

JORDAN

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REVISION LIST - STRUCTURAL:

- 1.) CODE UPDATE TO SCRC 2018 (1-20)
- 2.) CHANGE 2X6 EXTERIOR WALLS TO 2X4 EXTERIOR WALLS. (3-5-20)
- 3.) ADDED BASEMENT PLAN WHICH EXTENDS GARAGE FRONT 2'-0". (5-1-20)

MLP 691 BUYER MARKED



JORDAN

REVISION LIST - ARCHITECTURAL:

- 1.) UPDATED PLANS, 7'-0" HDR HGT, ADDED 2 HOSE BIBB LOCNS, CHANGE MASTERS TO OWNERS, CHANGE SOFFITS TO C.O., CHANGE MASTERS BATH TO OWNER'S BATH 1, CHANGED POWDER TO PDR 1, AND CHANGED BATH TO BATH 2. (11-4-19)
- 2.) ADDED ROOF VENT CALCULATIONS FOR ELEV. A AND B. (12-2-19)
- 3.) UPDATED CUTSHEETS FOR THE GARAGE RIGHT. (12-13-19)
- 4.) CHANGED FIREPLACE FROM STANDARD TO OPTIONAL. (5-1-20)
- 5.) REMOVE GLASS INSERTS FROM GARAGE WINDOWS AND REMOVE METAL ACCESSORIES. (5-1-20)
- 6.) UPDATED CUTSHEETS TO MEET H&H STANDARDS. (5-1-20)
- 7.) ADDED OPTIONAL GLASS INSERTS TO TOP WINDOWS ONLY TO GARAGE DOORS. (5-1-20)
- 8.) CHANGED THE CORNERBOARDS FROM 6" TO 4". (5-1-20)
- 9.) REMOVED OPTIONAL KITCHEN CAN AND REPLACED WITH FLUORESCENT LIGHT IN THE KITCHEN. (5-1-20)
- 10.) CHANGE LOCATION OF THE HOSE BIBBS. (5-1-20)
- 11.) ADDED OPTIONAL GAS LINE NOTE AT PATIO. (5-1-20)
- 12.) CHANGED REFRIGERATOR, WASHER, AND DRYER TO OPTIONAL COMPONENTS. (5-1-20)
- 13.) CHANGE COFFERED CEILING IN DINING TO OPTIONAL WITH DETAIL. (5-1-20)
- 14.) ADDED WEATHERING STRIPPING AT 20 X 40 SOLID DOOR. (5-1-20)
- 15.) ADDED NOTE TO REMOVE (1)-30 50 WINDOW FOR BEDROOM #5 OPTION. (5-1-20)
- 16.) REMOVED GRIDS FROM SIDE AND REAR WINDOWS. (5-1-20)
- 17.) CHANGED 30 50 WINDOW IN LOFT TO STANDARD. (5-1-20)
- 18.) UPDATED STONE HATCH ON ELEVATIONS. (5-1-20)
- 19.) REMOVED ALL TV OUTLETS, PHONE OUTLETS, AND ELECTRICAL OUTLETS EXCEPT FLOOR OUTLETS. (5-1-20)
- 20.) ADDED CO₂ DETECTORS PER LOCATE CODE. (5-1-20)
- 21.) CHANGED CEILING FANS TO OPTIONAL AND CHANGE THE LIGHTS TO PREWIRE. (5-1-20)
- 22.) ADDED CRICKETS TO FRONT ELEVATIONS. (5-1-20)
- 23.) UPDATED THE ELEVATION COACH LIGHTS TO MATCH THE ELECTRICAL PLANS. (5-1-20)
- 24.) CREATED ADDITIONAL SHEETS FOR FIRST FLOOR AND SECOND FLOOR OPTIONS (A4.1, A5.1, A6.1, A7.1, E.3, AND E-4) AND REMOVED OPTIONS FROM BASE SHEETS. (5-1-20)
- 25.) ADDED DIMENSION FOR WATER TABLE TO FINISH FLOOR ON ELEVATION. (5-1-20)
- 26.) ADDED INSULATION DETAIL TO FIRST AND SECOND FLOOR SHEETS. (5-1-20)
- 27.) ADDED OPTIONAL (3) RECESS LIGHTING AND SWITCHES IN FAMILY ROOM. (5-1-20)
- 28.) ADDED SHEET 7.0 FOR FLOOR PLAN EXTERIOR SURFACES LAYOUTS. (5-1-20)
- 28.) CREATED OWNER'S BATH 2 AND OWNER'S BATH 3. (5-1-20)
- 28.) ADDED SHOWER DETAIL FOR OPTIONAL OWNER'S BATH 3. (5-1-20)
- 29.) UPDATED CUTSHEETS. (5-1-20)
- 30.) CHANGED OWNER'S BATH #3 WINDOW FROM 20 20 WINDOW TO 20 40 TEMP. (5-1-20)
- 31.) ADDED PATIO W/ EXTENDED PATIO OPTION. (5-1-20)
- 32.) ADDED OPTIONAL BASEMENT PLAN. (5-1-20)
- 33.) ADDED CHANGES TO OPTIONS WHEN BASEMENT OPTION SELECTED. (5-1-20)
- 34.) REVISED SHUTTERS ON ELEVATIONS B TO BE B&B (5-1-20)
- 35.) REMOVED HARDWARE FROM SHUTTERS ON ELEVATION C (5-1-20)
- 36.) REMOVED LIGHT OVER KITCHEN SINK (7-8-20)
- 37.) REMOVED NOTE "KEYLESS" FROM GARAGE CHANGED TO STANDARD CEILING MOUNTED LIGHT (7-8-20)
- 38.) CHANGED STANDARD LIGHT IN KITCHEN FROM 2-BULB FLUORESCENT TO 3 BULB CEILING MOUNT (7-8-20)
- 39.) CHANGED SWING OF SERVICE DOOR IN GARAGE TO OUT SWING (SEE SHEET A6.1) (7-8-20)
- 40.) REMOVED LIGHT IN SECONDARY BATH OVER TUB/SHOWER COMBO (7-8-20)
- 41.) REMOVED "RECESSED ENTERTAINMENT BOX" OVER FIREPLACE (7-8-20)
- 42.) CHANGED WINDOW TO OWNER'S BATH 1 TO 40"x10" TRANSOM WINDOW (7-8-20)
- 43.) ADDED GABLE PEDIMENT DETAIL TO B ELEVATIONS

COVER SHEET

H&H HOMES
JORDAN

DATE: MARCH 15, 2019
REV.: MAY 01, 2020
DRAWN BY:
ENGINEERED BY:
REVIEWED BY:

CS

**J.S. THOMPSON
ENGINEERING, INC.**
 600 W. MARKET ST., SUITE 104
 WAKEFIELd, NC 27158
 PHONE: (919) 786-9919
 FAX: (919) 786-9921
 N.C. LICENSE NO.: 6113



