

PLANS FOR:



MATTAMY HOMES - SHENANDOAH LH



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ABBREVIATION LEGEND

| | | | | | | | |
|--------|-----------------------|-------|-------------------------|--------|-----------------------------|--------|--------------------------|
| AB | Anchor Bolt | EQ | Equal | MIN | Minimum | SQ | Square |
| ABV | Above | E.W. | Each Way | MIR | Mirror | SS | Solid Surface |
| AC | Air Conditioner | EXIST | Existing | MISC | Miscellaneous | SS | Sanitary Sewer |
| ACC | Access/ Accessible | EXP | Exposed | MM | Millimeter | SST | Stainless Steel |
| ACFL | Access Floor | EXT | Exterior | MO | Masonry Opening | ST | Steel |
| ADJ | Adjacent | F.A. | Flat Archway | MOV | Movable | STA | Station |
| ADJ | Adjustable | FD | Floor Drain | MTD | Mounted | STC | Sound Transmission Class |
| AFF | Above Finished Floor | FDTN | Foundation | MTFR | Metal Furring | STD | Standard |
| AGGR | Aggregate | FF | Finish Floor | MTL | Metal | STOR | Storage |
| ALT | Alternate | FG | Fixed Glass | MULL | Mullion | STRUCT | Structural |
| ALUM | Aluminum | FIN | Finish | NIC | Not In Contract | SYS | System |
| ANC | Anchor/Anchorage | FLEX | Flexible | NOM | Nominal | T | Tread |
| AP | Access Panel | FLR | Floor | NR | Noise Reduction | T.A. | Trimmed Archway |
| APPROX | Approximate | F.O. | Framed Opening | NRC | Noise Reduction Coefficient | TB | Towel Bar |
| ARCH | Architect(ural) | FOC | Face of Concrete | NTS | Not to Scale | TEL | Telephone |
| AUTO | Automatic | FOF | Face of Finish | OA | Overall | TEMP | Temporary/ Temperature |
| BD | Board | FOM | Face of Masonry | OC | On Center | T&G | Tongue and Groove |
| BLDG | Building | FOS | Face of Studs | OD | Outside Diameter | THK | Thick(ness) |
| BLK | Block(ing) | FPL | Fireplace | OH | Overhead (Overhang) | THRES | Threshold |
| BOC | Bottom of Curb | FR | Frame | OPNG | Opening | TJ | Triple Joist |
| BRG | Bearing | FTG | Footing | PED | Pedestal | TMPD | Tempered |
| BRG PL | Bearing Plate | FUR | Furring/ Furred | PL | Plate | TOC | Top of Curb/ Concrete |
| BSMT | Basement | GA | Gauge | PL | Property Line | TOL | Tolerance |
| BUR | Built up Roof | GALV | Galvanized | PLAM | Plastic Laminate | TOS | Top of Slab |
| C.A. | Curved Archway | GD | Grade/ Grading | PLAS | Plastic | TOST | Top of Steel |
| CAB | Cabinet | GL | Glass/ Glazing | PLAS | Plaster | TOW | Top of Wall |
| CB | Catch Basin | G.T. | Girder Truss | PL GL | Plate Glass | TPD | Toilet Paper Dispenser |
| CER | Ceramic | GYP | Gypsum | PLYWD | Plywood | TV | Television |
| CIR | Circle | HB | Hose Bib | PNL | Panel | TYP | Typical |
| CJ | Control Joint | HC | Hollow Core | P.T. | Pressure Treated Lumber | UFIN | Unfinish(ed) |
| CLG | Ceiling | HDBD | Hard Board | PT | Paint(ed) | UNO | Unless Noted Otherwise |
| CLG HT | Ceiling Height | HDR | Header | PT | Point | UR | Urinal |
| CLO | Closet | HM | Hollow Metal | PT | Porcelain Tile | VB | Vinyl Base |
| CM | Centimeter | HORIZ | Horizontal | PTN | Partition | VCT | Vinyl Composition Tile |
| CMU | Concrete Masonry Unit | HP | High Point | PR | Pair | VER | Verify |
| COL | Column | HT | Height | PRKG | Parking | VERT | Vertical |
| CONC | Concrete | HTG | Heating | PSI | Pounds per Square Inch | VEST | Vestibule |
| CONST | Construction | HVAC | Heating/ Ventilation/ | PVC | Polyvinyl Chloride | VF | Vinyl Flooring |
| CONT | Continuous/ Continue | | Air Conditioning | PVMT | Pavement | VJ | V(ee) Joint |
| CORR | Corridor | ID | Inside Diameter | QT | Quarry Tile | VNR | Veneer |
| CPB | Carpet Base | INCL | Include(d) | R | Radius | VWC | Vinyl Wall Covering |
| CPT | Carpet | INSUL | Insulate/ Insulation | R | Riser | WB | Wood Base |
| CSMT | Casement | INT | Interior | RA | Return Air | WD | Wood |
| CT | Ceramic Tile | INV | Invert | RB | Rubber Base | WDW | Window |
| CTR | Center | J-Box | Junction Box | RCP | Reinforced Concrete Pipe | WGL | Wired Glass |
| CU FT | Cubic Foot | JST | Joist | RD | Roof Drain | WH | Water Heater |
| CU YD | Cubic Yard | JT | Joint | REF | Reference | WM | Wire Mesh |
| CWT | Ceramic Wall Tile | Kit | Kitchen | REFR | Refrigerator | W/O | Without |
| DBL | Double | L | Length | REINF | Reinforced | WPT | Working Point |
| DH | Double Hung | LAM | Laminate | REQD | Required | WSC | Wainscot |
| DIA | Diameter | LB | Lag Bolt | RESIL | Resilient | WT | Wall Tile |
| DIAG | Diagonal | LH | Left Hand | RET | Return | WT | Weight |
| DIM | Dimension | LT | Light | REV | Revision | WWF | Welded Wire Fabric |
| DISP. | Garbage Disposal | LTL | Lintel | RFG | Roofing | | |
| DJ | Double Joist | LT WT | Light Weight | RM | Room | € | Center Line |
| DN | Down | LVL | Laminated Veneer Lumber | RO | Rough Opening | C | Channel |
| DP | Deep | LVR | Louver | ROW | Right of Way | PL | Plate |
| DS | Downspout | M | Meter | RVS | Reverse | ± | Plus or Minus |
| DTL | Detail | MAS | Masonry | SCHED | Schedule | ℓ | Property Line |
| DWG | Drawing | MATL | Material | SD | Storm Drain | | |
| DWR | Drawer | MAX | Maximum | SECT | Section | | |
| EA | Each | MC | Maximum | SF | Square Foot | | |
| EJ | Expansion Joint | MECH | Mechanical | SHT | Sheet | | |
| ELEC | Electric | MED | Medium | SHT GL | Sheet Glass | | |
| ELEV | Elevation | MEMB | Membrane | SHWR | Shower | | |
| EMER | Emergency | MFR | Manufacture(er)(ing) | SIM | Similar | | |
| EPB | Electric Panel Board | MH | Man Hole | SPEC | Specification | | |

PLAN SET COMPOSITION

| PAGE # | LAYOUT |
|-------------|------------------------------|
| T1.0-T1.1 | TITLE SHEET AND REVISION LOG |
| GN1.0-GN1.1 | GENERAL NOTES |
| 0.10-0.15 | ELEVATIONS |
| 0.20-0.21 | BASEMENT FLOOR PLANS |
| 1.0-1.4 | 1ST FLOOR PLANS |
| 2.0-2.2 | 2ND FLOOR PLANS |
| 3.0-3.1 | 3RD FLOOR PLANS |
| 4.0-4.1 | SECTIONS / DETAILS |
| 5.0-8.0 | ELECTRICAL / HVAC PLANS |

ELEVATION

NOTICE TO CONTRACTOR:
All construction shall comply with current NC Building Codes and is subject to local inspection and enforcement.

APPROVED
01/31/2022

FARMHOUSE

CODE

2018
NORTH CAROLINA STATE BUILDING CODE:
RESIDENTIAL CODE

SHENANDOAH SQUARE FOOTAGES

| AREA | COLONIAL | CRAFTSMAN | FRENCH COUNTRY | TUDOR | FARM HOUSE |
|-----------------------------|---------------------|---------------------|---------------------|---------------------|---------------------|
| 1st FLOOR | 1112 SQ. FT. | 1112 SQ. FT. | 1112 SQ. FT. | 1112 SQ. FT. | 1112 SQ. FT. |
| 2nd FLOOR | 1456 SQ. FT. | 1456 SQ. FT. | 1456 SQ. FT. | 1456 SQ. FT. | 1456 SQ. FT. |
| TOTAL LIVING | 2567 SQ. FT. | 2567 SQ. FT. | 2567 SQ. FT. | 2567 SQ. FT. | 2567 SQ. FT. |
| OPT. UPGRADE SIDE ELEVATION | N/A | +9 SQ. FT. | +9 SQ. FT. | N/A | N/A |
| GARAGE - 2 CAR | 421 SQ. FT. | 421 SQ. FT. | 421 SQ. FT. | 421 SQ. FT. | 421 SQ. FT. |
| FRONT PORCH COVERED | 49 SQ. FT. | 131 SQ. FT. | 49 SQ. FT. | 49 SQ. FT. | 42 SQ. FT. |

GLOBAL OPTIONAL SQUARE FOOTAGES

| | |
|----------------------|-------------|
| OPT. COVERED VERANDA | 120 SQ. FT. |
| OPT. SCREENED PORCH | 120 SQ. FT. |
| OPT. SUNROOM | 120 SQ. FT. |

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DATE: 11/02/2021 DRAWN BY: CAR

TITLE SHEET

T1.0

**North Carolina
INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT**

(note a)

| CLIMATE ZONE | FENESTRATION U-FACTOR (notes b, j) | SKYLIGHT U-FACTOR (note b) | GLAZED FENESTRATION SHGC (notes b, k) | CEILING R-VALUE (note m) | WOOD FRAME WALL R-VALUE | MASS WALL R-VALUE (note i) | FLOOR R-VALUE | BASEMENT WALL R-VALUE (notes c, o) | SLAB R-VALUE AND DEPTH (note d) | CRAWL SPACE WALL R-VALUE (note c) |
|--------------|------------------------------------|----------------------------|---------------------------------------|--------------------------|------------------------------------------|----------------------------|---------------|------------------------------------|---------------------------------|-----------------------------------|
| 3 | 0.35 | 0.55 | 0.30 | 38 or 30ci | 15 or 13 + 2.5 (note h) | 5/13 or 5/10ci | 19 | 5/13 (note f) | 0 | 5/13 |
| 4 | 0.35 | 0.55 | 0.30 | 38 or 30ci | 15 or 13 + 2.5 (note h) | 5/13 or 5/10ci | 19 | 10/15 | 10 | 10/15 |
| 5 | 0.35 | 0.55 | NR | 38 or 30ci | 19 (note n) or 13 + 5 or 15 + 3 (note h) | 13/17 or 13/12.5ci | 30 (note g) | 10/15 | 10 | 10/19 |

- | | |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p>a. R-VALUES ARE MINIMUMS. U-FACTORS AND SHGC ARE MAXIMUMS.</p> <p>b. THE FENESTRATION U-FACTOR COLUMN EXCLUDES SKYLIGHTS. THE SHGC COLUMN APPLIES TO ALL GLAZED FENESTRATION.</p> <p>c. "10/15" MEANS R-10 CONTINUOUS INSULATED SHEATHING ON THE INTERIOR OR EXTERIOR OF THE HOME OR R-15 CAVITY INSULATION AT THE INTERIOR OF THE BASEMENT WALL OR CRAWL SPACE WALL.</p> <p>d. R-5 SHALL BE ADDED TO THE REQUIRED SLAB EDGE R-VALUES FOR HEATED SLABS. FOR MONOLITHIC SLABS, INSULATION SHALL BE APPLIED FROM THE INSPECTION GAP DOWNWARD TO THE BOTTOM OF THE FOOTING OR A MAXIMUM OF 24 INCHES BELOW GRADE, WHICHEVER IS LESS. FOR FLOATING SLABS, INSULATION SHALL EXTEND TO THE BOTTOM OF THE FOUNDATION WALL OR 24", WHICHEVER IS LESS.</p> <p>e. NOT USED.</p> <p>f. BASEMENT WALL INSULATION IS NOT REQUIRED IN WARM-HUMID LOCATIONS AS DEFINED BY FIGURE N1101.7 AND TABLE N1101.7.</p> <p>g. OR INSULATION SUFFICIENT TO FILL THE FRAMING CAVITY, R-19 MINIMUM.</p> <p>h. THE FIRST VALUE IS CAVITY INSULATION, THE SECOND VALUE IS CONTINUOUS INSULATION, SO "13 + 5" MEANS R-13 CAVITY INSULATION PLUS R-5 CONTINUOUS INSULATION. IF STRUCTURAL SHEATHING COVERS 25 PERCENT OR LESS OF THE EXTERIOR, INSULATING SHEATHING IS NOT REQUIRED WHERE STRUCTURAL SHEATHING IS USED. IF STRUCTURAL SHEATHING COVERS MORE THAN 25 PERCENT OF EXTERIOR, STRUCTURAL SHEATHING SHALL BE SUPPLEMENTED WITH INSULATED SHEATHING OF AT LEAST R-2.</p> | <p>i. THE SECOND R-VALUE APPLIES WHEN MORE THAN HALF THE INSULATION IS ON THE INTERIOR OF THE MASS WALL.</p> <p>j. IN ADDITION TO THE EXEMPTION IN SECTION N1102.3.3, A MAXIMUM OF TWO GLAZED FENESTRATION PRODUCT ASSEMBLIES HAVING A U-FACTOR NO GREATER THAN 0.55 SHALL BE PERMITTED TO BE SUBSTITUTED FOR MINIMUM CODE COMPLIANT FENESTRATION PRODUCT ASSEMBLIES WITHOUT PENALTY.</p> <p>k. IN ADDITION TO THE EXEMPTION IN SECTION N1102.3.3, A MAXIMUM OF TWO GLAZED FENESTRATION PRODUCT ASSEMBLIES HAVING A SHGC NO GREATER THAN 0.70 SHALL BE PERMITTED TO BE SUBSTITUTED FOR MINIMUM CODE COMPLIANT FENESTRATION PRODUCT ASSEMBLIES WITHOUT PENALTY.</p> <p>l. R-30 SHALL BE DEEMED TO SATISFY THE CEILING INSULATION REQUIREMENT WHEREVER THE FULL HEIGHT OF UNCOMPRESSED R-30 INSULATION EXTENDS OVER THE WALL TOP PLATE AT THE EAVES. OTHERWISE R-38 INSULATION IS REQUIRED WHERE ADEQUATE CLEARANCE EXISTS OR INSULATION MUST EXTEND TO EITHER THE INSULATION BAFFLE OR WITHIN 1" OF THE ATTIC ROOF DECK.</p> <p>m. TABLE VALUE REQUIRED EXCEPT FOR ROOF EDGE WHERE THE SPACE IS LIMITED BY THE PITCH OF THE ROOF, THERE THE INSULATION MUST FILL THE SPACE UP TO THE AIR BAFFLE.</p> <p>n. R-19 FIBERGLASS BATTS COMPRESSED AND INSTALLED IN A NOMINAL 2x6 FRAMING CAVITY IS DEEMED TO COMPLY. FIBERGLASS BATTS RATED R-19 OR HIGHER COMPRESSED AND INSTALLED IN A 2x4 WALL IS NOT DEEMED TO COMPLY.</p> <p>o. BASEMENT WALL MEETING THE MINIMUM MASS WALL SPECIFIC HEAT CONTENT REQUIREMENT MAY USE THE MASS WALL R-VALUE AS THE MINIMUM REQUIREMENT.</p> |
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GENERAL NOTES

GN1.1

USE CORROSION-RESISTANT FLASHING AT ALL ROOF-TO-WALL INTERSECTIONS



FRONT ELEVATION - FARMHOUSE



REAR ELEVATION - FARMHOUSE



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Harnett County
MADE PER SET
01/13/2022

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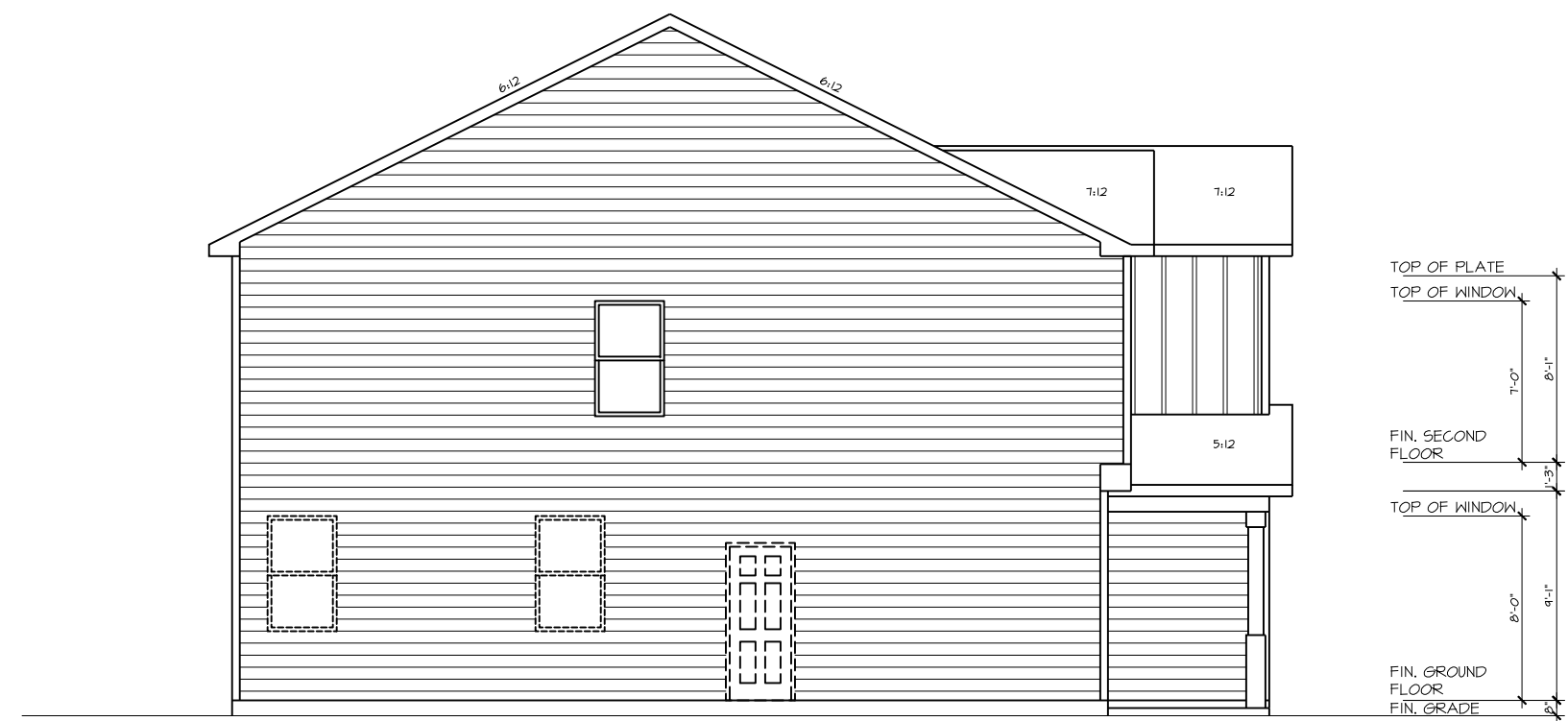
EXTERIOR ELEVATIONS

0.10

USE CORROSION-RESISTANT FLASHING AT ALL ROOF-TO-WALL INTERSECTIONS



RIGHT SIDE ELEVATION - FARMHOUSE



LEFT SIDE ELEVATION - FARMHOUSE



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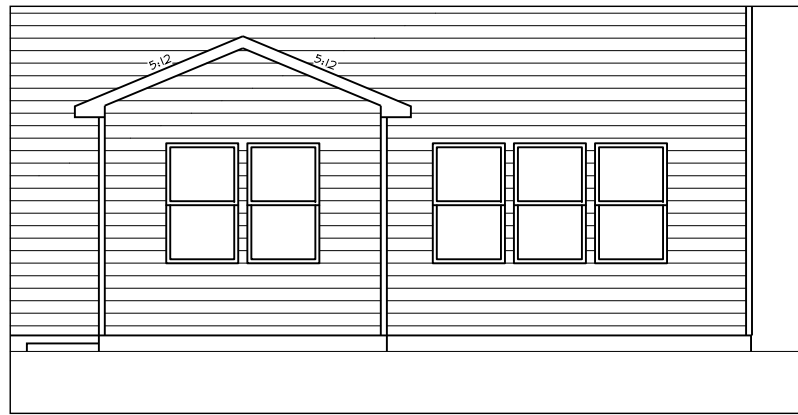
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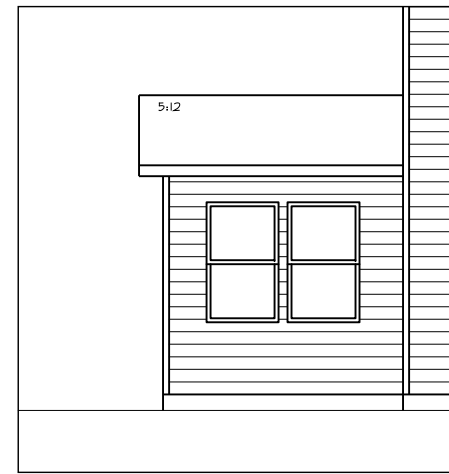
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EXTERIOR ELEVATIONS

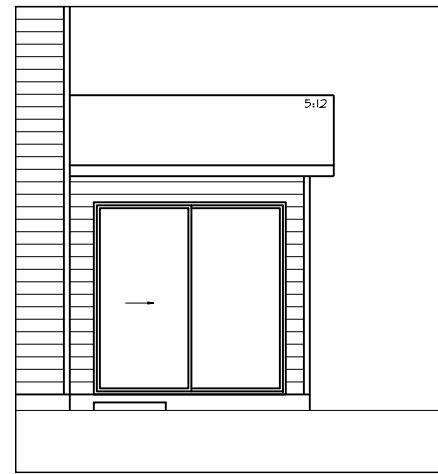
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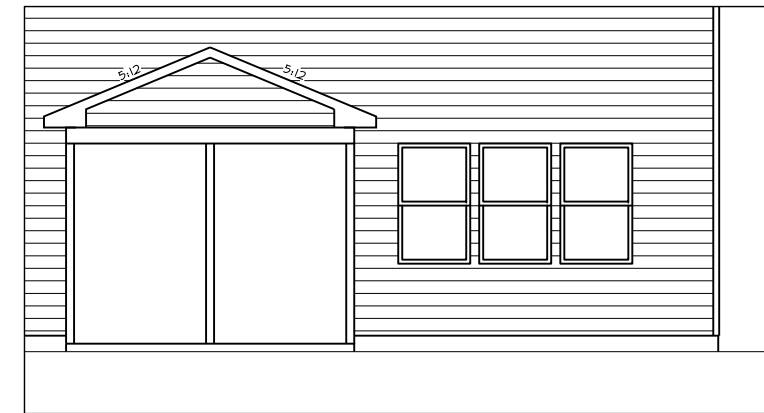
SUNROOM PPO - REAR ELEVATION



