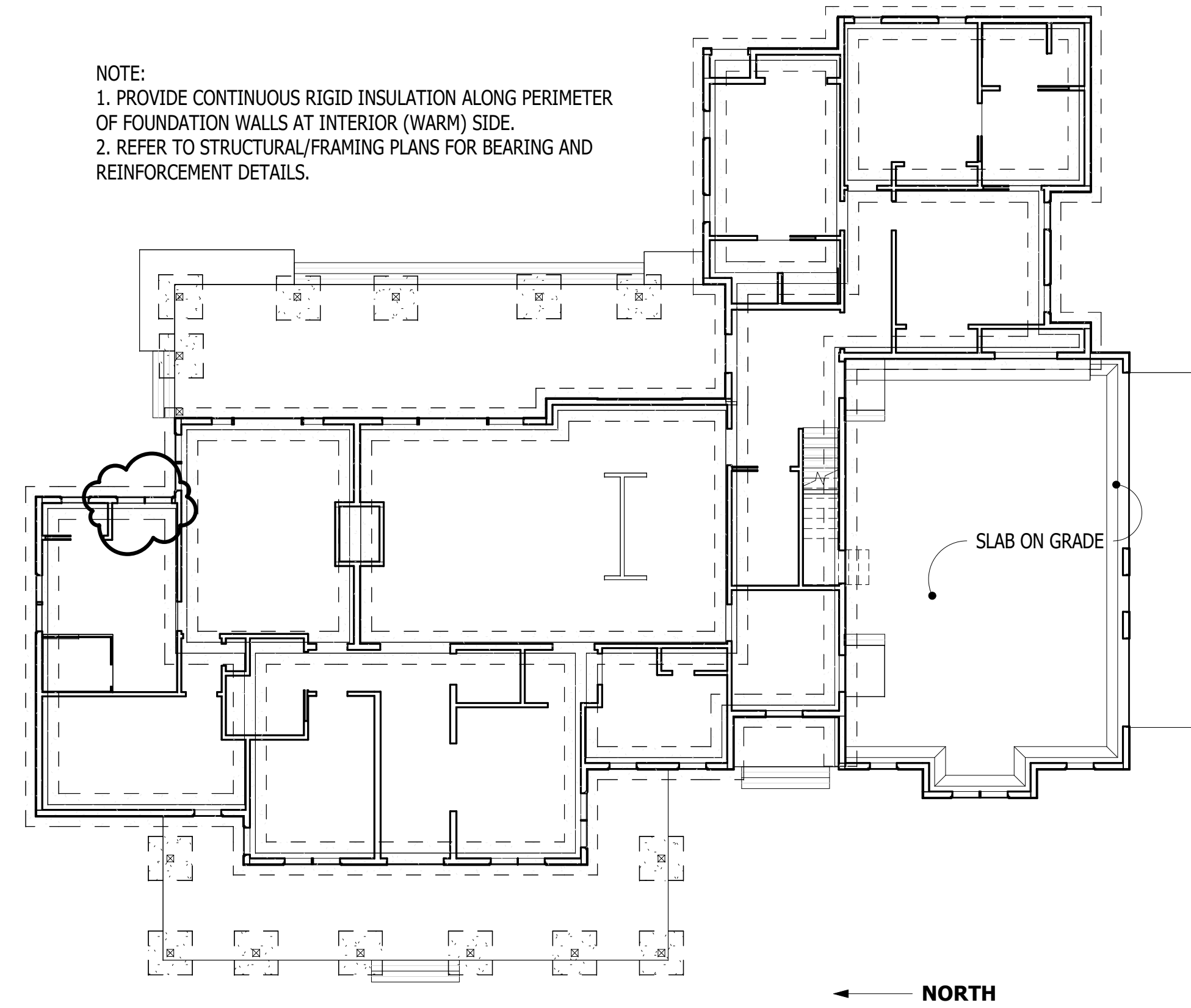


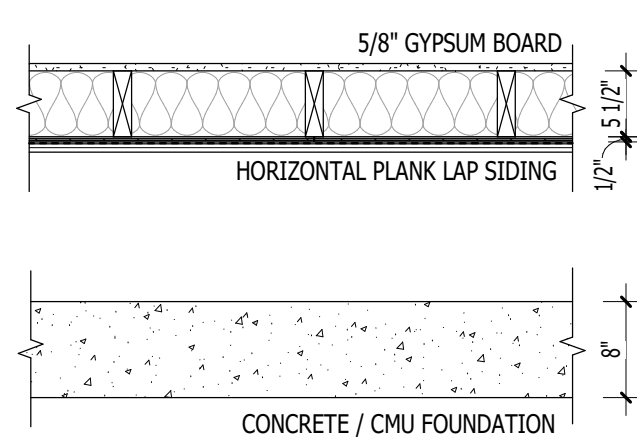




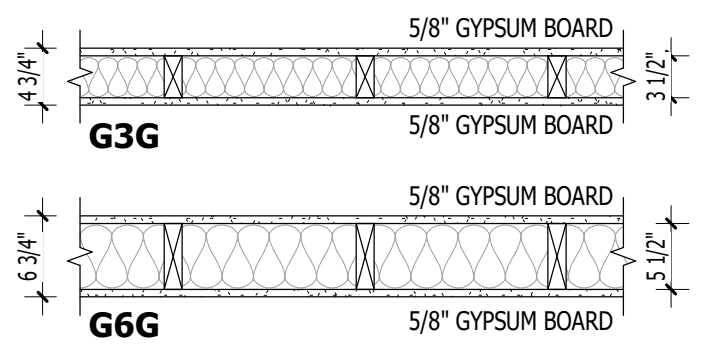
NOTE:  
 1. PROVIDE CONTINUOUS RIGID INSULATION ALONG PERIMETER OF FOUNDATION WALLS AT INTERIOR (WARM) SIDE.  
 2. REFER TO STRUCTURAL/FRAMING PLANS FOR BEARING AND REINFORCEMENT DETAILS.



**EXTERIOR WALLS**

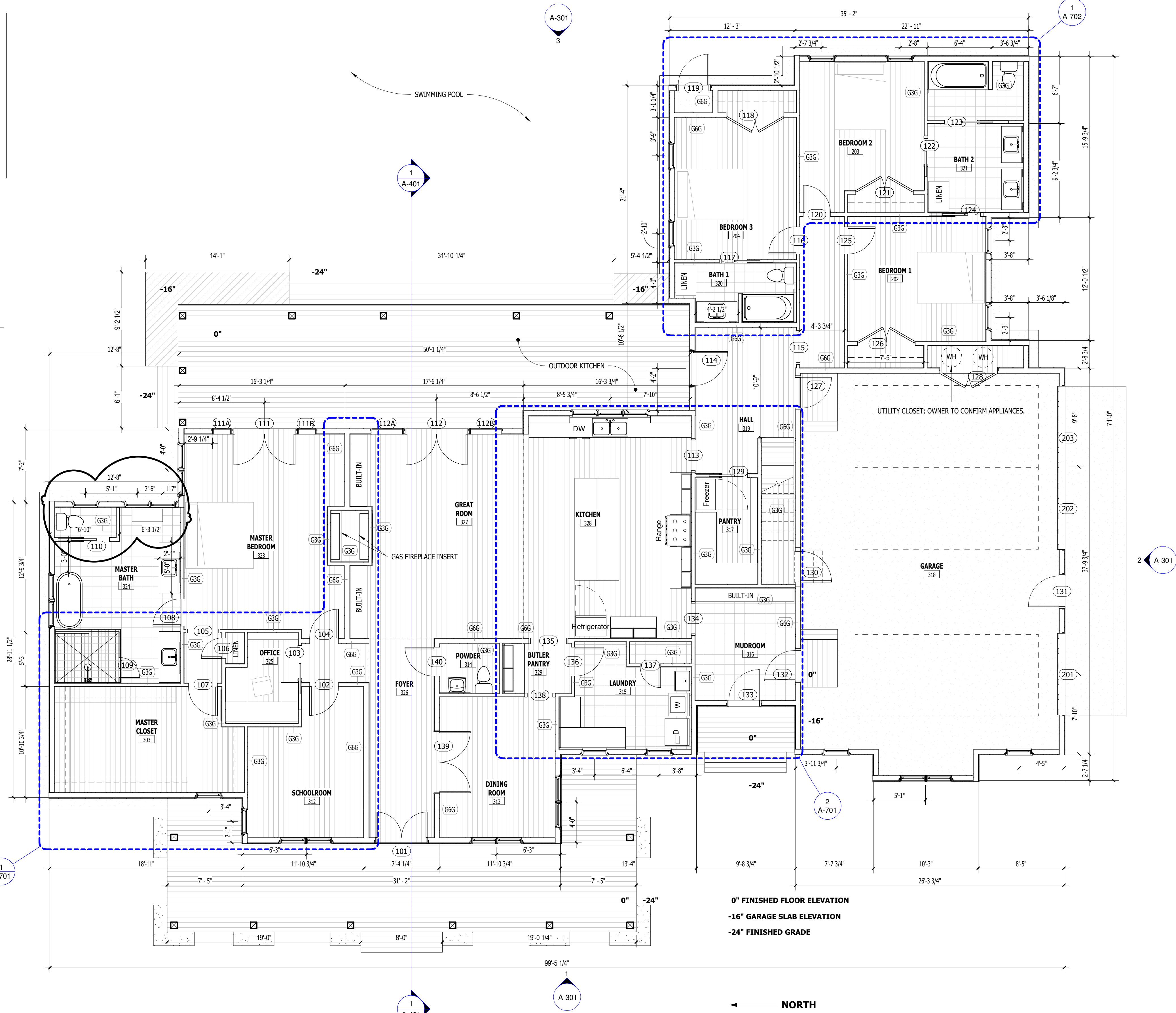


**INTERIOR PARTITIONS**



**2 BASIC FOUNDATION PLAN**  
 SCALE: 3/32" = 1'-0"

DOOR SCHEDULE					
#	TO	FROM	WIDTH	HEIGHT	DESCRIPTION
101	FOYER		5'-0"	7'-0"	Exterior, swing, double, full lite
102	SCHOOLROOM	FOYER	2'-10"	7'-0"	Interior, swing
103	FOYER	OFFICE	3'-0"	7'-0"	Interior, pocket, half lite
104	MASTER BEDROOM	FOYER	2'-10"	7'-0"	Interior, swing
105		MASTER BEDROOM	3'-0"	7'-0"	Exterior, side lite
106		LINEN	2'-0"	7'-0"	Interior, swing
107	MASTER CLOSET		2'-10"	7'-0"	Interior, swing
108	MASTER BATH	MASTER BEDROOM	2'-8"	7'-0"	Interior, swing
109	MASTER BATH	MASTER BATH	2'-0"	7'-0"	Interior, swing, shower glass
110	MASTER BATH	MASTER BATH	2'-6"	7'-0"	Interior, pocket
111	MASTER BEDROOM	MASTER BEDROOM	6'-0"	7'-6"	Exterior, swing, double, full lite
111A	MASTER BEDROOM	MASTER BEDROOM	1'-8"	7'-7"	Exterior, side lite
111B	MASTER BEDROOM	MASTER BEDROOM	1'-8"	7'-7"	Exterior, side lite
112	GREAT ROOM		6'-0"	7'-6"	Exterior, swing, double, full lite
112A	GREAT ROOM	GREAT ROOM	3'-0"	7'-7"	Exterior, side lite
112B	GREAT ROOM	GREAT ROOM	3'-0"	7'-7"	Exterior, side lite
113	HALL	KITCHEN	3'-0"	7'-0"	Interior, cascd opening
114	HALL		3'-6"	7'-2"	Exterior, swing, double, full lite
115		HALL	3'-0"	7'-0"	Interior, cascd opening
116	BEDROOM 3		2'-8"	7'-0"	Interior, swing
117	BATH 1	BEDROOM 3	2'-6"	7'-0"	Interior, pocket
118	BEDROOM 3		5'-8"	7'-0"	Interior, swing, double
119		POOL CLOSET	3'-0"	7'-0"	Exterior, swing
120	BEDROOM 2		2'-8"	7'-0"	Interior, swing
121	BEDROOM 2		5'-8"	7'-0"	Interior, swing, double
122	BEDROOM 2	BATH 2	2'-6"	7'-0"	Interior, pocket
123	BATH 2	BATH 2	3'-0"	7'-0"	Interior, pocket
124	BATH 2	BEDROOM 1	2'-6"	7'-0"	Interior, pocket
125	BEDROOM 1		2'-8"	7'-0"	Interior, swing
126	BEDROOM 1		5'-8"	7'-0"	Interior, swing, double
127	GARAGE	HALL	3'-0"	7'-0"	Exterior, swing
128	GARAGE		5'-8"	7'-0"	Interior, swing, double
129	HALL	PANTRY	2'-6"	7'-0"	Interior, pocket, half lite
130	GARAGE	CLOSET	3'-0"	6'-8"	Exterior, swing
131	GARAGE		3'-0"	7'-0"	Exterior, swing, half lite
132	MUDROOM	GARAGE	3'-0"	7'-0"	Exterior, swing
133	MUDROOM	MUDROOM	3'-0"	7'-0"	Exterior, swing, half lite
134	MUDROOM	KITCHEN	3'-0"	7'-0"	Interior, cascd opening
135	BUTLER PANTRY	KITCHEN	3'-6"	7'-0"	Interior, cascd opening
136	LAUNDRY	BUTLER PANTRY	2'-10"	7'-0"	Interior, swing
137	CLOSET	LAUNDRY	2'-0"	7'-0"	Interior, swing
138	DINING ROOM	BUTLER PANTRY	2'-6"	7'-0"	Interior, cascd opening
139	DINING ROOM	FOYER	6'-0"	7'-0"	Interior, swing, double, full lite
140	FOYER	POWDER	2'-10"	7'-0"	Interior, swing
150	WALK-UP ATTIC		3'-0"	7'-0"	Interior, swing
201	GARAGE		8'-0"	8'-0"	Exterior, overhead sectional
202	GARAGE		8'-0"	8'-0"	Exterior, overhead sectional
203	GARAGE		8'-0"	8'-0"	Exterior, overhead sectional



