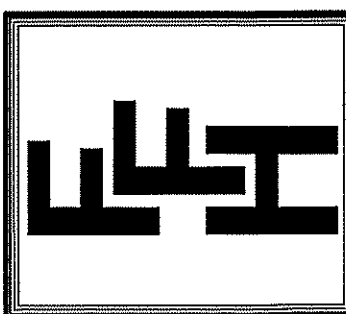
ELECTRICAL LEGEND		
<small>PROVIDE BURGLAR/SMOKE AND FIRE DETECTORS AS PER MANUFACTURER'S SPECIFICATIONS. PROVIDE CENTRAL VACUUM SYSTEM AS PER MANUFACTURER'S SPECIFICATIONS. ALL FANS ARE TO BE CONTROLLED BY VAR/SPEED AND DIRECTIONAL SWITCHES</small>		
⊕ SURF. MOUNTED LIGHT	⊕ TYPICAL WALL RECEPT.	⊕ TYPICAL SWITCH
○ RECESSED LIGHT	⊕ TOP 1/2 HOT W/SWITCH	⊕ 3-WAY SWITCH
⊕ EYEBALL LIGHT	⊕ CEILING RECEPTACLE	⊕ 4-WAY SWITCH
⊕ FAN/LIGHT COMB.	⊕ FLOOR RECEPTACLE	⊕ DIMMER SWITCH
— FLUORESCENT TUBE	⊕ WATERPROOF RECEPT.	⊕ ELEC. PANEL BOX
⊕ FLUOR. LIGHT FIXTURE	⊕ GROUND FAULT	⊕ T.V. CABLE RECEPT.
⊕ EXHAUST FAN	⊕ DISPOSAL UNIT	⊕ TELEPHONE JACK
⊕ CL'G. FAN	⊕ 220 VOLT RECEPTACLE	⊕ COMPUTER JACK
⊕ FLOOD LIGHT		

8' CLG. UNLESS OTHERWISE NOTE
ELECTRICAL FLOOR PLAN
 SCALE: 3/16" = 1'-0"

FIRST FLOOR HEATED FRAME AREA = 1466 S.F.
 PORCH PORCH AREA = 70 S.F.
 DOUBLE GARAGE AREA = 624 S.F.
 OPTIONAL BONUS ROOM OVER GARAGE = 312 S.F.

DATE:
 DEC. 15, 2021

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PLAN:
**EXCLUSIVE PLAN FOR
 FREEDOM FAMILY HOMES**
PLANTATION~SCHLIEFMAN