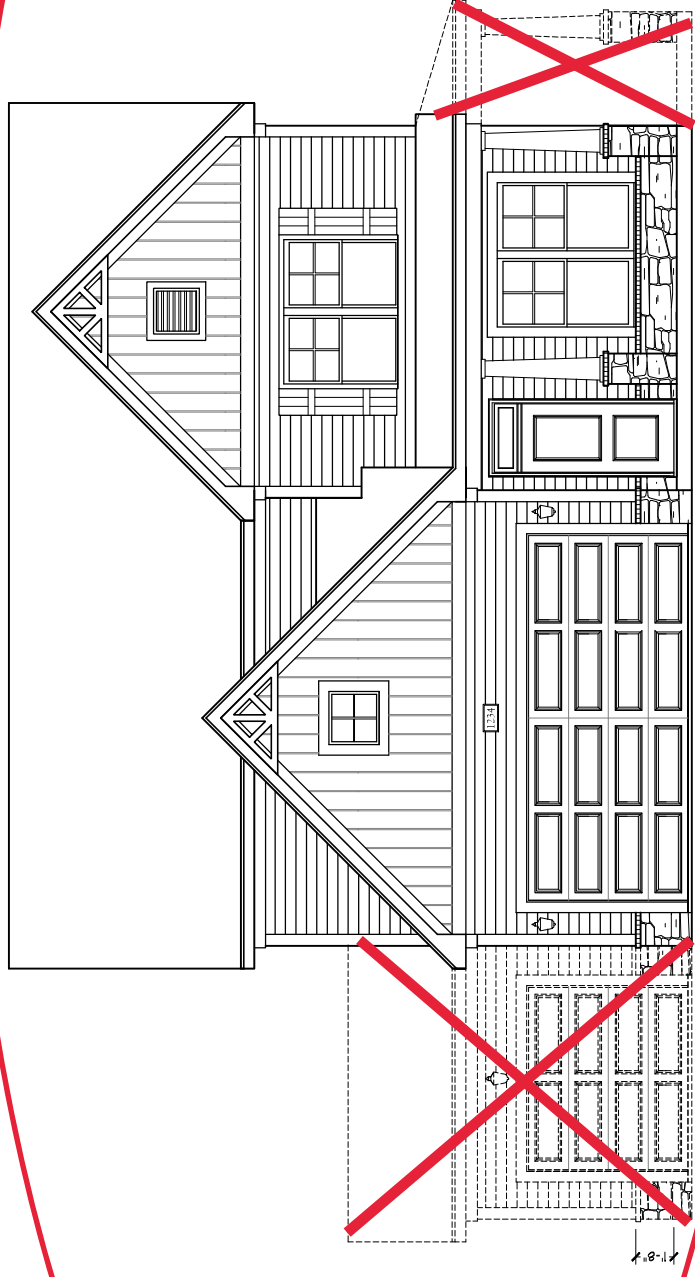
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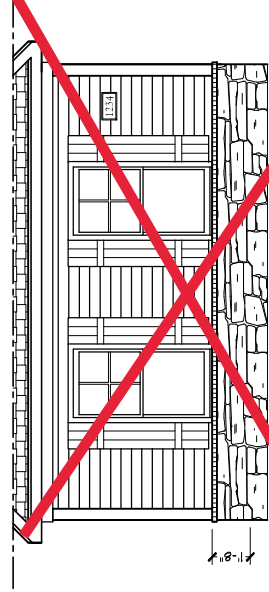
DATE: MARCH 15, 2019
 REV.: MAY 01, 2020
 SCALE: AS NOTED
 DRAWN BY:
 ENGINEERED BY:
 REVIEWED BY:

B-2 & B-3
 ELEVATIONS
 WITH STONE

A-2.1



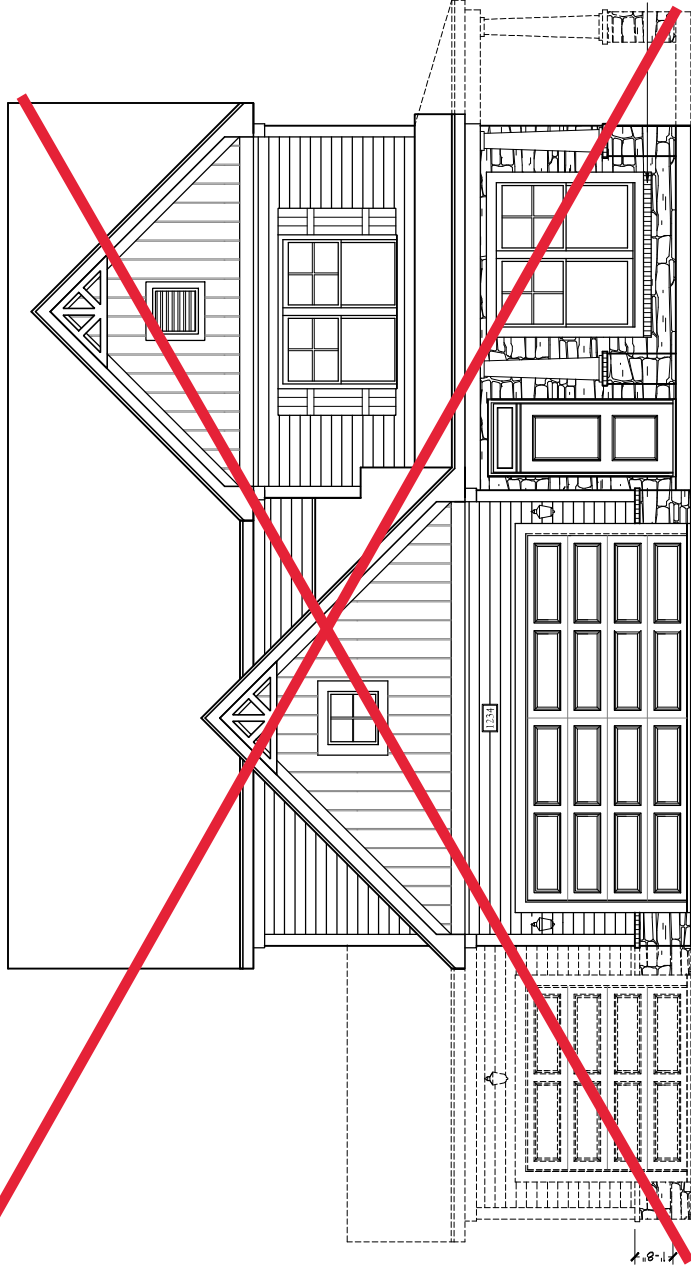
FRONT ELEVATION-B-2 (W/ STONE)
 SCALE: 1/4" = 1'-0"



SIDE LOAD
 GARAGE OPTION
 (NOT AVAILABLE WITH OPTIONAL ONE-CAR GARAGE)
 SCALE: 1/4" = 1'-0"



DOUBLE GARAGE
 DOOR OPTION
 SCALE: 1/4" = 1'-0"



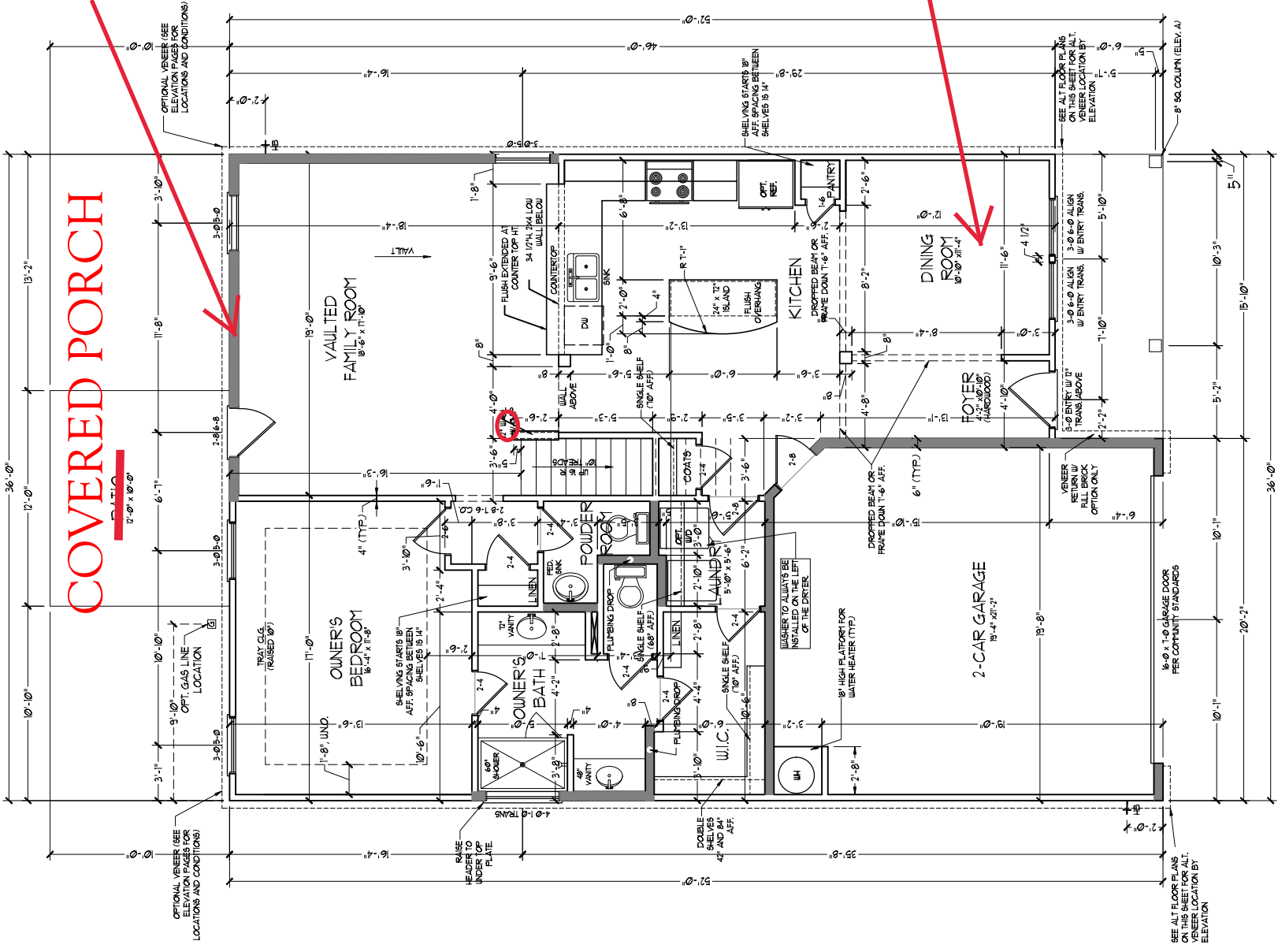
FRONT ELEVATION-B-3 (W/ STONE)
 SCALE: 1/4" = 1'-0"

BRICK OR STONE
 LEDGE AS SPEC.