**1 FIRST FLOOR PLAN**  
 SCALE: 3/16" = 1'-0"

PRINTED: 5/6/2022 11:49:23 PM



**TKB Architecture**  
 2069 Sandalwood Drive  
 Sanford, North Carolina 27332  
 Tel: 443.534.6420  
 kristybardwell@gmail.com

**NEW SINGLE FAMILY RESIDENCE**  
**WALTER & CHELSEA CIUCEVICH**  
 LLOYD STEWART ROAD || BROADWAY || NORTH CAROLINA

**PACKAGE**  
 100% DESIGN

**SHEET**  
 FIRST FLOOR &  
 FOUNDATION PLAN

REVISIONS	
No.	Date
1	04.02.22

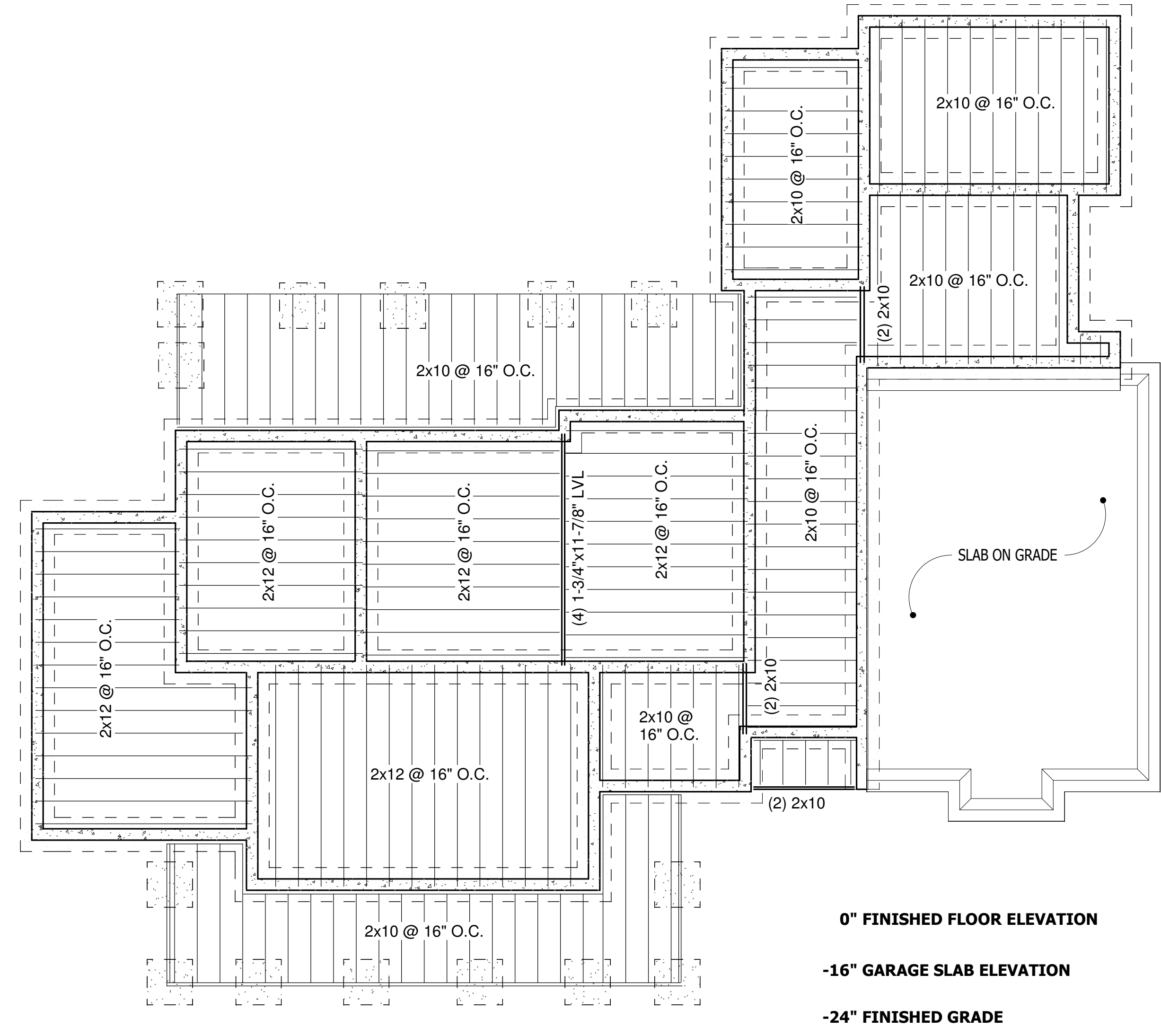
**DATE ISSUED**  
 03.10.2022

**A-101**



**REVISIONS**

No.	Date



**1 FOUNDATION & FLOOR FRAMING PLAN**  
SCALE: 1/8" = 1'-0"

- NOTES:**
- FOUNDATION PLAN SHOWN ASSUMES A NET ALLOWABLE SOIL BEARING PRESSURE OF 2,000 PSF.
  - CONCRETE SHALL BE NORMAL WEIGHT WITH 28-DAY COMPRESSIVE STRENGTH OF 3,000 PSI.
  - TOP OF ALL FOOTINGS SHALL BE A MINIMUM OF 12" BELOW FINAL GRADE. STEP FOOTINGS AS REQUIRED TO MAINTAIN COVERAGE.
  - CONCRETE WALL FOOTING TO BE 3'-0" x 1'-0" DEEP AND REINFORCED WITH 3 - #4 CONTINUOUS AND #4 AT 48" O.C. TRANSVERSE BARS.
  - CONCRETE FOUNDATION WALL TO BE 12" WIDE AND REINFORCED WITH #4 AT 12" O.C. EACH WAY EACH FACE.
  - CONTRACTOR IS RESPONSIBLE FOR GROUNDWATER CONTROL, AS WELL AS EXCESSIVE EXPOSURE OF BEARING SURFACES TO WEATHER.
  - CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL UTILITY LOCATIONS, SIZES, AND INVERTS THAT CROSS THE FOUNDATION WALL AND FOOTING.
  - CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL NC RESIDENTIAL BUILDING CODE STATUTES REGARDLESS OF INFORMATION SHOWN HEREIN.



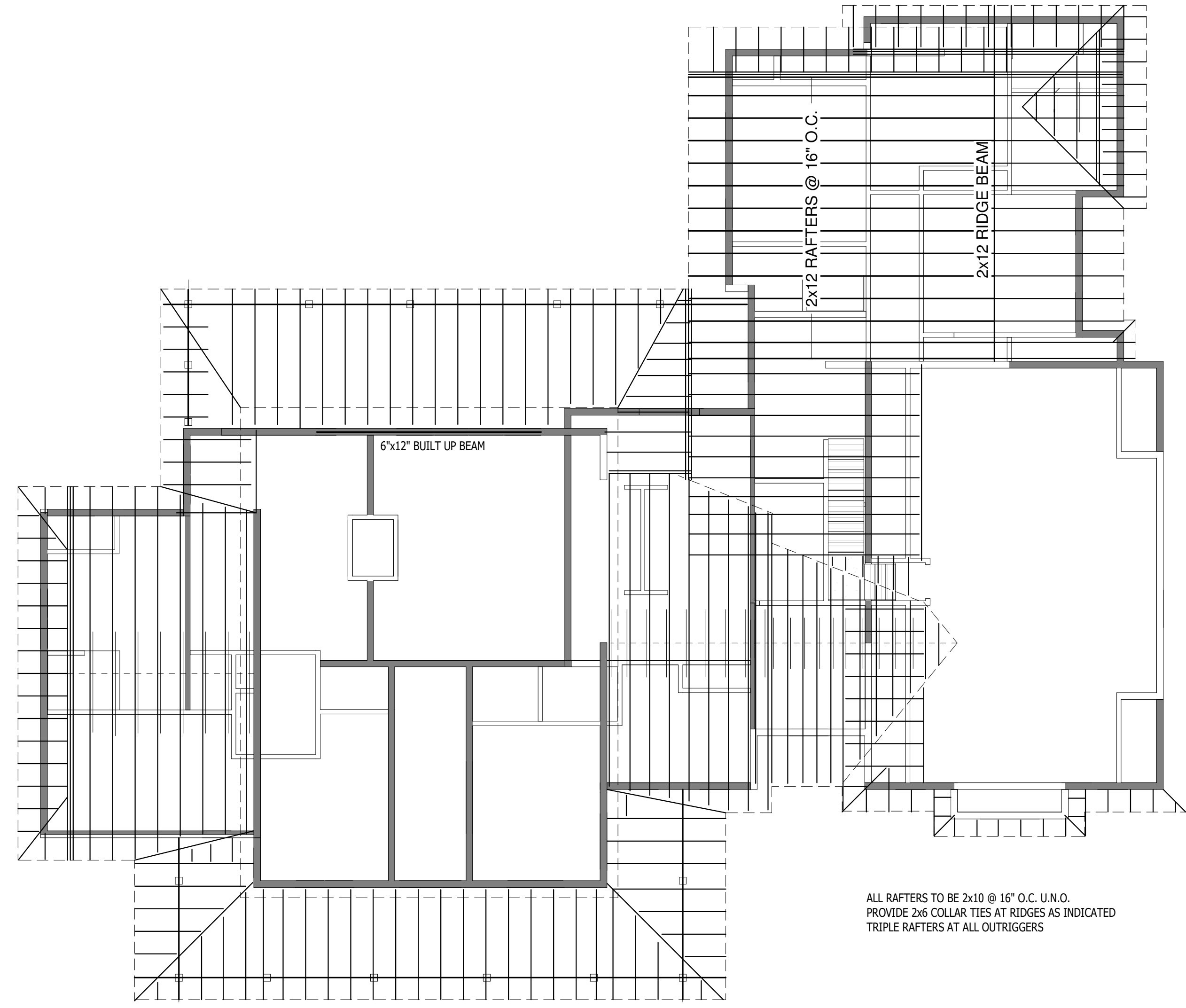
**2 SECOND FLOOR FRAMING PLAN**  
SCALE: 1/8" = 1'-0"

- NOTES:**
- WOOD FRAMING MEMBERS TO BE SEASONED, 19% MOISTURE CONTENT, SOUTHERN PINE, GRADE NO. 2 OR BETTER.
  - WOOD SHEATHING SHALL COMPLY WITH PS 1 US PRODUCT STANDARD FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD AND AS FOLLOWS:
    - EXTERIOR WALL AND SHEARWALL - 7/16" MINIMUM
    - FLOOR SHEATHING - 23/32" MINIMUM, TONGUE & GROOVE, GLUED & SCREWED
    - ROOF SHEATHING - 7/16" MINIMUM, TONGUE & GROOVE OR USE "PLY-CLIPS"
  - EXTERIOR WALLS MUST BE CONTINUOUSLY SHEATHED.
  - ALL WOOD FRAMING PERMANENTLY EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE MUST BE PRESERVATIVE-TREATED. 2x6 MUD PLATES MUST BE ANCHORED TO CONCRETE FOUNDATION AT 48" O.C. WITH HOT-DIPPED GALVANIZED BOLTS.
  - HURRICANE TIES, STRAPS, JOIST HANGERS, ETC. ARE REQUIRED TO SECURE FLOOR TO WALL TO ROOF FRAMING.
  - CONTRACTOR IS RESPONSIBLE FOR BLOCKING AND BRIDGING WHICH MAY NOT BE DEPICTED HERE.
  - CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL NC RESIDENTIAL BUILDING CODE STATUTES REGARDLESS OF INFORMATION SHOWN HEREIN.