SHEET NO.
4

DATE:
DEC. 15, 2021

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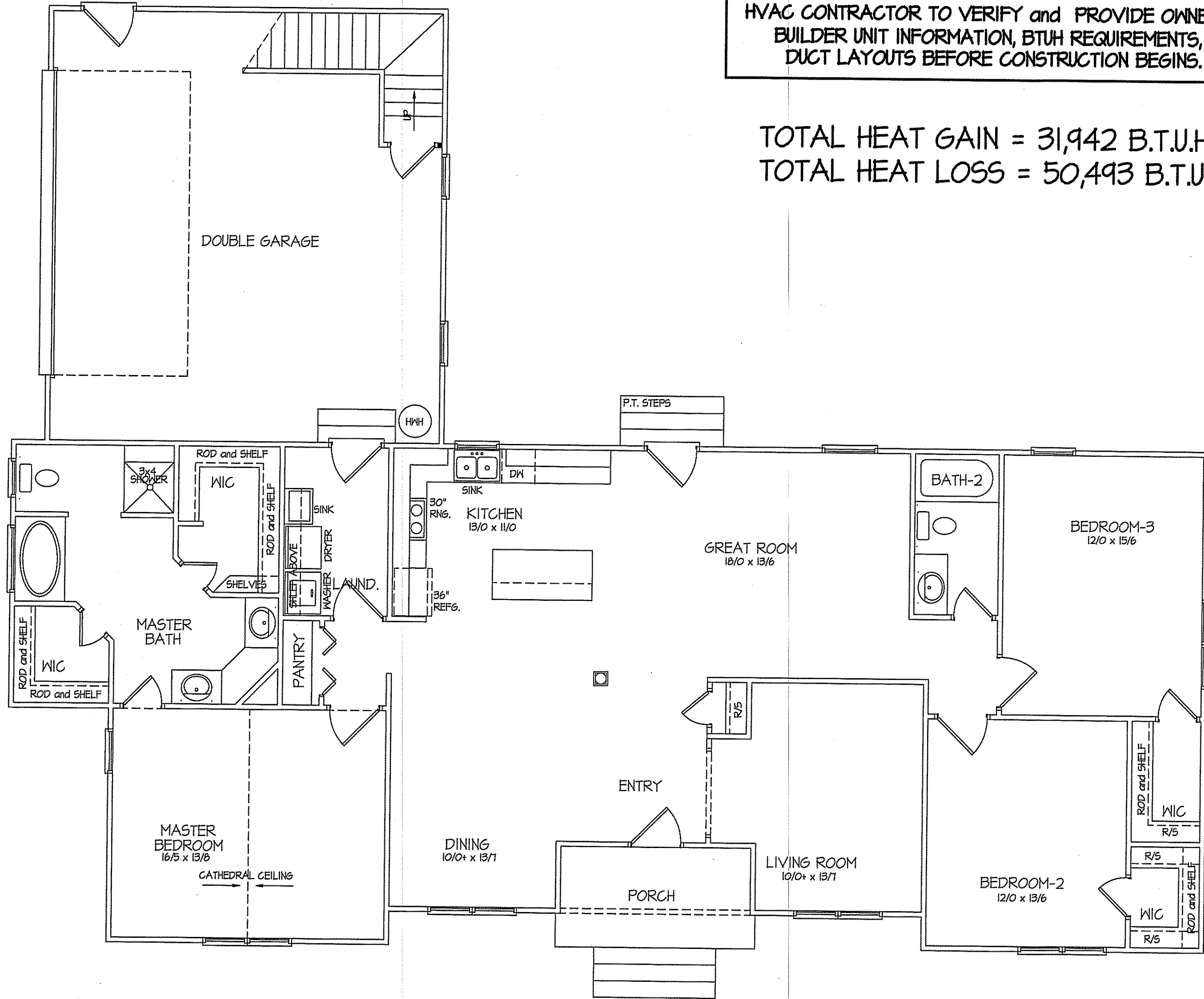


EXCLUSIVE PLAN FOR
FREEDOM FAMILY HOMES
PLANTATION~SCHLIEMAN

SHEET NO.
5

NOTE:
HVAC CONTRACTOR TO VERIFY and PROVIDE OWNERS and
BUILDER UNIT INFORMATION, BTUH REQUIREMENTS, and
DUCT LAYOUTS BEFORE CONSTRUCTION BEGINS.

TOTAL HEAT GAIN = 31,942 B.T.U.H.
TOTAL HEAT LOSS = 50,493 B.T.U.H.



8' CLG. UNLESS OTHERWISE NOTE
**HVAC
FLOOR PLAN**
SCALE: 3/16" = 1'-0"

FIRST FLOOR HEATED FRAME AREA = 1966 S.F.
PORCH PORCH AREA = 70 S.F.
DOUBLE GARAGE AREA = 624 S.F.
OPTIONAL BONUS ROOM OVER GARAGE = 312 S.F.