SUNROOM PPO - LEFT ELEVATION

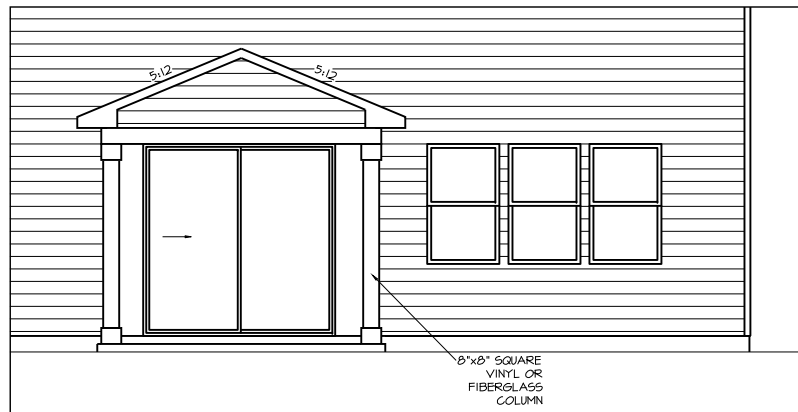


SUNROOM PPO - RIGHT ELEVATION

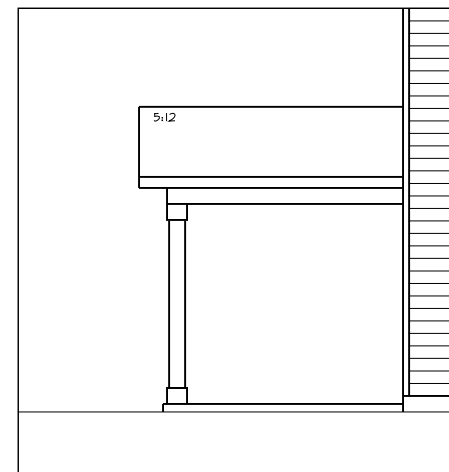


SCREENED PORCH PPO - REAR ELEVATION

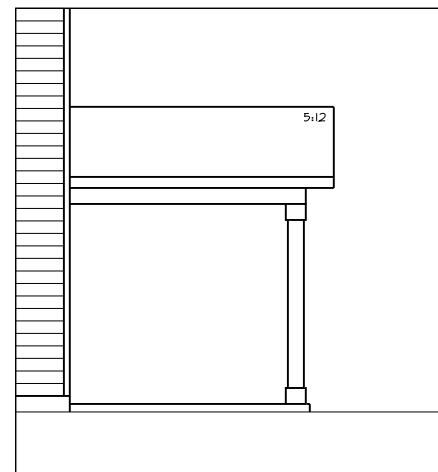
RALEIGH



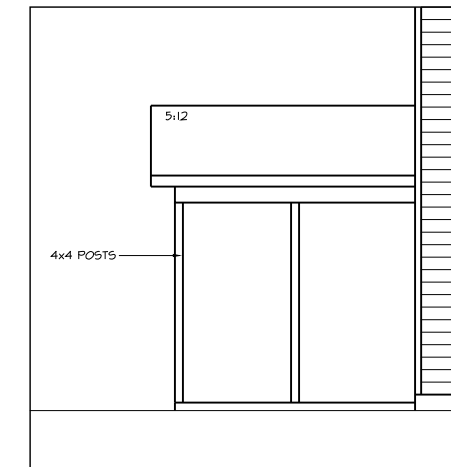
COVERED PORCH PPO - REAR ELEVATION



COVERED PORCH PPO - LEFT ELEVATION

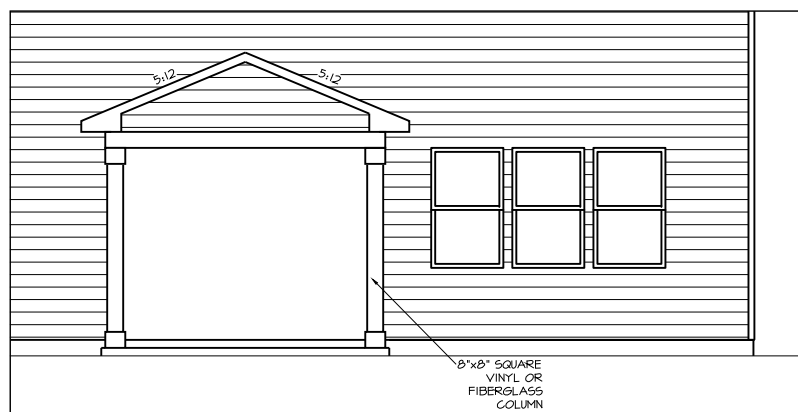


COVERED PORCH PPO - RIGHT ELEVATION

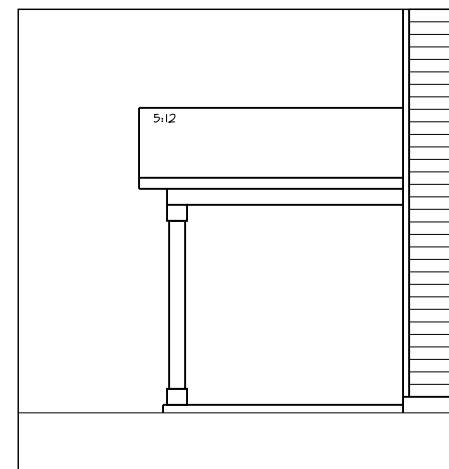


SCREENED PORCH PPO - LEFT ELEVATION

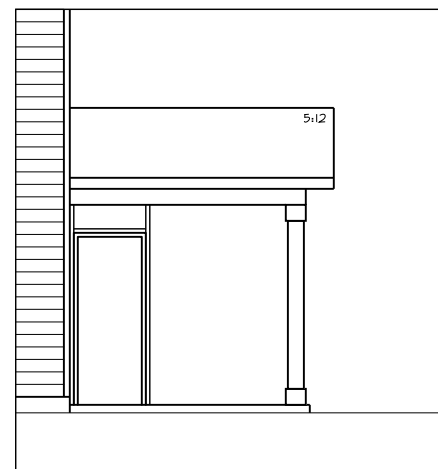
RALEIGH



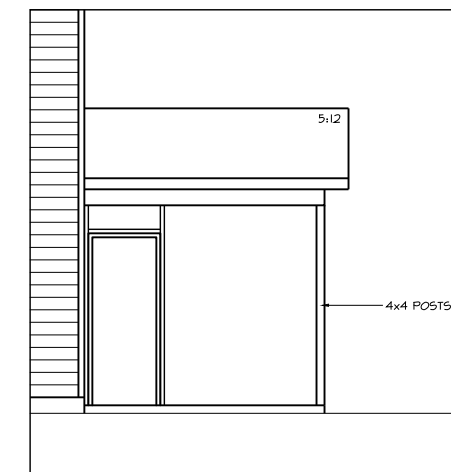
SCREENED PORCH PPO - REAR ELEVATION



SCREENED PORCH PPO - LEFT ELEVATION



SCREENED PORCH PPO - RIGHT ELEVATION



SCREENED PORCH PPO - RIGHT ELEVATION



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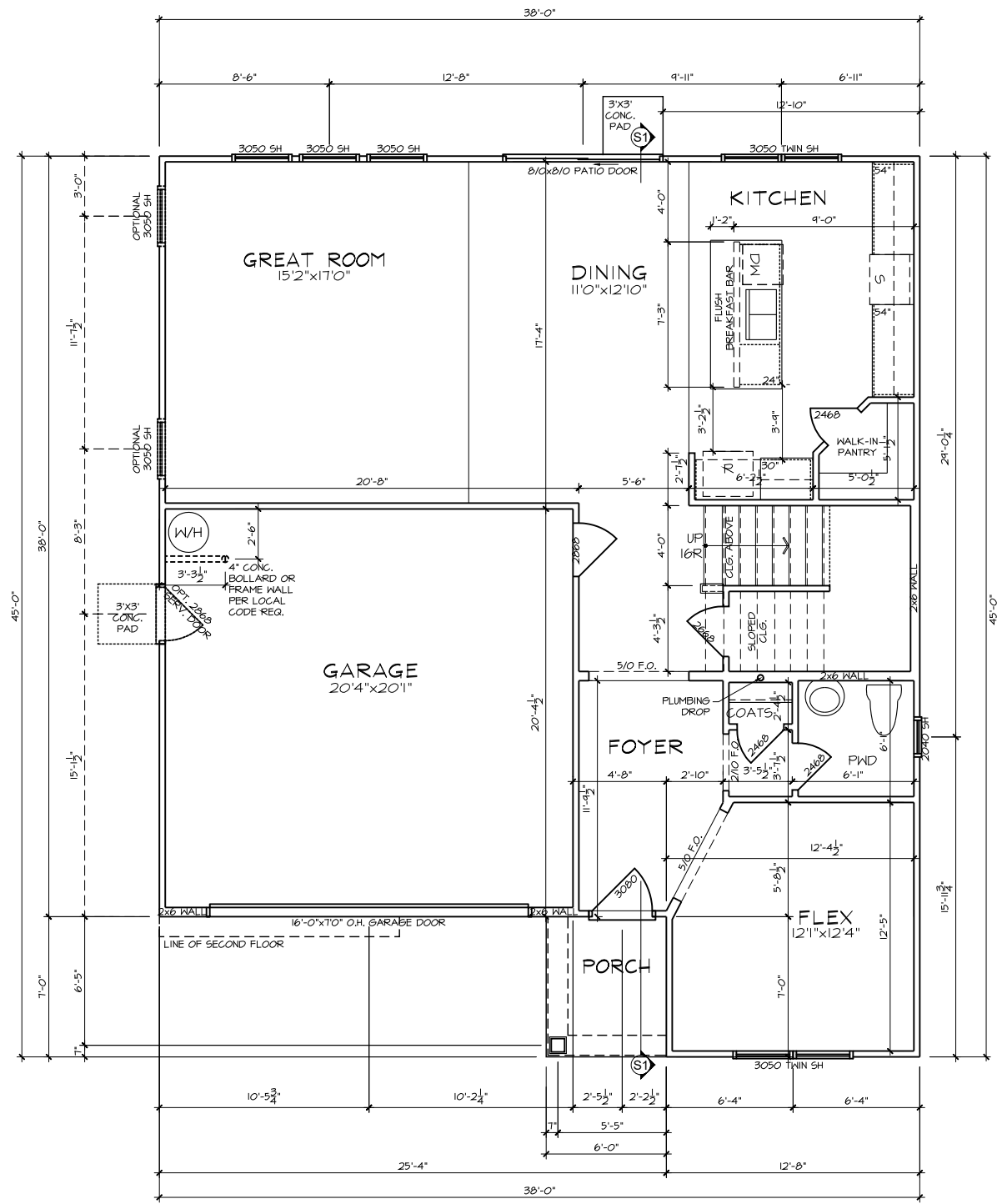
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EXTERIOR ELEVATIONS

0.12



GROUND FLOOR PLAN - FARMHOUSE

FLOOR PLAN NOTES

1. ALL FRAMED OPENINGS (F.O.) @ 80" ON 1ST & 96" ON 2ND U.N.O.
2. 4 SHELVES MAX. @ ALL LINEN & PANTRIES.
3. INSTALL HOUSE WRAP AT ALL ATTIC WALLS NEXT TO HEATED SPACES I.L.O. T-PLY.
4. REFER TO GARAGE FRAMING DETAIL ON SHT. DTA3 FOR GOAL POST FRAMING.
5. ALL STUD POCKETS TO BE 4 1/2" (3) STUDS U.N.O.
6. ALL STUDS BEHIND SHOWER STALLS @ 16" O.C.



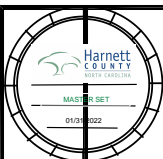
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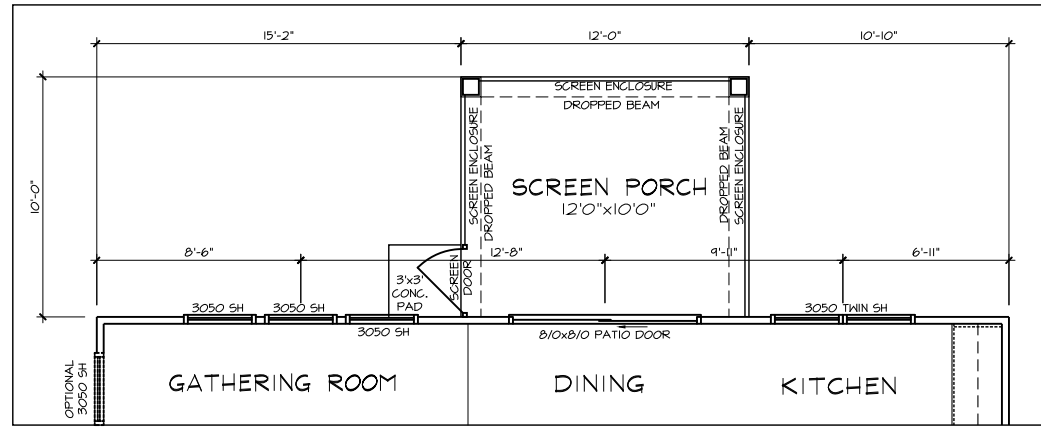
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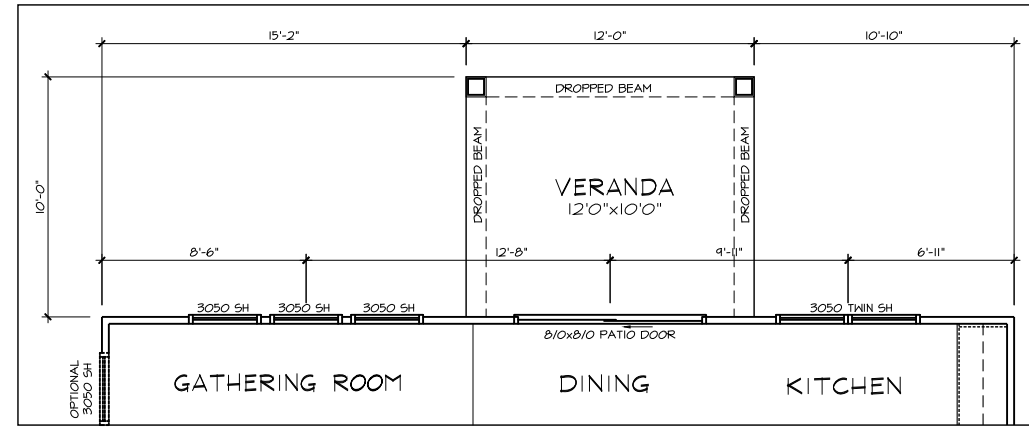
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FIRST FLOOR PLAN

1.0

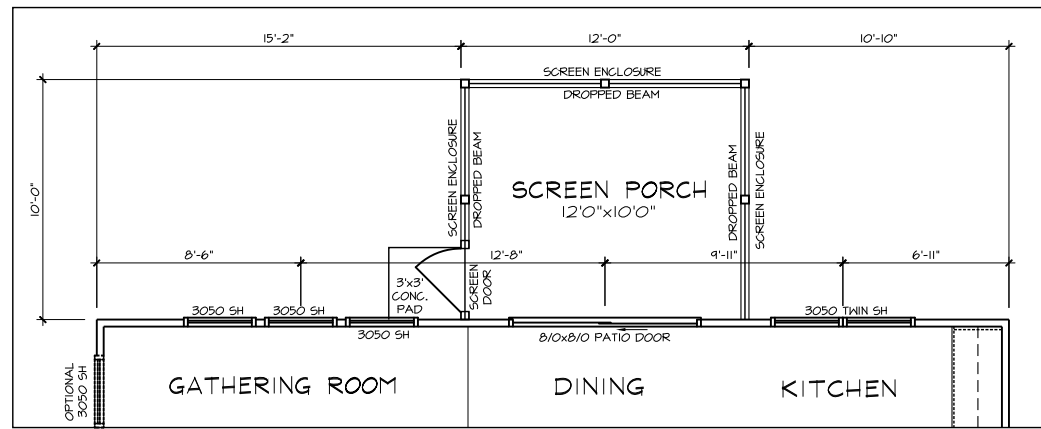


PPO - GROUND FLOOR PLAN
SCREEN PORCH (CHARLOTTE)

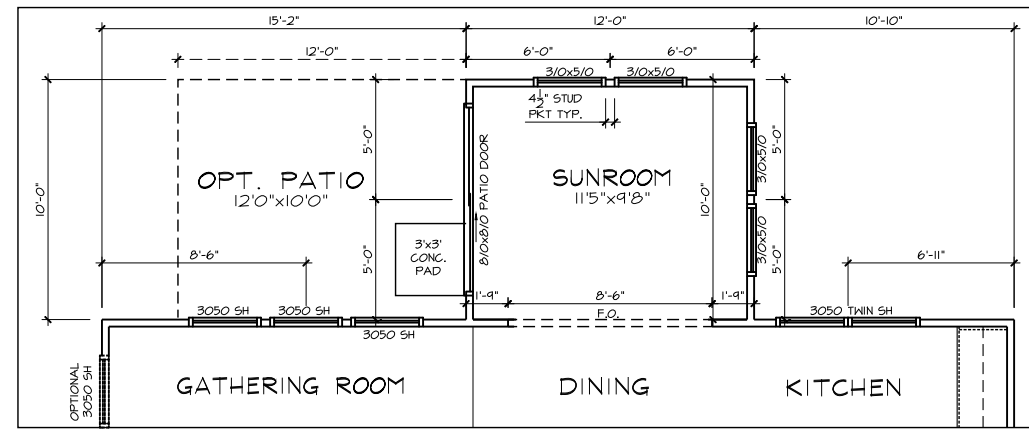


PPO - GROUND FLOOR PLAN
COVERED VERANDA

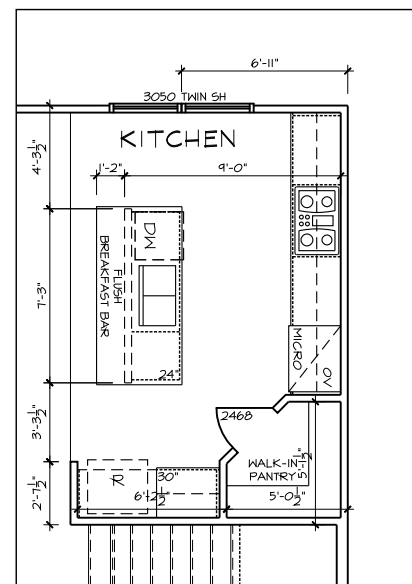
- FLOOR PLAN NOTES**
1. ALL FRAMED OPENINGS (F.O.) @ 80" ON 1ST & 96" ON 2ND U.N.O.
 2. 4 SHELVES MAX. @ ALL LINEN & PANTRIES.
 3. INSTALL HOUSE WRAP AT ALL ATTIC WALLS NEXT TO HEATED SPACES I.L.O. T-PLY.
 4. REFER TO GARAGE FRAMING DETAIL ON SHT. DT#3 FOR GOAL POST FRAMING.
 5. ALL STUD POCKETS TO BE 4 1/2" (3) STUDS U.N.O.
 6. ALL STUDS BEHIND SHOWER STALLS @ 16" O.C.



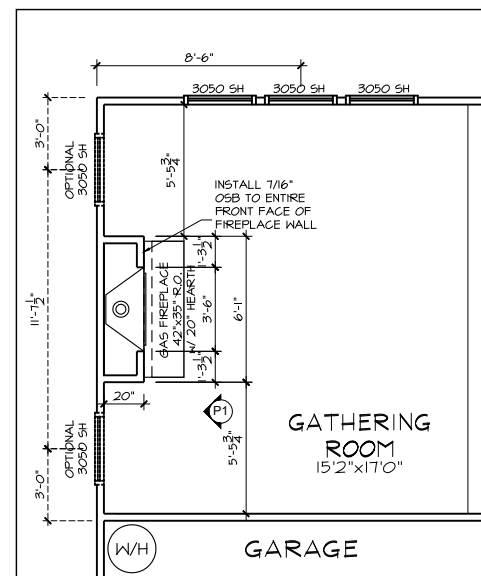
PPO - GROUND FLOOR PLAN
SCREEN PORCH (RALEIGH)



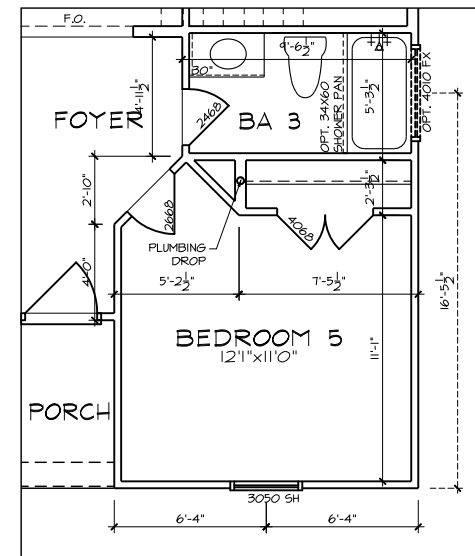
PPO - GROUND FLOOR PLAN
SUNROOM



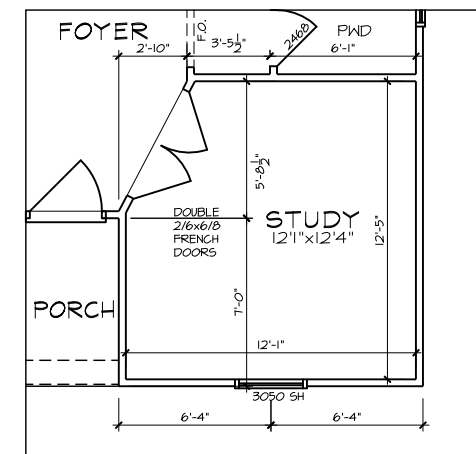
PPO - GROUND FLOOR PLAN
SIGNATURE KITCHEN



PPO - GROUND FLOOR PLAN
GAS FIREPLACE



PPO - GROUND FLOOR PLAN - CRAFTSMAN
BED5/BATH3 - FARMHOUSE



PPO - GROUND FLOOR PLAN - CRAFTSMAN
STUDY - FARMHOUSE



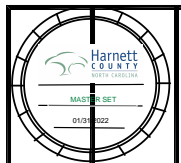
MATTAMY HOMES
CHARLOTTE DIVISION
PH: 704-375-9373

MATTAMY HOMES
RALEIGH DIVISION
PH: 919-752-4898



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CLIENT: MATTAMY HOMES
PROJECT: SHENANDOAH - LH
LOCATION: NORTH CAROLINA

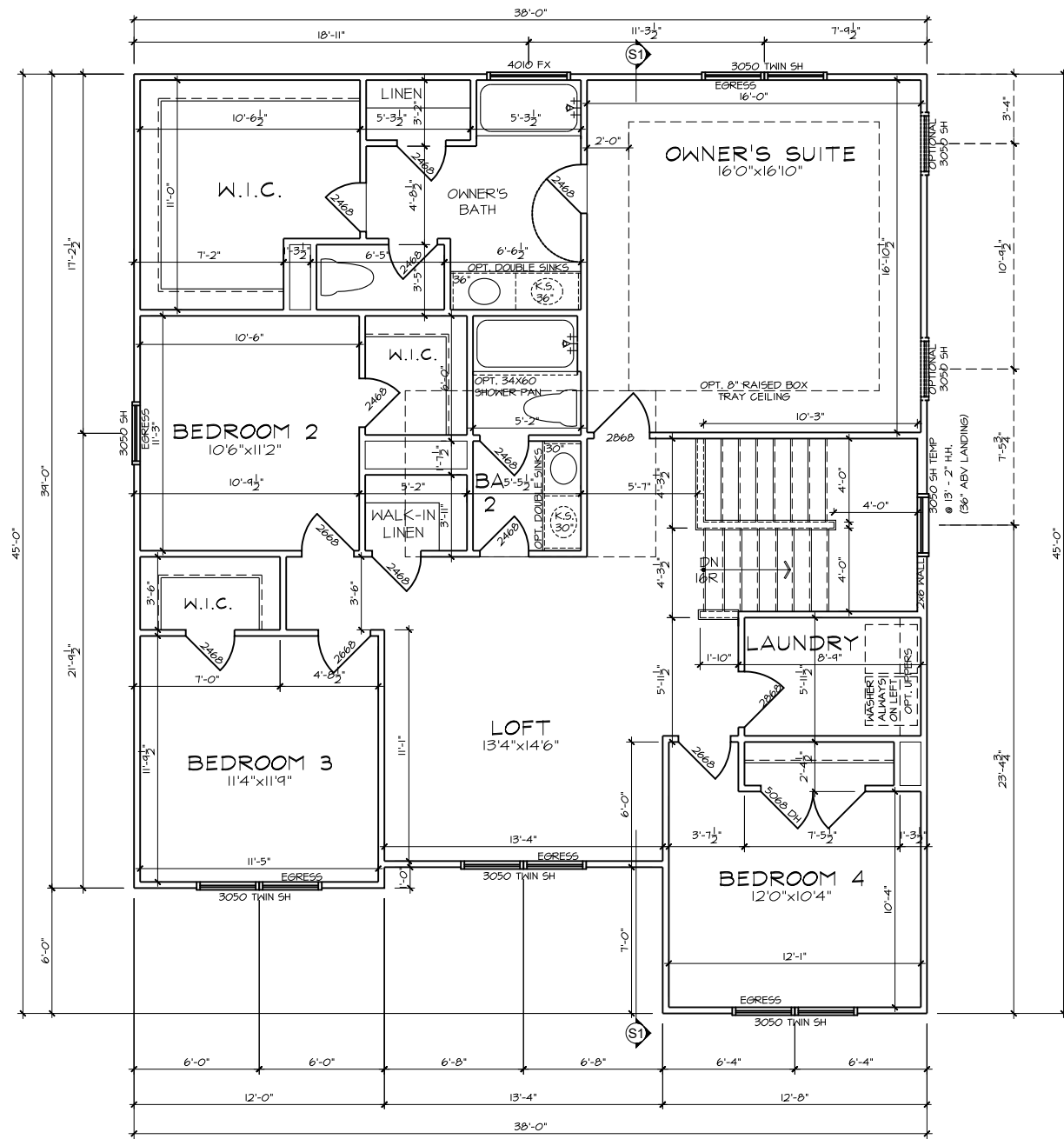
PROJECT NO.: 21901788

DATE: 11/02/2021 DRAWN BY: CAR

FIRST FLOOR OPTIONS
FLOOR PLANS

1.1

SCALE: 1/8" = 1'-0" FOR 11x17 PAPER, 1/4" = 1'-0" FOR 22x34 PAPER, OR AS NOTED



- FLOOR PLAN NOTES**
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 3. INSTALL HOUSE WRAP AT ALL ATTIC WALLS NEXT TO HEATED SPACES I.L.O. T-PLY.
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 6. ALL STUDS BEHIND SHOWER STALLS @ 16" O.C.