- HEADERS**
- H1 - (3) 2x6 w plywood infill    1 JACK STUD    2 KING STUDS
  - H2 - (3) 2x8 w plywood infill    2 JACK STUDS    2 KING STUDS

**REVISIONS**

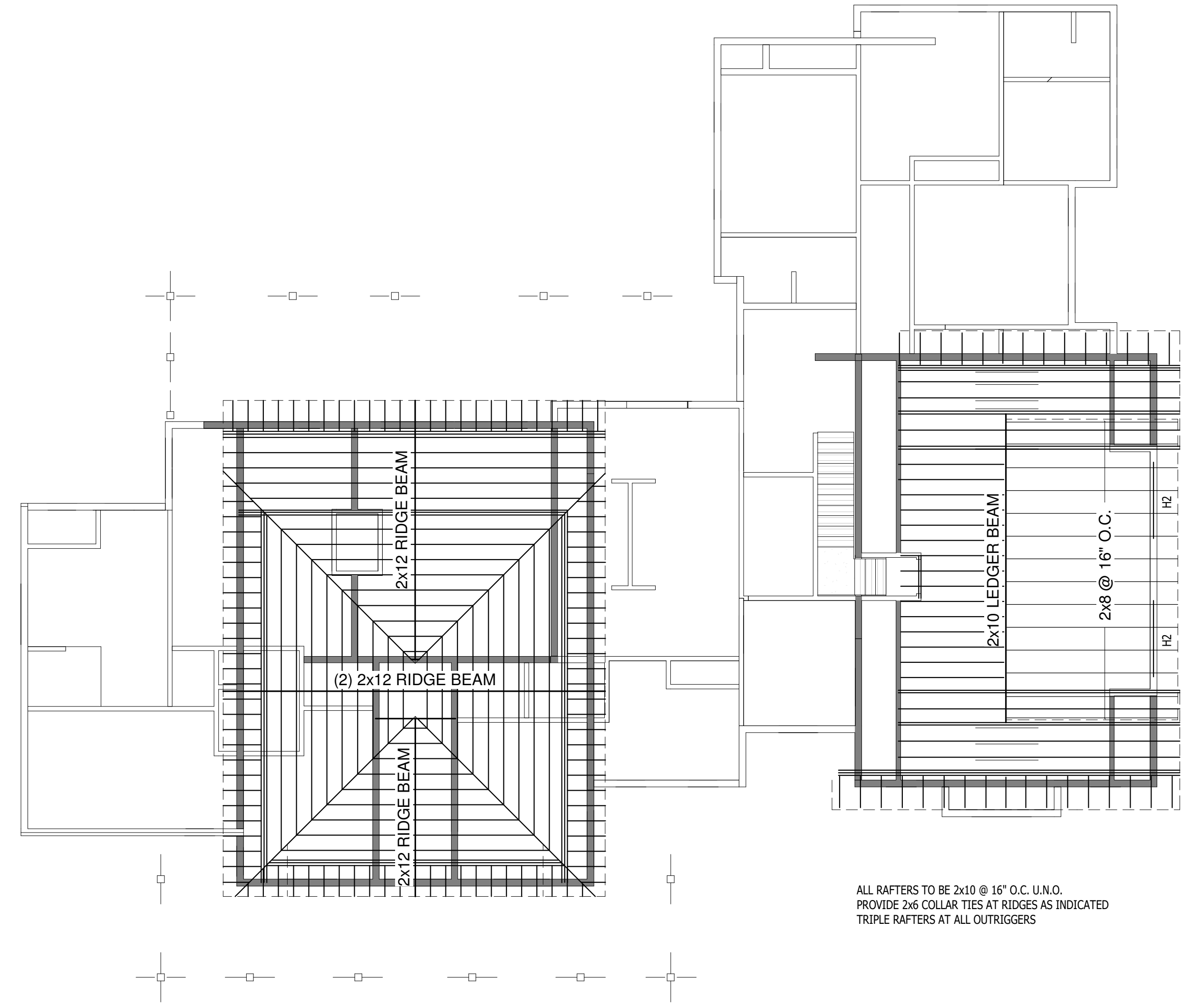
No.	Date



ALL RAFTERS TO BE 2x10 @ 16" O.C. U.N.O.  
PROVIDE 2x6 COLLAR TIES AT RIDGES AS INDICATED  
TRIPLE RAFTERS AT ALL OUTRIGGERS

**1 LOW ROOF FRAMING PLAN**  
SCALE: 1/8" = 1'-0"

- NOTES:**
- WOOD FRAMING MEMBERS TO BE SEASONED, 19% MOISTURE CONTENT, SOUTHERN PINE, GRADE NO. 2 OR BETTER.
  - WOOD SHEATHING SHALL COMPLY WITH PS 1 US PRODUCT STANDARD FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD AND AS FOLLOWS:
    - EXTERIOR WALL AND SHEARWALL - 7/16" MINIMUM
    - FLOOR SHEATHING - 23/32" MINIMUM, TONGUE & GROOVE, GLUED & SCREWED
    - ROOF SHEATHING - 7/16" MINIMUM, TONGUE & GROOVE OR USE "PLY-CLIPS"
  - EXTERIOR WALLS MUST BE CONTINUOUSLY SHEATHED.
  - ALL WOOD FRAMING PERMANENTLY EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE MUST BE PRESERVATIVE-TREATED.
  - 2x6 MUD PLATES MUST BE ANCHORED TO CONCRETE FOUNDATION AT 48" O.C. WITH HOT-DIPPED GALVANIZED BOLTS.
  - HURRICANE TIES, STRAPS, JOIST HANGERS, ETC. ARE REQUIRED TO SECURE FOUNDATION TO FLOOR TO WALL TO ROOF CONNECTIONS.
  - CONTRACTOR IS RESPONSIBLE FOR BLOCKING AND BRIDGING WHICH MAY NOT BE DEPICTED HERE.
  - CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL NC RESIDENTIAL BUILDING CODE STATUTES REGARDLESS OF INFORMATION SHOWN HEREIN.

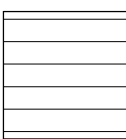
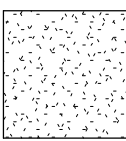

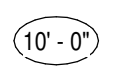


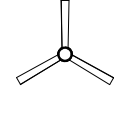
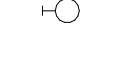








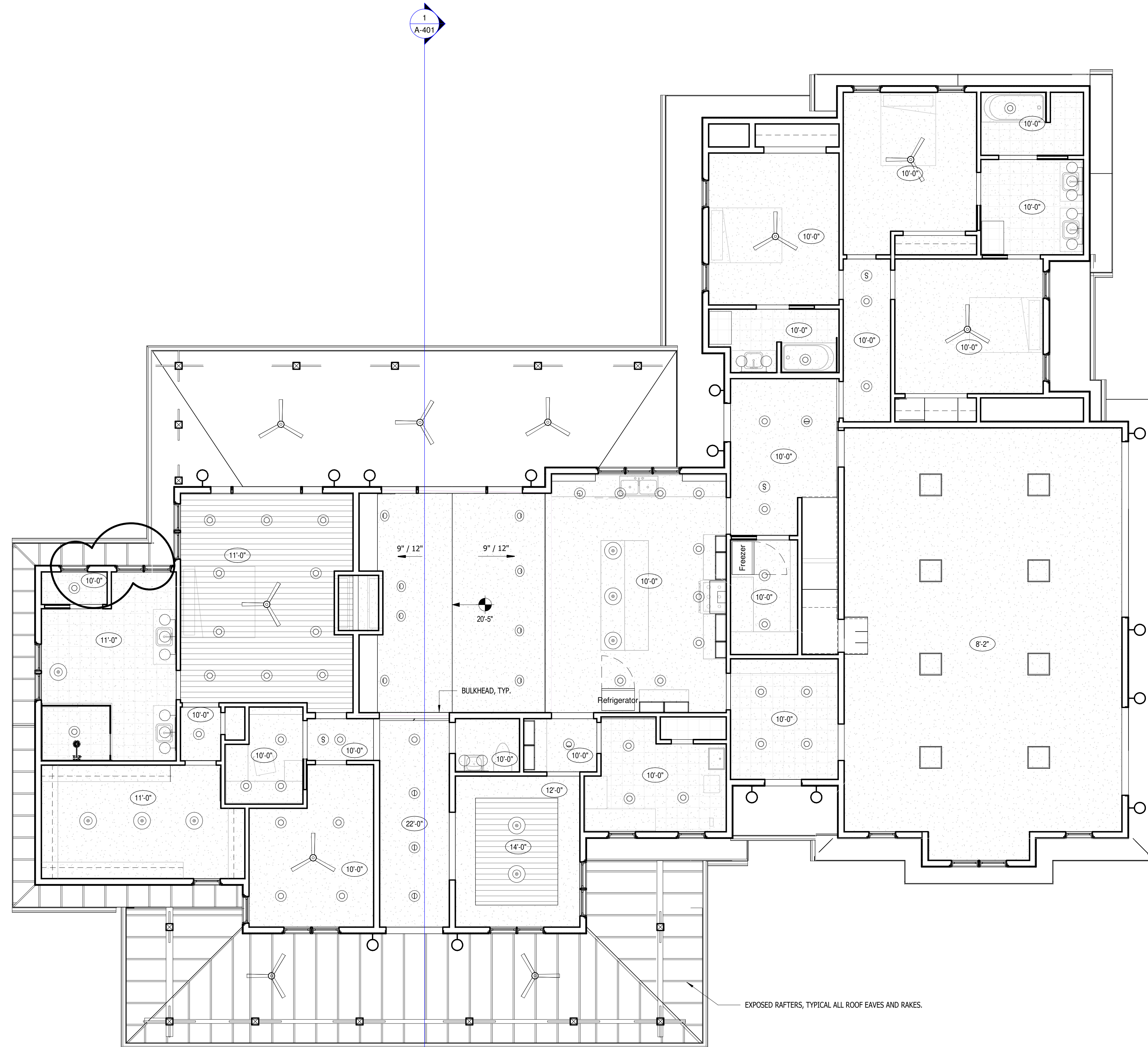
ALL RAFTERS TO BE 2x10 @ 16" O.C. U.N.O.  
PROVIDE 2x6 COLLAR TIES AT RIDGES AS INDICATED  
TRIPLE RAFTERS AT ALL OUTRIGGERS

**2 HIGH ROOF FRAMING PLAN**  
SCALE: 1/8" = 1'-0"



**REFLECTED CEILING PLAN KEY**

-  WOOD PLANK CEILING
-  GWB CEILING
-  EXPOSED STRUCTURE
-  CEILING ELEVATION HT.
-  RECESSED DOWNLIGHT
-  PENDANT MOUNTED LIGHT
-  SUSPENDED CEILING FAN
-  WALL SCONCE
-  SMOKE DETECTOR
-  SPEAKER
-  WIRELESS ACCESS POINT OUTLET
-  DAYLIGHT SENSOR
-  OCCUPANCY SENSOR
-  MECHANICAL GRILLE AND DIFFUSER



EXPOSED RAFTERS, TYPICAL ALL ROOF EAVES AND RAKES.