DATE:
DEC. 15, 2021

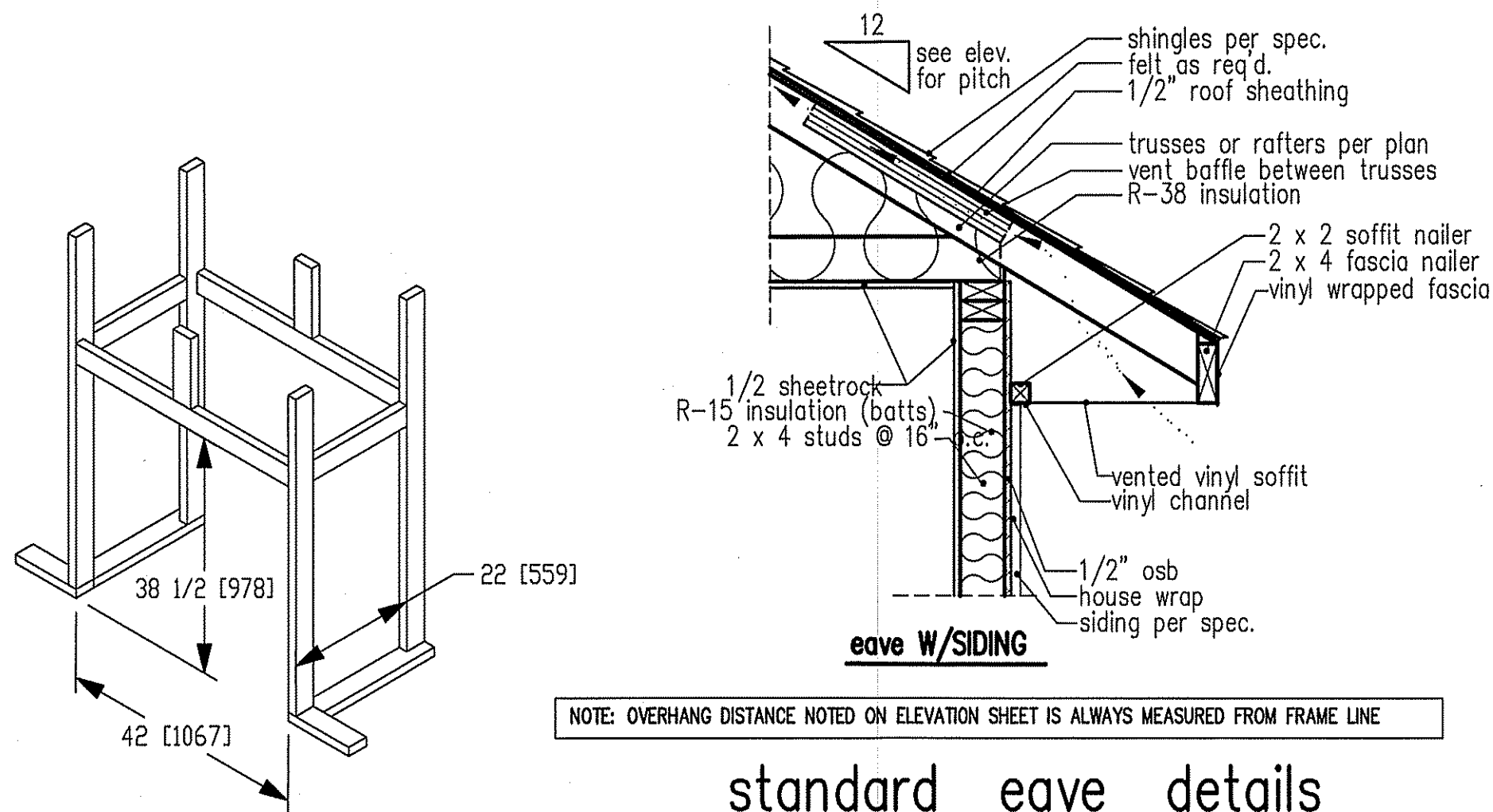
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**EXCLUSIVE PLAN FOR
FREEDOM FAMILY HOMES**
PLANTATION~SCHLIEMAN

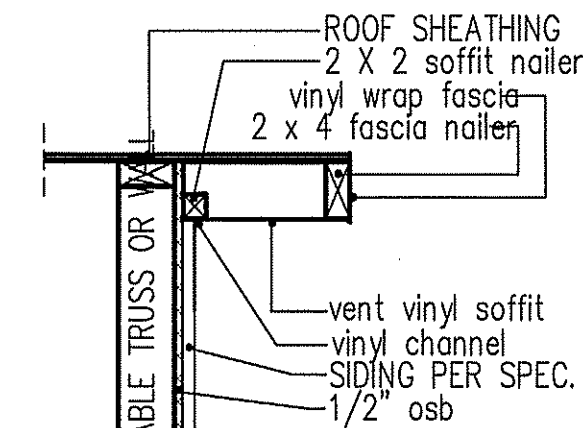
PLAN:
SHEET NO.