SECOND FLOOR PLAN - FARMHOUSE



**MATTAMY HOMES
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MATTAMY HOMES

PROJECT: SHENANDOAH - LH

LOCATION: NORTH CAROLINA

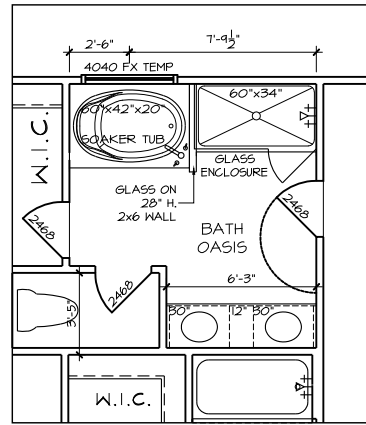
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PROJECT NO.: **21901788**

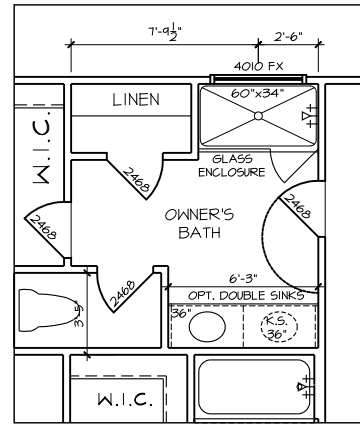
DATE: **11/02/2021** DRAWN BY: **CAR**

SECOND FLOOR PLAN

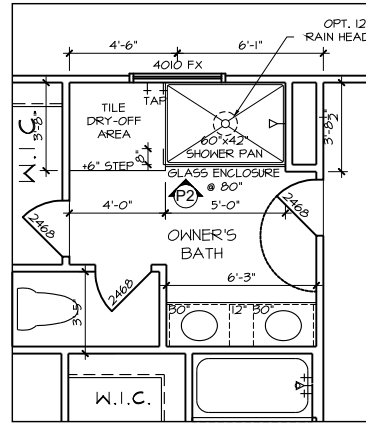
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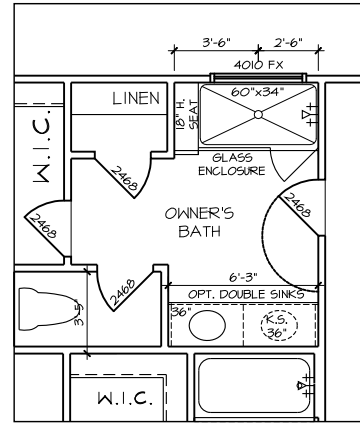
PPO - SECOND FLOOR PLAN
BATH OASIS



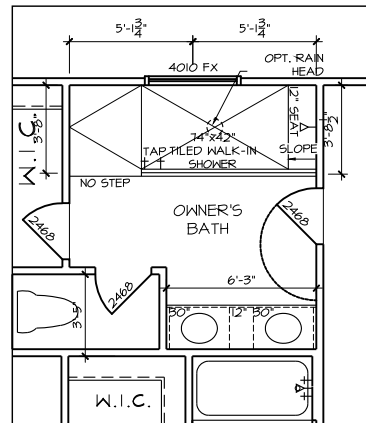
PPO - SECOND FLOOR PLAN
STAND-IN SHOWER



PPO - SECOND FLOOR PLAN
SUPER SHOWER



PPO - SECOND FLOOR PLAN
STAND-IN SHOWER w/ SEAT



PPO - SECOND FLOOR PLAN
SPA SHOWER

FLOOR PLAN NOTES

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CLIENT: **MATTAMY HOMES**

PROJECT: **SHENANDOAH - LH**

LOCATION: **NORTH CAROLINA**

SCALE: 1/8" = 1'-0" FOR 11x17 PAPER, 1/4" = 1'-0" FOR 22x34 PAPER, OR AS NOTED

PROJECT NO.: **21901788**

DATE: **11/02/2021** DRAWN BY: **CAR**

**SECOND FLOOR OPTIONS
FLOOR PLANS**

2.1



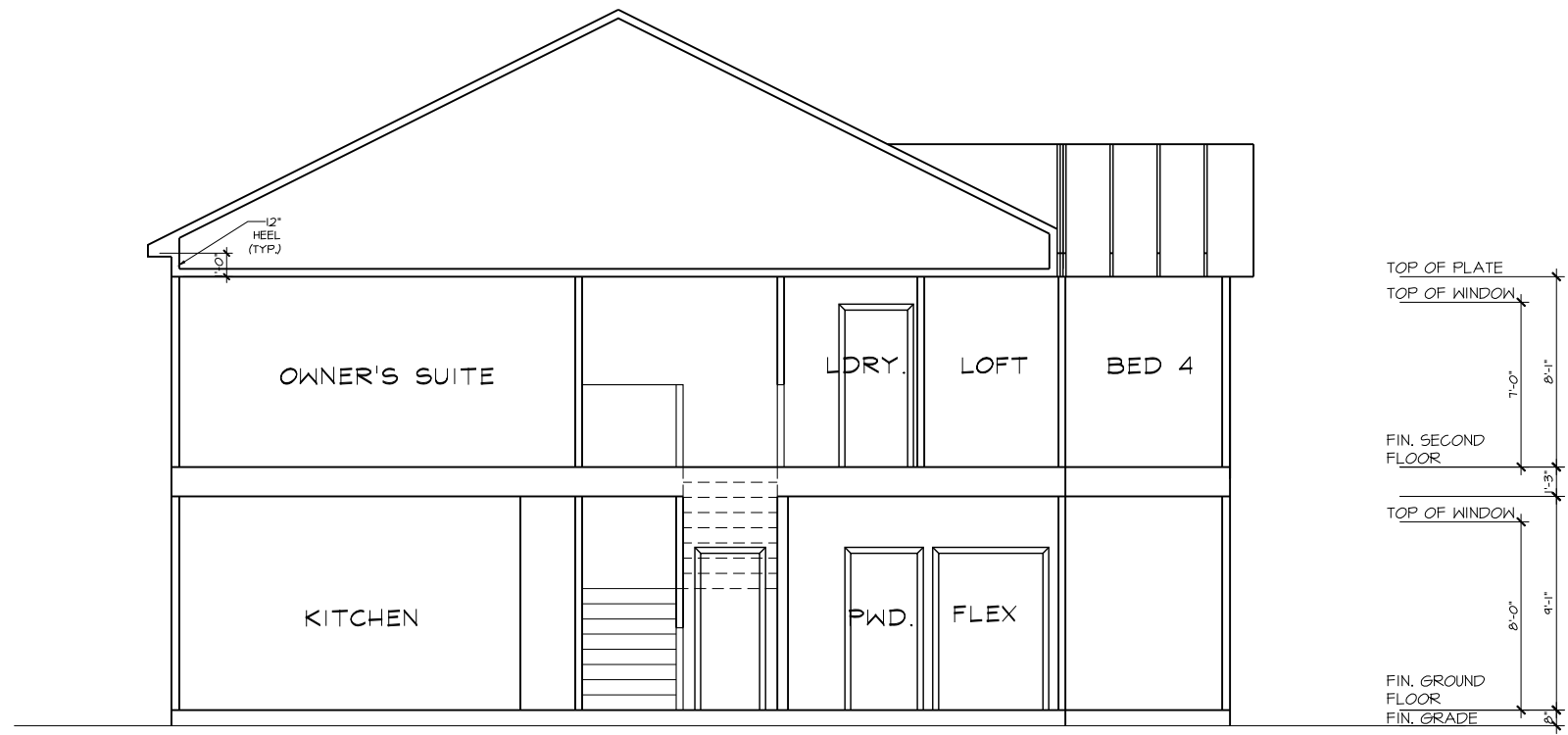
MATTAMY HOMES
 CHARLOTTE DIVISION
 PH: 704-375-9373

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 RALEIGH DIVISION
 PH: 919-752-4898

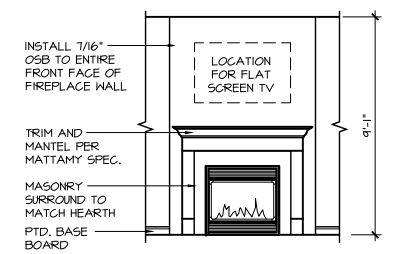


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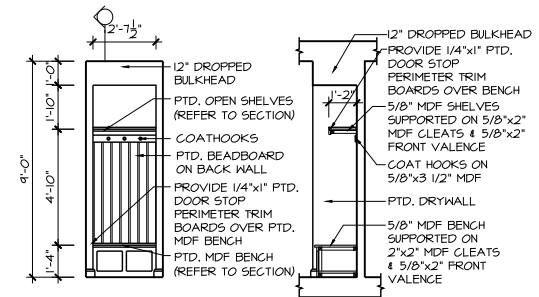
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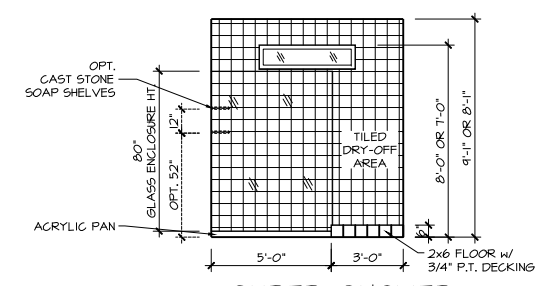
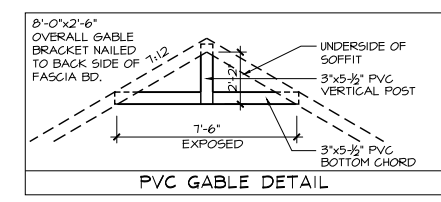
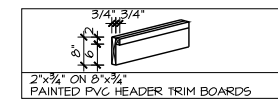
S1 SECTION



P1 GATHERING ROOM GAS FIREPLACE



E1 MUDROOM LOCKER



P2 SUPER SHOWER GLASS SHOWER ENCLOSURE



CLIENT: MATTAMY HOMES
 PROJECT: SHENANDOAH - LH
 LOCATION: NORTH CAROLINA

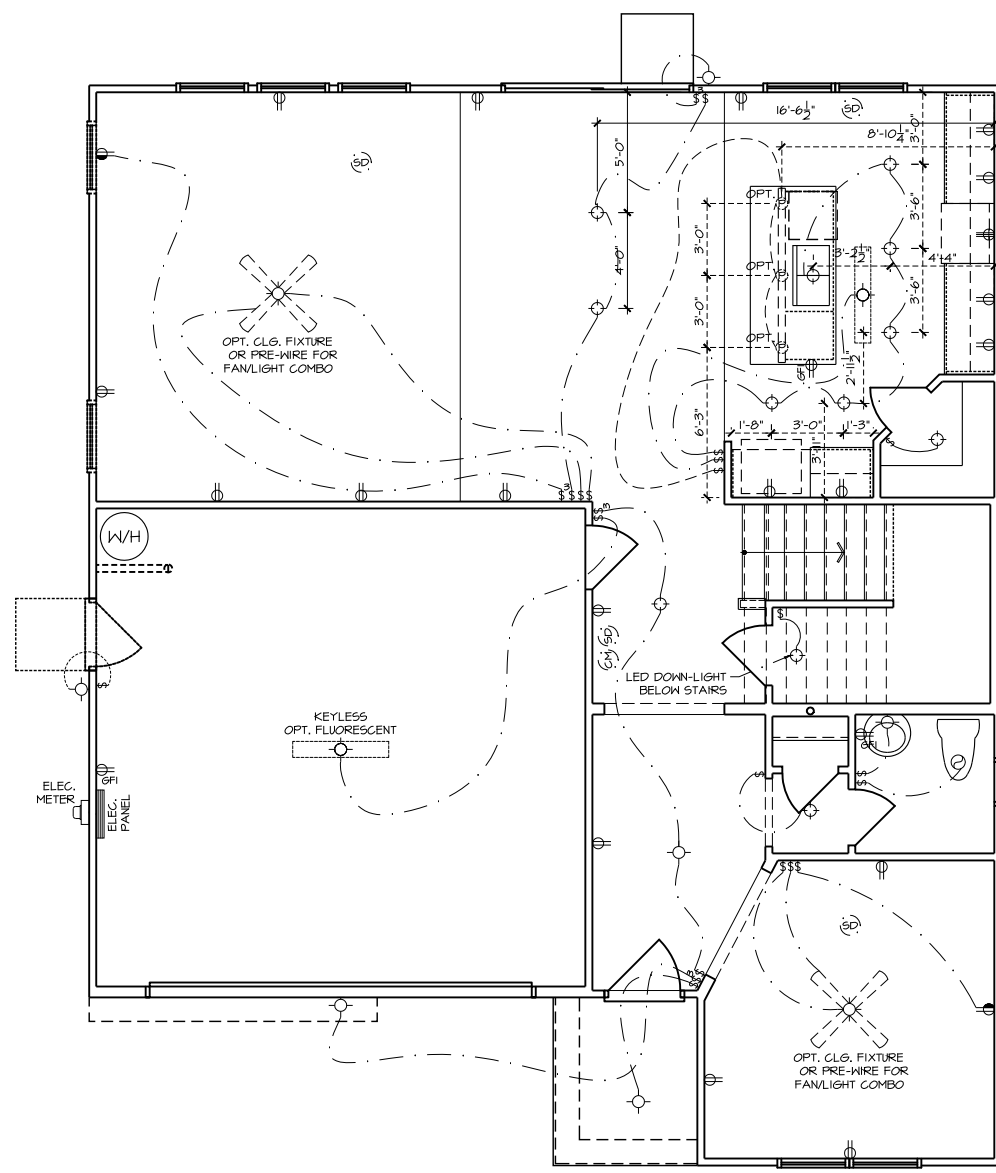
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PROJECT NO.: 21901788

DATE: 11/02/2021 DRAWN BY: CAR

SECTIONS & DETAILS

4.0



ELECTRICAL PLAN - FARMHOUSE

- ELECTRICAL LEGEND**
- ⊖ 110V RECEPTACLE
 - ⊖ 110V SWITCHED OUTLET
 - ⊖ 220V RECEPTACLE
 - WP ⊖ 110V RECEPTACLE (WATER PROOF)
 - GFI ⊖ 110V GFI RECEPTACLE
 - VP ⊖ RECESSED VAPOR PROOF LIGHT FIXTURE
 - ⊖ LIGHT FIXTURE
 - ⊖ RECESSED CAN LIGHT FIX.
 - OPT ⊖ OPT RECESSED CAN LIGHT FIX.
 - ⊖ PENDANT LIGHT FIX.
 - ⊖ 4' FLUORESCENT LIGHT
 - ⊖ 2' FLUORESCENT LIGHT
 - ⊖ 6" X 8" FLUORESCENT LIGHT
 - ⊖ LIGHT SWITCH
 - ⊖ 3-WAY LIGHT SWITCH
 - ⊖ 4-WAY LIGHT SWITCH
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 - ⊖ SMOKE DETECTOR
 - ⊖ CARBON MONOXIDE
 - ⊖ ON 'Q' PANEL
 - ⊖ DOOR CHIMES
 - ⊖ ELECTRICAL PANEL
 - ⊖ OPT CEILING FAN W/ LIGHT
 - ⊖ OPT FLOOD LIGHT

NOTE: ALL SMOKE DETECTORS TO BE INTERCONNECTED PER APPLICABLE CODE (SEE TITLE SHEET)



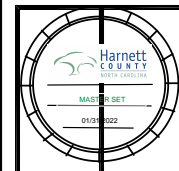
**MATTAMY HOMES
CHARLOTTE DIVISION
PH: 704-375-9373**

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CLIENT: **MATTAMY HOMES**

PROJECT: **SHENANDOAH - LH**

LOCATION: **NORTH CAROLINA**

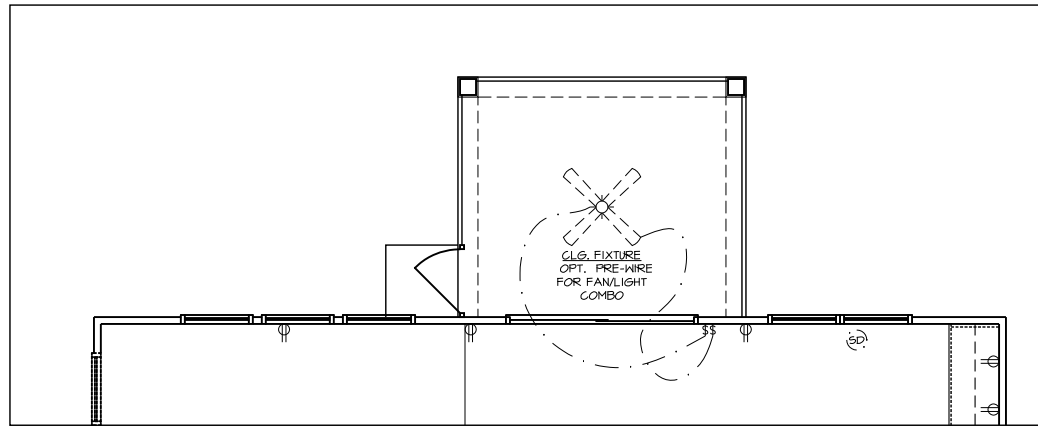
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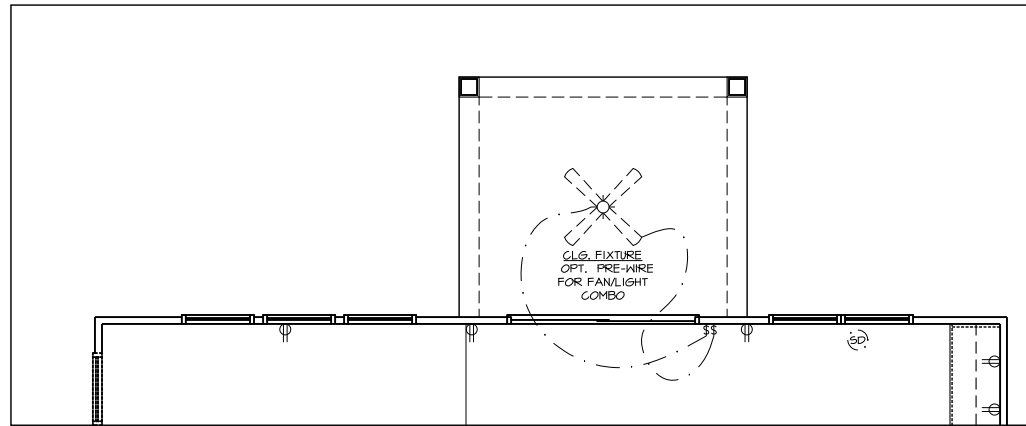
DATE: **11/02/2021** DRAWN BY: **CAR**

**FIRST FLOOR
ELECTRICAL PLAN**

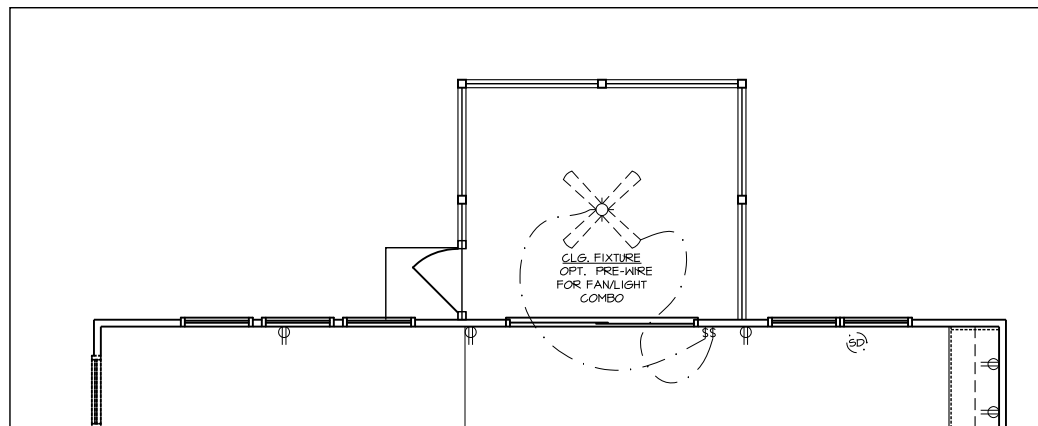
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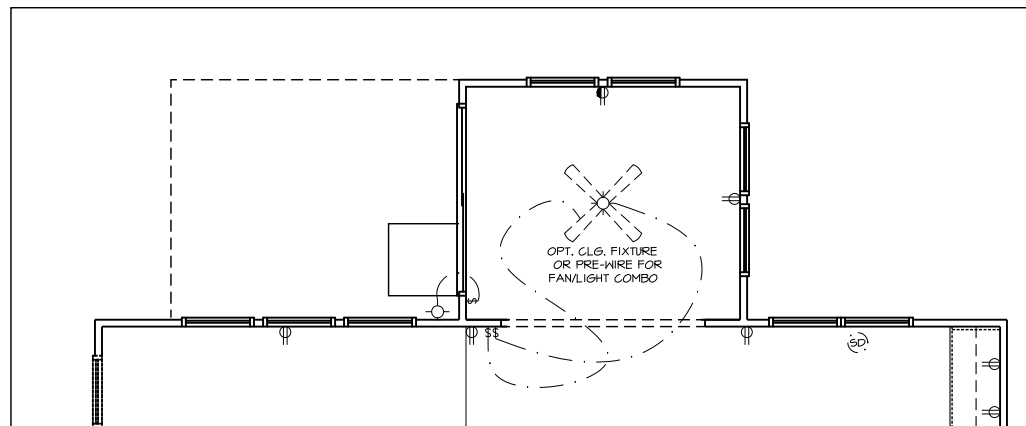
PPO - GROUND FLOOR ELECT. PLAN
SCREEN PORCH (CHARLOTTE)



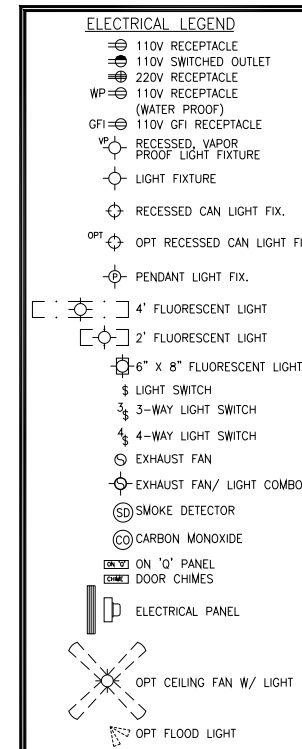
PPO - GROUND FLOOR ELECT. PLAN
COVERED VERANDA



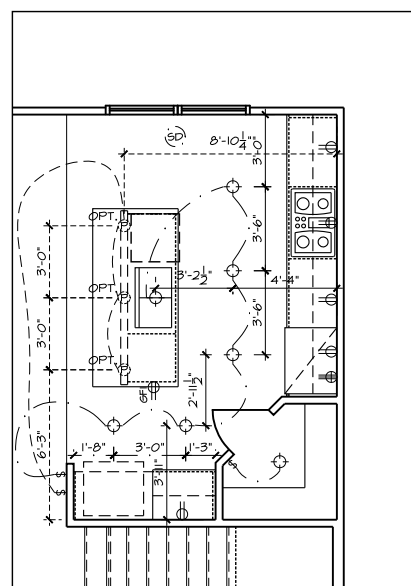
PPO - GROUND FLOOR ELECT. PLAN
SCREEN PORCH (RALEIGH)