PRINTED: 5/6/2022 11:49:26 PM

**1** GROUND FLOOR REFLECTED CEILING PLAN  
SCALE: 3/16" = 1'-0"

**NEW SINGLE FAMILY RESIDENCE**  
WALTER & CHELSEA CIUCEVICH  
LLOYD STEWART ROAD || BROADWAY || NORTH CAROLINA

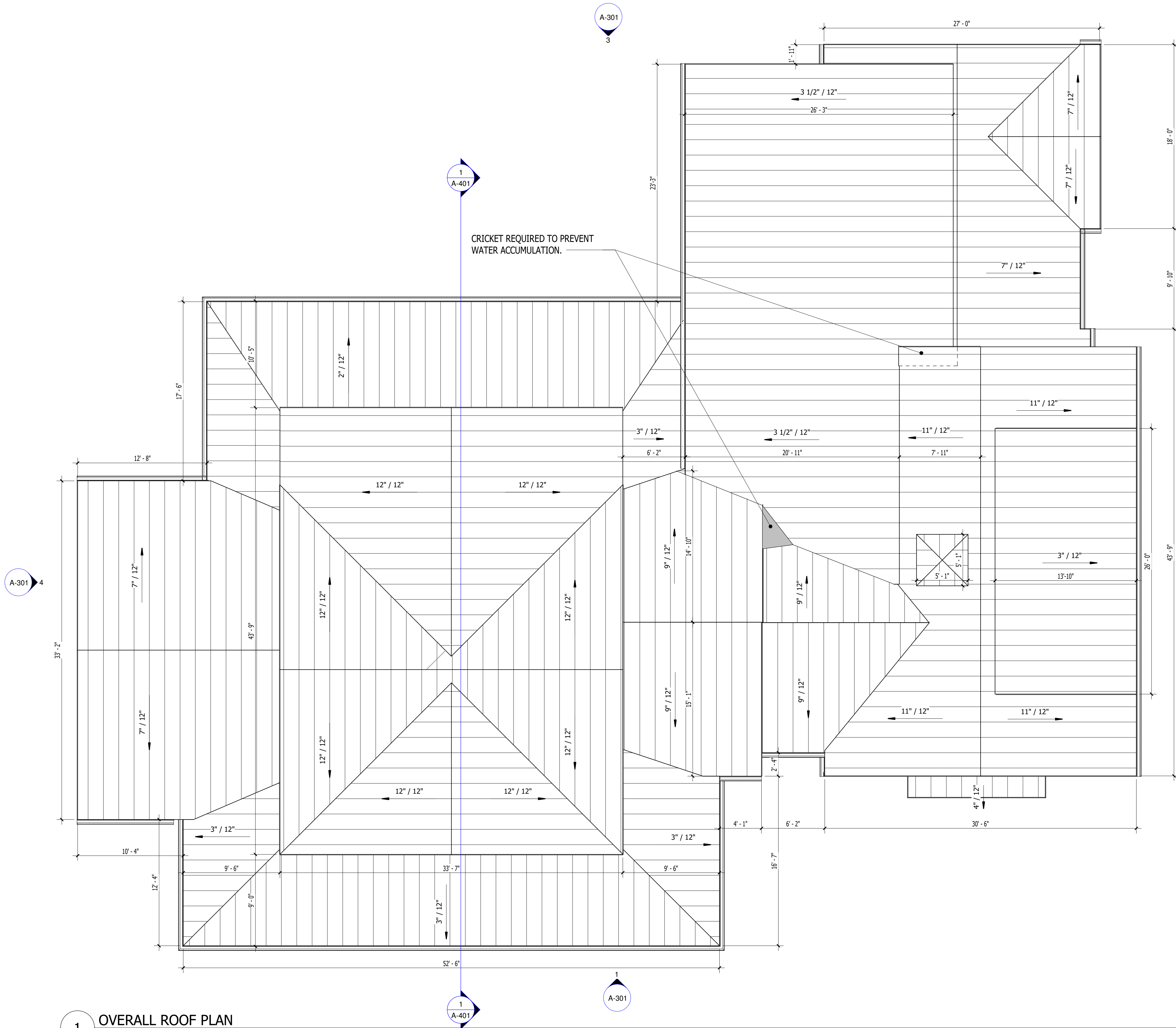
**PACKAGE**  
100% DESIGN

**SHEET**  
REFLECTED  
CEILING PLAN

REVISIONS	
No.	Date
1	04.02.22

**DATE ISSUED**  
03.10.2022

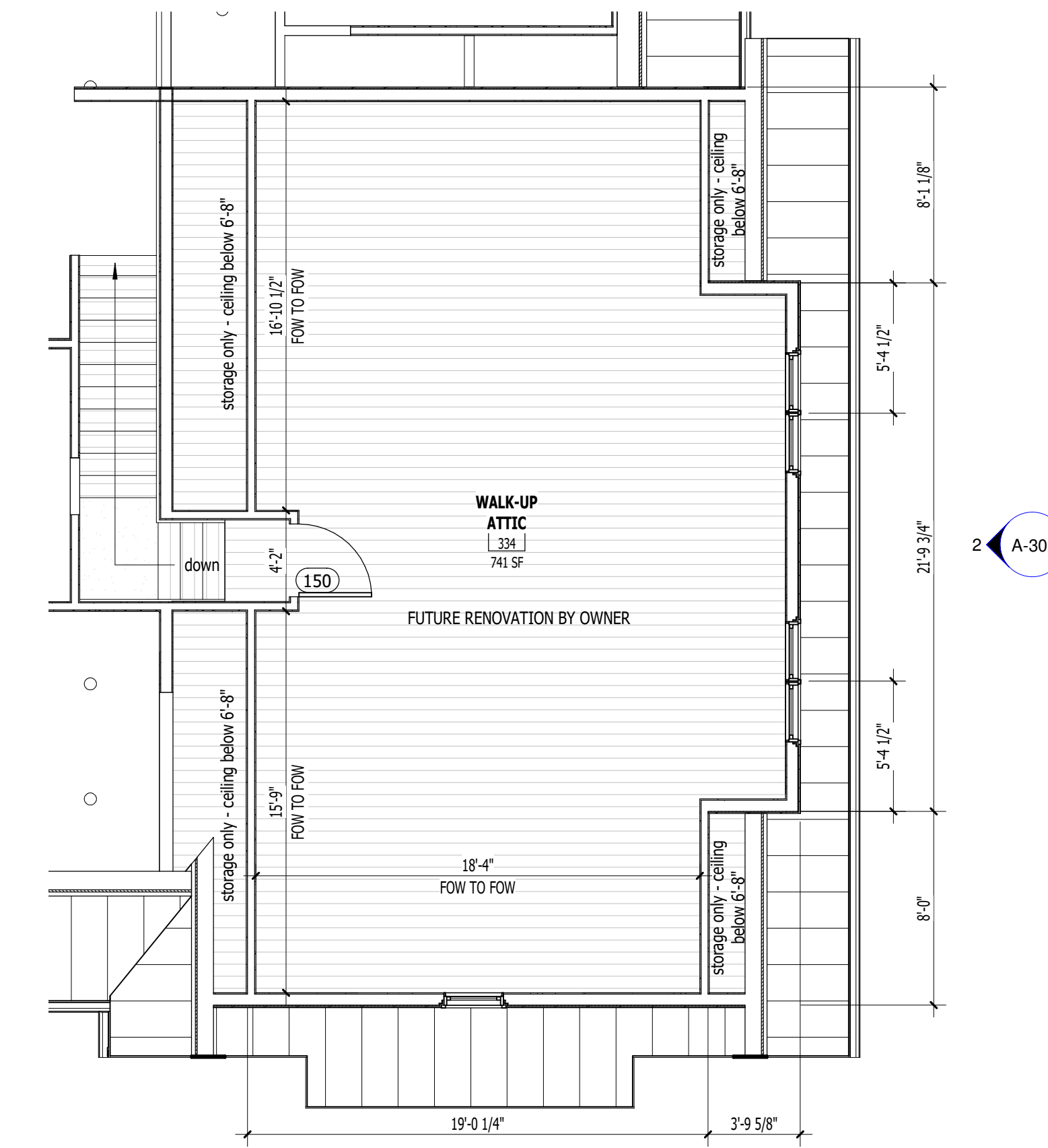
**A-121**



**1 OVERALL ROOF PLAN**  
SCALE: 3/16" = 1'-0"

**GENERAL NOTES - ROOF**

1. ROOF SLOPES LESS THAN 3.5"/12" MUST HAVE METAL PANEL ASSEMBLY. ROOF SLOPES EQUAL TO OR GREATER THAN 4"/12" MAY BE SUBSTITUTED WITH SHINGLES WITH OWNER'S APPROVAL. ALL COLORS, TEXTURES, AND PROFILES TO BE SELECTED BY OWNER.
2. CONTRACTOR TO PROVIDE ALL COMPONENTS REQUIRED TO COMPLY WITH MANUFACTURERS BEST/LIFETIME WARRANTY.
3. ALL ROOFING MATERIALS, FLASHING, TRIM, COPINGS, ETC. TO COMPLY WITH SPECIFIED UPLIFT REQUIREMENTS FOR INDICATED WIND ZONE. SEE NC BUILDING CODES.
4. ALL PENETRATIONS OF ANY TYPE MUST COMPLY WITH ROOFING MANUFACTURER'S PRINTED REQUIREMENTS AND COMPLY WITH ROOF WARRANTY.
5. PLUMBING CONTRACTOR TO PROVIDE AND INSTALL VENT PIPES AND PREFORMED BOOTS. CUPOLA CAN BE AN ORNAMENTAL, PREFABRICATED UNIT. COORDINATE WITH OWNER.
6. CONTRACTOR TO PROVIDE MIN. 26 GA. GUTTER AND DOWNSPOUTS; PROFILE AND COLOR TO BE SELECTED BY OWNER.



**2 SECOND FLOOR PLAN**  
SCALE: 3/16" = 1'-0"

**REVISIONS**

No.	Date



**REVISIONS**

No.	Date
1	04.02.22

**WINDOW SCHEDULE**

Type Mark	Family	Count	Width	Height	Head Height
<b>Window-Double_Hung</b>					
D1	Window-Double_Hung	12	2'-5 1/2"	7'-1"	8'-0"
D2	Window-Double_Hung	5	2'-5 3/8"	4'-1"	8'-0"
D3	Window-Double_Hung	8	2'-5 3/8"	5'-1"	7'-8"
D3	Window-Double_Hung	12	2'-5 3/8"	5'-1"	8'-0"
<b>Window-Picture</b>					
P1	Window-Picture	5	2'-0"	2'-0"	9'-10"
P2	Window-Picture	5	3'-0"	2'-0"	5'-0"
P2	Window-Picture	2	3'-0"	2'-0"	10'-4"
P3	Window-Picture	1	3'-4"	1'-4"	7'-8"
P3	Window-Picture	2	3'-4"	1'-4"	9'-0"
P4	Window-Picture	2	3'-4"	2'-0"	10'-4"
P5	Window-Picture	2	3'-6"	1'-8"	9'-2"
P6	Window-Picture	2	5'-4"	1'-4"	10'-0"
P7	Window-Picture	1	5'-6"	1'-8"	9'-2"
P7	Window-Picture	1	5'-6"	1'-8"	22'-0"
P8	Window-Picture	1	6'-5"	1'-4"	9'-0"
P9	Window-Picture	1	7'-6"	1'-4"	9'-8"
P10	Window-Picture	1	10'-2"	1'-4"	9'-8"
<b>Grand total:</b>		<b>63</b>			