6



NOTE: OVERHANG DISTANCE NOTED ON ELEVATION SHEET IS ALWAYS MEASURED FROM FRAME LINE

standard eave details



RAKE w/SIDING

NOTE: OVERHANG DISTANCE NOTED ON ELEVATION SHEET IS ALWAYS MEASURED FROM FRAME LINE

TABLE R602.7.5
MINIMUM NUMBER OF FULL HEIGHT STUDS AT EACH END OF HEADERS IN EXTERIOR WALLS

HEADER SPAN (feet)	MAX. STUD SPACING (Inches) [per Table R602.3(5)]	
	16	24
< 3'	1	1
4'	2	1
8'	3	2
12'	5	3
16'	6	4

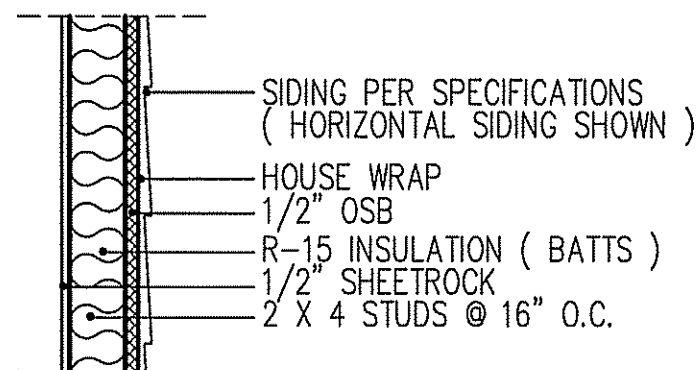
GIRDER AND HEADER SIZES AND JACK STUD REQUIREMENTS ON EXTERIOR AND INTERIOR LOAD BEARING WALLS ARE TO COINCIDE WITH TABLE EXT.~R602.7 (1) AND INT.~R602.7 (2).

DIMENSIONS IN [] ARE MM

SPECIFICATIONS

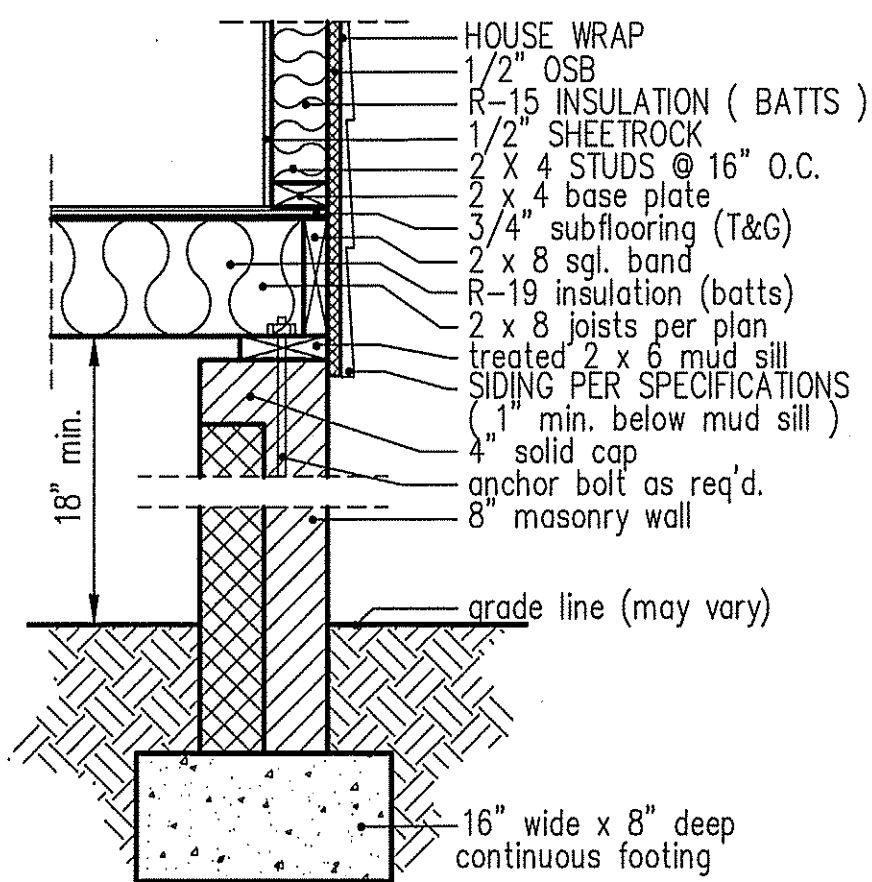
Model 6000-TR	Height		Front Width		Back Width		Depth		Glass Size	BTU Input
	Actual	Framing	Actual	Framing	Actual	Framing	Actual	Framing		
Inches	38	38-1/2	41	42	28-1/2	42	21-1/2	22		

Reference dimensions only. We recommend measuring individual units at installation.