COVERED PORCH

FIREPLACE

COFFERED CEILING



FIRST FLOOR PLAN
(A-1, B-1, AND C-1)

SEE PARTIAL FLOOR PLANS ON SHEET A-1 FOR CHANGES TO EXTERIOR VENER FOR ALL ELEVATIONS.

SQUARE FOOTAGE

1st FLOOR	181 560 FT.
2nd FLOOR	1871 560 FT.
TOTAL	2458 560 FT.
GARAGE	425 560 FT.
FRONT PORCH	35 560 FT.
STD. REAR PATIO	10 560 FT.
1st FLOOR OPTIONS	10 560 FT.
OPT. FIREPLACE	
2nd FLOOR OPTIONS	9 560 FT.
OPT. UNDOU BOX AT BEDROOM 2	
UNHEATED OPTIONS	
OPT. BASEMENT	1739 560 FT.
OPT. 1-CAR GARAGE	249 560 FT.
OPT. REAR COVERED PORCH	109 560 FT.
OPT. 12'-0" X 10'-0" PATIO	108 560 FT.

SQUARE FOOTAGE (W/ FULL BRICK)

1st FLOOR	1405 560 FT.
2nd FLOOR	1094 560 FT.
TOTAL	2499 560 FT.
GARAGE	448 560 FT.
FRONT PORCH	35 560 FT.
STD. REAR PATIO	10 560 FT.
1st FLOOR OPTIONS	14 560 FT.
OPT. FIREPLACE	
2nd FLOOR OPTIONS	9 560 FT.
UNDOU BOX AT BEDROOM 2 (ELEV. C ONLY)	9 560 FT.
UNHEATED OPTIONS	
OPT. BASEMENT	1739 560 FT.
OPT. 1-CAR GARAGE	259 560 FT.
OPT. REAR COVERED PORCH	109 560 FT.
OPT. 12'-0" X 10'-0" PATIO	108 560 FT.

NOTE: ALL EXTERIOR WALLS AND ATTIC WALLS ARE TO BE 7'-4" O.C. (MIN). ALL INTERIOR LOAD BEARING WALLS ARE TO BE 12" O.C. (MIN). ALL INTERIOR WALLS ARE TO BE 2'-4" O.C. (MIN).

2x4 WALL

- SHADED WALLS ARE TO BE 2' x 4' x 8' O.C. (LOAD BEARING) OR 2' x 4' x 24' O.C. (NON-LOAD BEARING) UNLESS OTHERWISE NOTED.
- EXTERIOR WALL CONDITION

J.S. THOMPSON ENGINEERING, INC.
 1000 W. HARRIS BLVD., SUITE 100
 WAKEFIELD, NC 27179
 PHONE: (919) 789-9919
 FAX: (919) 789-9921
 N.C. LICENSE NO. 61134



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H&H HOMES, INC.
JORDAN

DATE: MARCH 15, 2019
 REV.: MAY 01, 2020
 SCALE: 1/4"=1'-0"
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 ENGINEERED BY:
 REVIEWED BY:

FIRST FLOOR PLAN
A-6

J.S. THOMPSON ENGINEERING, INC.
 600 W. WILSON AVENUE
 WAKEFELD, NC 27158
 PHONE: (919) 789-9919
 FAX: (919) 789-9921
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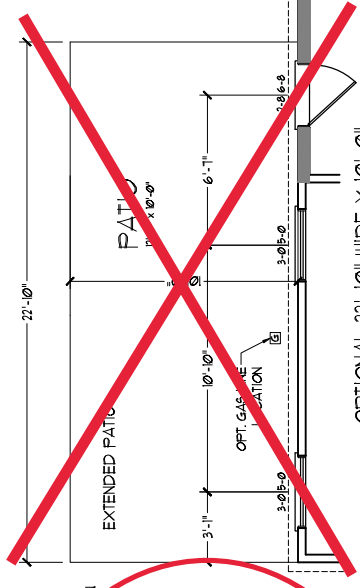


OPTIONAL FLOOR PLANS, ELEVATIONS, DESIGN MATERIALS AND DIMENSIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND MAY VARY IN ACTUAL CONSTRUCTION. ACTUAL POSITION OF HOUSE ON LOT WILL BE DETERMINED BY THE SITE PLAN AND FLOOR PLANS. FLOOR PLANS AND ELEVATION RENDERINGS ARE ARTIST CONCEPTIONS. FLOOR PLANS AND ELEVATION RENDERINGS ARE THE PROPERTY OF H&H HOMES. ANY USE, REPRODUCTION, ADAPTATION OR DISPLAY OF THE PLANS IS STRICTLY PROHIBITED. SEE NEW HOME SALES CONSULTANT FOR CURRENT DETAILS. COPYRIGHT © 2019 H&H HOMES

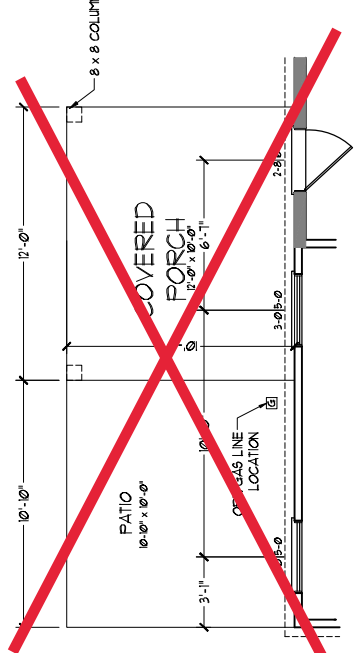
H&H HOMES, INC.
 JORDAN

DATE: MARCH 15, 2019
 REV.: MAY 01, 2020
 SCALE: 1/4" = 1'-0"
 DRAWN BY:
 ENGINEERED BY:
 REVIEWED BY:
FIRST FLOOR
OPTIONS w/ OR
w/o BASEMENT

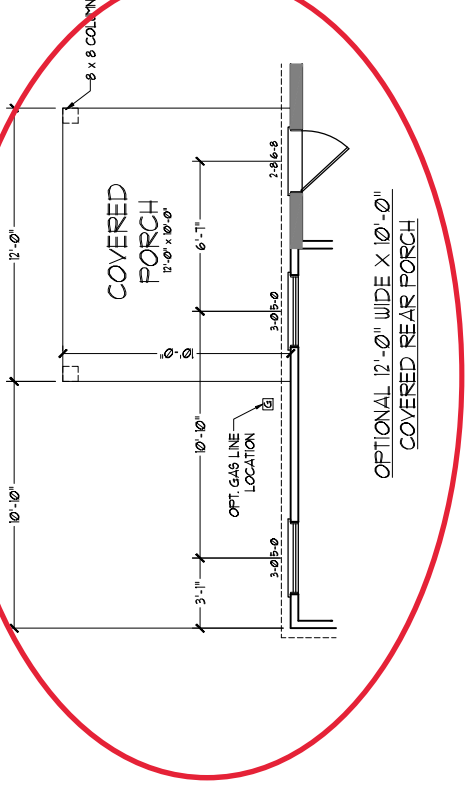
A-6.1



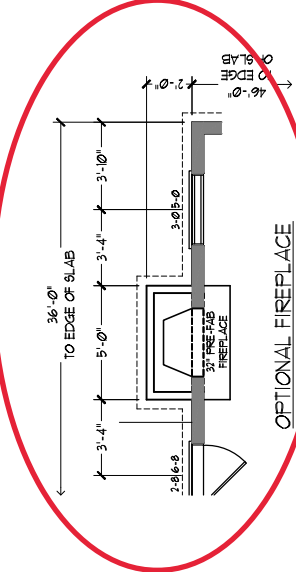
OPTIONAL 22'-10" WIDE X 10'-0" EXTENDED PATIO