**1 STREETFRONT / WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



**2 SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**3 REAR / EAST ELEVATION**  
SCALE: 1/8" = 1'-0"

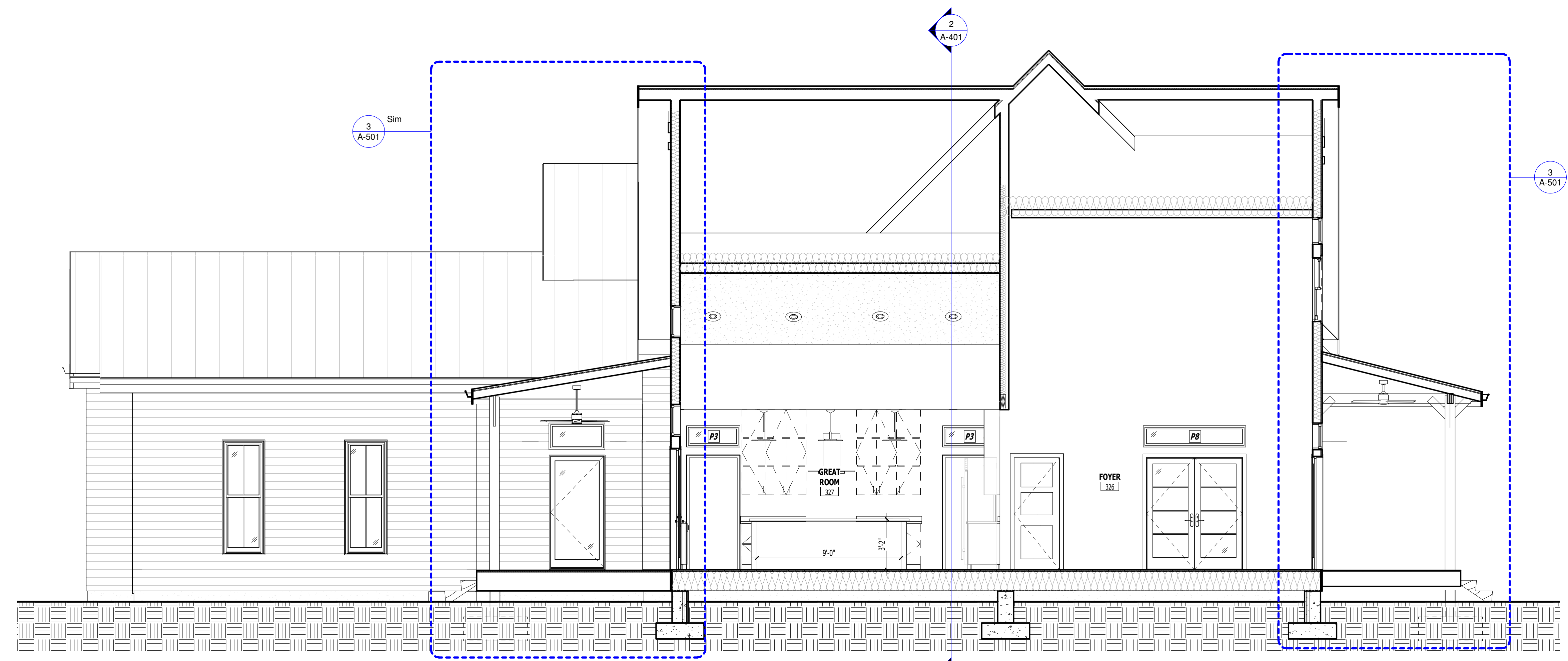


**4 NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"

**REVISIONS**

No.	Date
1	04.02.22

**NOTE:**  
INFORMATION SHOWN ON THIS SHEET IS DIAGRAMMATIC.  
REFER TO TYPICAL WALL SECTIONS FOR DETAILS.  
**CONTRACTOR IS REQUIRED TO COMPLY WITH ALL APPLICABLE  
NORTH CAROLINA BUILDING CODES AS ENFORCED BY THE AHJ.**



**1 EAST - WEST SECTION**  
SCALE: 1/4" = 1'-0"



**2 NORTH - SOUTH SECTION**  
SCALE: 1/4" = 1'-0"

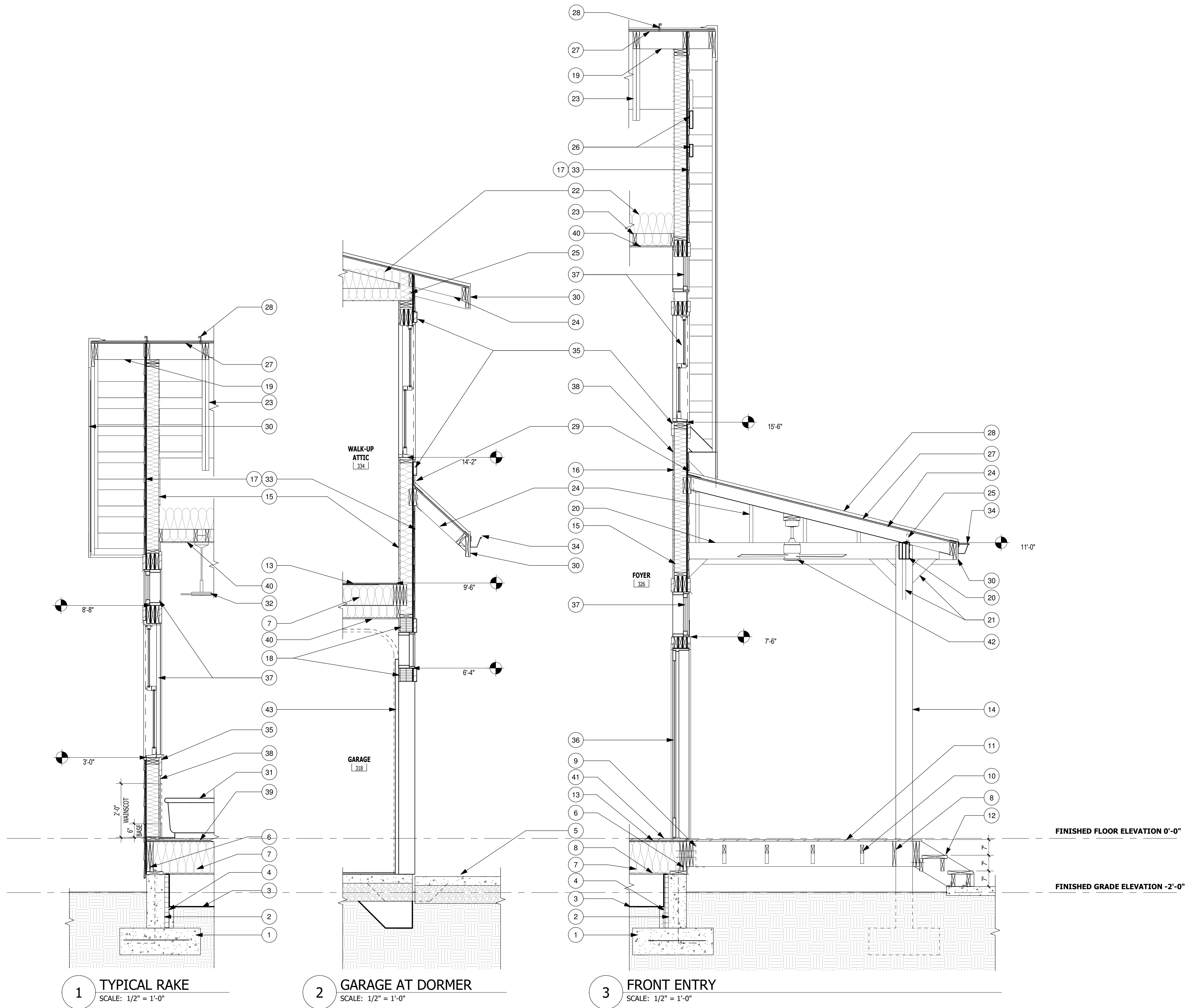


**REVISIONS**

No.	Date

**WALL SECTION NOTES**

- 1 REINFORCED CONCRETE FOOTING.
- 2 REINFORCED CMU OR CONCRETE FOUNDATION WALL.
- 3 20 MIL POLY VAPOR BARRIER TO LINE CRAWL SPACE.
- 4 RIGID XPS INSULATION, R-15 RECOMMENDED ALONG FOUNDATION PERIMETER.
- 5 CONCRETE SLAB-ON-BUILT-UP-GRADE AT GARAGE. PITCH SLAB SOUTH AWAY FROM HOUSE TO PROMOTE DRAINAGE TO EXTERIOR. PROVIDE MINIMUM 10 MIL VAPOR BARRIER BETWEEN SLAB AND FILL. FINISH CONCRETE WITH CHEMICAL DENSIFIER TO SEAL AND HARDEN.
- 6 PT 2X RIM BOARD, PAINTED.
- 7 BATT INSULATION, R-19 MINIMUM AT ELEVATED FLOORS.
- 8 PT 2X FLOOR FRAMING.
- 9 GALVANIZED JOIST HANGERS AS NEEDED.
- 10 PT 2X BRACING BETWEEN JOISTS.
- 11 PT 2X DECKING, STAINED. ALTERNATE COMPOSITE DECKING; CONFIRM WITH OWNER.
- 12 PT 2X WOOD FRAMED STEPS TO CONCRETE SIDEWALK.
- 13 3/4" PLYWOOD SUBFLOORING.
- 14 PT COLUMN, PAINTED OR PVC WRAPPED AS DETERMINED BY OWNER.
- 15 2X6 WOOD STUD FRAMING AT 16" O.C.
- 16 BATT INSULATION, R-22 AT EXTERIOR WALLS ABOVE GRADE TO FILL STUD CAVITY.
- 17 CONTINUOUS WEATHER BARRIER ALONG EXTERIOR SHEATHING; ALL SEAMS AND TEARS TO BE TAPED.
- 18 LVL BEAM HEADER.
- 19 PT 2X OUTRIGGERS, PAINTED
- 20 PT 2X BUILT-UP BEAM, PAINTED.
- 21 2X BEAM BRACKETS; PAINTED.
- 22 BATT INSULATION, R-38 MINIMUM AT CEILINGS/ATTICS.
- 23 2X ROOF TRUSS; CONTRACTOR TO ENGAGE TRUSS DESIGNER TO ENGINEER SIZES AND PROFILES.
- 24 PT 2X RAFTERS OR RAFTER TAILS, PAINTED.
- 25 RAFTER TIE DOWN STRAPS, TYP.
- 26 PT 2X GABLE BRACKET, PAINTED. ALTERNATE HEAVY GRADE PVC; CONFIRM WITH OWNER.
- 27 7/16" MINIMUM ROOF SHEATHING; COORDINATE WITH SELECTED ROOF PANEL. USE T111 SHEATHING PANELS AT EDGES AND OVERHANGS WHERE SHEATHING WILL BE EXPOSED. PAINT FINISH. COLOR TO BE SELECTED BY OWNER.
- 28 STANDING SEAM METAL ROOF ASSEMBLY. CONTRACTOR TO PROVIDE ALL CLIPS, FLASHING, TRIM, SEALANT, ETC. REQUIRED FOR WARRANTY. PROFILE, COLOR, AND TEXTURE OF PANEL AND TRIM TO BE SELECTED BY OWNER. ALTERNATE CONCEALED FASTENER METAL ROOFING; CONFIRM WITH OWNER.
- 29 STAINLESS STEEL FLASHING.
- 30 CONTINUOUS METAL FASCIA TRIM. WRAP AND SECURE TO PAINTED 2X BOARD.
- 31 FREESTANDING SOAKING TUB AS SELECTED BY OWNER.
- 32 LIGHT FIXTURE AS SELECTED BY OWNER.
- 33 FIBER CEMENT PANEL SIDING AS SELECTED BY OWNER. ALTERNATE LP SMARTSIDING; CONFIRM WITH OWNER.
- 34 PREFABRICATED, PREFINISHED GUTTER AND DOWNSPOUTS. CONFIRM LOCATIONS OF DOWNSPOUTS WITH OWNER PRIOR TO INSTALLATION.
- 35 WINDOW/DOOR TRIM; PROFILE AND SIZE AS SELECTED BY OWNER.
- 36 INSULATED GLAZED EXTERIOR DOOR, SEE SCHEDULE.
- 37 ALUMINUM-CLAD WINDOW AS SELECTED BY OWNER. SEE SCHEDULE FOR SIZING.
- 38 5/8" GYPSUM WALL BOARD, PAINT FINISH.
- 39 TILE FLOORING AS SELECTED BY OWNER. CONFIRM LOCATIONS OF TILE BASE, TILE WAINSCOT, AND FULL TILE WALLS AT BATHROOMS AND WET AREAS. TILE MUST BE ADHERED TO CEMENT BOARD IN VERTICAL ASSEMBLIES.
- 40 1/2" GYPSUM CEILING BOARD, PAINT FINISH.
- 41 WOOD FLOORING AS SELECTED BY OWNER.
- 42 OUTDOOR-RATED CEILING FAN; MOUNT TO BOTTOM OF RAFTERS. STYLE AND COLOR TO BE SELECTED BY OWNER.
- 43 INSULATED AUTOMATIC GARAGE DOOR; STYLE TO BE SELECTED BY OWNER.