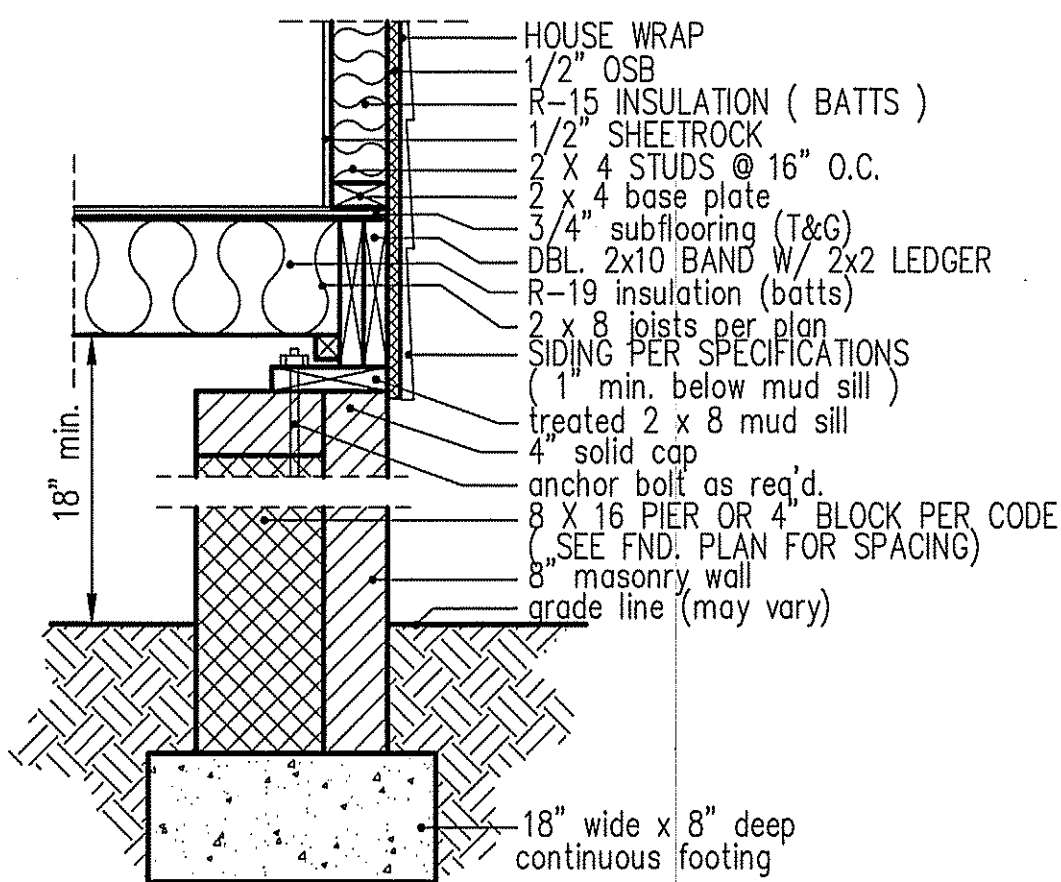


WALL W/siding

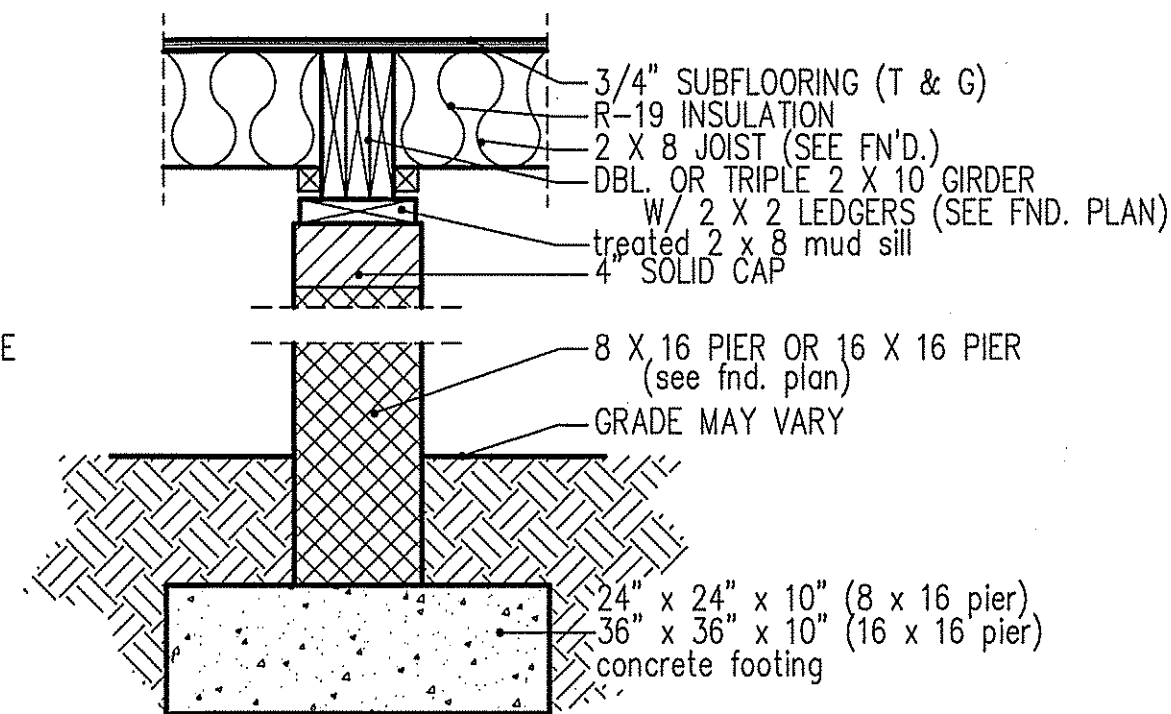
intermediate wall details



**8" BOX SILL
FOUNDATION WALL**



**PIER and CURTAIN
FOUNDATION WALL**



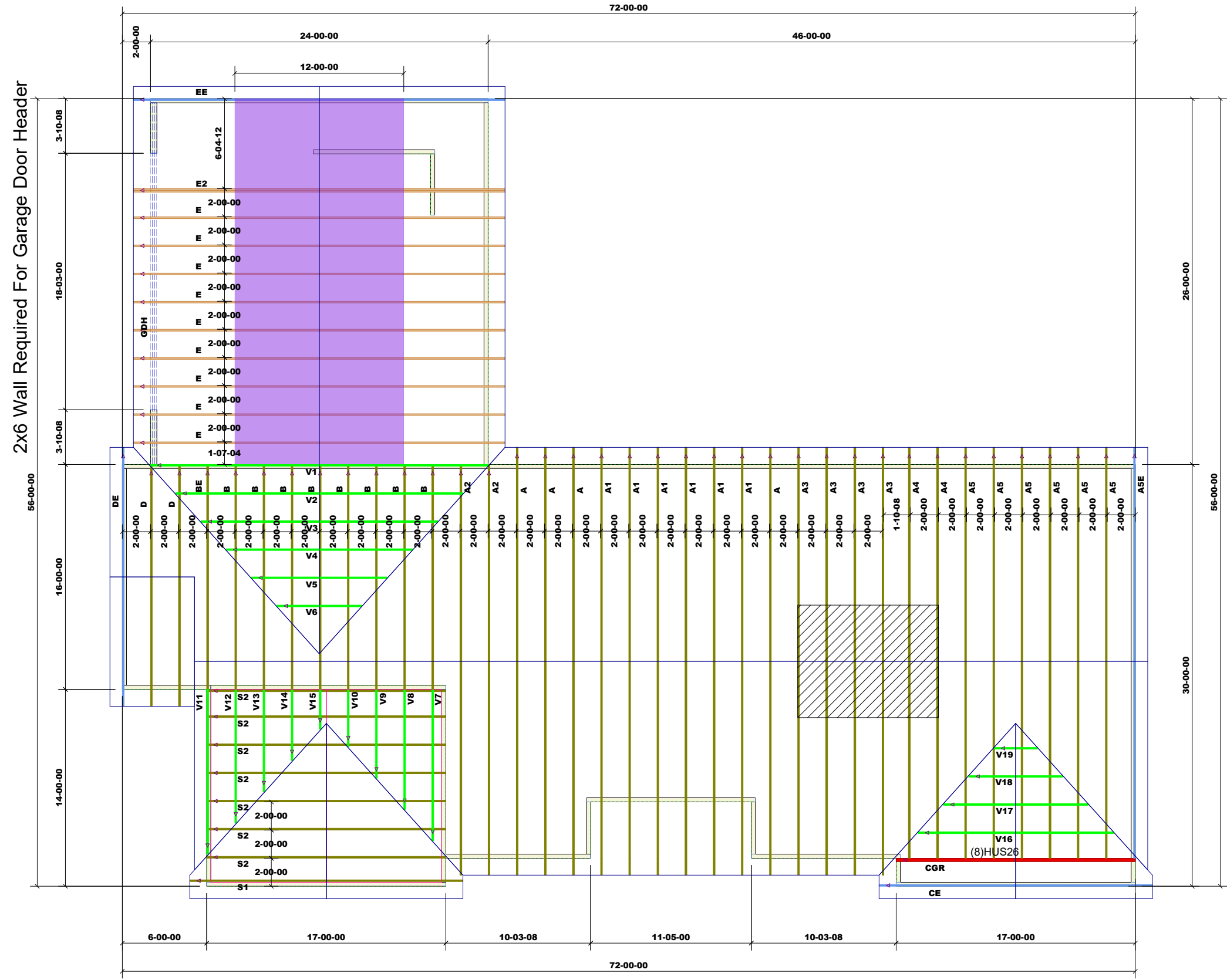
**PIER and GIRDER
DETAIL**

THIS LAYOUT IS INTENDED FOR THE PURPOSE OF TRUSS LOCATION AND PLACEMENT ONLY. REFER TO THE BUILDING PLANS FOR ACTUAL BUILDING CONSTRUCTION.



DEDICATED TO QUALITY AND EXCELLENCE
 200 EMMETT ROAD
 DUNN, NORTH CAROLINA 28334
 PHONE: 910-892-8400

2x6 Wall Required For Garage Door Header