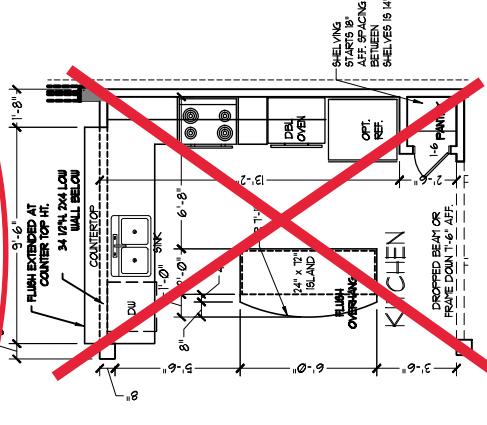
OPTIONAL PATIO w/ COVERED PORCH



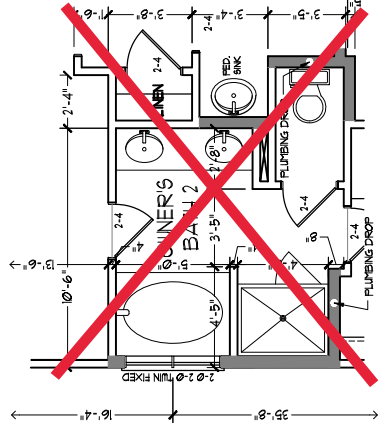
OPTIONAL 12'-0" WIDE X 10'-0" COVERED REAR PORCH



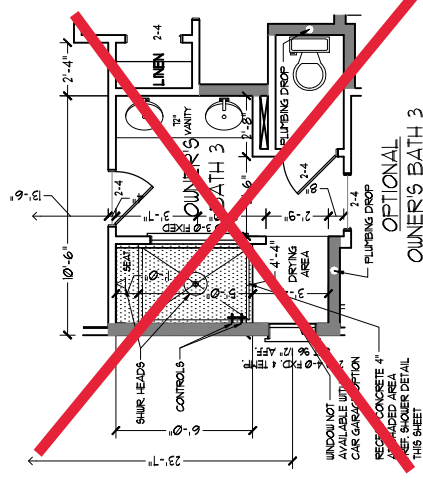
OPTIONAL FIREPLACE



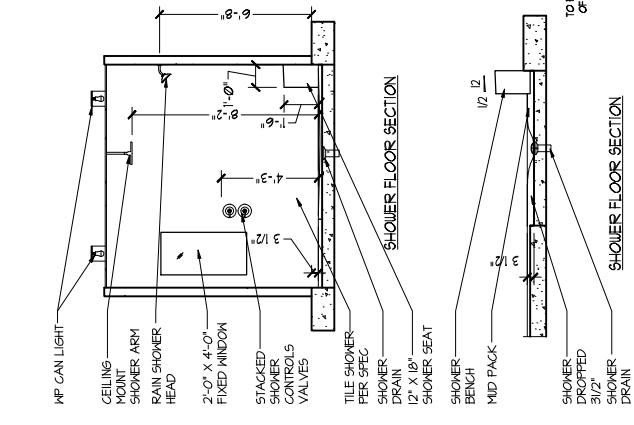
OPTIONAL GOURMET KITCHEN



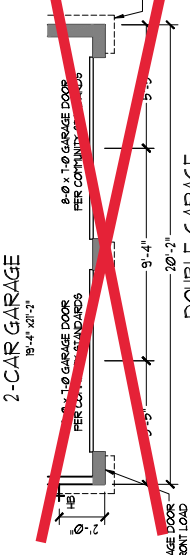
OPTIONAL OWNER'S BATH 2



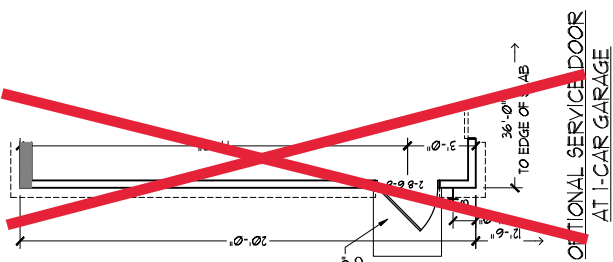
OPTIONAL OWNER'S BATH 3



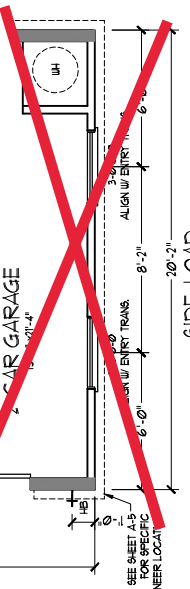
SHOWER FLOOR SECTION



2-CAR GARAGE

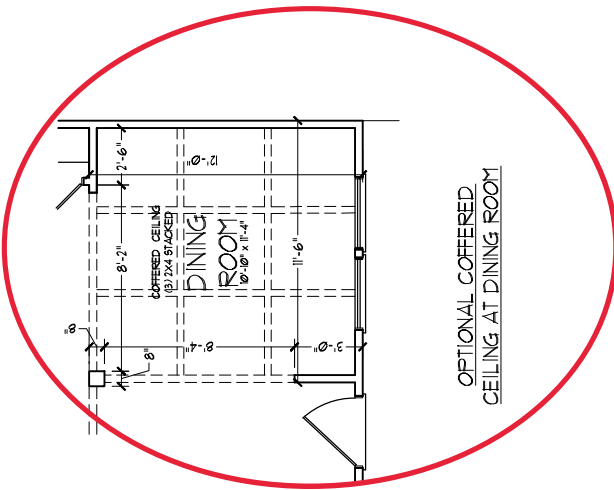


OPTIONAL SERVICE DOOR AT 1-CAR GARAGE

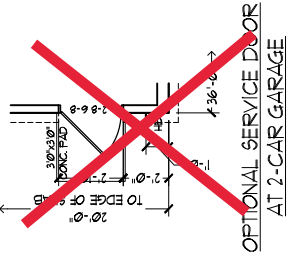


SIDE-LOAD GARAGE OPTION

(NOT AVAILABLE WITH OPTIONAL ONE-CAR GARAGE)



OPTIONAL COFFERED CEILING AT DINING ROOM



OPTIONAL SERVICE DOOR AT 2-CAR GARAGE

NOTE: GARAGE DOOR MUST BE 16'-0" X 7'-0" GARAGE DOOR PER COMMUNITY STANDARDS. ONLY 7' TO REMAIN 24" x 16" O.C. FRAMING REGARDLESS OF OVERALL EXTERIOR WALL CONDITION.

DOUBLE GARAGE DOOR OPTION

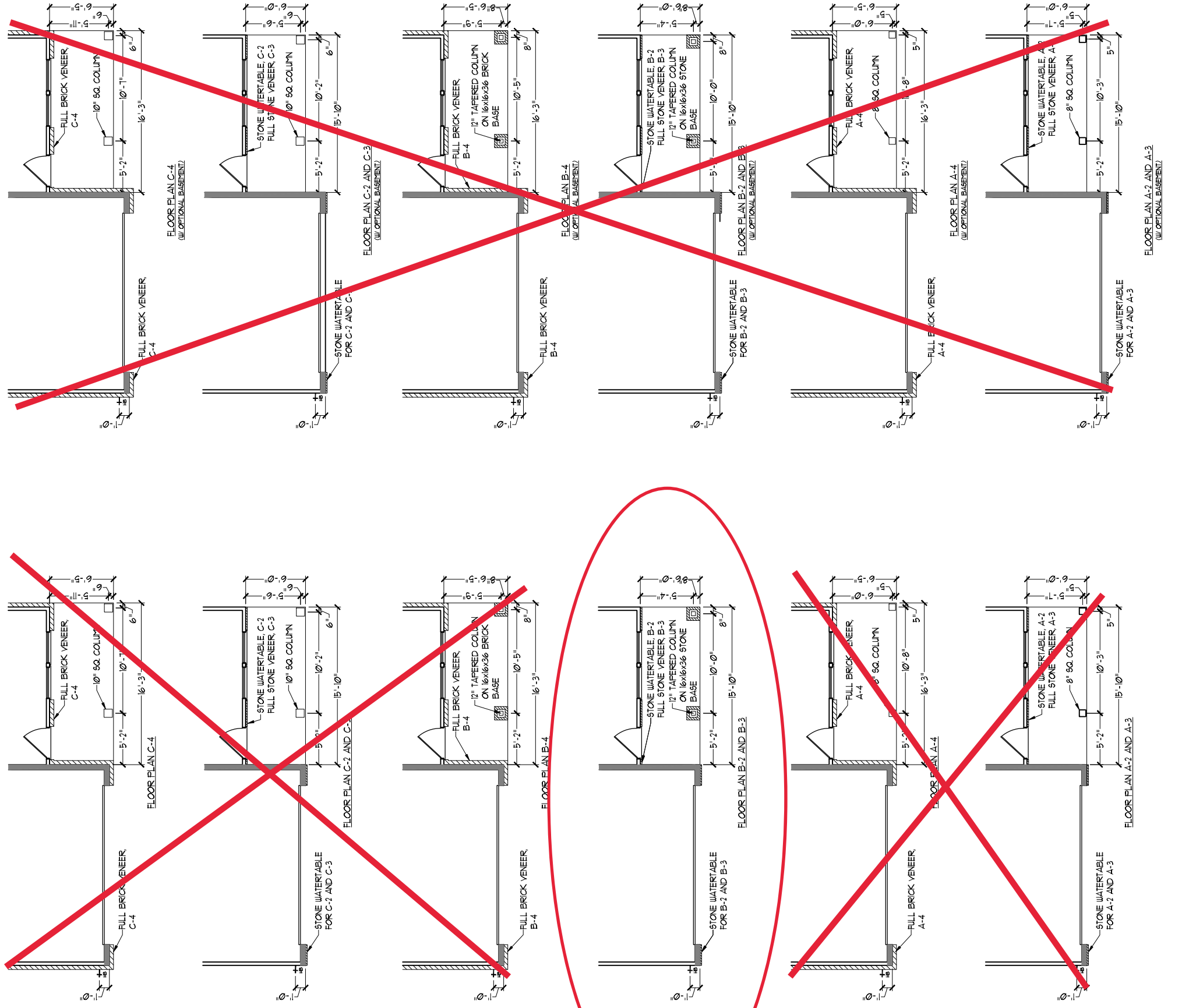
J.S. THOMPSON ENGINEERING, INC.
 600 W. HARRIS AVENUE, SUITE 104
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 PHONE: (919) 789-9919
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JORDAN