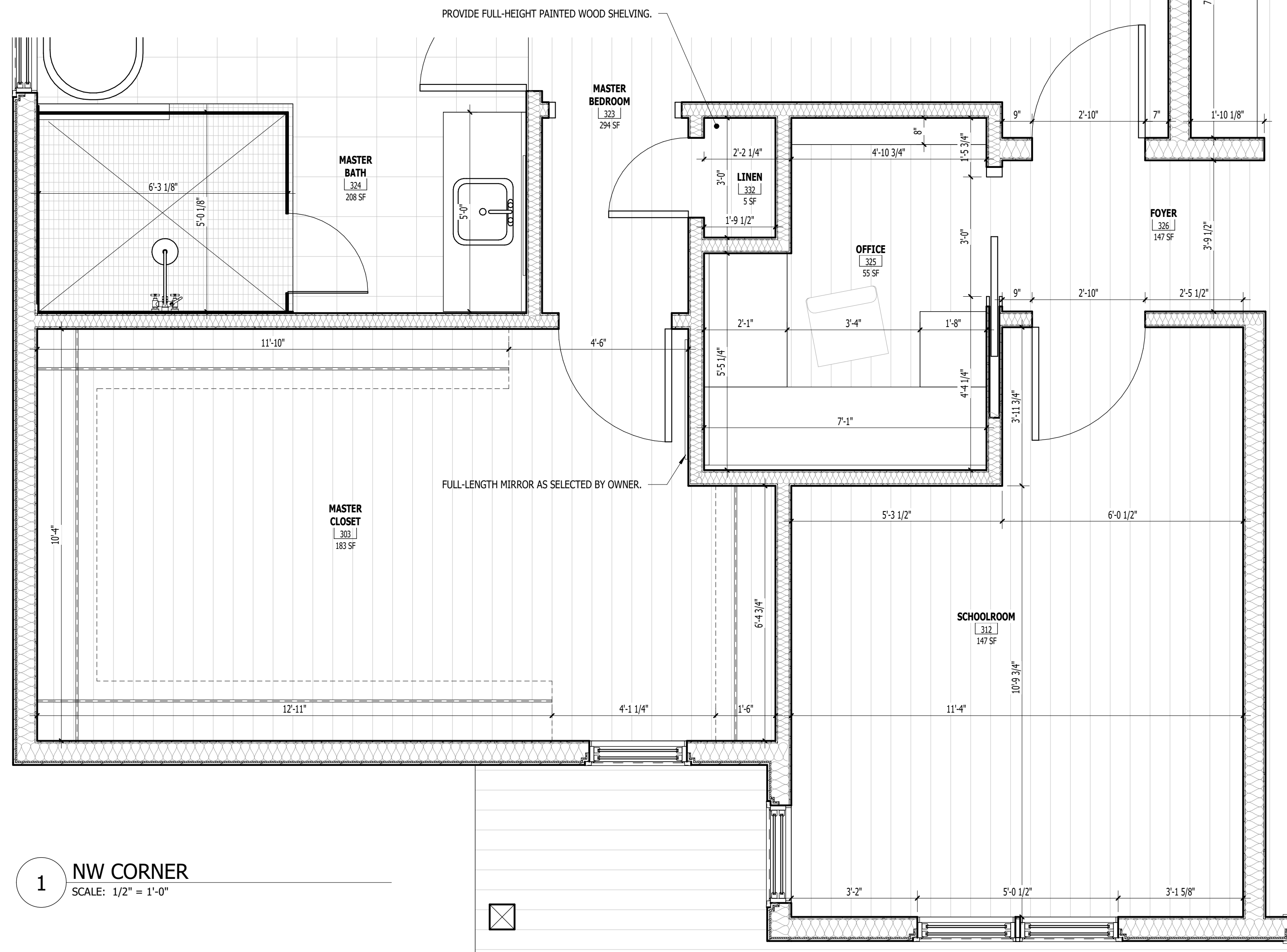
**1 TYPICAL RAKE**  
SCALE: 1/2" = 1'-0"

**2 GARAGE AT DORMER**  
SCALE: 1/2" = 1'-0"

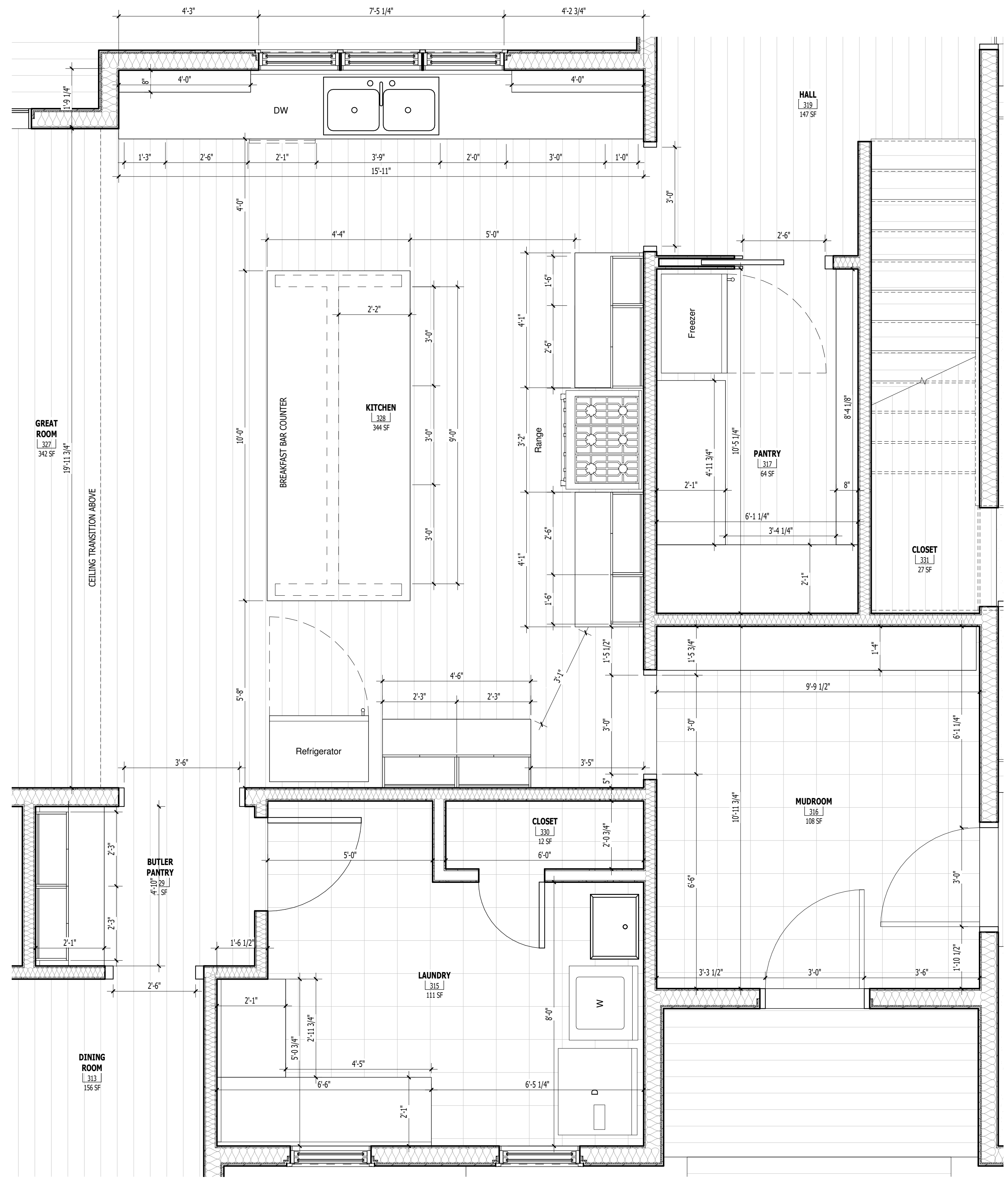
**3 FRONT ENTRY**  
SCALE: 1/2" = 1'-0"



**1** NW CORNER  
SCALE: 1/2" = 1'-0"



**2** KITCHEN & CABINETS  
SCALE: 1/2" = 1'-0"



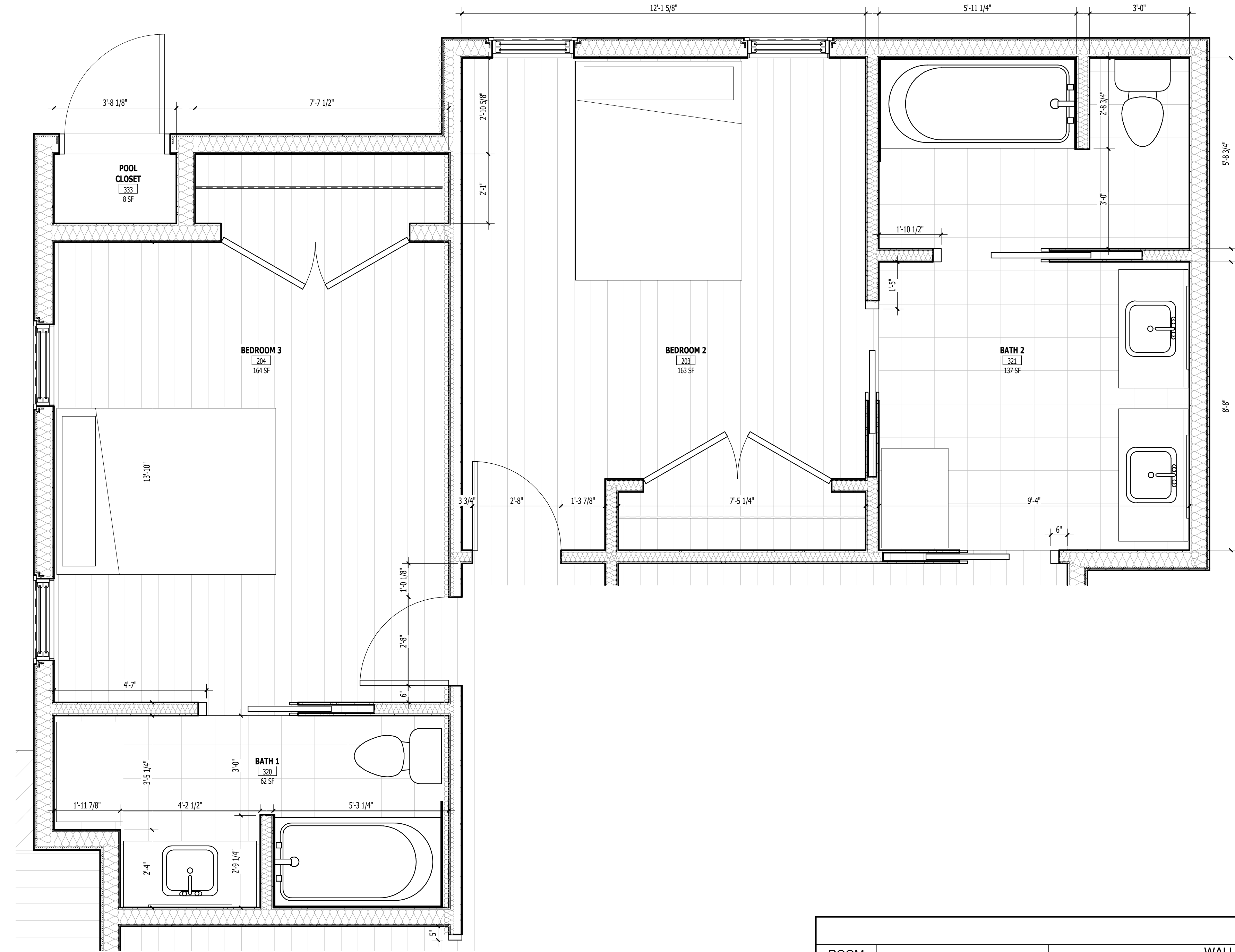
**NOTE:**  
DIMENSIONS SHOWN ARE TAKEN FROM FACE OF WALL TO FACE OF WALL, U.N.O.

REFER TO A-101 FLOOR PLAN FOR EXTERIOR/FRAMING DIMENSIONS.

