

LEGEND

CM - CONCRETE MONUMENT SET	ES - EXISTING COTTON SPINDLE
CM - EXISTING CONCRETE MONUMENT	CS - COTTON SPINDLE SET
EP - EXISTING IRON PIPE	O - ORANGE
EP - EXISTING IRON STAKE	Q - GAS LINE
EP - EXISTING REBAR	S - SANITARY SEWER
EP - EXISTING COTTON SPIKE	W - WATER
EP - EXISTING PK NAIL	E - ELECTRIC
EN - EXISTING RAILROAD SPIKE	T - TELEPHONE
EP - EXISTING RAILROAD SPIKE	PH - FIRE HYDRANT
IP - IRON PIPE SET	WM - WATER METER
ISS - RAILROAD SPIKE SET	CO - SEWER CLEANOUT
NS - NAIL SET	PK - PK OR MAG. NAIL SET
PKS - PK OR MAG. NAIL SET	R/W - RIGHT OF WAY
R/W - RIGHT OF WAY	CL - CENTERLINE
BL - BOOK OF MAPS	BL - ELEVATION
PL - PLAT BOOK	MH - MANHOLE
PL - MAP BOOK	BC - BACK OF CURB
DB - DEED BOOK	HVAC - HEAT/AC UNIT
SR - SET BACK	CP - COMPUTED POINT
EP - EDGE PAVEMENT	
NCGS - NORTH CAROLINA GEODETIC SURVEY	

NOTES
 AREA BY COORDINATES.
 THIS PROPERTY IS NOT LOCATED IN A FEMA
 MAPPED FLOOD HAZARD AREA, FEMA MAP #
 37200542004; ZONE X; EFF. DATE 10/3/2006.
 SUBJECT TO ABOVE AND OR UNDERGROUND
 UTILITIES AND OR EASEMENTS.
 LOTS 1-5 WILL REQUIRE A NCDOT
 DRIVEWAY PERMIT BEFORE A BUILDING PERMIT
 CAN BE ISSUED.

REFERENCES
 MAP # 2018 - 394
 D.B. 3860 P.G. 358
 MAP # 4 PG. 133
 OTHERS AS SHOWN

I, hereby certify that the development depicted herein has been
 granted final approval from Harnett County E-911 Addressing,
 Environmental Health, Planning, Public Utilities, and the
 North Carolina Department of Transportation. This plat is subject
 to any and all conditions stated below and is eligible for
 recordation in the Harnett County Register of Deeds within thirty
 days of the date below.

E-911 Addressing - **NIB**
 Public Utilities (Not for Construction) - **1615-1-4-2020**
 NCDOT - **1615-1-4-2020**
 Subdivision Administrator **10/20/2020**
 Date

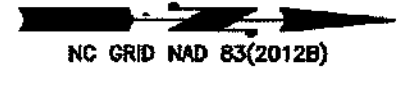
STATE OF NORTH CAROLINA
 COUNTY OF **HARNETT**
 COUNTY CLERK **David L. ...**
 REVIEW OFFICER OF **Harnett**
 COUNTY, CERTIFY THAT THE MAP OR PLAN TO WHICH THIS CERTIFICATION IS
 AFFIXED MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.

DATE **10-20-2020**
 REVIEW OFFICER **David L. ...**

I, BENTON W. DEWAR, PROFESSIONAL LAND SURVEYOR
 NO. 3040, CERTIFY THAT THIS PLAT WAS DRAWN UNDER
 THAT THIS PLAT IS OF A SURVEY THAT CREATES A
 SUBDIVISION OF LAND, THAT IS REGULATED BY COUNTY
 PARCELS OF LAND.

I, BENTON W. DEWAR, CERTIFY THAT THIS PLAT WAS DRAWN UNDER
 SUPERVISION DEED BOOK 3860 PAGE 358.
 THAT THE BOUNDARIES NOT SHOWN ARE CLEARLY INDICATED AS DRAWN
 FROM INFORMATION FOUND IN DEED MAP BOOK 2018, PAGE 394.
 THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY AS CALCULATED IS
 1:15,000. THAT THIS PLAT WAS PREPARED IN ACCORDANCE
 WITH G.S. 47-30 AS AMENDED. WITNESS MY ORIGINAL SIGNATURE,
 LICENSE NUMBER AND SEAL - THIS DATE **10/20/2020** A.D. 20 **20**
BENTON W. DEWAR, NCPLS - 3040