DATE: MARCH 15, 2019
 REV.: MAY 01, 2020
 SCALE: 1/4"=1'-0"
 DRAWN BY:
 ENGINEERED BY:
 REVIEWED BY:
FIRST FLOOR
PARTIAL PLANS
W/ & W/O
BASEMENT
A-6.3



J.S. THOMPSON ENGINEERING, INC.
 600 W. HARRIS STREET, SUITE 104
 WAKEFELD, NC 27155
 PHONE: (919) 789-9919
 FAX: (919) 789-9921
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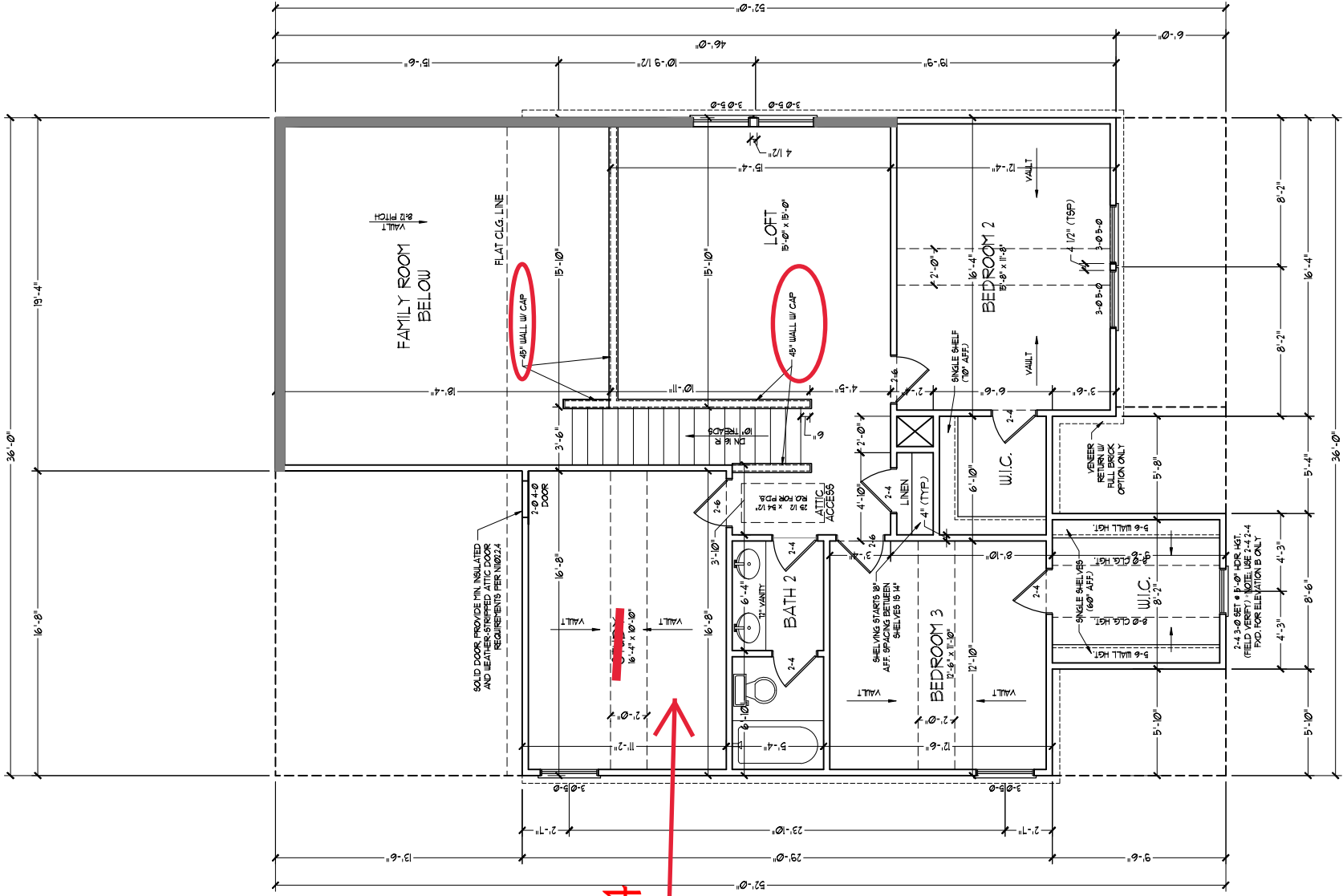