**ALL MILLWORK AND CASEWORK DESIGN TO BE COMPLETED BY OTHERS. CONTRACTOR MUST COORDINATE WITH OWNER FOR INSTALLATION REQUIREMENTS.**

No.	Date





**1 BATHROOMS**  
SCALE: 1/2" = 1'-0"

**NOTE:**  
DIMENSIONS SHOWN ARE TAKEN FROM FACE OF WALL TO FACE OF WALL, U.N.O.  
REFER TO A-101 FLOOR PLAN FOR EXTERIOR/FRAMING DIMENSIONS.  
ALL MILLWORK AND CASEWORK DESIGN TO BE COMPLETED BY OTHERS. CONTRACTOR MUST COORDINATE WITH OWNER FOR INSTALLATION REQUIREMENTS.

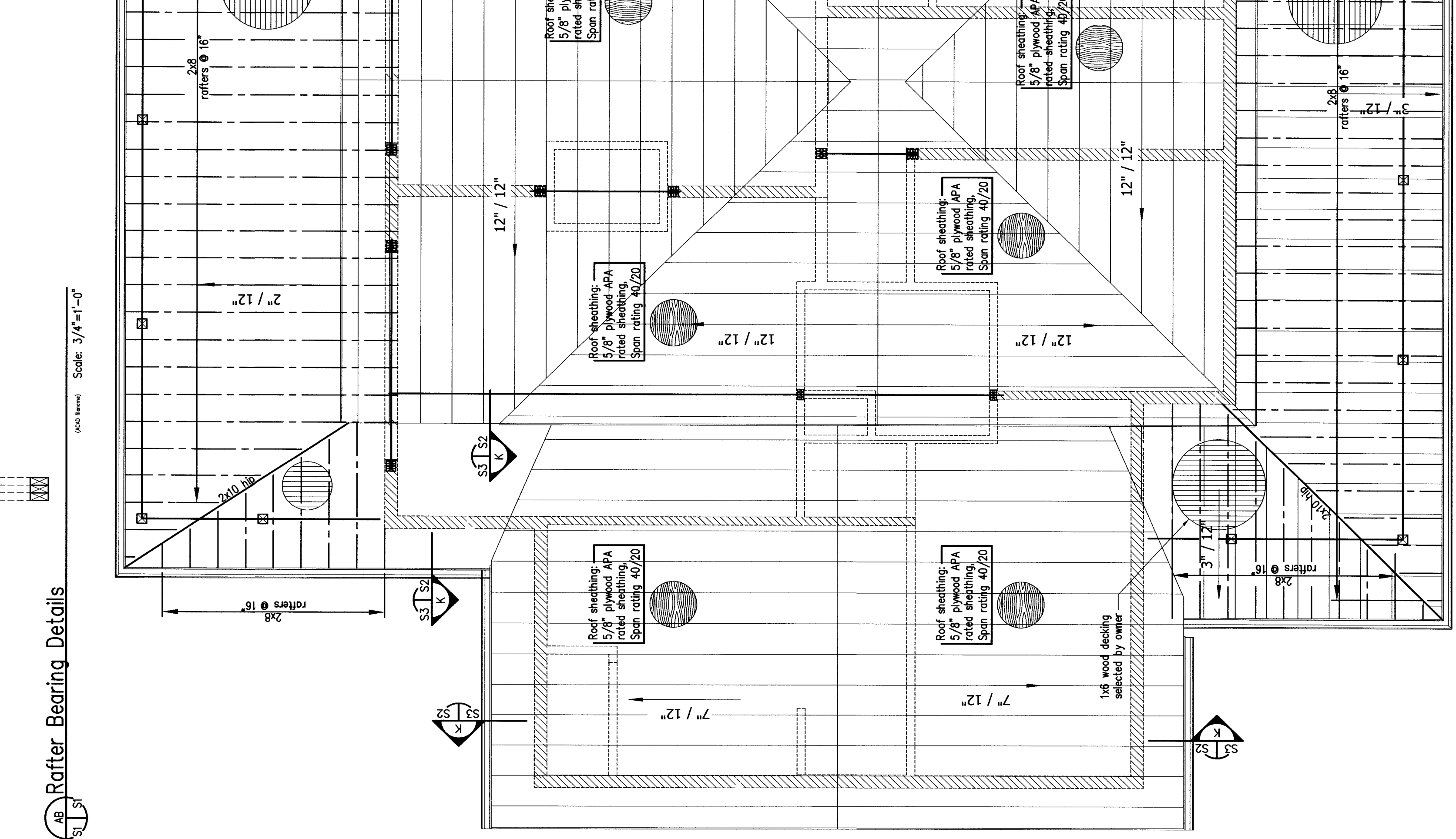
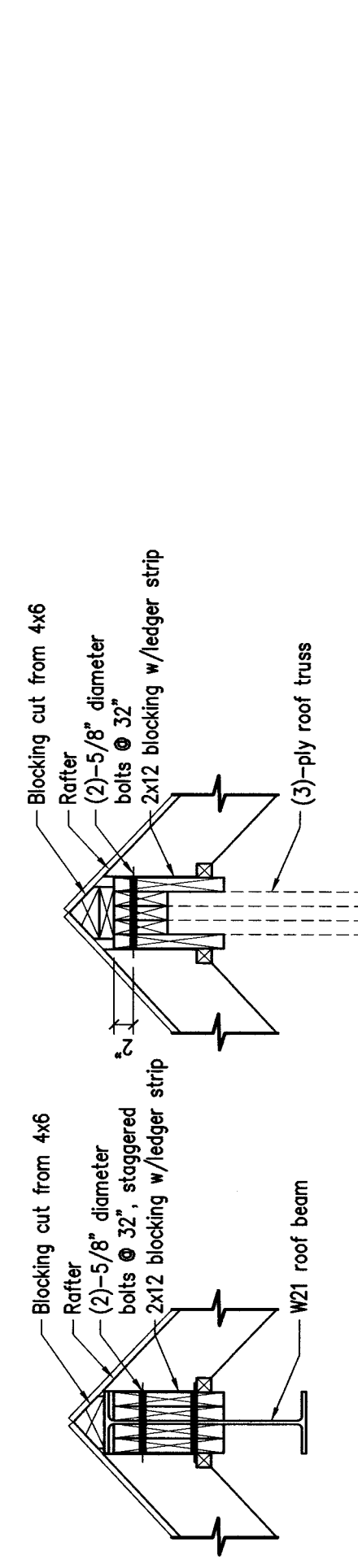
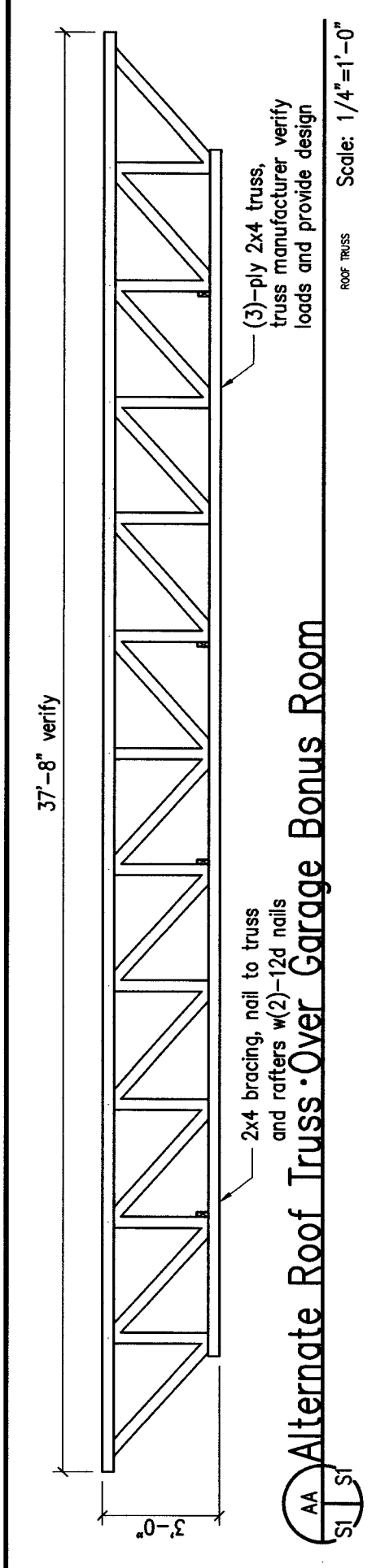
ROOM NUMBER	ROOM NAME	WALLS				BASE	FLOOR	CEILING	REMARKS
		NORTH	SOUTH	EAST	WEST				
202	BEDROOM 1	PTD GYP	PTD GYP	PTD GYP	PTD GYP	WOOD	WOOD	PTD GYP	
203	BEDROOM 2	PTD GYP	PTD GYP	PTD GYP	PTD GYP	WOOD	WOOD	PTD GYP	
204	BEDROOM 3	PTD GYP	PTD GYP	PTD GYP	PTD GYP	WOOD	WOOD	PTD GYP	
303	MASTER CLOSET	PTD GYP	PTD GYP	PTD GYP	PTD GYP	WOOD	WOOD	PTD GYP	
312	SCHOOLROOM	PTD GYP	PTD GYP	PTD GYP	PTD GYP	WOOD	WOOD	PTD GYP	
313	DINING ROOM	PTD GYP	PTD GYP	PTD GYP	PTD GYP	WOOD	WOOD	PTD BEAMS/GYP	
314	POWDER	PTD GYP	PTD GYP	PTD GYP	PTD GYP	WOOD	WOOD	PTD GYP	
315	LAUNDRY	PTD GYP	PTD GYP	PTD GYP	PTD GYP	TILE	TILE	PTD GYP	
316	MUDROOM	PTD GYP	PTD GYP	PTD GYP	PTD GYP	TILE	TILE	PTD GYP	
317	PANTRY	PTD GYP	PTD GYP	PTD GYP	PTD GYP	WOOD	WOOD	PTD GYP	
318	GARAGE	PTD GYP	PTD GYP	PTD GYP	PTD GYP	WOOD	CONCRETE	PTD GYP	
319	HALL	PTD GYP	PTD GYP	PTD GYP	PTD GYP	WOOD	WOOD	PTD GYP	
320	BATH 1	PTD GYP	PTD GYP	PTD GYP	PTD GYP	TILE	TILE	PTD GYP	TILE SHOWER SURROUND
321	BATH 2	PTD GYP	PTD GYP	PTD GYP	PTD GYP	TILE	TILE	PTD GYP	TILE SHOWER SURROUND
323	MASTER BEDROOM	PTD GYP	PTD GYP	PTD GYP	PTD GYP	WOOD	WOOD	PTD BEAMS	
324	MASTER BATH	PTD GYP	PTD GYP	PTD GYP	PTD GYP	TILE	TILE	PTD GYP	TILE AND GLASS SHOWER SURROUND
325	OFFICE	PTD GYP	PTD GYP	PTD GYP	PTD GYP	WOOD	WOOD	PTD GYP	
326	FOYER	PTD GYP	PTD GYP	PTD GYP	PTD GYP	WOOD	WOOD	PTD GYP	
327	GREAT ROOM	PTD GYP	PTD GYP	PTD GYP	PTD GYP	WOOD	WOOD	PTD GYP	
328	KITCHEN	PTD GYP	PTD GYP	PTD GYP	PTD GYP	WOOD	WOOD	PTD GYP	
329	BUTLER PANTRY	PTD GYP	PTD GYP	PTD GYP	PTD GYP	WOOD	WOOD	PTD GYP	
330	CLOSET	PTD GYP	PTD GYP	PTD GYP	PTD GYP	TILE	TILE	PTD GYP	
331	CLOSET	PTD GYP	PTD GYP	PTD GYP	PTD GYP	TILE	TILE	PTD GYP	
332	LINEN	PTD GYP	PTD GYP	PTD GYP	PTD GYP	WOOD	WOOD	PTD GYP	
333	POOL CLOSET	PTD GYP	PTD GYP	PTD GYP	PTD GYP		CONCRETE	PTD GYP	
334	WALK-UP ATTIC	UNFINISHED	UNFINISHED	UNFINISHED	UNFINISHED	UNFINISHED	UNFINISHED	UNFINISHED	