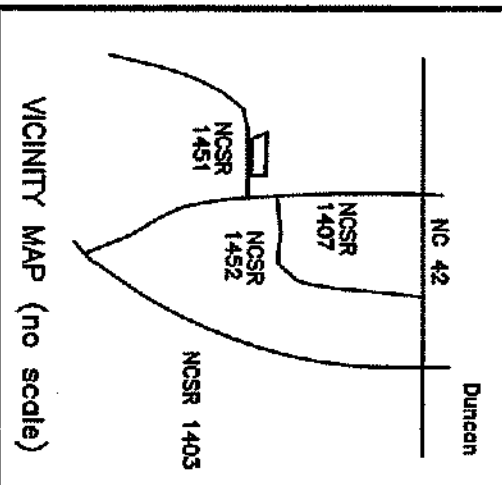
I, BENTON W. DEWAR, CERTIFY THAT THIS PLAT WAS PREPARED UNDER
 SUPERVISION DEED BOOK 3860 PAGE 358.
 THAT THE BOUNDARIES NOT SHOWN ARE CLEARLY INDICATED AS SUCH
 AND WERE PLATED FROM INFORMATION AS REFERENCED HEREON THAT
 THE RATIO OF PRECISION AS CALCULATED WAS 1:15,000 AND THAT
 THE GLOBAL NAVIGATION SATELLITE SYSTEM (GNSS) WAS USED TO
 PERFORM A PORTION OF THIS SURVEY AND THE FOLLOWING INFORMATION WAS USED:
 CLASS OF SURVEY: **A**
 POSITIONAL ACCURACY: **0.02'**
 TYPE OF GPS FIELD PROCEDURE: **RTK**
 DATE OF SURVEY: **8/20/20**
 DATUM/EPOCH: **NAD 83**
 PUBLISHED/REVISED-TIED CONTROL USE: **YES**
 GENO MODEL: **2012B**
 COMBINED GRID FACTOR: **0.99997**
 UNITS: **US SURVEY FOOT**



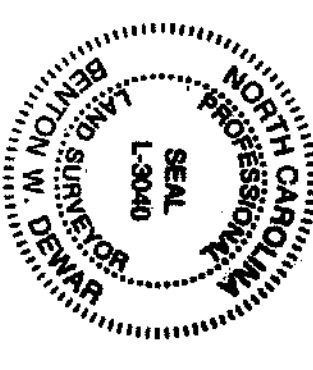
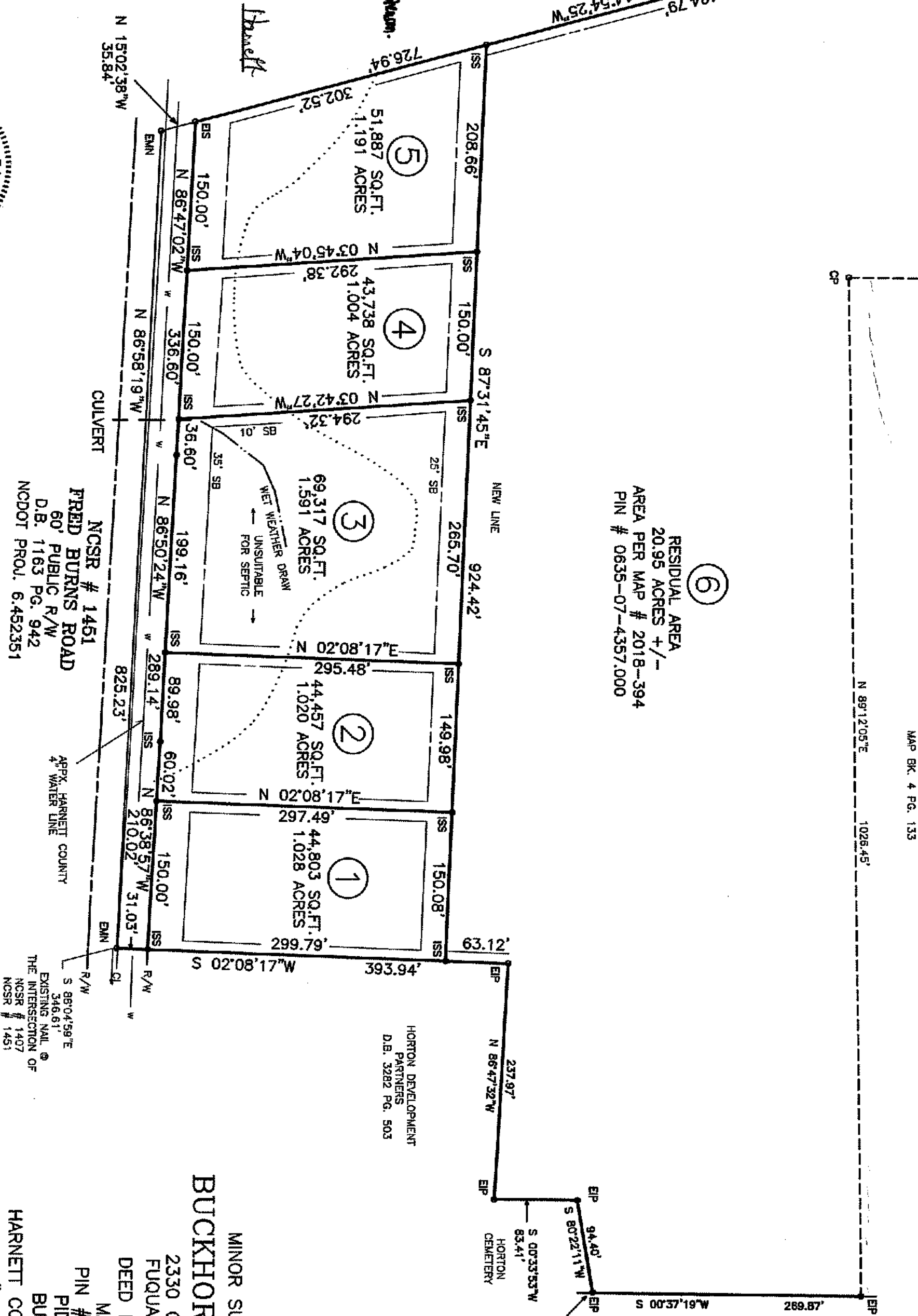
LINDA SEARS
 D.B. 931 PG. 472
 MAP BK. 4 PG. 133