56-00-00

16-00-00

14-00-00

3-10-08

3-10-08

18-03-00

26-00-00

56-00-00

LVL BY OTHERS

Products					
PlotID	Length	Product	Plies	Net Qty	Fab Type
GDH	26-00-00	1-3/4" x 16" VERSA-LAM® 2.0 3100 SP	3	3	MFD

1st Level Roof Area	2nd Level Roof Area
0	0

PROJECT: Plantation Schlieman
 CUSTOMER: Freedom Homes
 MODEL: Plantation
 QUOTE #: 1/25/2022
 DRAWN BY: R.E.
 SCALE: N.T.S

TOP LIVE LOAD: 20.0 lb/ft²
 TOP DEAD LOAD: 10.0 lb/ft²
 BOTTOM DEAD LOAD: 10.0 lb/ft²
 WIND SPEED: 130 mph

GENERAL NOTES:
 - DO NOT CUT OR MODIFY TRUSSES
 - TRUSSES ARE SPACED 24" ON CENTER UNLESS OTHERWISE NOTED
 - REFER TO THE INDIVIDUAL TRUSS DESIGN DRAWINGS FOR THE LOCATION OF LATERAL BRACING AND MULTI-PLY CONNECTION REQUIREMENTS.
 - PER ANSI TPI 1-2002 THE TRUSS ENGINEER IS RESPONSIBLE FOR TRUSS TO TRUSS CONNECTIONS AND TRUSS PLY TO PLY CONNECTIONS. THIS TRUSS PLAN RECOMMENDS TRUSS TO BEARING CONNECTIONS AND TRUSS TO BEAM CONNECTIONS WHICH SHALL BE REVIEWED BY THE BUILDING DESIGNER. IT IS THE RESPONSIBILITY OF THE BUILDING DESIGNER TO RESOLVE ALL ROOF FORCES ADEQUATELY TO THE FOUNDATION.