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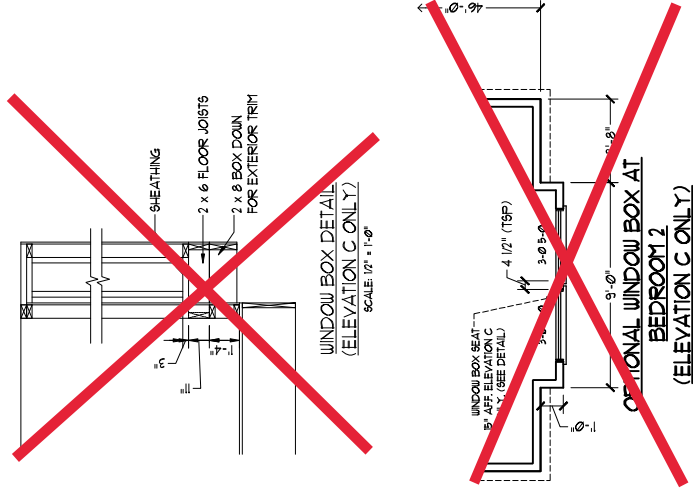
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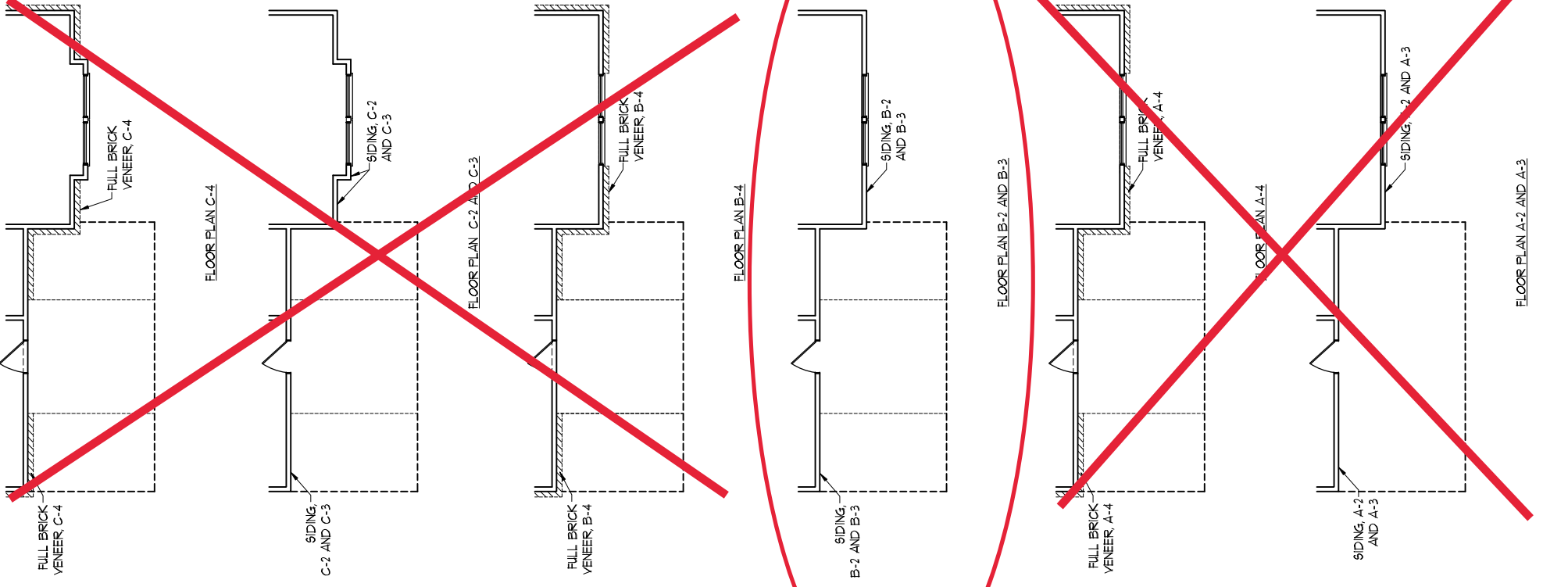
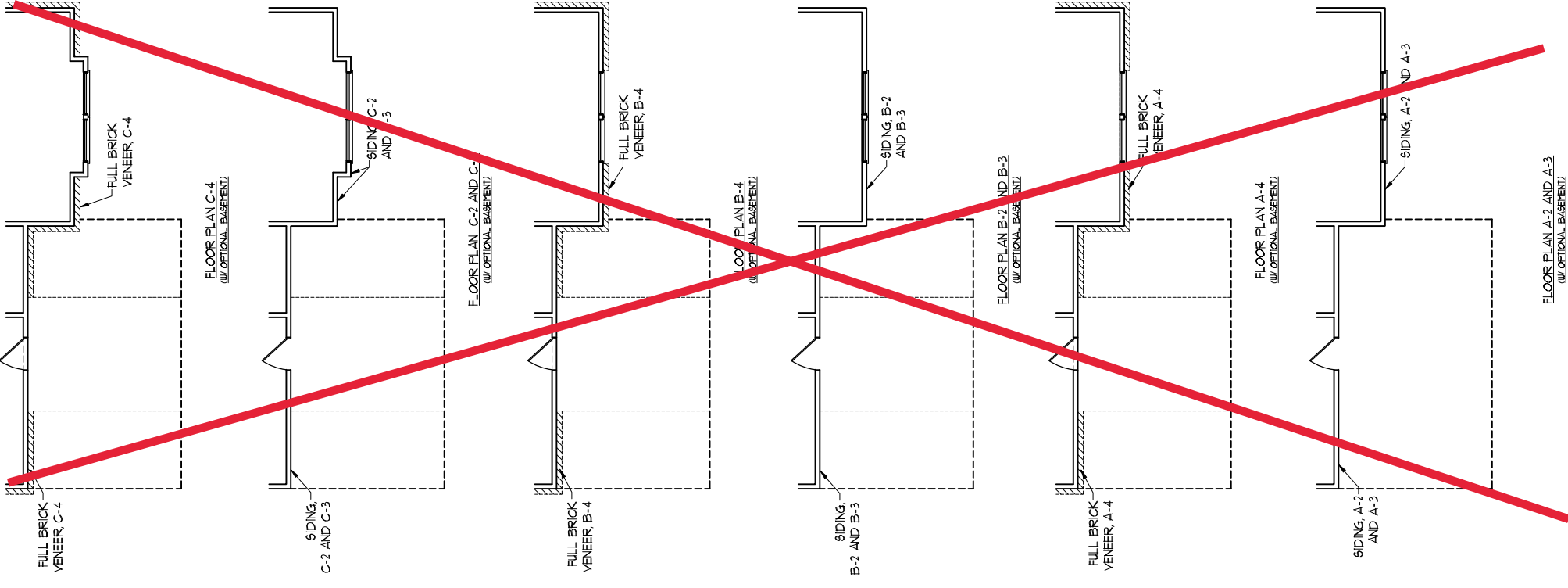
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 SCALE: 1/4" = 1'-0"
 DRAWN BY:
 ENGINEERED BY:
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SECOND FLOOR
 PLAN
 A-7



SECOND FLOOR PLAN
 (A-1, B-1, AND C-1)





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DATE: MARCH 15, 2019
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 ENGINEERED BY:
 REVIEWED BY:

SECOND FLOOR
 PARTIAL PLANS
 A-7.2

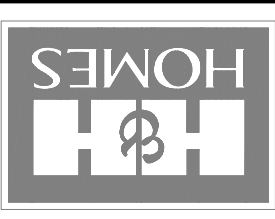
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 ENGINEERING, INC.**
 600 W. MARKET ST., SUITE 104
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 PHONE: (919) 789-9919
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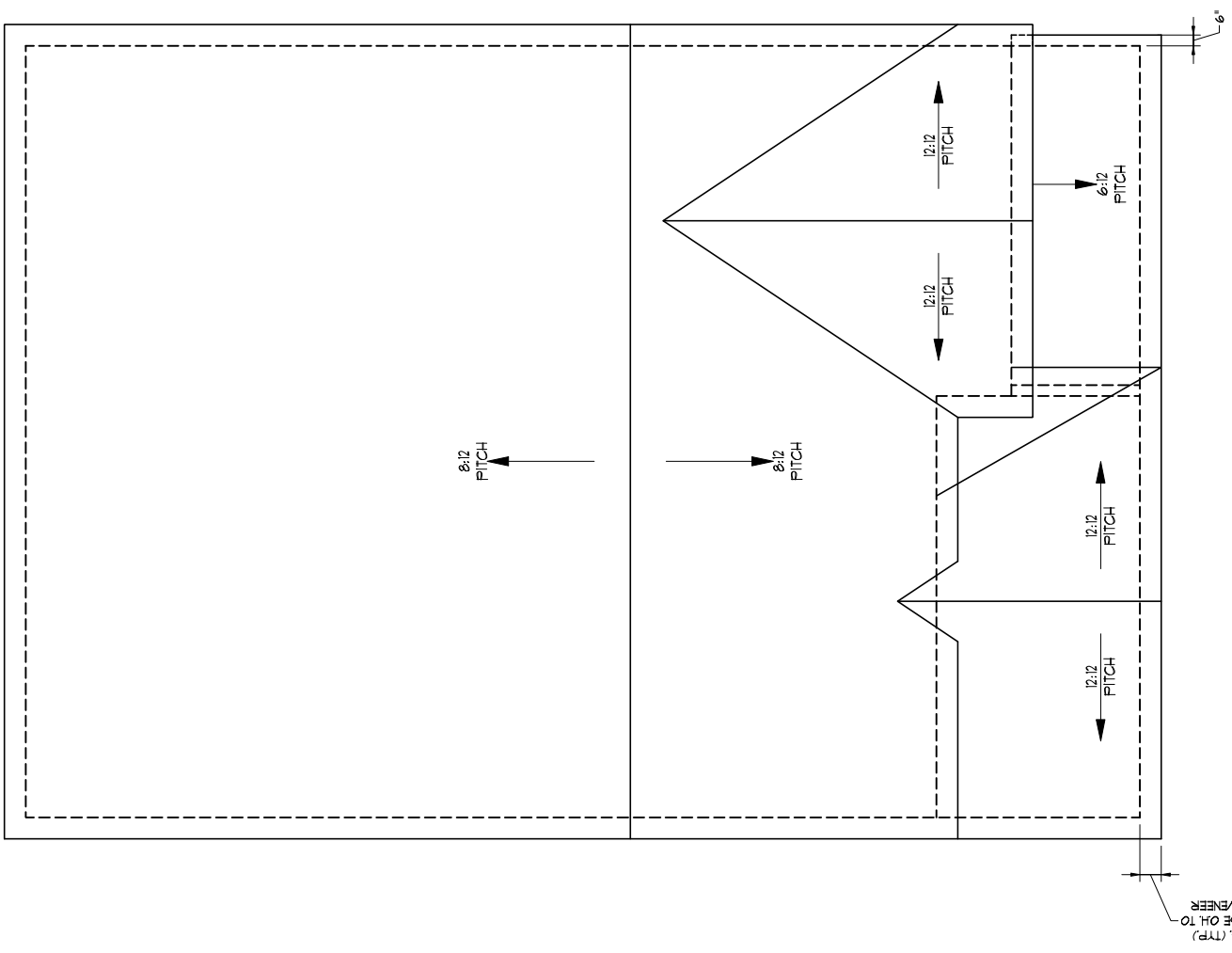
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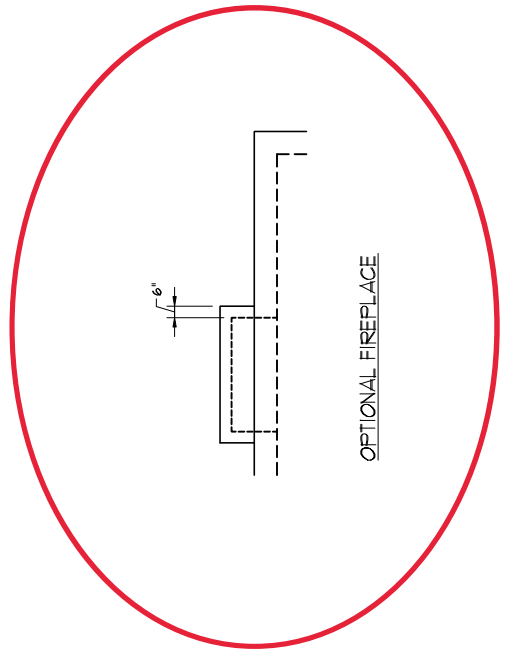
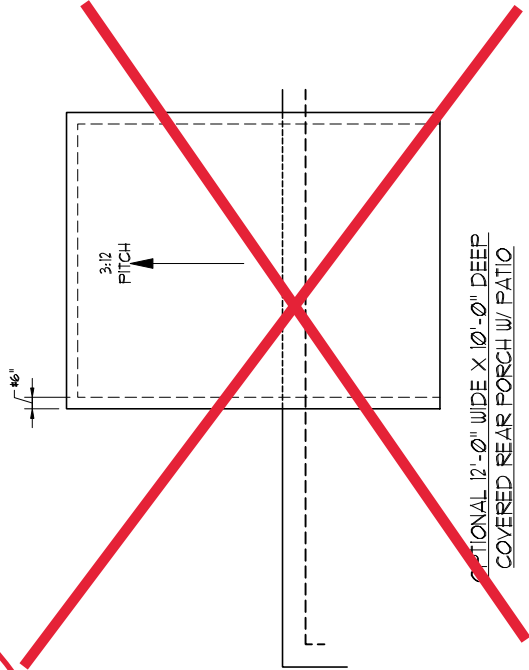
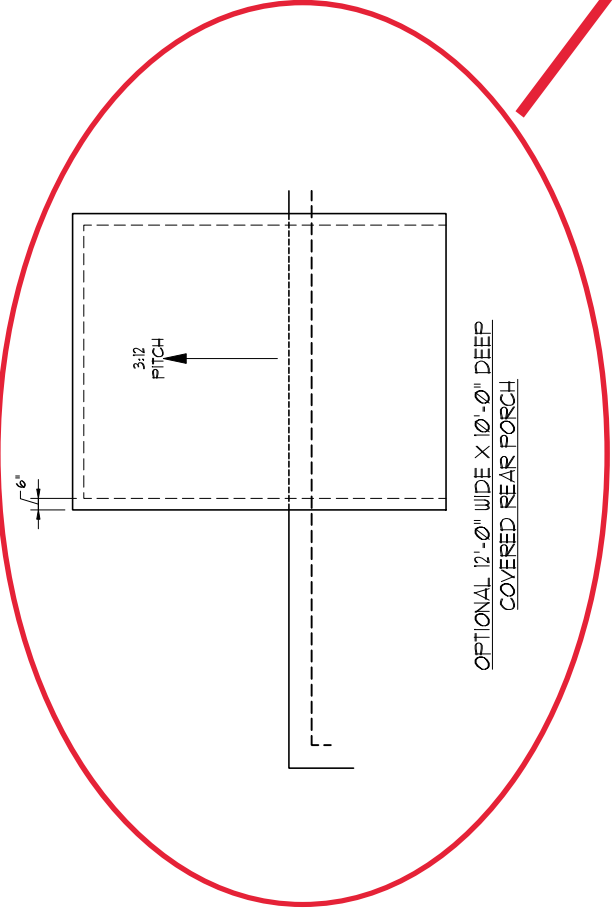


**J.S. THOMPSON
 ENGINEERING, INC.**
 600 W. WILSON ST. SUITE 104
 RALEIGH, NC 27605
 PHONE: (919) 786-9919
 FAX: (919) 786-9921
 N.C. LICENSE NO. C1134

TOTAL UNDER ROOF AREA:	1667	SQ. FT.
MINIMUM REQUIRED:	1500	SQ. FT.
TOTAL REQUIREMENTS:	1500	SQ. FT.
LOWER AREA VENTING:	104	SQ. FT.
UPPER AREA VENTING:	102	SQ. FT.
SOFFIT VENT:	42	SQ. FT.
LOWER AREA VENTING PROVIDED:	-	
UPPER AREA VENTING PROVIDED:	0	
SOFFIT AREA PROVIDED:	0	
TOTAL UNDER ROOF AREA:	1667	SQ. FT.



**ROOF PLAN
 (A-I, B-I, AND C-I)**

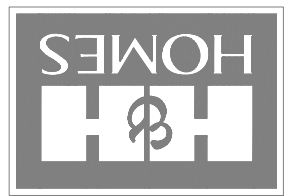


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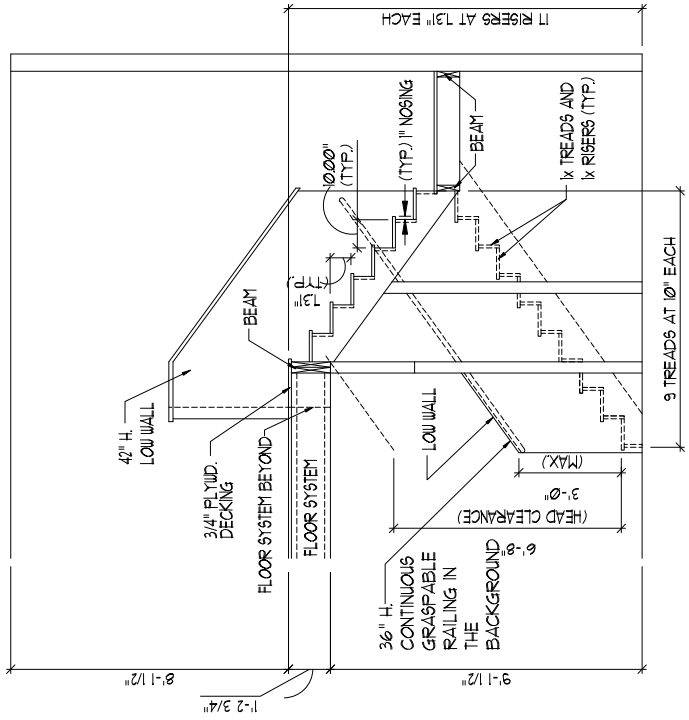
DATE: MARCH 15, 2019
REV.: MAY 01, 2020
SCALE: 1/4"=1'-0"
DRAWN BY:
ENGINEERED BY:
REVIEWED BY:
ROOF PLAN
ELEVATION - A/B
& C