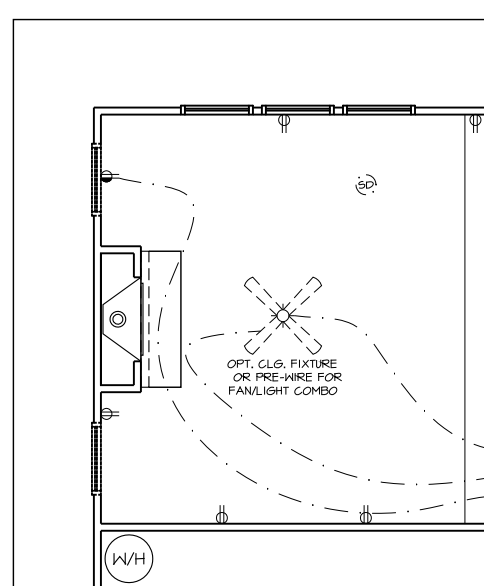
PPO - GROUND FLOOR ELECT. PLAN
SUNROOM



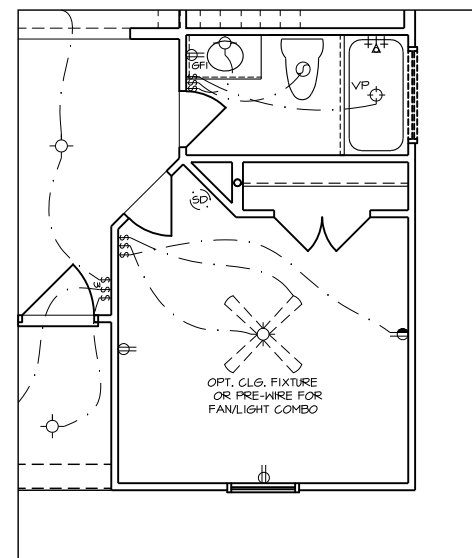
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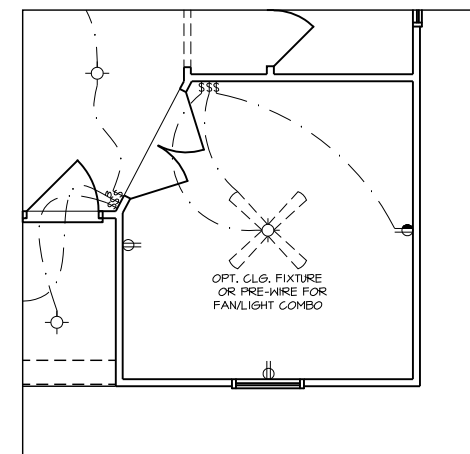
PPO - GROUND FLOOR ELECT. PLAN
SIGNATURE KITCHEN



PPO - GROUND FLOOR ELECT. PLAN
GAS FIREPLACE



PPO - GROUND FLOOR ELECT. PLAN - CRAFTSMAN
BED 5/BATH 3 - FARMHOUSE



PPO - GROUND FLOOR ELECT. PLAN - CRAFTSMAN
STUDY - FARMHOUSE



MATTAMY HOMES
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CLIENT: **MATTAMY HOMES**

PROJECT: **SHENANDOAH - LH**

LOCATION: **NORTH CAROLINA**

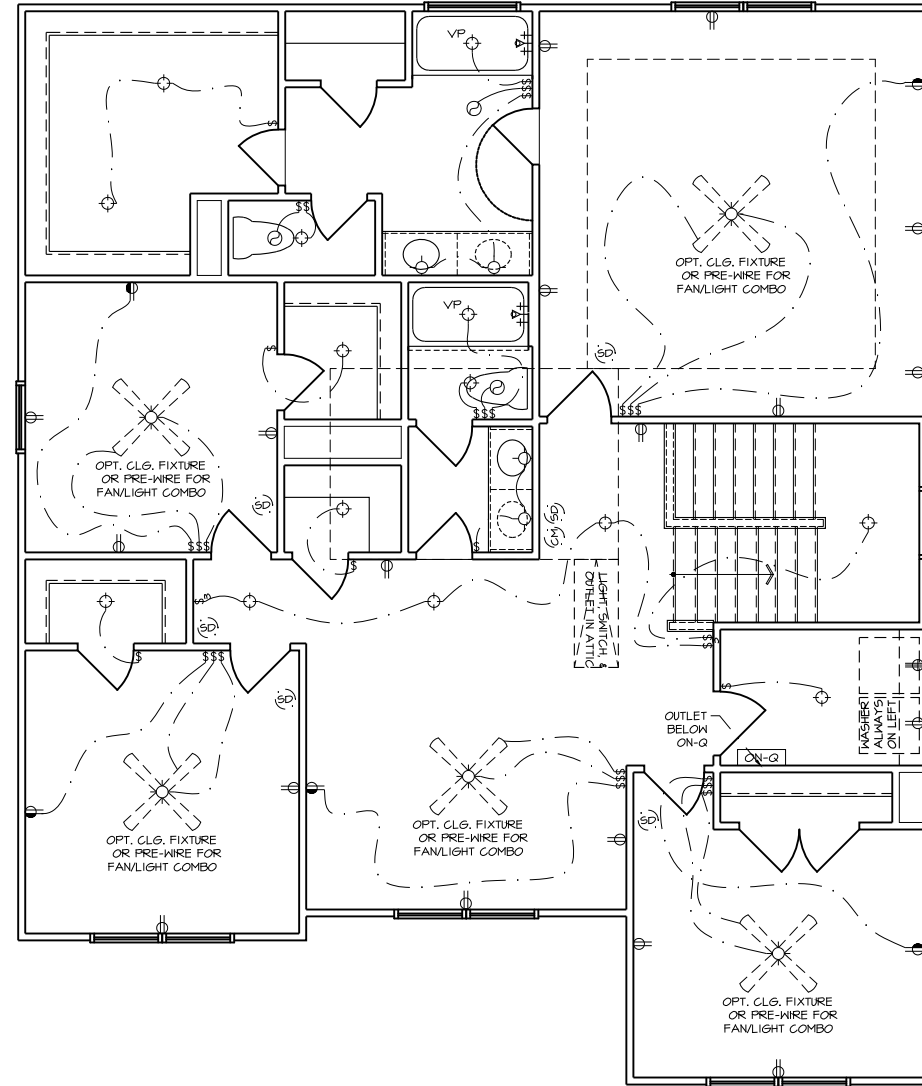
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PROJECT NO.: **21901788**

DATE: **11/02/2021** DRAWN BY: **CAR**

FIRST FLOOR OPTIONS
ELECTRICAL PLANS

6.1



ELECTRICAL LEGEND

- ⊖ 110V RECEPTACLE
- ⊖ 110V SWITCHED OUTLET
- ⊖ 220V RECEPTACLE
- WP ⊖ 110V RECEPTACLE (WATER PROOF)
- GFI ⊖ 110V GFI RECEPTACLE
- VP ⊖ RECESSED, VAPOR PROOF LIGHT FIXTURE
- ⊖ LIGHT FIXTURE
- ⊖ RECESSED CAN LIGHT FIX.
- OPT ⊖ OPT RECESSED CAN LIGHT FIX.
- ⊖ PENDANT LIGHT FIX.
- ⊖ 4' FLUORESCENT LIGHT
- ⊖ 2' FLUORESCENT LIGHT
- ⊖ 6" x 8" FLUORESCENT LIGHT
- ⊖ LIGHT SWITCH
- ⊖ 3-WAY LIGHT SWITCH
- ⊖ 4-WAY LIGHT SWITCH
- ⊖ EXHAUST FAN
- ⊖ EXHAUST FAN/ LIGHT COMBO
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- ⊖ ELECTRICAL PANEL
- ⊖ OPT CEILING FAN W/ LIGHT
- ⊖ OPT FLOOD LIGHT

NOTE: ALL SMOKE DETECTORS TO BE INTERCONNECTED PER APPLICABLE CODE (SEE TITLE SHEET)



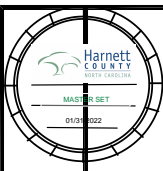
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CLIENT: **MATTAMY HOMES**

PROJECT: **SHENANDOAH - LH**

LOCATION: **NORTH CAROLINA**

SCALE: 1/8" = 1'-0" FOR 11x17 PAPER, 1/4" = 1'-0" FOR 22x34 PAPER, OR AS NOTED

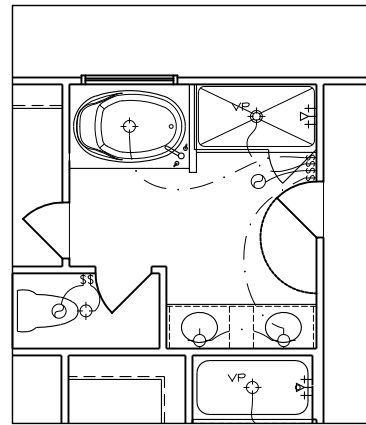
PROJECT NO.: **21901788**

DATE: **11/02/2021** DRAWN BY: **CAR**

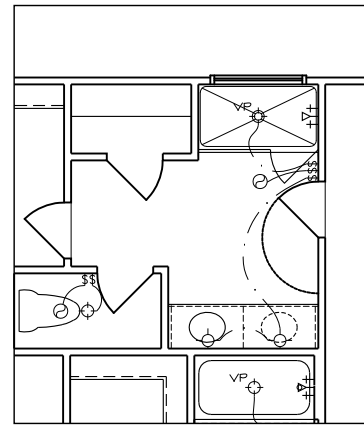
**SECOND FLOOR
ELECTRICAL PLAN**

7.0

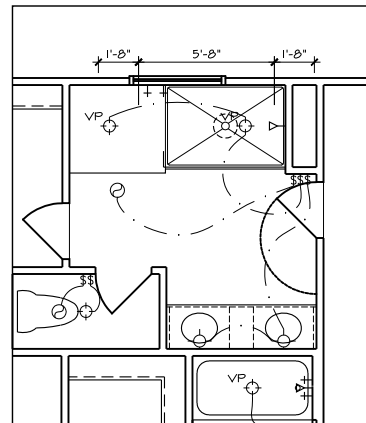
SECOND FLOOR ELECTRICAL PLAN - FARMHOUSE



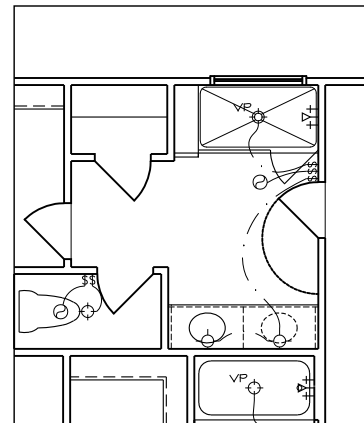
PPO - SECOND FLOOR ELECT. PLAN
STAND-IN SHOWER



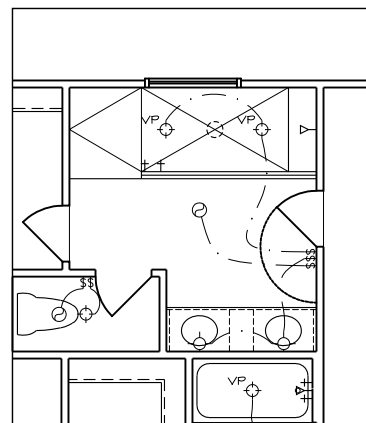
PPO - SECOND FLOOR ELECT. PLAN
STAND-IN SHOWER



PPO - SECOND FLOOR ELECT. PLAN
SUPER SHOWER



PPO - SECOND FLOOR ELECT. PLAN
STAND-IN SHOWER w/ SEAT



PPO - SECOND FLOOR ELECT. PLAN
SPA SHOWER

| ELECTRICAL LEGEND | |
|-------------------|-------------------------------------|
| | 110V RECEPTACLE |
| | 110V SWITCHED OUTLET |
| | 220V RECEPTACLE |
| | 110V RECEPTACLE (WATER PROOF) |
| | 110V GFI RECEPTACLE |
| | RECESSED, VAPOR PROOF LIGHT FIXTURE |
| | LIGHT FIXTURE |
| | RECESSED CAN LIGHT FIX. |
| | OPT RECESSED CAN LIGHT FIX. |
| | PENDANT LIGHT FIX. |
| | 4' FLUORESCENT LIGHT |
| | 2' FLUORESCENT LIGHT |
| | 6' x 8' FLUORESCENT LIGHT |
| | LIGHT SWITCH |
| | 3-WAY LIGHT SWITCH |
| | 4-WAY LIGHT SWITCH |
| | EXHAUST FAN |
| | EXHAUST FAN/ LIGHT COMBO |
| | SMOKE DETECTOR |
| | CARBON MONOXIDE |
| | ON "O" PANEL |
| | DOOR CHIMES |
| | ELECTRICAL PANEL |
| | OPT CEILING FAN W/ LIGHT |
| | OPT FLOOD LIGHT |

NOTE: ALL SMOKE DETECTORS TO BE INTERCONNECTED PER APPLICABLE CODE (SEE TITLE SHEET)



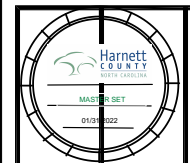
**MATTAMY HOMES
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PH: 704-375-9373**

**MATTAMY HOMES
RALEIGH DIVISION
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CLIENT: **MATTAMY HOMES**

PROJECT: **SHENANDOAH - LH**

LOCATION: **NORTH CAROLINA**

SCALE: 1/8" = 1'-0" FOR 11x17 PAPER, 1/4" = 1'-0" FOR 22x34 PAPER, OR AS NOTED

PROJECT NO.: **21901788**

DATE: **11/02/2021** DRAWN BY: **CAR**

**SECOND FLOOR OPTIONS
ELECTRICAL PLANS**

7.1

NOTE: ALL CHAPTERS, SECTIONS, TABLES, AND FIGURES CITED WITHOUT A PUBLICATION TITLE ARE FROM THE APPLICABLE RESIDENTIAL CODE (SEE TITLE SHEET).

GENERAL

1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. FURTHERMORE, CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, AND SAFETY ON SITE. NOTIFY JDS CONSULTING, PLLC IMMEDIATELY IF DISCREPANCIES ON PLAN EXIST.

2. BRACED-WALL DESIGN IS BASED ON SECTION R602.10 - WALL BRACING. PRIMARY PRESCRIPTIVE METHOD TO BE CS-WSP. SEE WALL BRACING PLANS AND DETAILS FOR ADDITIONAL INFORMATION.

ALL NON-PRESCRIPTIVE SOLUTIONS ARE BASED ON GUIDELINES ESTABLISHED IN THE AMERICAN SOCIETY OF CIVIL ENGINEERS PUBLICATION ASCE 7 AND THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION - SPECIAL DESIGN PROVISIONS FOR WIND AND SEISMIC.

3. SEISMIC DESIGN SHALL BE PER SECTION R301.2.2 - SEISMIC PROVISIONS, INCLUDING ASSOCIATED TABLES AND FIGURES, BASED ON LOCAL SEISMIC DESIGN CATEGORY.

DESIGN LOADS

| | |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------|
| ASSUMED SOIL BEARING-CAPACITY | 2,000 PSF |
| LIVE LOAD | |
| ULTIMATE DESIGN WIND SPEED | 115 MPH, EXPOSURE B |
| GROUND SNOW | 15 PSF |
| ROOF | 20 PSF |
| RESIDENTIAL CODE TABLE R301.6 LIVE LOAD (PSF) | |
| DWELLING UNITS | 40 |
| SLEEPING ROOMS | 30 |
| ATTICS WITH STORAGE | 20 |
| ATTICS WITHOUT STORAGE | 10 |
| STAIRS | 40 |
| DECKS | 40 |
| EXTERIOR BALCONIES | 60 |
| PASSENGER VEHICLE GARAGES | 50 |
| FIRE ESCAPES | 40 |
| GUARDS AND HANDRAILS | 200 (pounds, concentrated) |
| COMPONENT AND CLADDING LOADS, INCLUDING THOSE FOR DOORS AND WINDOWS, SHALL BE DERIVED FROM TABLES R301.2.2.1 AND R301.2.2.2. FOR A BUILDING WITH A MEAN ROOF HEIGHT OF 35 FEET, LOCATED IN EXPOSURE B. | |

ABBREVIATIONS

| | | | |
|------|-----------------------|--------|-------------------------|
| ABV | ABOVE | KS | KING STUD COLUMN |
| AFF | ABOVE FINISHED FLOOR | LVL | LAMINATED VENEER LUMBER |
| ALT | ALTERNATE | MAX | MAXIMUM |
| BRG | BEARING | MECH | MECHANICAL |
| BSMT | BASEMENT | MFTR | MANUFACTURER |
| CANT | CANTILEVER | MIN | MINIMUM |
| CJ | CEILING JOIST | NTS | NOT TO SCALE |
| CLG | CEILING | OA | OVERALL |
| CMU | CONCRETE MASONRY UNIT | OC | ON CENTER |
| CO | CASED OPENING | PT | PRESSURE TREATED |
| COL | COLUMN | R | RISER |
| CONC | CONCRETE | REF | REFRIGERATOR |
| CONT | CONTINUOUS | RFG | ROOFING |
| D | CLOTHES DRYER | RO | ROUGH OPENING |
| DBL | DOUBLE | RS | ROOF SUPPORT |
| DIAM | DIAMETER | SC | STUD COLUMN |
| DJ | DOUBLE JOIST | SF | SQUARE FOOT (FEET) |
| DN | DOWN | SH | SHELF / SHELVES |
| DP | DEEP | SHTG | SHEATHING |
| DR | DOUBLE RAFTER | SHW | SHOWER |
| DSP | DOUBLE STUD POCKET | SIM | SIMILAR |
| EA | EACH | SJ | SINGLE JOIST |
| EE | EACH END | SP | STUD POCKET |
| EQ | EQUAL | SPEC'D | SPECIFIED |
| EX | EXTERIOR | SQ | SQUARE |
| FAU | FORCED-AIR UNIT | T | TREAD |
| FDN | FOUNDATION | TEMP | TEMPERED GLASS |
| FF | FINISHED FLOOR | THK | THICK(NESS) |
| FLR | FLOOR(ING) | TJ | TRIPLE JOIST |
| FP | FIREPLACE | TOC | TOP OF CURB / CONCRETE |
| FTG | FOOTING | TR | TRIPLE RAFTER |
| HB | HOSE BIBB | TYP | TYPICAL |
| HDR | HEADER | UNO | UNLESS NOTED OTHERWISE |
| HGR | HANGER | W | CLOTHES WASHER |
| JS | JACK STUD COLUMN | WH | WATER HEATER |
| | | WWF | WELDED WIRE FABRIC |
| | | XJ | EXTRA JOIST |

MATERIALS

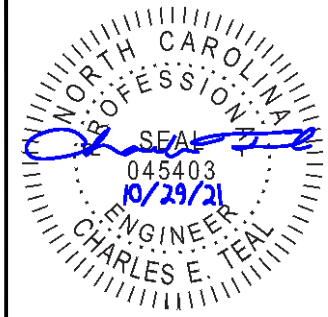
- INTERIOR / TRIMMED FRAMING LUMBER SHALL BE #2 SPRUCE PINE FIR (SPF) WITH THE FOLLOWING DESIGN PROPERTIES (#2 SOUTHERN YELLOW PINE MAY BE SUBSTITUTED):
Fb = 875 PSI Fv = 70 PSI E = 1.4E6 PSI
- FRAMING LUMBER EXPOSED TO WEATHER OR IN CONTACT WITH THE GROUND, CONCRETE, OR MASONRY SHALL BE PRESSURE TREATED #2 SOUTHERN YELLOW PINE (SYP) WITH THE FOLLOWING DESIGN PROPERTIES:
Fb = 975 PSI Fv = 95 PSI E = 1.6E6 PSI
- LVL STRUCTURAL MEMBERS TO BE LAMINATED VENEER LUMBER WITH THE FOLLOWING MINIMUM DESIGN PROPERTIES:
Fb = 2600 PSI Fv = 285 PSI E = 1.9E6 PSI
- PSL STRUCTURAL MEMBERS TO BE PARALLEL STRAND LUMBER WITH THE FOLLOWING MINIMUM DESIGN PROPERTIES:
Fb = 2900 PSI Fv = 290 PSI E = 2.0E6 PSI
- LSL STRUCTURAL MEMBERS TO BE LAMINATED STRAND LUMBER WITH THE FOLLOWING MINIMUM DESIGN PROPERTIES:
Fb = 2250 PSI Fv = 400 PSI E = 1.55E6 PSI
- STRUCTURAL STEEL WIDE-FLANGE BEAMS SHALL CONFORM TO ASTM A992. Fy = 50 KSI
- REBAR SHALL BE DEFORMED STEEL CONFORMING TO ASTM A615, GRADE 60.
- POURED CONCRETE COMPRESSIVE STRENGTH TO BE A MINIMUM 3,000 PSI AT 28 DAYS. MATERIALS USED TO PRODUCE CONCRETE SHALL COMPLY WITH THE APPLICABLE STANDARDS LISTED IN AMERICAN CONCRETE INSTITUTE STANDARD ACI 318 OR ASTM C1157.
- CONCRETE SUBJECT TO MODERATE OR SEVERE WEATHERING PROBABILITY PER TABLE R301.2.2.1 SHALL BE AIR-ENTRAINED WHEN REQUIRED BY TABLE R402.2.
- CONCRETE MASONRY UNITS (CMU) SHALL CONFORM TO AMERICAN CONCRETE INSTITUTE PUBLICATION 530: BUILDING CODE REQUIREMENTS AND SPECIFICATIONS FOR MASONRY STRUCTURES AND COMPANION COMMENTARIES AND THE MASONRY SOCIETY PUBLICATION TMS 402/602: BUILDING CODE REQUIREMENTS AND SPECIFICATIONS FOR MASONRY STRUCTURES.
- MORTAR SHALL COMPLY WITH ASTM INTERNATIONAL STANDARD C270.
- INDICATED MODEL NUMBERS FOR ALL METAL HANGERS, STRAPS, FRAMING CONNECTORS, AND HOLD-DOWNS ARE SIMPSON STRONG-TIE BRAND. EQUIVALENT USP BRAND PRODUCTS ARE ACCEPTABLE.
- REFER TO I-JOIST EQUIVALENCE CHART ON I-JOIST DETAIL SHEET FOR SUBSTITUTION OF MANUFACTURER SERIES.

FOUNDATION

- MINIMUM ALLOWABLE SOIL BEARING CAPACITY IS ASSUMED TO BE 2,000 PSF. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY SOIL BEARING CAPACITY IF UNSATISFACTORY CONDITIONS EXIST.
- CONCRETE FOUNDATION WALLS TO BE SELECTED AND CONSTRUCTED PER SECTION R404 OR AMERICAN CONCRETE INSTITUTE STANDARD ACI 318.
- MASONRY FOUNDATION WALLS TO BE SELECTED AND CONSTRUCTED PER SECTION R404 AND/OR AMERICAN CONCRETE INSTITUTE PUBLICATION 530: BUILDING CODE REQUIREMENTS AND SPECIFICATIONS FOR MASONRY STRUCTURES AND COMPANION COMMENTARIES AND/OR THE MASONRY SOCIETY PUBLICATION TMS 402/602: BUILDING CODE REQUIREMENTS AND SPECIFICATIONS FOR MASONRY STRUCTURES.
- CONCRETE WALL HORIZONTAL REINFORCEMENT TO BE PER TABLE R404.1.2(1) OR AS NOTED OR DETAILED. CONCRETE WALL VERTICAL REINFORCEMENT TO BE PER TABLES R404.1.2(3) AND (4) OR AS NOTED OR DETAILED. ALL CONCRETE WALLS SHALL COMPLY WITH APPLICABLE PROVISIONS OF CHAPTER 6.
 - TABLES ASSUME THAT WALLS HAVE PERMANENT LATERAL SUPPORT AT THE TOP AND BOTTOM.
 - FOUNDATION DRAINS ARE ASSUMED AT ALL WALLS PER SECTION R406.
- PLAIN-MASONRY WALL DESIGN TO BE PER TABLE R404.1.1(1) OR AS NOTED OR DETAILED. MASONRY WALLS WITH VERTICAL REINFORCEMENT TO BE PER TABLES R404.1.1.2 THROUGH (4) OR AS NOTED OR DETAILED. ALL MASONRY WALLS SHALL COMPLY WITH APPLICABLE PROVISIONS OF CHAPTER 6.
 - TABLES ASSUME THAT WALLS HAVE PERMANENT LATERAL SUPPORT AT THE TOP AND BOTTOM.
 - WALL REINFORCING SHALL BE PLACED ACCORDING TO FOOTNOTE (c) OF THE TABLES (REINFORCING IS NOT CENTERED IN WALL).
 - FOUNDATION DRAINS ARE ASSUMED AT ALL WALLS PER SECTION R406.
- WOOD SILL PLATES TO BE ANCHORED TO THE FOUNDATION WITH 1/2" DIAMETER ANCHOR BOLTS WITH MINIMUM 7" EMBEDMENT, SPACED A MAXIMUM OF 6'-0" OC AND WITHIN 12" FROM THE ENDS OF EACH PLATE SECTION. INSTALL MINIMUM (2) ANCHOR BOLTS PER SECTION. SEE SECTION R403.1.6 FOR SPECIFIC CONDITIONS.
- THE UNSUPPORTED HEIGHT OF SOLID MASONRY PIERS SHALL NOT EXCEED TEN TIMES THEIR LEAST DIMENSION. UNFILLED, HOLLOW PIERS MAY BE USED IF THE UNSUPPORTED HEIGHT IS NOT MORE THAN FOUR TIMES THEIR LEAST DIMENSION.
- CENTERS OF PIERS TO BEAR IN THE MIDDLE THIRD OF THE FOOTINGS, AND GIRDERS SHALL CENTER IN THE MIDDLE THIRD OF THE PIERS.
- ALL FOOTINGS TO HAVE MINIMUM 2" PROJECTION ON EACH SIDE OF FOUNDATION WALLS (SEE DETAILS).
- ALL REBAR NOTED IN CONCRETE TO HAVE AT LEAST 2" COVER FROM EDGE OF CONCRETE TO EDGE OF REBAR.
- FRAMING TO BE FLUSH WITH FOUNDATION WALLS.
- WITH CLASS 1 SOILS, VAPOR BARRIER AND CRUSHED STONE MAY BE OMITTED.