CERTIFICATE OF OWNERSHIP, DEDICATION AND JURISDICTION
 I (WE) HEREBY CERTIFY THAT I (AM WE ARE) THE OWNER(S) OR
 AGENT OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT
 I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR)
 FREE CONSENT. ESTABLISH THE MINIMUM BUILDING SETBACK LINES
 AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER
 SITES AND EASEMENTS TO PUBLIC OR PRIVATE USE AS NOTED. ALL
 OF THE LAND SHOWN HEREON IS WITHIN THE SUBDIVISION REGULATION
 JURISDICTION OF HARNETT COUNTY EXCEPT:
 (NAME) **10-15** TAX PARCEL ID. NUMBER **2020**
Edgar Henry Baker Mayor OWNER

HARNETT COUNTY JURISDICTION
 PROPERTY ZONED - RA - 40
 MINIMUM BUILDING SETBACKS
 FRONT - 35'
 SIDE - 10'
 REAR - 25'
 CORNER SIDE - 20'
 MINIMUM LOT WIDTH - 150'
 MINIMUM LOT SIZE WITH WATER
 35,000 SQ. FT.



RESIDUAL AREA
20.95 ACRES +/-
AREA PER MAP # 2018-394
PIN # 0635-07-4357.000



HARNETT COUNTY
 NORTH CAROLINA
 FILED DATE **10/20/20** TIME **3:37 pm**
 MAP NUMBER **2020-366**
Kimberly S. Hargrove
 REGISTERED CLERK
Edgar Henry Baker DEPUTY S.P.W.

RECORDED MAP # 2020 - **366** HARNETT COUNTY R.O.D.

FOR REGISTRATION
 KIMBERLY S. HARGROVE
 REGISTERED CLERK OF DEEDS
 2520 OCT 26 03:37 PM
 BK: 2020 PG: 366-368
 INSTRUMENT # 2020-366
 TUESDAY

2020019202

MINOR SUBDIVISION SURVEY FOR
BUCKHORN PARTNERS LLC
 2330 OAKRIDGE RIVER ROAD
 FUQUAY-VARINA, NC 27526
 DEED BOOK 3860 PAGE 358
 MAP # 2018-394
 PIN # 0635-07-4357.000
 PID # 050635 0089
 BUCKHORN TOWNSHIP
 HARNETT COUNTY - NORTH CAROLINA
 SCALE: 1" = 100' - OCTOBER 15, 2020

BENTON W. DEWAR AND ASSOCIATES
 PROFESSIONAL LAND SURVEYOR
 5920 HONEYCUTT ROAD
 HOLLY SPRINGS, NC 27540
 PH. # (919)-558-9818