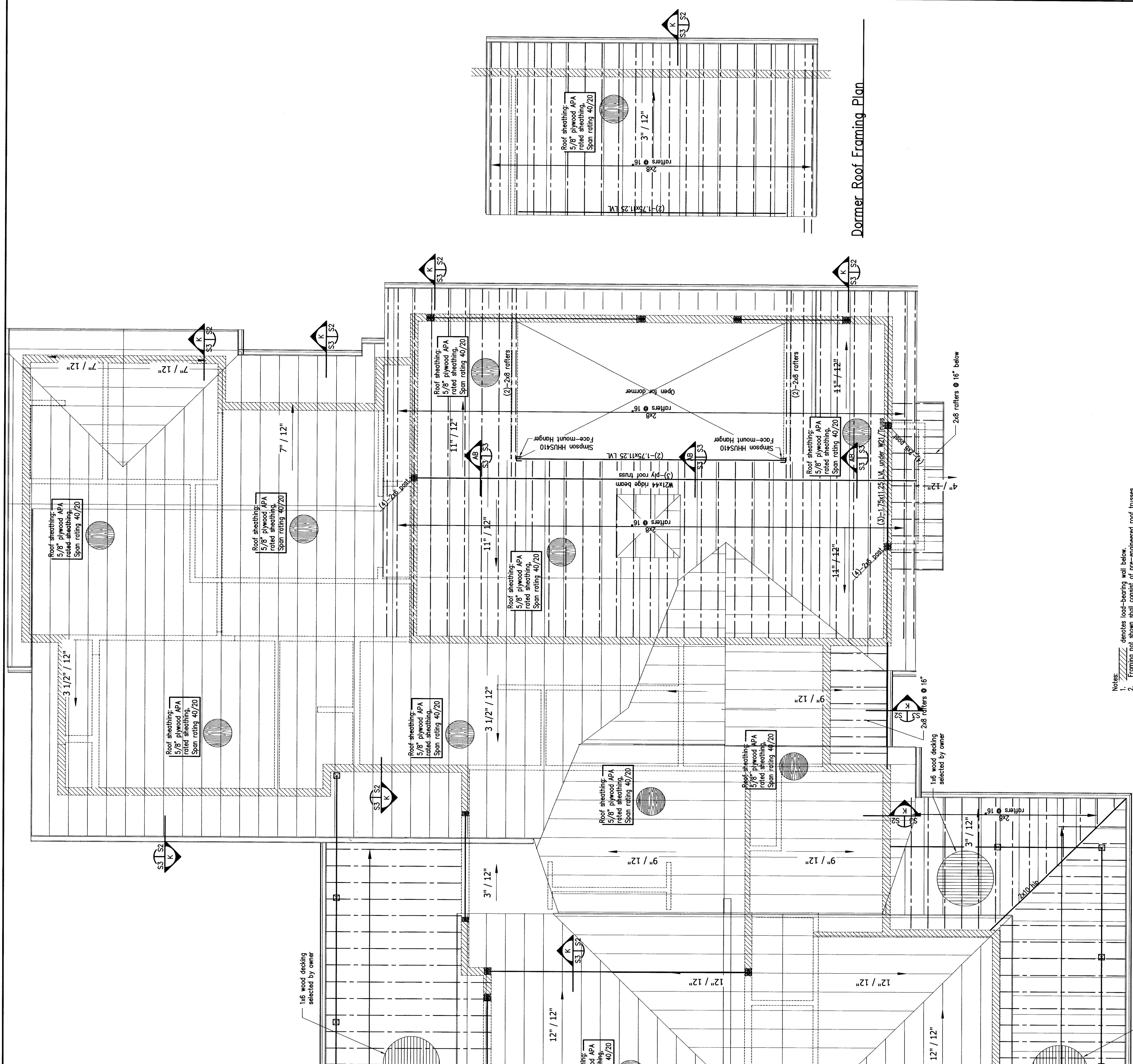


Lloyd Stewart Residence  
 Broadway, North Carolina

Rev.	Date	Remarks



**Roof Framing Plan**  
 Scale: 1/4"=1'-0"



**Notes:**

1. denotes load-bearing wall below.
2. Framing not shown shall consist of pre-engineered roof trusses.
3. See truss manufacturer's submittals for roof trusses.

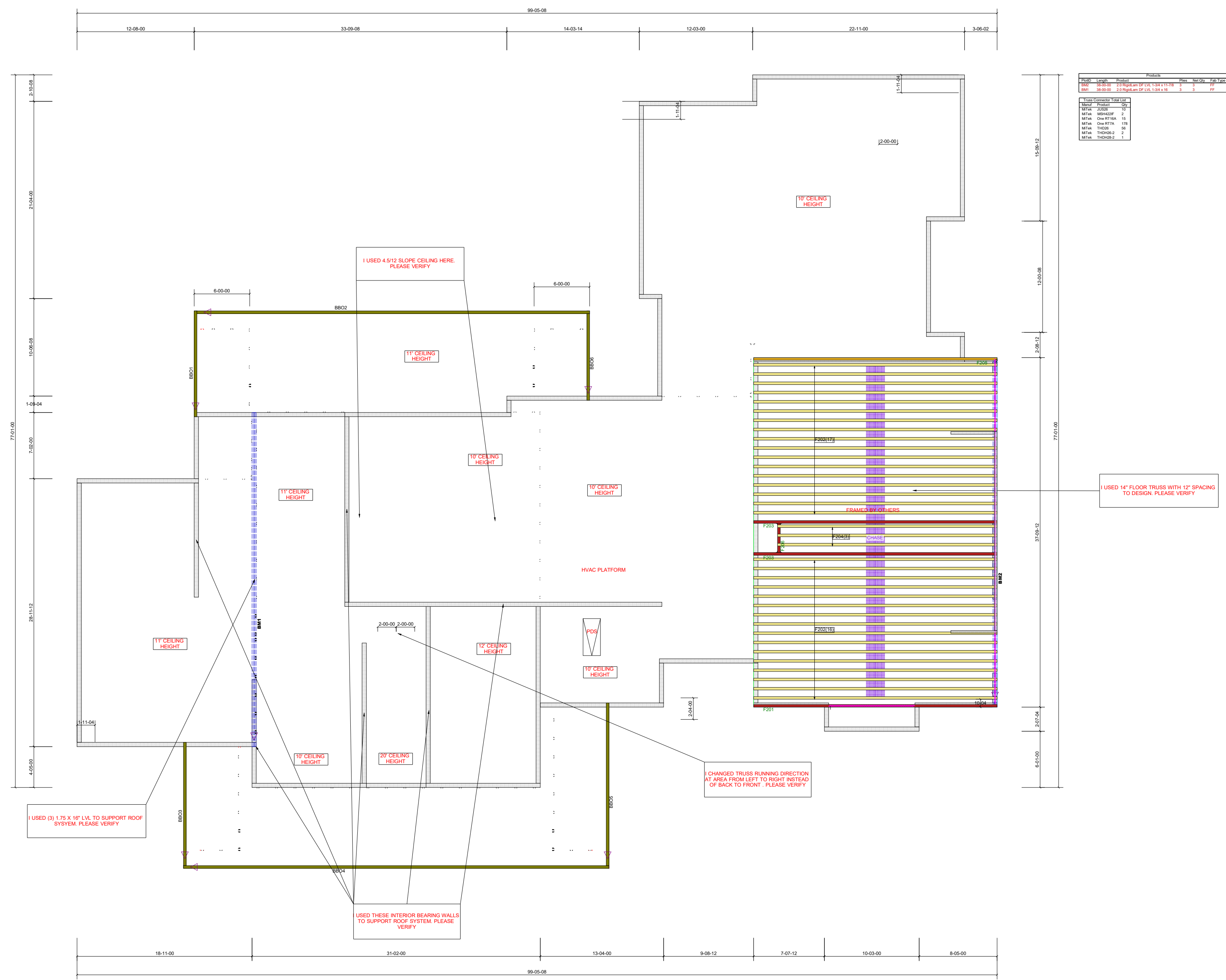












NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT	27-05-22	TH

# FLOOR TRUSS FRAMING

DRAWING SCALE : NTS

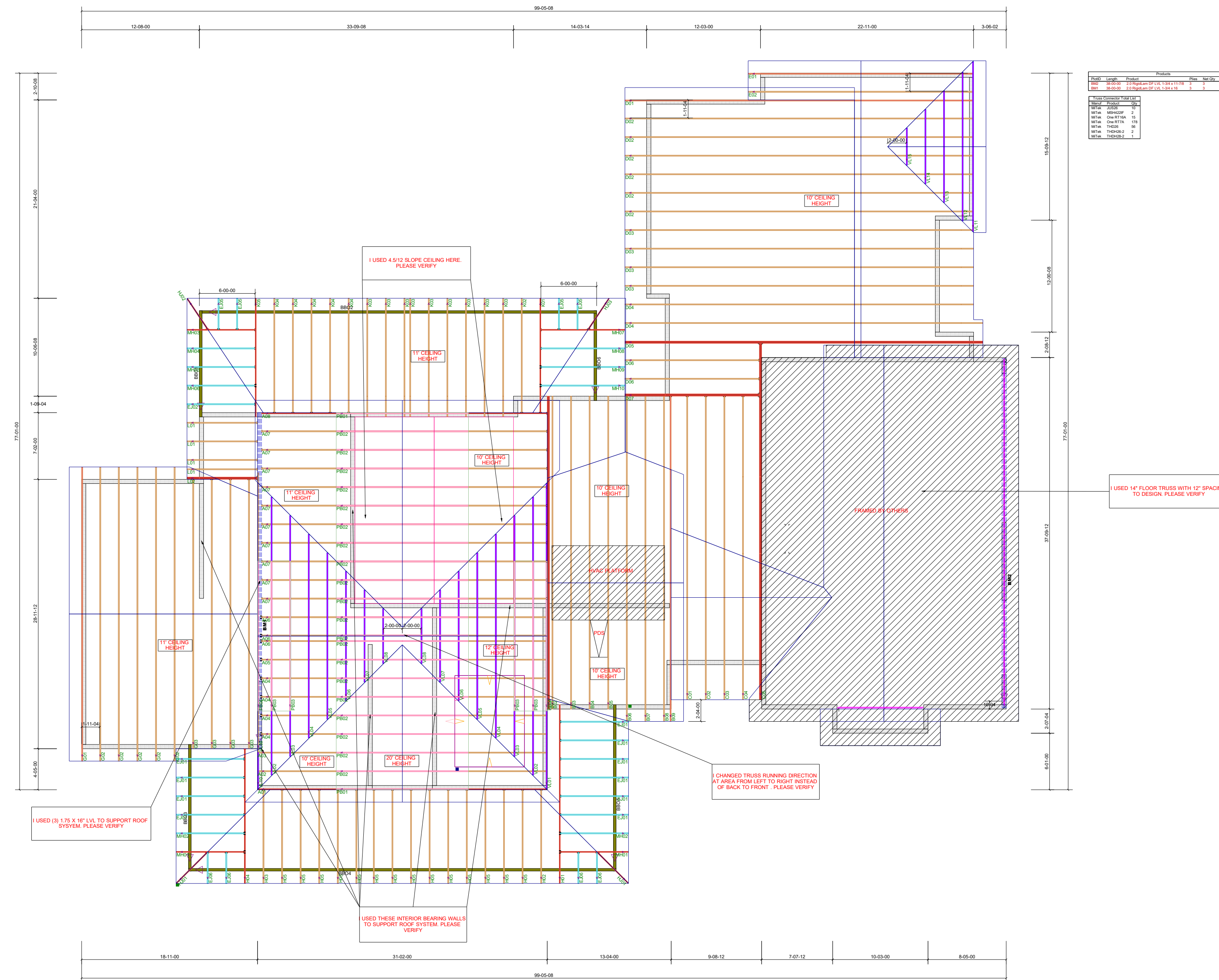


**WALK-IN / CHARLIE HICKMAN**  
**GIUCEVICH BONUS**  
**2ND FLOOR LAYOUT**

REVISIONS	
DATE	BY
27-05-22	TH

PROJECT NUMBER <b>22050131</b>
SHEET NUMBER <b>1 / 2</b>





NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT	05/27/22	TH
2	REVISION		
3	REVISION		
4	REVISION		
5	REVISION		
6	REVISION		
7	REVISION		
8	REVISION		
9	REVISION		
10	REVISION		

# ROOF TRUSS FRAMING

DRAWING SCALE : NTS



WALK-IN / CHARLIE HICKMAN  
 GIUCEVICH BONUS  
 ROOF LAYOUT

REVISIONS	
DATE	BY
27-05-22	TH

PROJECT NUMBER <b>22050131</b>
SHEET NUMBER <b>2 / 2</b>