FRAMING

- ALL BEARING HEADERS TO BE (2) 2x6 SUPPORTED W/ MIN (1) JACK STUD AND (1) KING STUD EACH END, UNO.
- ALL NON-BEARING HEADERS TO BE (2) 2x4, UNO.
- NON-BEARING INTERIOR WALLS NOT MORE THAN 10' NOMINAL HEIGHT AND NOT SHOWN AS BRACED WALLS MAY BE FRAMED WITH 2x4 STUDS @ 24" OC.
- SOLID BLOCKING TO BE PROVIDED AT ALL POINT LOADS THROUGH FLOOR LEVELS TO THE FOUNDATION OR TO OTHER STRUCTURAL COMPONENTS.
- ALL BEAMS SPECIFIED ARE MINIMUM SIZES ONLY. LARGER MEMBERS MAY SUBSTITUTED AS NEEDED FOR EASE OF CONSTRUCTION.
- ALL EXTERIOR WALLS TO BE FULLY SHEATHED WITH 7/16" OSB.
- PORCH / PATIO COLUMNS TO BE 4x4 MINIMUM PRESSURE-TREATED LUMBER.
 - ATTACH PORCH COLUMNS TO SLAB / FDN WALL USING ABA, ABU, ABW, OR CPT SIMPSON POST BASES TO FIT COLUMN SIZES NOTED ON PLAN -OR- ANY OTHER COLUMN CONNECTION WITH 500# UPLIFT CAPACITY.
 - ATTACH PORCH COLUMNS TO PORCH BEAMS USING AC OR BC SIMPSON POST CAPS TO FIT COLUMN SIZES NOTED ON PLAN -OR- ANY OTHER COLUMN CONNECTION WITH 500# UPLIFT CAPACITY.
 - TRIM OUT COLUMN(S) AND BEAM(S) PER BUILDER AND DETAILS.
- ALL ENGINEERED WOOD PRODUCTS (LVL, PSL, LSL, ETC.) SHALL BE INSTALLED WITH CONNECTIONS PER MANUFACTURER SPECIFICATIONS.
- ENGINEERED WOOD FLOOR SYSTEMS AND ROOF TRUSS SYSTEMS:
 - SHOP DRAWINGS FOR THE SYSTEMS SHALL BE PROVIDED TO THE ENGINEER OF RECORD FOR REVIEW AND COORDINATION BEFORE CONSTRUCTION.
 - TRUSS PROFILES SHALL BE SEALED BY THE TRUSS MANUFACTURER.
 - INSTALLATION OF THE SYSTEMS SHALL BE PER MANUFACTURER'S INSTRUCTIONS.
 - TRUSS LAYOUT AND PLACEMENT BY MANUFACTURER TO COINCIDE WITH THE SUPPORT LOCATIONS SHOWN IN THESE DRAWINGS.
- ALL BEAMS TO BE CONTINUOUSLY SUPPORTED Laterally AND SHALL BEAR FULL WIDTH ON THE SUPPORTING WALLS OR COLUMNS INDICATED, WITH A MINIMUM OF THREE STUDS, UNO.
- ALL STEEL BEAMS TO BE SUPPORTED AT EACH END WITH A MIN BEARING LENGTH OF 3 1/2" AND FULL FLANGE WIDTH. BEAMS MUST BE ATTACHED AT EACH END WITH A MINIMUM OF FOUR 16d NAILS OR TWO 1/2" x 4" LAG SCREWS, UNO.
- STEEL FLITCH BEAMS TO BE BOLTED TOGETHER USING (2) ROWS OF 1/2" DIAMETER BOLTS (ASTM 307) WITH WASHERS PLACED UNDER THE THREADED END OF THE BOLT. BOLTS TO BE SPACED AT 24" OC (MAX) AND STAGGERED TOP AND BOTTOM OF BEAM (2" EDGE DISTANCE), WITH TWO BOLTS TO BE LOCATED AT 6" FROM EACH END OF FLITCH BEAM.
- WHEN A 4-PLY LVL BEAM IS USED, ATTACH WITH (1) 1/2" DIAMETER BOLT, 12" OC, STAGGERED TOP AND BOTTOM, 1 1/2" MIN FROM ENDS. ALTERNATE EQUIVALENT ATTACHMENT METHOD MAY BE USED, SUCH AS SDS, SDW, OR TRUSSLOK SCREWS (SEE MANUFACTURER SPECIFICATIONS).
- FOR STUD COLUMNS OF 4-OR-MORE STUDS, INSTALL SIMPSON STRONG-TIE CS16 STRAPS ACROSS STUDS @ 30" OC, 6" MAX FROM PLATES, ON INSIDE FACE OF COLUMN (EXTERIOR WALL), ON BOTH FACES OF COLUMN (INTERIOR WALL).
- FLOOR JOISTS ADJACENT AND PARALLEL TO THE EXTERIOR FOUNDATION WALL SHALL BE PROVIDED WITH FULL-DEPTH SOLID BLOCKING, NOT LESS THAN TWO (2) INCHES NOMINAL IN THICKNESS, PLACED PERPENDICULAR TO THE JOIST AT SPACING NOT MORE THAN FOUR (4) FEET. THE BLOCKING SHALL BE NAILED TO THE FLOOR SHEATHING, THE SILL PLATE, THE JOIST, AND THE EXTERIOR RIM JOIST / BOARD.



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GENERAL NOTES

GN1.0

| FASTENER SCHEDULE | | |
|----------------------------------------------------------------------------|--------------------------------------------------------------------|--------------------------------------------------------------------|
| CONNECTION | 3" x 0.131" NAIL | 3" x 0.120" NAIL |
| JOIST TO SILL PLATE | (4) TOE NAILS | (4) TOE NAILS |
| SOLE PLATE TO JOIST / BLOCKING | NAILS @ 8" OC (typical) (4) PER 16" SPACE (at braced panels) | NAILS @ 8" OC (typical) (4) PER 16" SPACE (at braced panels) |
| STUD TO SOLE PLATE | (4) TOE NAILS | (4) TOE NAILS |
| TOP OR SOLE PLATE TO STUD | (3) FACE NAILS | (4) FACE NAILS |
| RIM JOIST OR BAND JOIST TO TOP PLATE OR SILL PLATE | TOE NAILS @ 6" OC | TOE NAILS @ 4" OC |
| BLOCKING BETWEEN JOISTS TO TOP PLATE OR SILL PLATE | (4) TOE NAILS | (4) TOE NAILS |
| DOUBLE STUD | NAILS @ 8" OC | NAILS @ 8" OC |
| DOUBLE TOP PLATES | NAILS @ 12" OC | NAILS @ 12" OC |
| DOUBLE TOP PLATES LAP (24" MIN LAP LENGTH) | (12) NAILS IN LAPPED AREA, EA SIDE OF JOINT | (12) NAILS IN LAPPED AREA, EA SIDE OF JOINT |
| TOP PLATE LAP AT CORNERS AND INTERSECTING WALLS | (3) FACE NAILS | (3) FACE NAILS |
| OPEN-WEB TRUSS BOTTOM CHORD TO TOP PLATES OR SILL PLATE (PARALLEL TO WALL) | NAILS @ 6" OC | NAILS @ 4" OC |
| BOTTOM CHORD OF TRUSS TO TOP PLATES OR SILL PLATE (PERPENDICULAR TO WALL) | (3) TOE NAILS | (3) TOE NAILS |

SEE TABLE R002.3(1) FOR ADDITIONAL STRUCTURAL-MEMBER FASTENING REQUIREMENTS.

DETAILS AND NOTES ON DRAWINGS GOVERN.


BALLOON WALL FRAMING SCHEDULE

| FRAMING MEMBER SIZE | MAX HEIGHT (PLATE TO PLATE) 116 MPH ULTIMATE DESIGN WIND SPEED |
|---------------------|-------------------------------------------------------------------|
| 2x4 @ 16" OC | 10'-0" |
| 2x4 @ 12" OC | 12'-0" |
| 2x6 @ 16" OC | 15'-0" |
| 2x6 @ 12" OC | 17'-9" |
| 2x8 @ 16" OC | 19'-0" |
| 2x8 @ 12" OC | 22'-0" |
| (2) 2x4 @ 16" OC | 14'-6" |
| (2) 2x4 @ 12" OC | 17'-0" |
| (2) 2x6 @ 16" OC | 21'-6" |
| (2) 2x6 @ 12" OC | 25'-0" |
| (2) 2x8 @ 16" OC | 27'-0" |
| (2) 2x8 @ 12" OC | 31'-0" |


- ALL HEIGHTS ARE MEASURED SUBFLOOR TO TOP OF WALL PLATE.
- WHEN SPLIT-FRAMED WALLS ARE USED FOR HEIGHTS OVER 12', THE CONTRACTOR SHALL ADD 6' MINIMUM OF CS16 COIL STRAPPING (FULLY NAILED), CENTERED OVER THE WALL BREAK.
- FINGER-JOINTED MEMBERS MAY BE USED FOR CONTINUOUS HEIGHTS WHERE TRADITIONALLY MILLED LUMBER LENGTHS ARE LIMITED.
- FOR GREATER WIND SPEED, SEE ENGINEERED SOLUTION FOR CONDITION IN DRAWINGS.

ROOF SYSTEMS

TRUSSED ROOF - STRUCTURAL NOTES

- PROVIDE CONTINUOUS BLOCKING THROUGH STRUCTURE FOR ALL POINT LOADS.
-  DENOTES OVER-FRAMED AREA
- MINIMUM 7/16" OSB ROOF SHEATHING
- TRUSS LAYOUT AND PLACEMENT BY MANUFACTURER TO COINCIDE WITH THE SUPPORT LOCATIONS SHOWN. TRUSS PROFILES SHALL BE SEALED BY THE TRUSS MANUFACTURER. TRUSS PLANS TO BE COORDINATED WITH THE SEALED STRUCTURAL DRAWINGS. INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- MANUFACTURER TO PROVIDE REQUIRED UPLIFT CONNECTION.
- PROVIDE H2.5A (MINIMUM) OR EQUIVALENT AT EACH TRUSS-TO-TOP PLATE CONNECTION AT OVER-FRAMED AREAS, UNLESS NOTED OTHERWISE.
- UPLIFT CONNECTION TO BE CARRIED THROUGH TO FLOOR SYSTEM.

STICK-FRAMED ROOF - STRUCTURAL NOTES

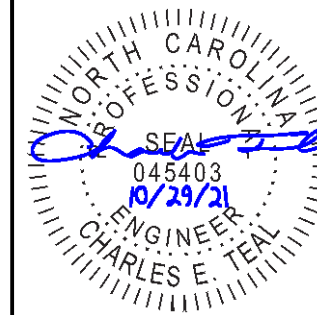
- PROVIDE 2x4 COLLAR TIES AT 48" OC AT UPPER THIRD OF RAFTERS, UNLESS NOTED OTHERWISE.
- FUR RIDGES FOR FULL RAFTER CONTACT.
- PROVIDE CONTINUOUS BLOCKING THROUGH STRUCTURE FOR ALL POINT LOADS.
-  DENOTES OVER-FRAMED AREA
- MINIMUM 7/16" OSB ROOF SHEATHING
- PROVIDE 2x4 RAFTER TIES AT 16" OC AT 45° BETWEEN RAFTERS AND CEILING JOISTS. USE (4) 16d NAILS AT EACH CONNECTION. RAFTER TIES MAY BE SPACED AT 48" OC AT LOCATIONS WHERE NO KNEE WALLS ARE INSTALLED.
- PROVIDE H2.5A (MINIMUM) OR EQUIVALENT AT EACH RAFTER-TO-TOP PLATE CONNECTION AT OVER-FRAMED AREAS, UNLESS NOTED OTHERWISE.
- UPLIFT CONNECTION TO BE CARRIED THROUGH TO FLOOR SYSTEM.

BRICK VENEER LINTEL SCHEDULE

| SPAN | STEEL ANGLE SIZE | END BEARING LENGTH |
|-----------|-------------------------------------------------------------------------------|----------------------|
| UP TO 42" | L3-1/2"x3-1/2"x1/4" | 8" (MIN. @ EACH END) |
| UP TO 72" | L6"x4"x5/16" (LLV) | 8" (MIN. @ EACH END) |
| OVER 72" | L6"x4"x5/16" (LLV) ATTACH LINTEL w/ 1/2" THRU BOLT @ 12" OC, 3" FROM EACH END | |

* FOR QUEEN BRICK: LINTELS AT THIS CONDITION MAY BE 5"x3-1/2"x5/16"

NOTE: BRICK LINTELS AT SLOPED AREAS TO BE 4"x3-1/2"x1/4" STEEL ANGLE WITH 16D NAILS IN 3/16" HOLES IN 4" ANGLE LEG AT 12" OC TO TRIPLE RAFTER. WHEN THE SLOPE EXCEEDS 4:12 A MINIMUM OF 3"x3"x1/4" PLATES SHALL BE WELDED AT 24" OC ALONG THE STEEL ANGLE.

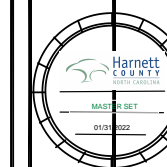


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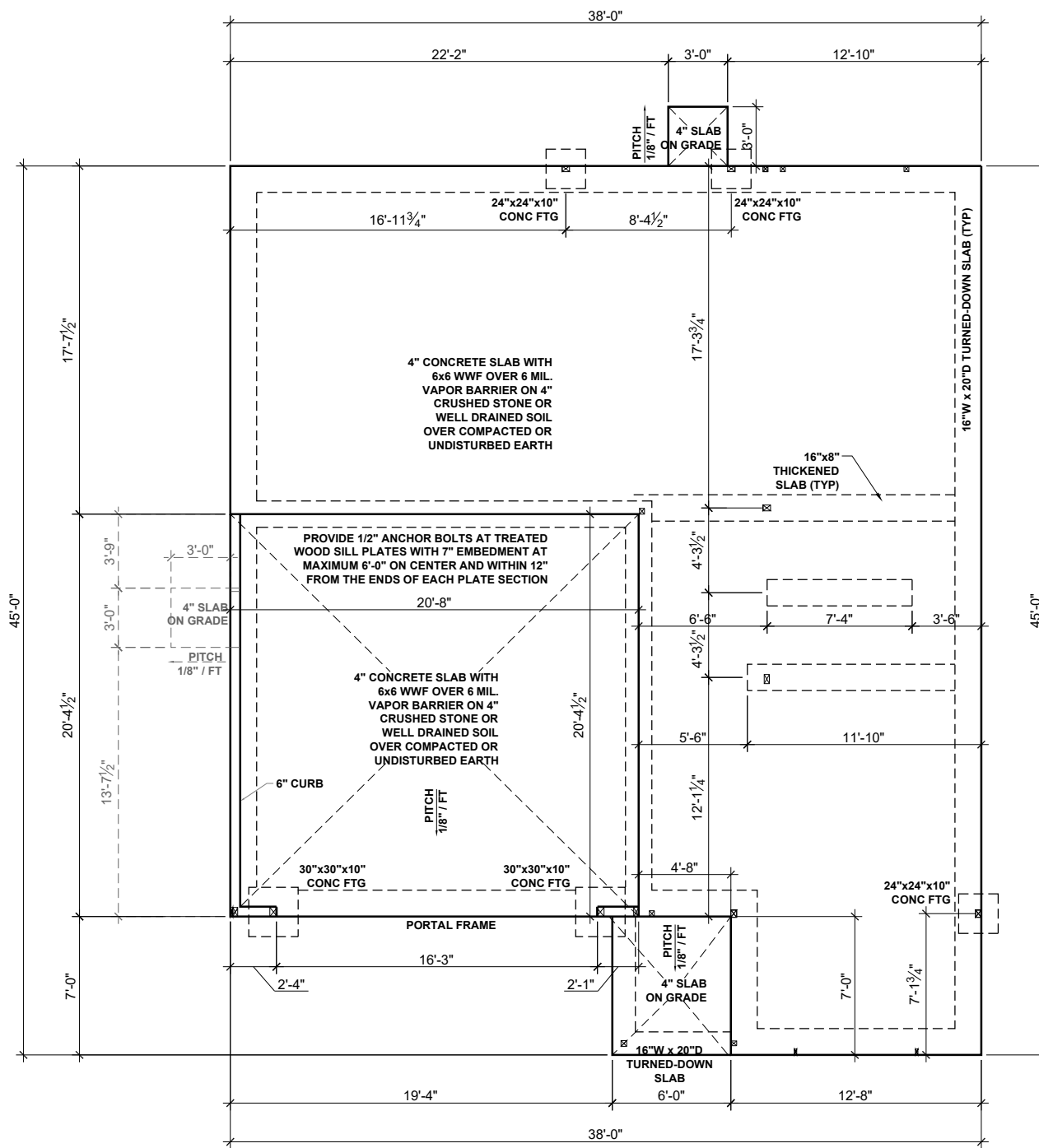
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GENERAL NOTES

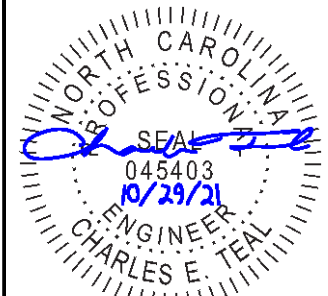
GN1.1



BEAM & POINT LOAD LEGEND

| | |
|-----------|------------------------------------------------|
| — | LOAD BEARING WALL |
| - - - | ROOF RAFTER/TRUSS SUPPORT |
| - · - · - | DOUBLE RAFTER / DOUBLE JOIST |
| — | STRUCTURAL BEAM / GIRDER |
| — | WINDOW / DOOR HEADER |
| ⊠ | POINT LOAD TRANSFER |
| ■ | POINT LOAD FROM ABOVE BEARING ON BEAM / GIRDER |

MAT CLT ONLY: ALL FOOTINGS TO HAVE CONTINUOUS (2) #4 REBAR



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Harnett County
 MASTER SET
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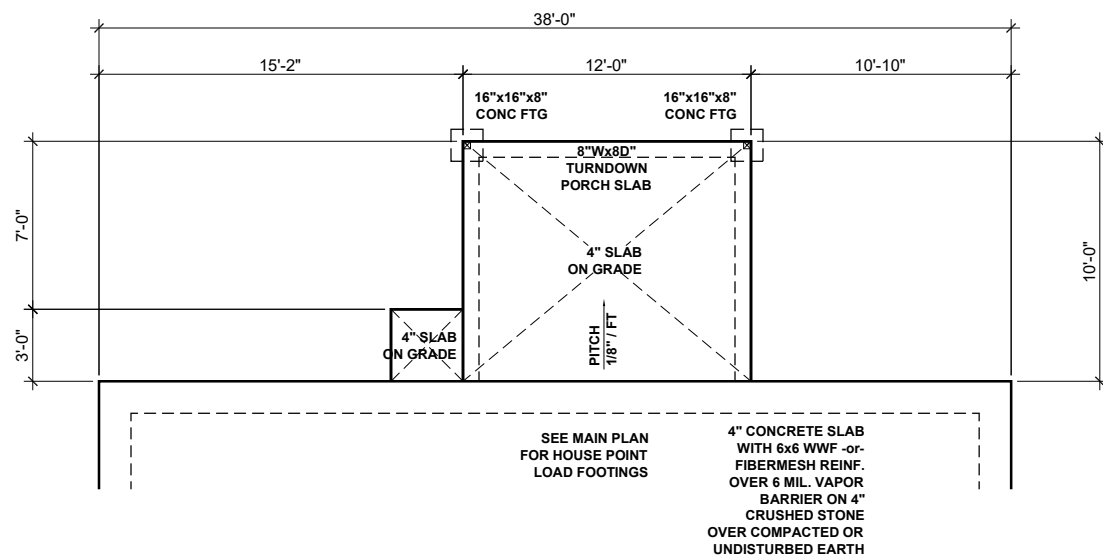
DATE: **10/29/2021** DRAWN BY: **ABS**

SLAB FOUNDATION PLAN

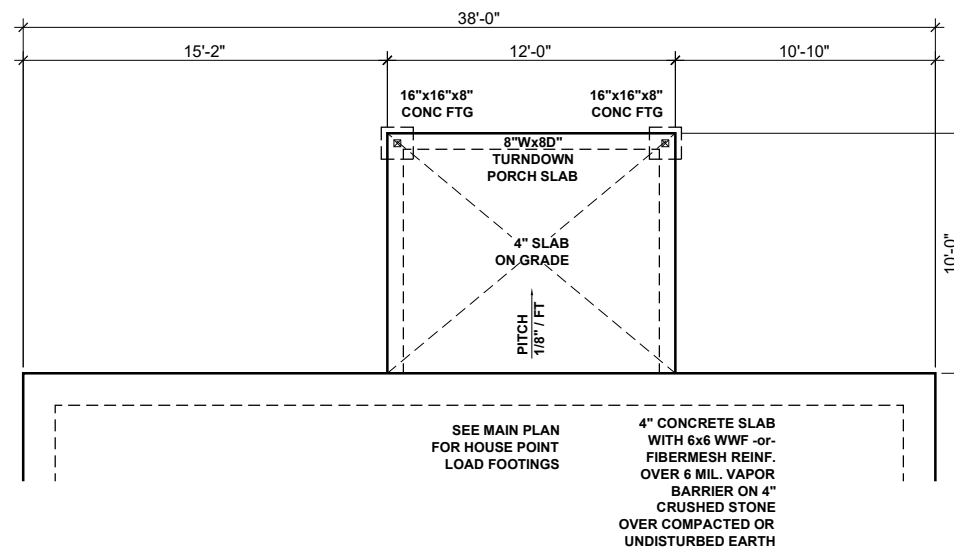
S.10

SLAB FOUNDATION PLAN - FARMHOUSE

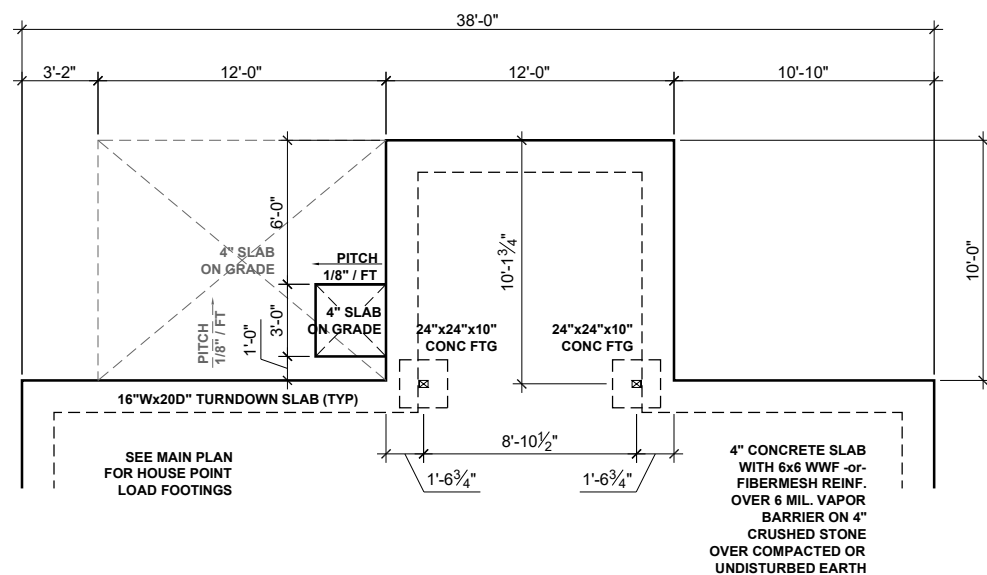
SCALE: 1/8"=1'-0"



SCREENED PORCH - MAT RALEIGH



**COVERED VERANDA - BOTH LOCATIONS
SCREENED PORCH - MAT CHARLOTTE**



SUNROOM FOUNDATION

SCALE: 1/8"=1'-0"

SLAB FOUNDATION OPTIONS - FARMHOUSE

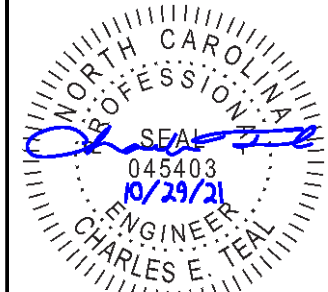
SCALE: 1/8"=1'-0"

BEAM & POINT LOAD LEGEND:

- LOAD BEARING WALL
- ROOF RAFTER/TRUSS SUPPORT
- - - DOUBLE RAFTER / DOUBLE JOIST
- - - STRUCTURAL BEAM / GIRDER
- - - WINDOW / DOOR HEADER
- ☒ POINT LOAD TRANSFER
- POINT LOAD FROM ABOVE BEARING ON BEAM / GIRDER

MAT CLT ONLY: ALL FOOTINGS TO HAVE CONTINUOUS (2) #4 REBAR

SEE FULL PLAN FOR ADDITIONAL INFORMATION



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Harnett County
PLANNING DEPARTMENT
MASTER SET
01/9/2022

CLIENT: **MATTAMY HOMES**
PROJECT: **SHENANDOAH - LH**
LOCATION: **NORTH CAROLINA**

SCALE: 1/8" = 1'-0" FOR 11x17 PAPER, 1/4" = 1'-0" FOR 22x34 PAPER, OR AS NOTED

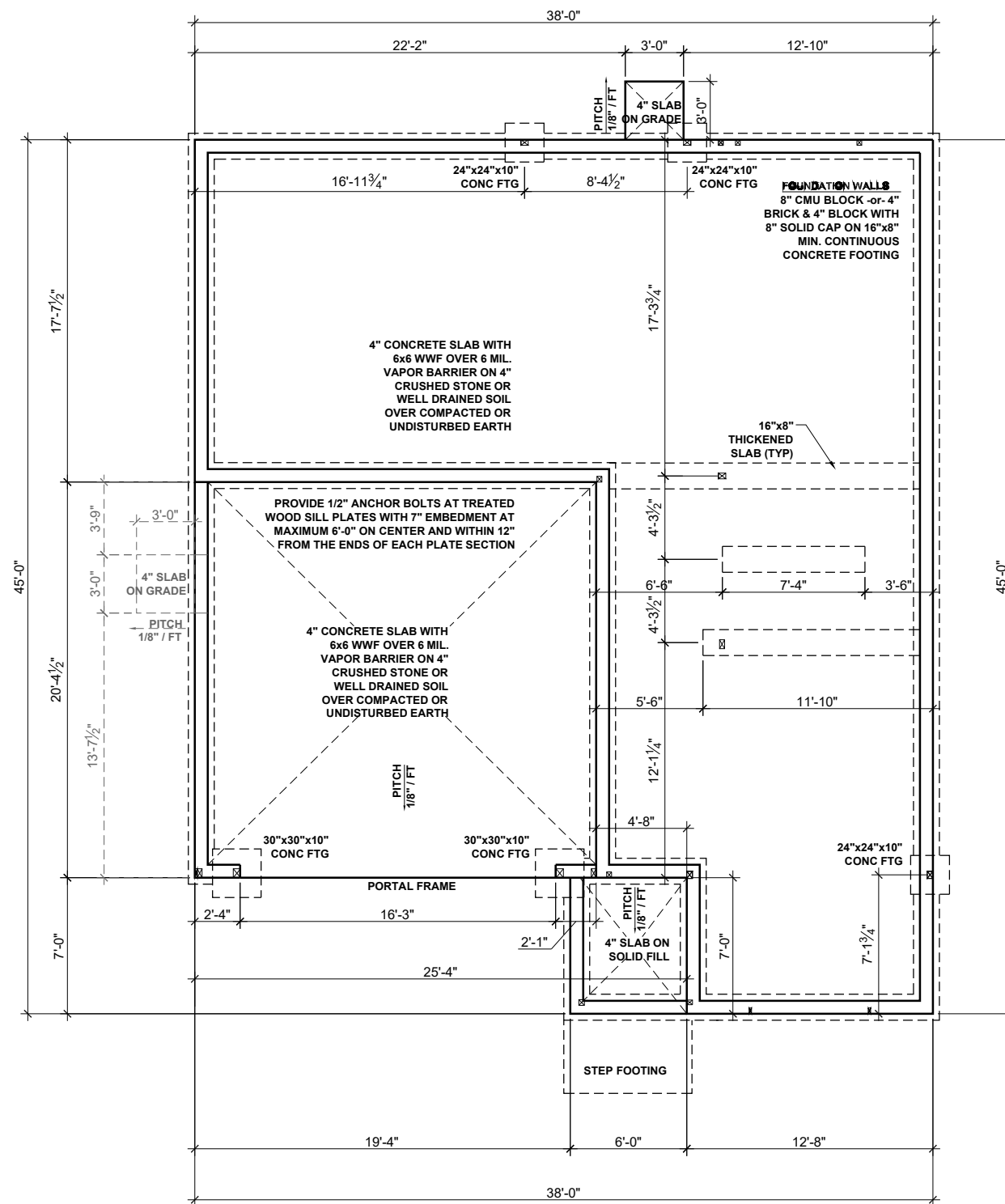


PROJECT NO.: **21901788**

DATE: **10/29/2021** DRAWN BY: **ABS**

SLAB FOUNDATION OPTIONS

S.11



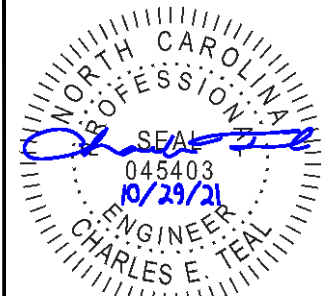
STEM WALL PLAN - FARMHOUSE

SCALE: 1/8"=1'-0"

BEAM & POINT LOAD LEGEND

| | |
|--|------------------------------------------------|
| | LOAD BEARING WALL |
| | ROOF RAFTER/TRUSS SUPPORT |
| | DOUBLE RAFTER / DOUBLE JOIST |
| | STRUCTURAL BEAM / GIRDER |
| | WINDOW / DOOR HEADER |
| | POINT LOAD TRANSFER |
| | POINT LOAD FROM ABOVE BEARING ON BEAM / GIRDER |

MAT CLT ONLY: ALL FOOTINGS TO HAVE CONTINUOUS (2) #4 REBAR



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PROJECT: **SHENANDOAH - LH**

LOCATION: **NORTH CAROLINA**

SCALE: 1/8" = 1'-0" FOR 11x17 PAPER, 1/4" = 1'-0" FOR 22x34 PAPER, OR AS NOTED

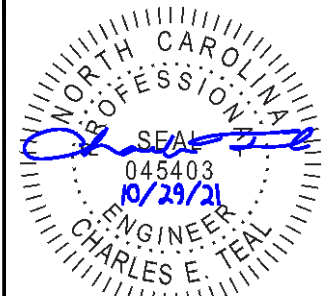


PROJECT NO.: **21901788**

DATE: **10/29/2021** DRAWN BY: **ABS**

STEM WALL FOUNDATION PLAN

S.20

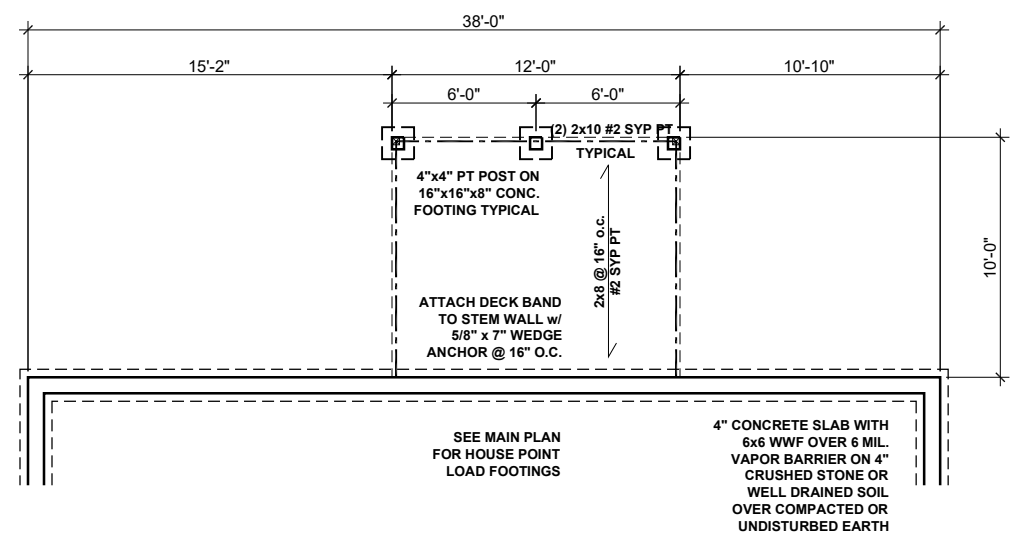


BEAM & POINT LOAD LEGEND

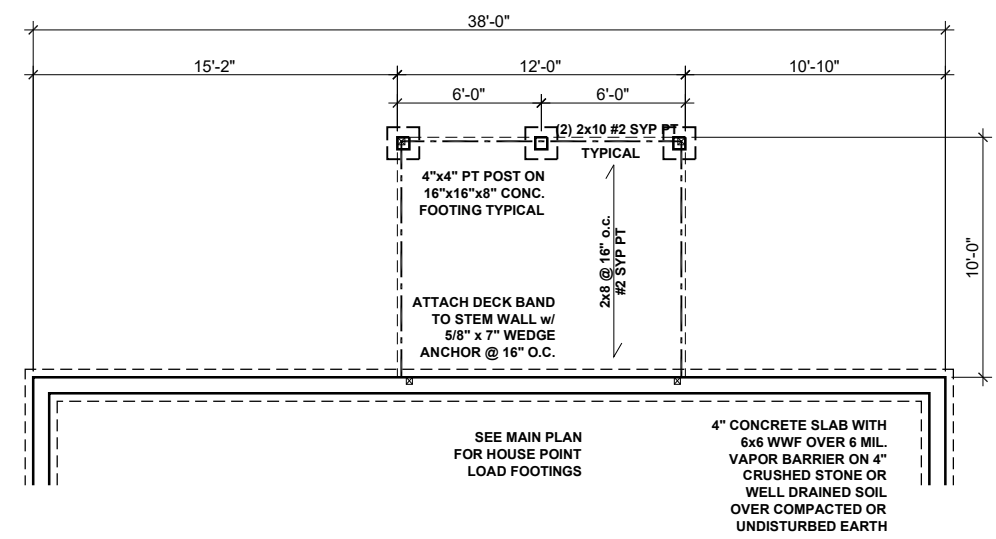
| | |
|-----------|------------------------------------------------|
| --- | LOAD BEARING WALL |
| - - - | ROOF RAFTER/TRUSS SUPPORT |
| - · - · - | DOUBLE RAFTER / DOUBLE JOIST |
| - - - - - | STRUCTURAL BEAM / GIRDER |
| - - - - - | WINDOW / DOOR HEADER |
| □ | POINT LOAD TRANSFER |
| ■ | POINT LOAD FROM ABOVE BEARING ON BEAM / GIRDER |

MAT CLT ONLY: ALL FOOTINGS TO HAVE CONTINUOUS (2) #4 REBAR

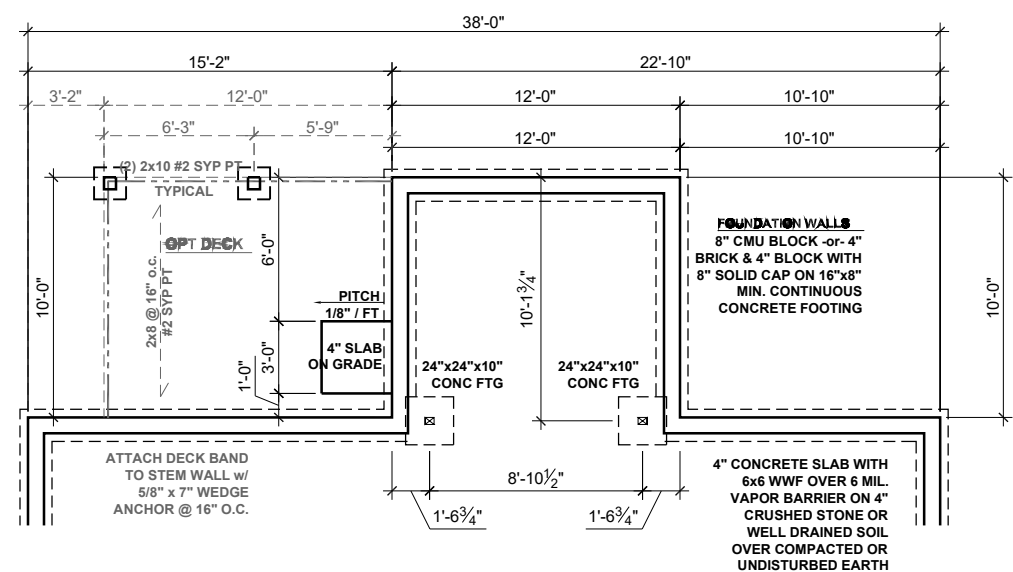
SEE FULL PLAN FOR ADDITIONAL INFORMATION



SCREENED PORCH - MAT RALEIGH

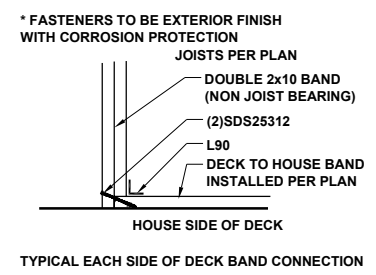


**COVERED VERANDA - BOTH LOCATIONS
SCREENED PORCH - MAT CHARLOTTE**



SUNROOM FOUNDATION

SCALE: 1/8"=1'-0"



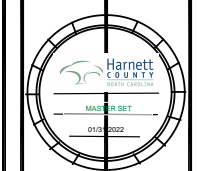
STEM WALL FOUNDATION OPTIONS - FARMHOUSE

SCALE: 1/8"=1'-0"



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 PROJECT: **SHENANDOAH - LH**
 LOCATION: **NORTH CAROLINA**
 SCALE: 1/8" = 1'-0" FOR 11x17 PAPER, 1/4" = 1'-0" FOR 22x34 PAPER, OR AS NOTED

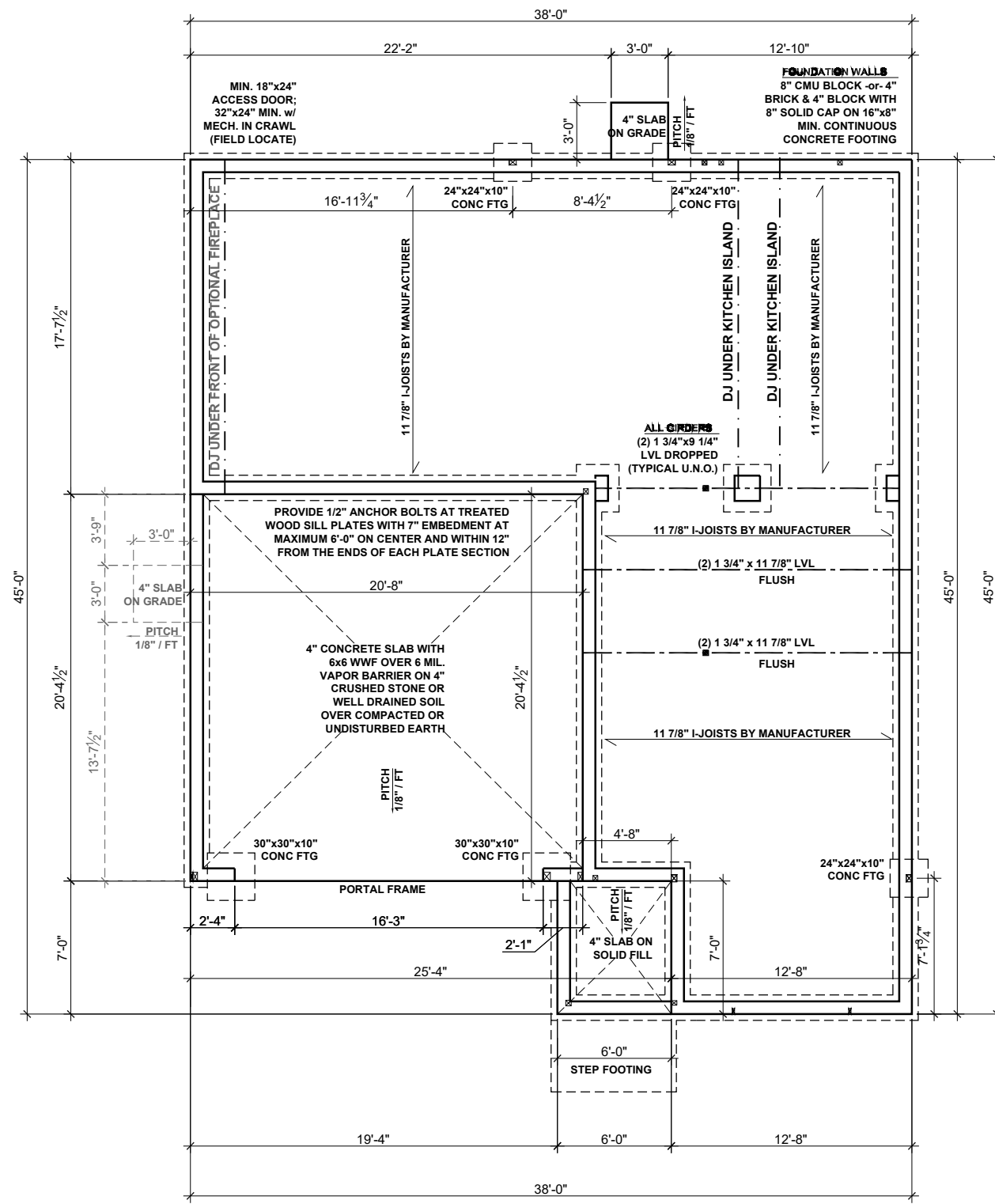


PROJECT NO.: **21901788**

DATE: **10/29/2021** DRAWN BY: **ABS**

STEM WALL FOUNDATION OPTIONS

S.21



CRAWL SPACE FOUNDATION PLAN - FARMHOUSE

SCALE: 1/8"=1'-0"

BEAM & POINT LOAD LEGEND:

| | |
|-----------|------------------------------------------------|
| — | LOAD BEARING WALL |
| - - - | ROOF RAFTER/TRUSS SUPPORT |
| - · - · - | DOUBLE RAFTER / DOUBLE JOIST |
| - - - | STRUCTURAL BEAM / GIRDER |
| - - - | WINDOW / DOOR HEADER |
| □ | POINT LOAD TRANSFER |
| ■ | POINT LOAD FROM ABOVE BEARING ON BEAM / GIRDER |

MAT CLT ONLY: ALL FOOTINGS TO HAVE CONTINUOUS (2) #4 REBAR

CRAWL SPACE VENTILATION

THE MINIMUM NET AREA OF VENTILATION OPENINGS SHALL NOT BE LESS THAN 1 SQUARE FOOT FOR EACH 150 SQUARE FEET OF UNDERFLOOR SPACE AREA, AND ONE SUCH OPENING SHALL BE WITHIN 3 FEET OF EACH CORNER OF THE BUILDING.

EXCEPTION: THE TOTAL AREA OF VENTILATION MAY BE REDUCED TO 1/1500 OF THE UNDERFLOOR AREA WHERE THE GROUND SURFACE IS TREATED WITH AN APPROVED VAPOR RETARDER MATERIAL AND THE REQUIRED OPENINGS ARE PLACED SO AS TO PROVIDE CROSS-VENTILATION.

1112 SQUARE FEET OF TOTAL CRAWL SPACE / 150 =

7.14 SQUARE FEET OF NET-FREE VENTILATION REQUIRED

FLOOR FRAMING TO BE 11 7/8" DEEP TJI 210 SERIES OR EQUAL, 19.2" OC MAXIMUM SPACING

**REFER TO I-JOIST EQUIVALENCE CHART ON I-JOIST DETAIL SHEET FOR SUBSTITUTION OF MANUFACTURER SERIES

FOUNDATION STRUCTURAL NOTES:

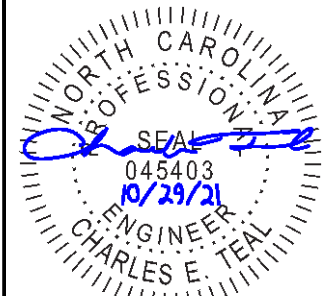
1. CONCRETE BLOCK PIER SIZE SHALL BE:

| SIZE | HOLLOW MASONRY | SOLID MASONRY |
|-------|----------------|-------------------|
| 8x16 | UP TO 32" HIGH | UP TO 5'-0" HIGH |
| 12x16 | UP TO 48" HIGH | UP TO 9'-0" HIGH |
| 16x16 | UP TO 64" HIGH | UP TO 12'-0" HIGH |
| 24x24 | UP TO 96" HIGH | |

WITH 30" x 30" x 10" CONCRETE FOOTING, UNO.

8"x16" PIERS AT FOUNDATION WALL SUPPORTING DROPPED GIRDER TO HAVE A 30"x10"x8" FOOTING PROJECTION FROM THE MAIN WALL FOOTING.

EXTRA JOISTS UNDER ALL NON LOAD BEARING WALLS THAT RUN AT LEAST 30% OF THE JOIST SPAN.



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MATTAMY HOMES

CLIENT: **MATTAMY HOMES**

PROJECT: **SHENANDOAH - LH**

LOCATION: **NORTH CAROLINA**

SCALE: 1/8" = 1'-0" FOR 11x17 PAPER, 1/4" = 1'-0" FOR 22x34 PAPER, OR AS NOTED

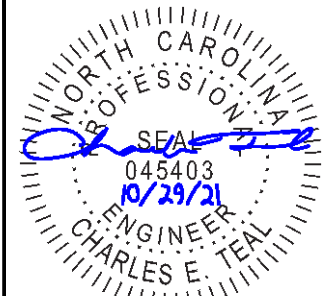


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CRAWL SPACE FOUNDATION PLAN

S.30

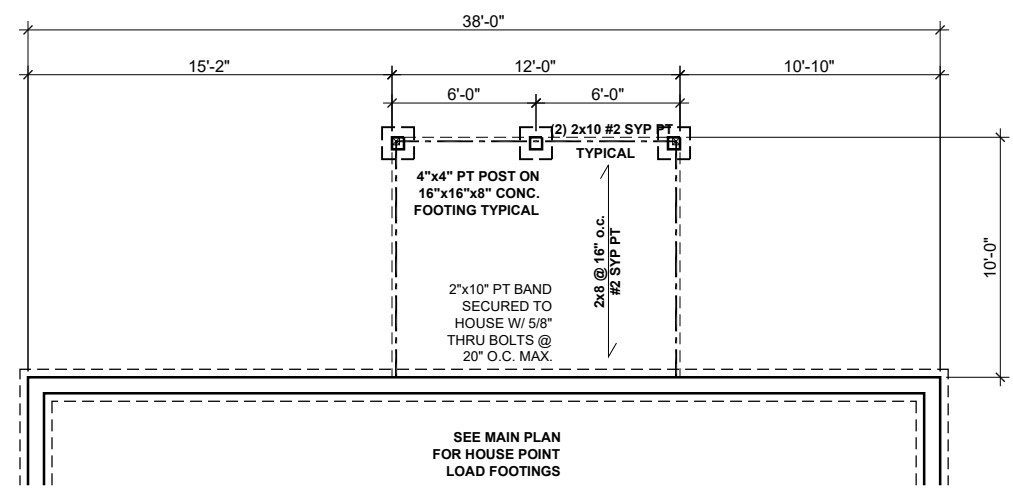


BEAM & POINT LOAD LEGEND

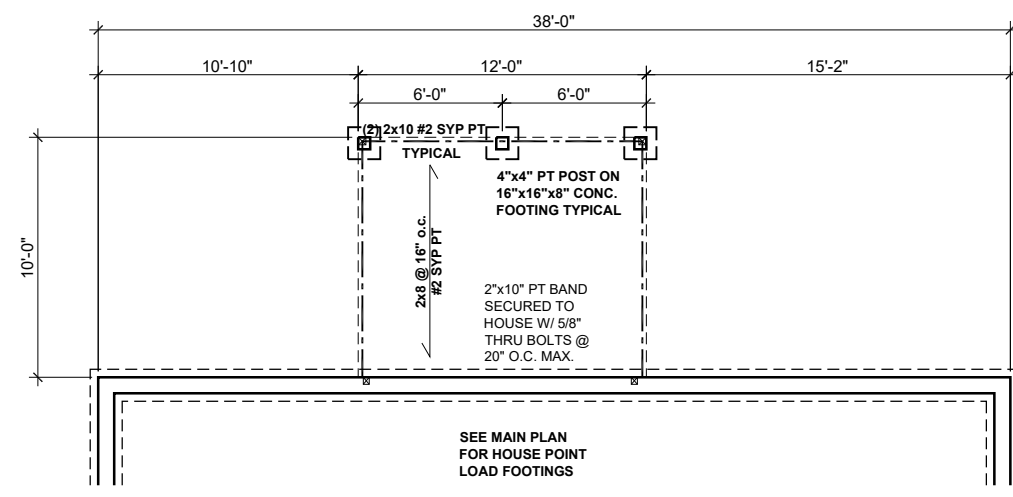
| | |
|-----------|------------------------------------------------|
| --- | LOAD BEARING WALL |
| - - - | ROOF RAFTER/TRUSS SUPPORT |
| - · - · - | DOUBLE RAFTER / DOUBLE JOIST |
| --- | STRUCTURAL BEAM / GIRDER |
| --- | WINDOW / DOOR HEADER |
| □ | POINT LOAD TRANSFER |
| ■ | POINT LOAD FROM ABOVE BEARING ON BEAM / GIRDER |

MAT CLT ONLY: ALL FOOTINGS TO HAVE CONTINUOUS (2) #4 REBAR

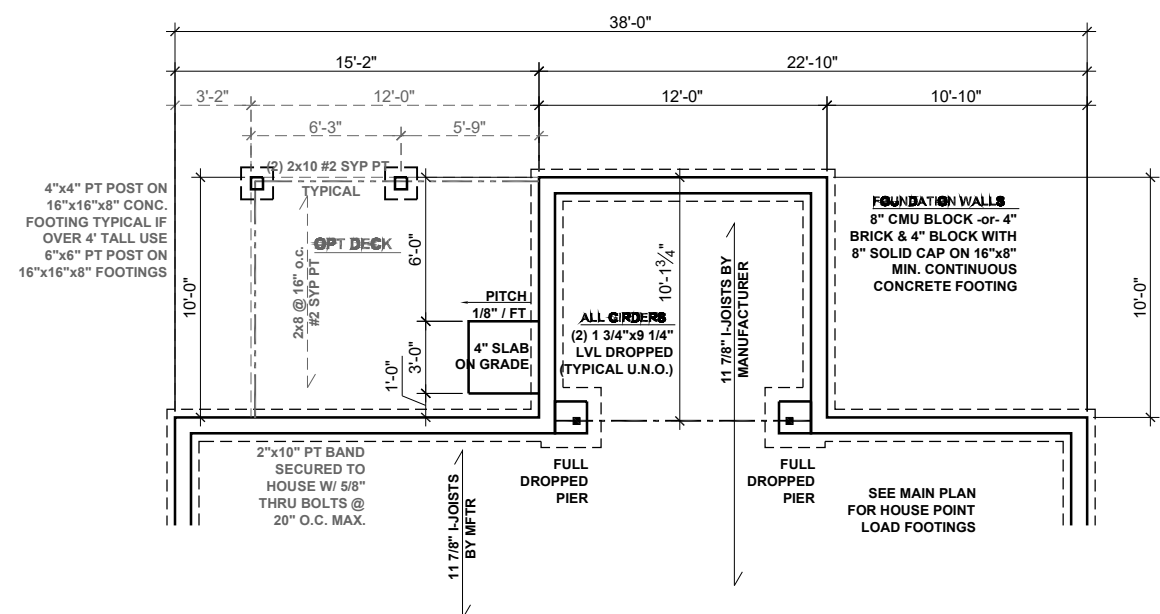
SEE FULL PLAN FOR ADDITIONAL INFORMATION



SCREENED PORCH - MAT RALEIGH

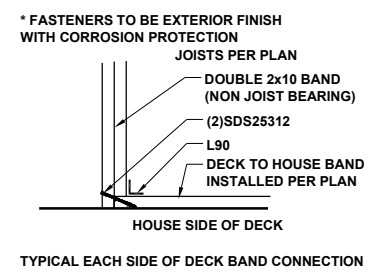


**COVERED VERANDA - BOTH LOCATIONS
SCREENED PORCH - MAT CHARLOTTE**



SUNROOM FOUNDATION

SCALE: 1/8"=1'-0"



CRAWL SPACE FOUNDATION OPTIONS - FARMHOUSE

SCALE: 1/8"=1'-0"



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PROJECT: **SHENANDOAH - LH**
LOCATION: **NORTH CAROLINA**

SCALE: 1/8" = 1'-0" FOR 11x17 PAPER, 1/4" = 1'-0" FOR 22x34 PAPER, OR AS NOTED

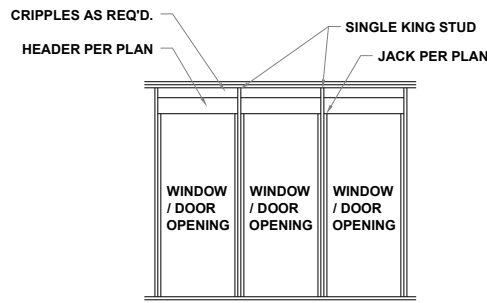


PROJECT NO.: **21901788**

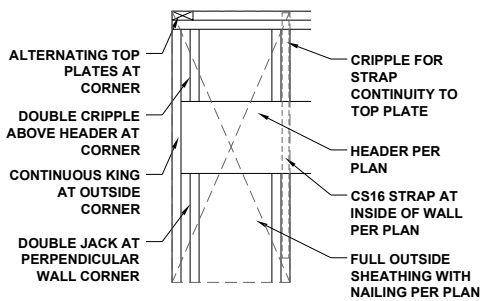
DATE: **10/29/2021** DRAWN BY: **ABS**

CRAWL SPACE FOUNDATION OPTIONS

S.31

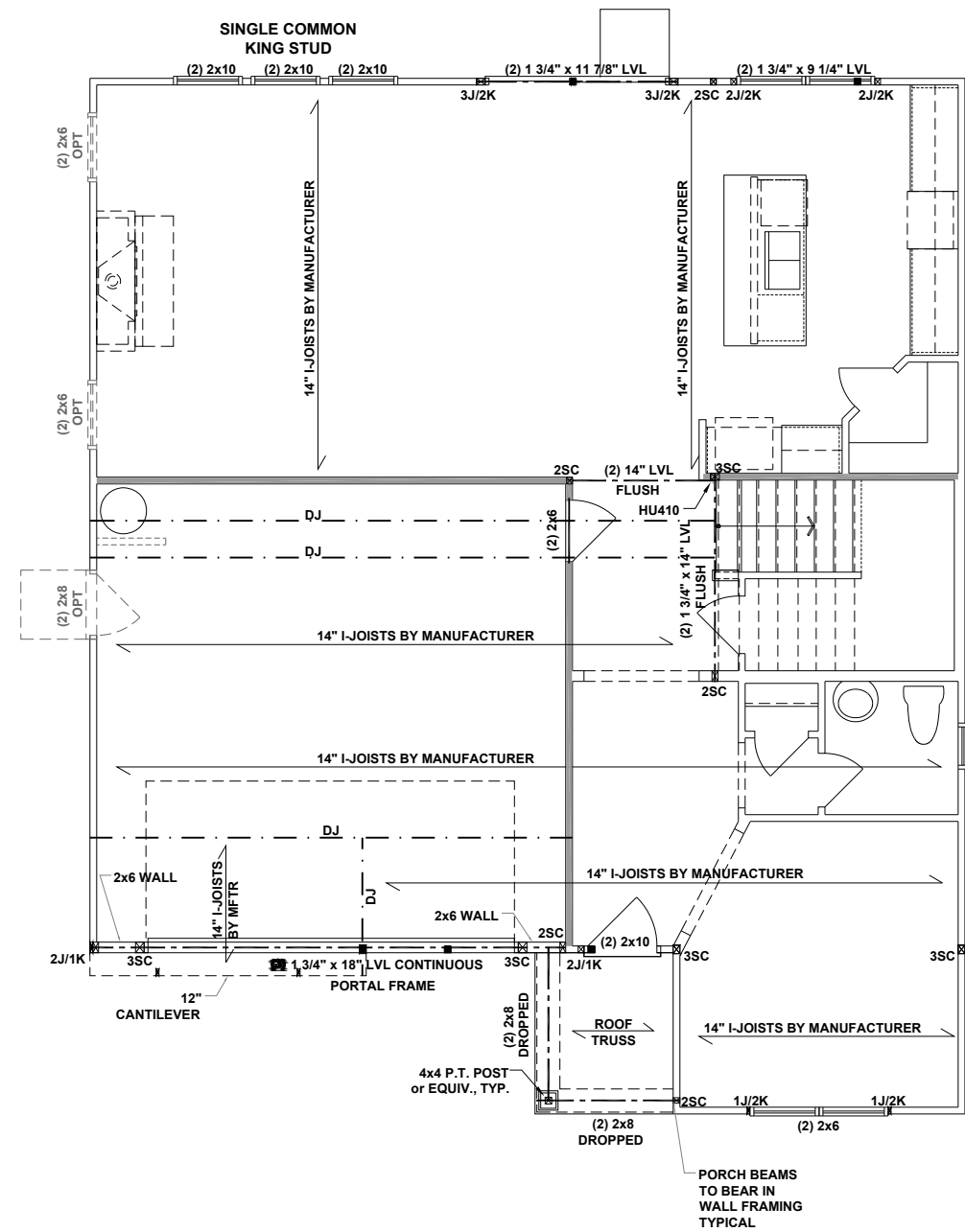


MULTI HEADER DETAIL
SINGLE COMMON KING STUD NTS



PORTAL FRAMED OR
ENGINEERED OPENING
OUTSIDE CORNER DETAIL

NTS



READY TO PRINT LOAD LEGEND

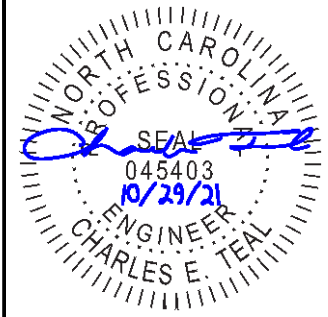
| | |
|--|------------------------------------------------|
| | LOAD BEARING WALL |
| | ROOF RAFTER/TRUSS SUPPORT |
| | DOUBLE RAFTER / DOUBLE JOIST |
| | STRUCTURAL BEAM / GIRDER |
| | WINDOW / DOOR HEADER |
| | POINT LOAD TRANSFER |
| | POINT LOAD FROM ABOVE BEARING ON BEAM / GIRDER |

- STRUCTURAL FRAMING NOTES - SEE GENERAL NOTES SHEET FOR ADDITIONAL REQUIREMENTS**
- ALL FRAMING TO BE #2 SPF MINIMUM.
 - ALL BEARING HEADERS TO BE (2) 2x6 SUPPORTED w/ MIN (1) JACK AND (1) KING EACH END, UNO.
 - EXTERIOR WALL OPENINGS OVER 3' TO HAVE MULTIPLE KING STUDS AS NOTED ON PLAN.
 - ALL NON-BEARING HEADERS TO BE (2) 2x4 (1) J / (1) K, UNO.
 - PROVIDE CONTINUOUS BLOCKING THROUGH STRUCTURE FOR ALL POINT LOADS.
 - ALL HANGERS AND CONNECTORS SPECIFIED ARE TO BE SIMPSON STRONG-TIE OR EQUIVALENT.
 - ALL BEAMS SPECIFIED ARE MINIMUM SIZES ONLY. LARGER MEMBERS MAY SUBSTITUTED AS NEEDED FOR EASE OF CONSTRUCTION. MINIMUM BEAM SUPPORT IS (1) 2x4 STUD.
 - ALL EXTERIOR WALLS TO BE FULLY SHEATHED WITH 7/16" OSB.
 - FRONT PORCH COLUMNS TO BE MIN 4x4 PT ATTACHED AT TOP AND BOTTOM USING SIMPSON (OR EQUIV) COLUMN BASE OR SST A24 BRACKETS. TRIM OUT PER BUILDER.
 - PORCH COLUMNS TO BE MIN 4x4 PT ATTACHED AT BOTTOM USING SIMPSON (OR EQUIV) ABA44 AND AT TOP USING CS 16 STRAPPING (12" MIN) TO PORCH HEADER / BAND.
 - WHEN A 4-PLY LVL IS USED, ATTACH WITH (1) 1/2" Ø BOLT 12" OC STAGGERED, TOP AND BOTTOM, 1-1/2" MIN FROM ENDS. ALTERNATE ATTACHMENT EQUIVALENT METHOD MAY BE USED, SUCH AS SDW OR TRUSSLOK SCREWS (SEE MANUFACTURER'S SPECIFICATIONS).
 - FOR STUD COLUMNS OF 4 OR MORE, INSTALL SST CS16 STRAPS @ 30" OC, 6" MAX FROM PLATES, ON INSIDE FACE OF COLUMN (EXTERIOR WALL), ON BOTH FACES OF COLUMN (INTERIOR WALL).

****REFER TO I-JOIST EQUIVALENCE CHART ON I-JOIST DETAIL SHEET FOR SUBSTITUTION OF MANUFACTURER SERIES**

FLOOR FRAMING TO BE 14" DEEP TJI 210 SERIES OR EQUAL, 19.2" OC MAXIMUM SPACING

ALL FLUSH BEAMS TO BE DIRECTLY SUPPORTED BY (2) 2X STUDS UNLESS OTHERWISE NOTED. STUD COLUMNS TO BE SUPPORTED BY SOLID BLOCKING TO FOUNDATION OR TO BEARING COMPONENT BELOW.

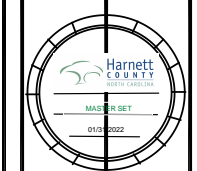


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 PROJECT: **SHENANDOAH - LH**
 LOCATION: **NORTH CAROLINA**

SCALE: 1/8" = 1'-0" FOR 11x17 PAPER, 1/4" = 1'-0" FOR 22x34 PAPER, OR AS NOTED



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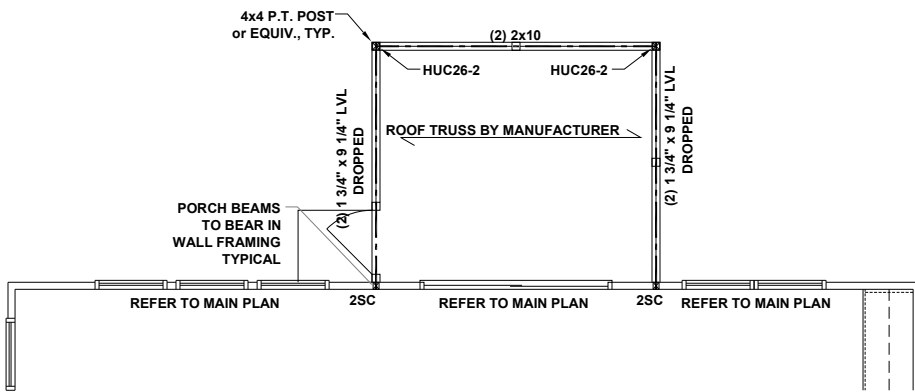
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FIRST FLOOR I-JOIST CEILING FRAMING PLAN

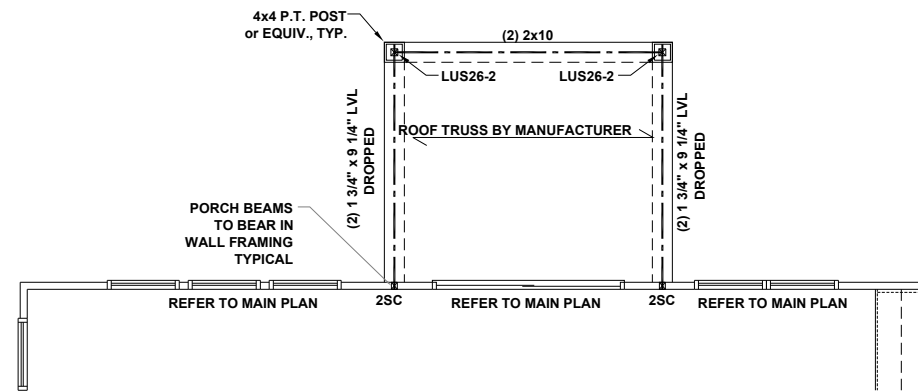
S1.0

FIRST FLOOR CEILING FRAMING PLAN - FARMHOUSE

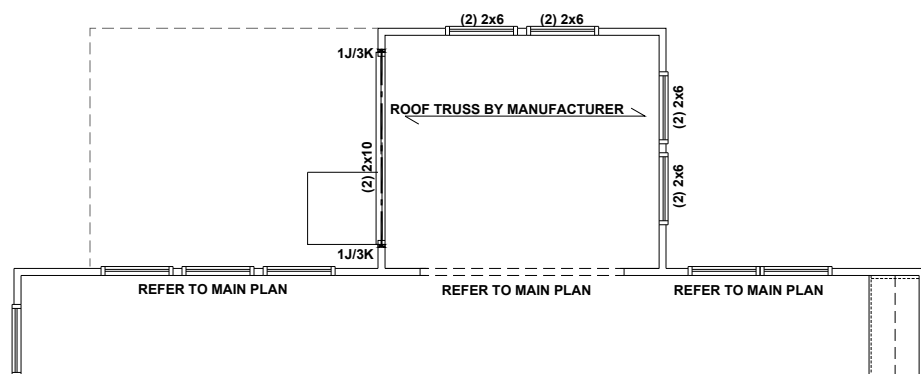
SCALE: 1/8"=1'-0"



SCREENED PORCH - MAT RALEIGH



**COVERED PORCH - BOTH LOCATIONS
SCREENED PORCH - MAT CHARLOTTE**



SUNROOM

SCALE: 1/8"=1'-0"

FIRST FLOOR CEILING FRAMING OPTIONS - FARMHOUSE

SCALE: 1/8"=1'-0"

BEAM & POINT LOAD LEGEND

| | |
|--|------------------------------------------------|
| | LOAD BEARING WALL |
| | ROOF RAFTER/TRUSS SUPPORT |
| | DOUBLE RAFTER / DOUBLE JOIST |
| | STRUCTURAL BEAM / GIRDER |
| | WINDOW / DOOR HEADER |
| | POINT LOAD TRANSFER |
| | POINT LOAD FROM ABOVE BEARING ON BEAM / GIRDER |

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 - PORCH COLUMNS TO BE MIN 4x4 PT ATTACHED AT BOTTOM USING SIMPSON (OR EQUIV) ABA44 AND AT TOP USING CS 16 STRAPPING (12" MIN) TO PORCH HEADER / BAND.
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 - FOR STUD COLUMNS OF 4 OR MORE, INSTALL SST CS16 STRAPS @ 30" OC, 6" MAX FROM PLATES, ON INSIDE FACE OF COLUMN (EXTERIOR WALL), ON BOTH FACES OF COLUMN (INTERIOR WALL).

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MATTAMY HOMES

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LOCATION: **NORTH CAROLINA**

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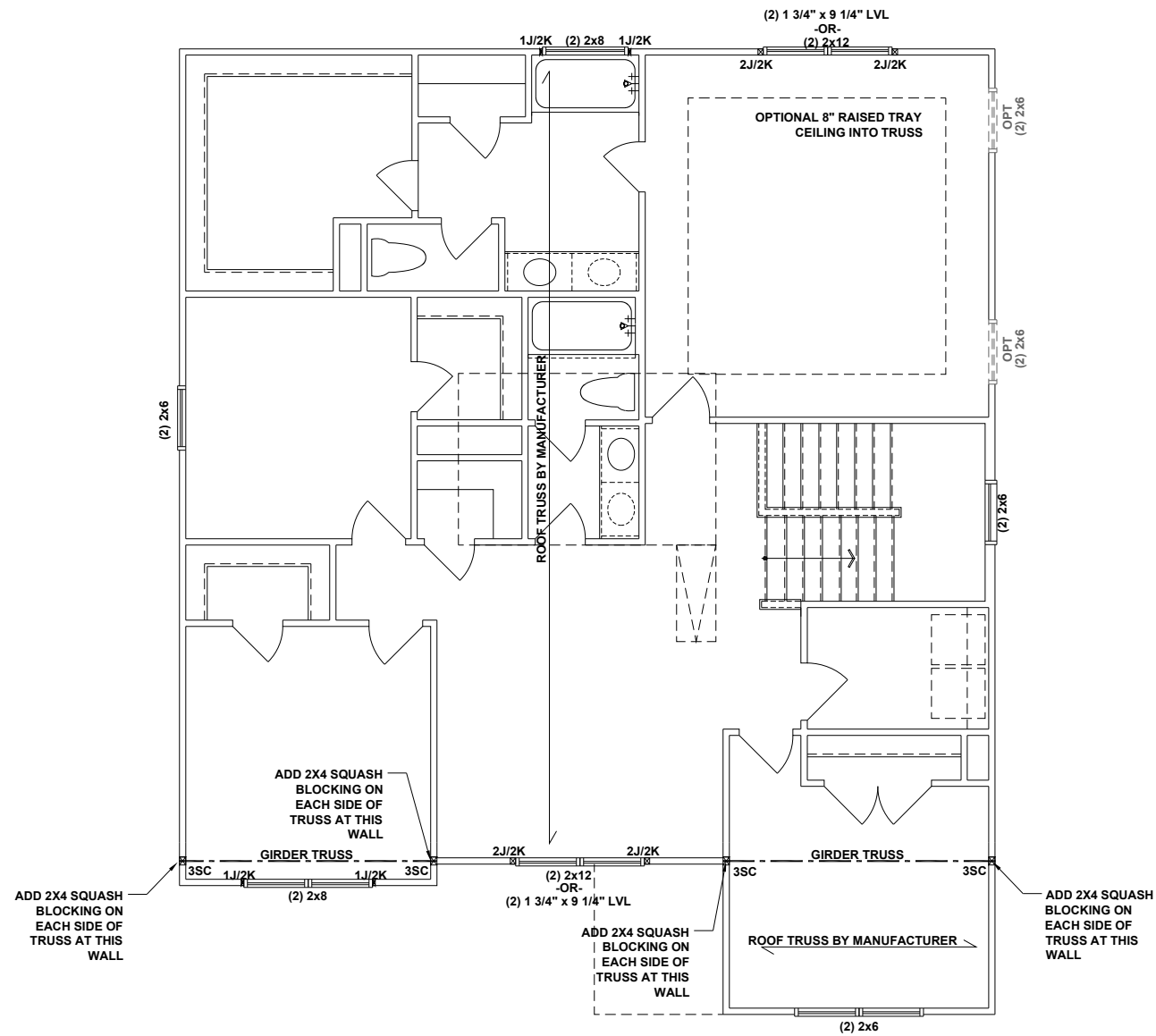


PROJECT NO.: **21901788**

DATE: **10/29/2021** DRAWN BY: **ABS**

**FIRST FLOOR JOIST
CEILING FRAMING OPTIONS**

S1.1



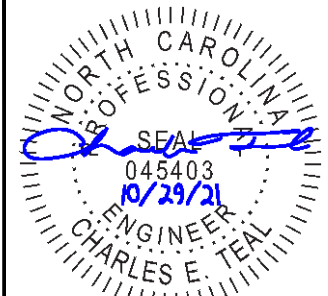
SECOND FLOOR CEILING FRAMING PLAN - FARMHOUSE

SCALE: 1/8"=1'-0"

| BEAM & POINT LOAD LEGEND | |
|--------------------------|------------------------------------------------|
| | LOAD BEARING WALL |
| | ROOF RAFTER/TRUSS SUPPORT |
| | DOUBLE RAFTER / DOUBLE JOIST |
| | STRUCTURAL BEAM / GIRDER |
| | WINDOW / DOOR HEADER |
| | POINT LOAD TRANSFER |
| | POINT LOAD FROM ABOVE BEARING ON BEAM / GIRDER |

- STRUCTURAL FRAMING NOTES - SEE GENERAL NOTES SUBJECT FOR ADDITIONAL REQUIREMENTS**
- ALL FRAMING TO BE #2 SPF MINIMUM.
 - ALL BEARING HEADERS TO BE (2) 2x6 SUPPORTED w/ MIN (1) JACK AND (1) KING EACH END, UNO.
 - EXTERIOR WALL OPENINGS OVER 3' TO HAVE MULTIPLE KING STUDS AS NOTED ON PLAN.
 - ALL NON-BEARING HEADERS TO BE (2) 2x4 (1) J / (1) K, UNO.
 - PROVIDE CONTINUOUS BLOCKING THROUGH STRUCTURE FOR ALL POINT LOADS.
 - ALL HANGERS AND CONNECTORS SPECIFIED ARE TO BE SIMPSON STRONG-TIE OR EQUIVALENT.
 - ALL BEAMS SPECIFIED ARE MINIMUM SIZES ONLY. LARGER MEMBERS MAY SUBSTITUTED AS NEEDED FOR EASE OF CONSTRUCTION. MINIMUM BEAM SUPPORT IS (1) 2x4 STUD.
 - ALL EXTERIOR WALLS TO BE FULLY SHEATHED WITH 7/16" OSB.
 - FRONT PORCH COLUMNS TO BE MIN 4x4 PT ATTACHED AT TOP AND BOTTOM USING SIMPSON (OR EQUIV) COLUMN BASE OR SST A24 BRACKETS. TRIM OUT PER BUILDER.
 - PORCH COLUMNS TO BE MIN 4x4 PT ATTACHED AT BOTTOM USING SIMPSON (OR EQUIV) ABA44 AND AT TOP USING CS 16 STRAPPING (12" MIN) TO PORCH HEADER / BAND.
 - WHEN A 4-PLY LVL IS USED, ATTACH WITH (1) 1/2" Ø BOLT 12" OC STAGGERED, TOP AND BOTTOM, 1-1/2" MIN FROM ENDS. ALTERNATE ATTACHMENT EQUIVALENT METHOD MAY BE USED, SUCH AS SDW OR TRUSSLOK SCREWS (SEE MANUFACTURER'S SPECIFICATIONS).
 - FOR STUD COLUMNS OF 4 OR MORE, INSTALL SST CS16 STRAPS @ 30" OC, 6" MAX FROM PLATES, ON INSIDE FACE OF COLUMN (EXTERIOR WALL), ON BOTH FACES OF COLUMN (INTERIOR WALL).

ALL FLUSH BEAMS TO BE DIRECTLY SUPPORTED BY (2) 2X STUDS UNLESS OTHERWISE NOTED. STUD COLUMNS TO BE SUPPORTED BY SOLID BLOCKING TO FOUNDATION OR TO BEARING COMPONENT BELOW.



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Harnett County
Seal of Harnett County, North Carolina, Master Set, 01/29/2022

CLIENT: **MATTAMY HOMES**
PROJECT: **SHENANDOAH - LH**
LOCATION: **NORTH CAROLINA**
SCALE: 1/8" = 1'-0" FOR 11x17 PAPER, 1/4" = 1'-0" FOR 22x34 PAPER, OR AS NOTED

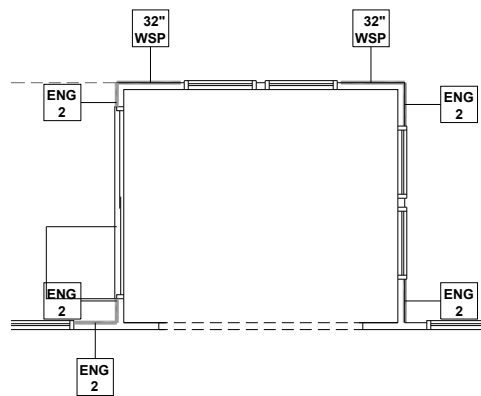


PROJECT NO.: **21901788**

DATE: **10/29/2021** DRAWN BY: **ABS**

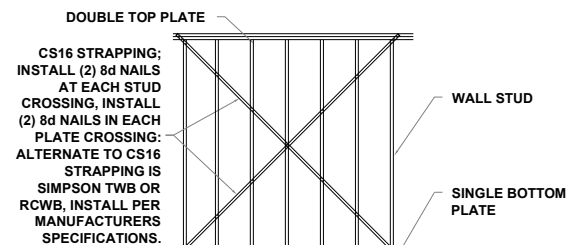
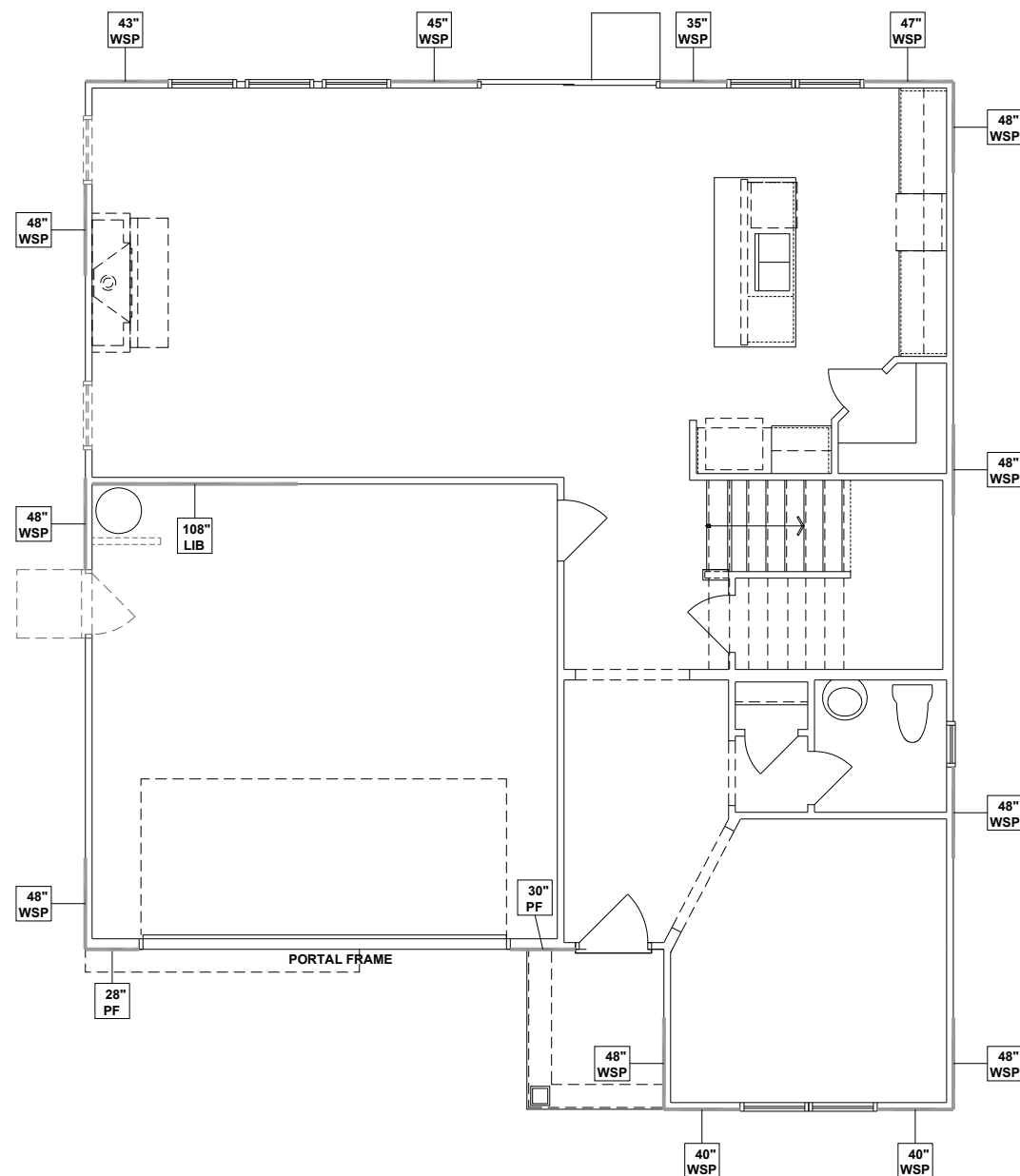
**SECOND FLOOR
CEILING FRAMING PLAN**

S2.0



SUNROOM OPTION

SCALE: 1/8"=1'-0"

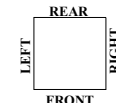


CROSS BRACED LIB CS16 STRAPPING METHOD

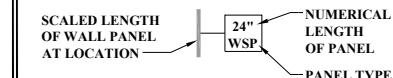
SCALE: 1/4" = 1'-0" STRAP ANGLES TO BE NO MORE THAN 60° AND NO LESS THAN 40°

WALL BRACING REQUIREMENTS

- MINIMUM PANEL WIDTH IS 24"
- FIGURES BASED ON THE CONTINUOUS SHEATHING METHOD USING THE RECTANGLE CIRCUMSCRIBED AROUND THE FLOOR PLAN OR PORTION OF THE FLOOR PLAN. IF NO RECTANGLE IS NOTED, THE STRUCTURE HAS BEEN FIGURED ALL WITHIN ONE RECTANGLE.
- PANELS MAY SHIFT UP TO 36" EITHER DIRECTION FOR EASE OF CONSTRUCTION (NAILING & BLOCK REQUIREMENTS STILL APPLY).
- FOR ADDITIONAL WALL BRACING INFORMATION, REFER TO WALL BRACING DETAIL SHEET(S).
- SCHEMATIC BELOW INDICATES HOW SIDES OF RECTANGLE ARE TO BE INTERPRETED IN BRACING CHART WHEN APPLIED TO STRUCTURE:



- ◆ CS16 STRAP FROM STUD, CROSS HEADER, TO WALL TOP PLATE, 36" LONG MINIMUM
- ▶ SIMPSON MSTA15 HOLD DOWN CAPACITY OF 970 POUNDS PER ANCHOR WITH (12) 10d NAILS. STRAP TO BE LOCATED AT EDGE OF BRACED WALL PANEL. (CS16 STRAPPING MAY BE SUBSTITUTED w/ SIMILAR LENGTH AND NAILING PATTERN.) USE HIT4 FOR ATTACHMENT TO CONCRETE.



ENGINEERED WALL SCHEDULE

- ENG1: CONTINUOUSLY SHEATH WITH 7/16" OSB ATTACHED WITH 8d NAILS @ 6" OC EDGE AND 12" OC FIELD. FULLY BLOCKED AT ALL PANEL EDGES.
- ENG2: CONTINUOUSLY SHEATH WITH 7/16" OSB WITH 10d NAILS @ 3" OC EDGE AND 3" OC FIELD. FULLY BLOCKED AT ALL PANEL EDGES.
- ENG3: CONTINUOUSLY SHEATH 7/16" OSB ATTACHED ~~BOTH SIDES~~ WITH 8d NAILS @ 4" OC EDGE AND 8" OC FIELD. FULLY BLOCKED AT ALL PANEL EDGES.
- ENG4: CONTINUOUSLY SHEATH 7/16" OSB ATTACHED WITH 8d NAILS @ 4" OC EDGE AND 8" OC FIELD. FULLY BLOCKED AT ALL PANEL EDGES.

WALL BRACING NOTE:

WALLS WITH REQUIRED LENGTH LISTED AS "N/A" DO NOT MEET THE REQUIREMENTS OF PRESCRIPTIVE WALL BRACING FOUND IN THE NCRC. THESE WALLS HAVE BEEN ENGINEERED BASED ON DESIGN GUIDELINES ESTABLISHED IN ASCE-07 AND THE NDS: WIND & SEISMIC PROVISIONS SUPPLEMENT.

WALL BRACING: RECTANGLE 1

| SIDE | REQUIRED LENGTH | PROVIDED LENGTH |
|-------|-----------------|-----------------|
| FRONT | 12.0 FT. | 16.16 FT. |
| RIGHT | 11.0 FT. | 20.0 FT. |
| REAR | 12.0 FT. | 14.16 FT. |
| LEFT | 11.0 FT. | 20.0 FT. |

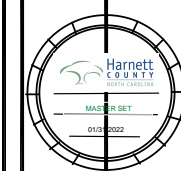


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CLIENT: **MATTAMY HOMES**
 PROJECT: **SHENANDOAH - LH**
 LOCATION: **NORTH CAROLINA**

SCALE: 1/8" = 1'-0" FOR 11x17 PAPER, 1/4" = 1'-0" FOR 22x34 PAPER, OR AS NOTED



PROJECT NO.: **21901788**

DATE: **10/29/2021**

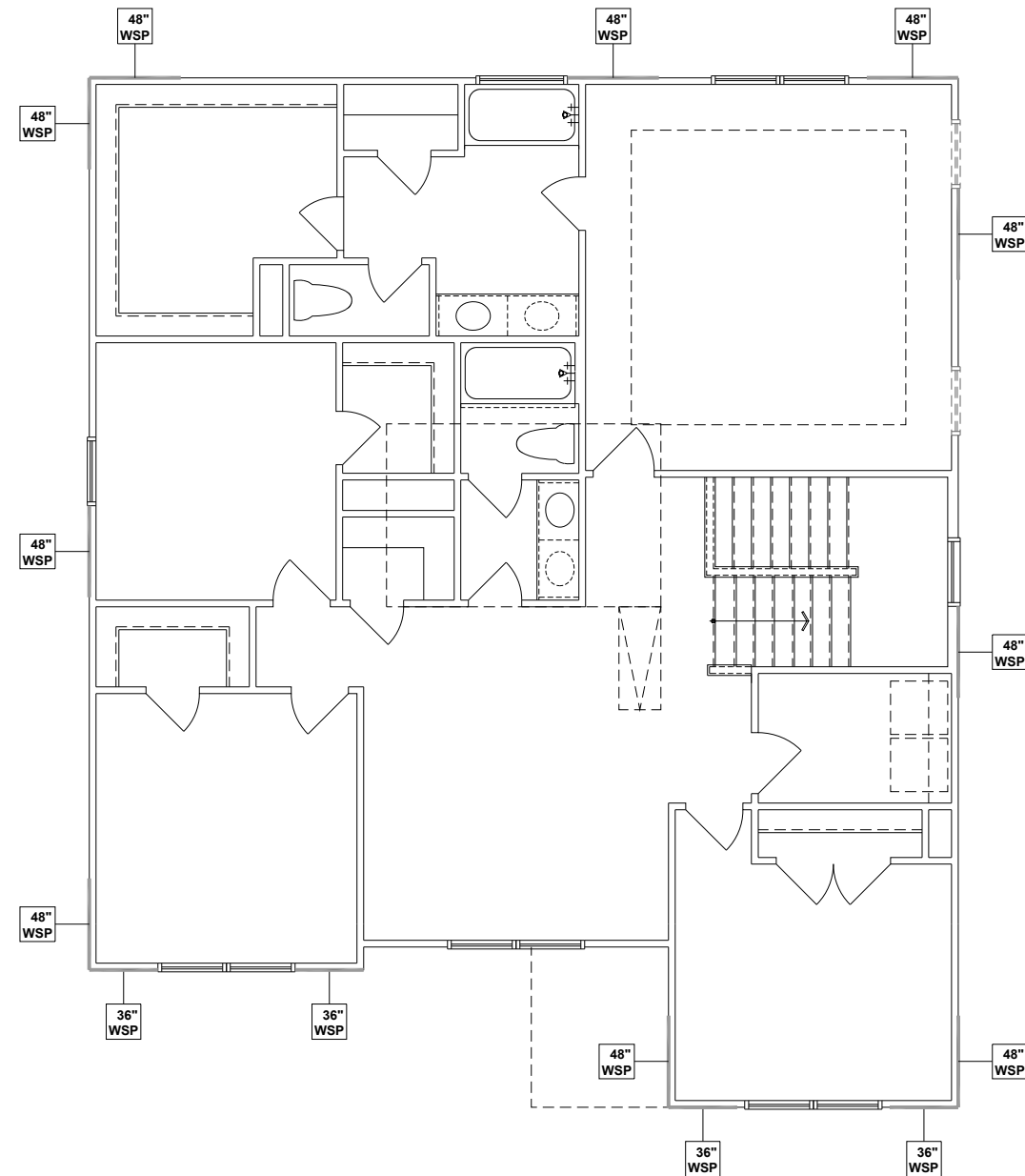
DRAWN BY: **ABS**

FIRST FLOOR
 WALL BRACING PLAN

S4.0

FIRST FLOOR WALL BRACING PLAN - FARMHOUSE

SCALE: 1/8"=1'-0"

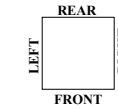


SECOND FLOOR WALL BRACING PLAN - FARMHOUSE

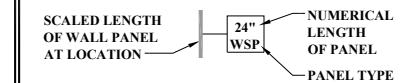
SCALE: 1/8"=1'-0"

WALL BRACING REQUIREMENTS

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WALL BRACING: RECTANGLE 1

| SIDE | REQUIRED LENGTH | PROVIDED LENGTH |
|-------|-----------------|-----------------|
| FRONT | 7.0 FT. | 12.0 FT. |
| RIGHT | 6.0 FT. | 16.0 FT. |
| REAR | 4.5 FT. | 12.0 FT. |
| LEFT | 7.0 FT. | 12.0 FT. |

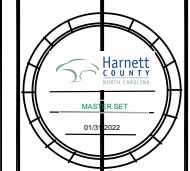


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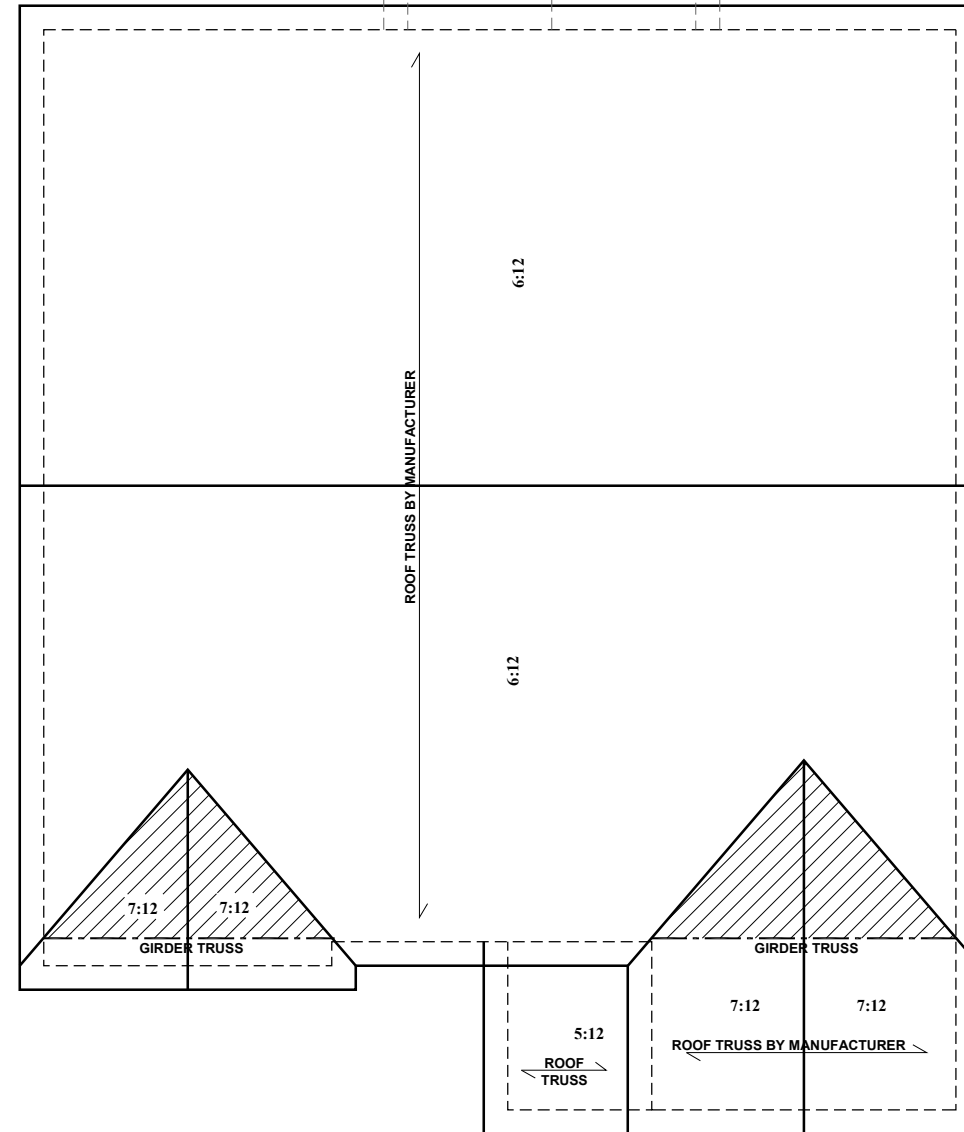
PROJECT NO.: **21901788**

DATE: **10/29/2021** DRAWN BY: **ABS**

**SECOND FLOOR
WALL BRACING PLAN**

S5.0

REAR OPTIONS



ATTIC VENTILATION - REAR OPTION

THE TOTAL NET-FREE VENTILATION AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE ATTIC SPACE TO BE VENTILATED. THE TOTAL VENTILATION MAY BE REDUCED TO 1/300 PROVIDED AT LEAST 50% BUT NOT MORE THAN 80% OF THE REQUIRED VENTILATION BE LOCATED IN THE UPPER PORTION OF THE AREA TO BE VENTILATED, OR AT LEAST 3' ABOVE THE SOFFIT VENTILATION INTAKE.

— 120 — SQUARE FEET OF TOTAL ATTIC / 150 =
— 0.80 — SQUARE FEET OF NET-FREE VENTILATION REQUIRED

BEAM & POINT LOAD LEGEND

| | |
|---|------------------------------------------------|
| — | LOAD BEARING WALL |
| — | ROOF RAFTER/TRUSS SUPPORT |
| — | DOUBLE RAFTER / DOUBLE JOIST |
| — | STRUCTURAL BEAM / GIRDER |
| — | WINDOW / DOOR HEADER |
| □ | POINT LOAD TRANSFER |
| ■ | POINT LOAD FROM ABOVE BEARING ON BEAM / GIRDER |

- STRUCTURAL FRAMING NOTES - SEE GENERAL NOTES SHEET FOR ADDITIONAL REQUIREMENTS**
- ALL FRAMING TO BE #2 SPF MINIMUM.
 - ALL BEARING HEADERS TO BE (2) 2x6 SUPPORTED w/ MIN (1) JACK AND (1) KING EACH END, UNO.
 - EXTERIOR WALL OPENINGS OVER 3' TO HAVE MULTIPLE KING STUDS AS NOTED ON PLAN.
 - ALL NON-BEARING HEADERS TO BE (2) 2x4 (1) J / (1) K, UNO.
 - PROVIDE CONTINUOUS BLOCKING THROUGH STRUCTURE FOR ALL POINT LOADS.
 - ALL HANGERS AND CONNECTORS SPECIFIED ARE TO BE SIMPSON STRONG-TIE OR EQUIVALENT.
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 - WHEN A 4-PLY LVL IS USED, ATTACH WITH (1) 1/2" Ø BOLT 12" OC STAGGERED, TOP AND BOTTOM, 1-1/2" MIN FROM ENDS. ALTERNATE ATTACHMENT EQUIVALENT METHOD MAY BE USED, SUCH AS SDW OR TRUSSLOK SCREWS (SEE MANUFACTURER'S SPECIFICATIONS).
 - FOR STUD COLUMNS OF 4 OR MORE, INSTALL SST CS16 STRAPS @ 30" OC, 6" MAX FROM PLATES, ON INSIDE FACE OF COLUMN (EXTERIOR WALL), ON BOTH FACES OF COLUMN (INTERIOR WALL).

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— 1,545 — SQUARE FEET OF TOTAL ATTIC / 150 =
— 10.3 — SQUARE FEET OF NET-FREE VENTILATION REQUIRED

TRUSS UPLIFT CONNECTIONS: EXPOSURE B, 114 MPH, ANY PITCH, 24" O.C. MAX ROOF TRUSS SPACING

TRUSSES SHALL BE ATTACHED TO SUPPORT WALL FOR UPLIFT RESISTANCE. CONTINUOUS OSB WALL SHEATHING BELOW PROVIDES CONTINUOUS UPLIFT RESISTANCE TO FOUNDATION. ALL TRUSSES SUPPORTED BY INTERMEDIATE SUPPORT WALLS, KNEEWALLS, OR BEAMS SHALL BE ATTACHED TO SUPPORTING MEMBER PER SCHEDULE:

ROOF SPAN IS MEASURED HORIZONTALLY BETWEEN FURTHEST SUPPORT POINTS.

| | |
|------------------|----------------------------------------------------------------------------------------------------------|
| ROOF PLAN | CONNECTION |
| UP TO 28' | NAILING PER TABLE 602.3(1) NCRBC 2018 EDITION |
| OVER 28' | (1) SIMPSON H2.5A HURRICANE CLIP TO DBL TOP PLATE OR BEAM (1) SIMPSON H3 CLIP TO SINGLE 2x4 PLATE |

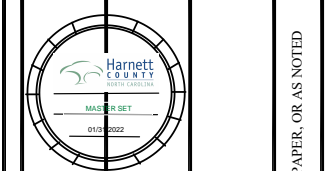


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DATE: **10/29/2021** DRAWN BY: **ABS**

ROOF FRAMING PLAN

S6.0

ROOF FRAMING PLAN - FARMHOUSE

SCALE: 1/8"=1'-0"