A-8.2

**J.S. THOMPSON
ENGINEERING, INC.**
600 W. MARKET ST., SUITE 104
RALEIGH, NC 27605
PHONE: (919) 789-9919
FAX: (919) 789-9921
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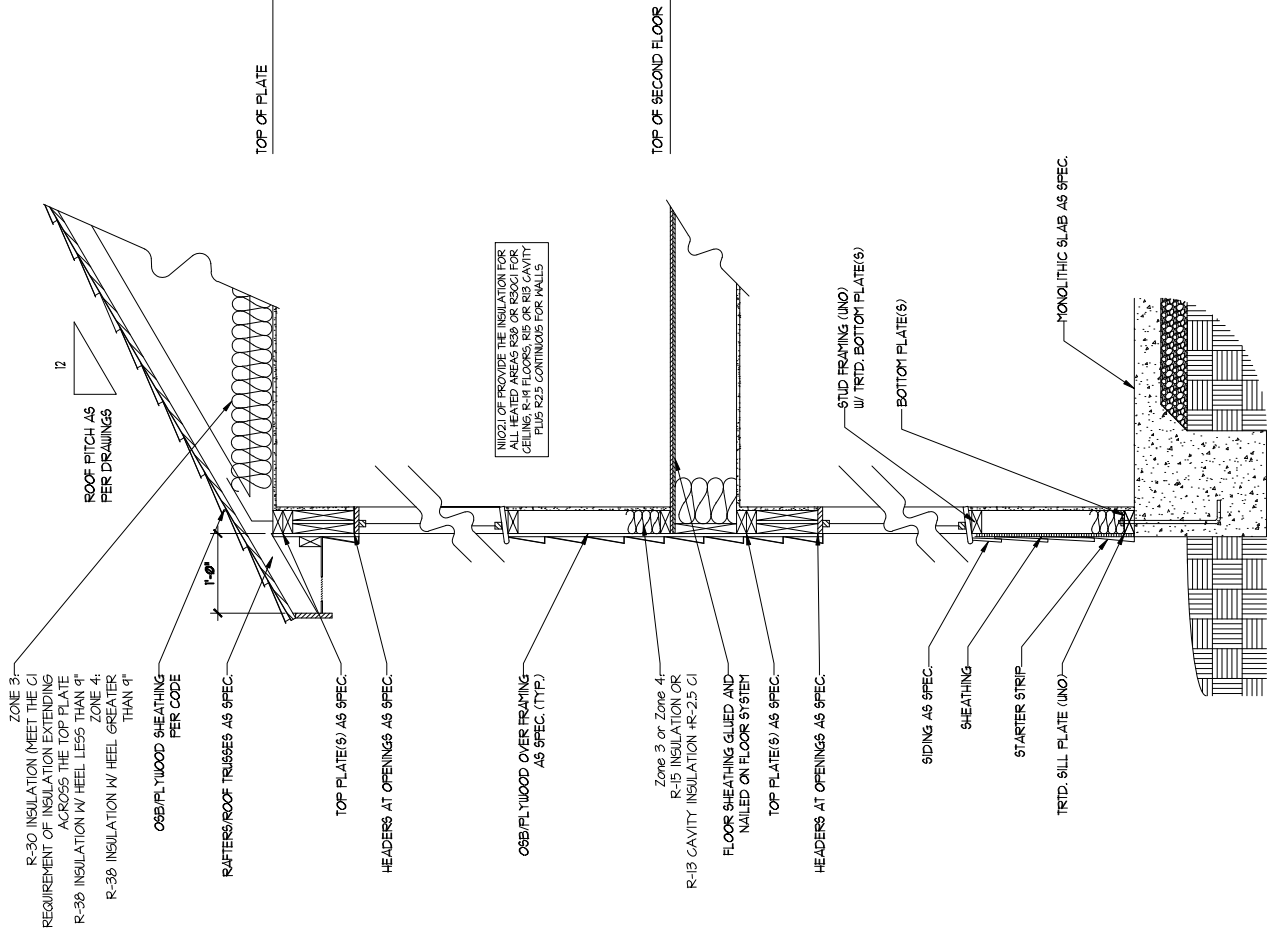


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OPTIONS, FLOOR PLANS, ELEVATIONS, DIMENSIONS
WILL BE DETERMINED BY THE SITE PLAN AND PLOT PLAN.
WITHOUT NOTICE, SQUARE FOOTAGE AND DIMENSIONS
ARE ESTIMATED AND MAY VARY IN ACTUAL
CONSTRUCTION. ACTUAL POSITION OF HOUSE ON LOT
FLOOR PLANS AND ELEVATION RENDERINGS ARE ARTIST
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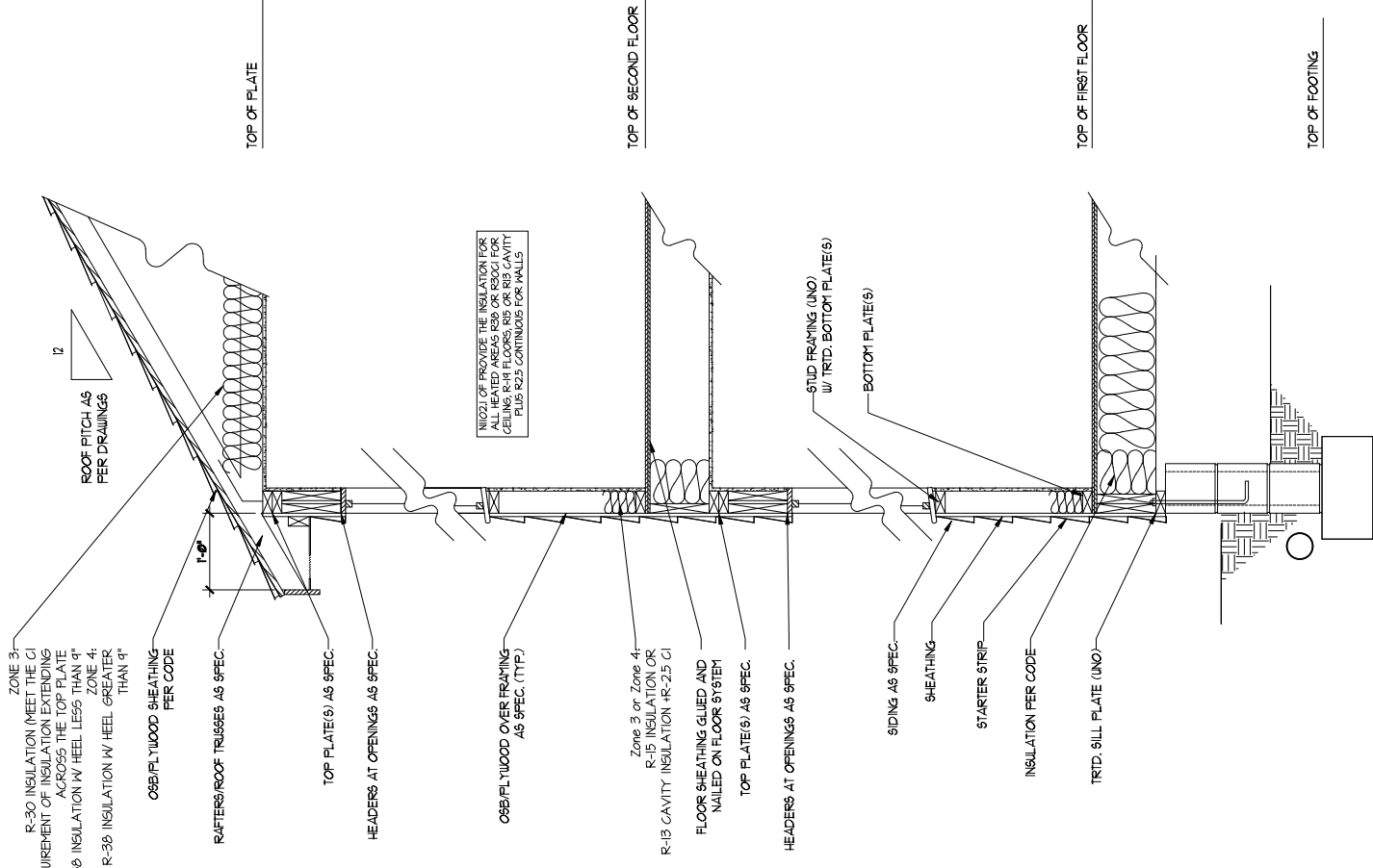


TYPICAL STAIR DETAIL
(NTS)

STAIR NOTES:
 * * * * *
 RAILING
 BALLUSTERS SHALL BE SPACED SO THAT A 4" SPHERE CANNOT PASS THROUGH.
 THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD AT THE OPEN SIDE OF A STAIRWAY SHALL BE LIMITED TO A SIZE THAT A SPHERE OF 6 INCHES CANNOT PASS THROUGH.
 OPENINGS FOR REQUIRED GUARDS ON THE SIDES OF STAIR TREADS SHALL NOT ALLOW A SPHERE 4.38 INCHES TO PASS THROUGH.
 HANDRAILS:
 HANDRAILS FOR STAIRWAYS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A POINT DIRECTLY ABOVE THE LOWEST RISER. HANDRAIL ENDS SHALL BE RETURNED OR CURVED TO THE HANDRAIL TO THE WALL. HANDRAILS SHALL NOT BE LESS THAN 1 1/2" HIGH BETWEEN THE WALL AND HANDRAILS.
 CONTINUOUS GRASPABLE HANDRAIL MUST MEET THE ONE OR THE TWO CRITERIA



WALL SECTION W/ SLAB
W/ STD. SIDING SHOWN (NTS)



WALL SECTION W/ CRAWL SPACE
W/ STD. SIDING SHOWN (NTS)

JORDAN
H&H HOMES, INC.

DATE: MARCH 15, 2019
 REV.: MAY 01, 2020
 SCALE: 1/4"=1'-0"
 DRAWN BY:
 ENGINEERED BY:
 REVIEWED BY:

WALL SECTIONS
AND STAIR
DETAIL

AD-1

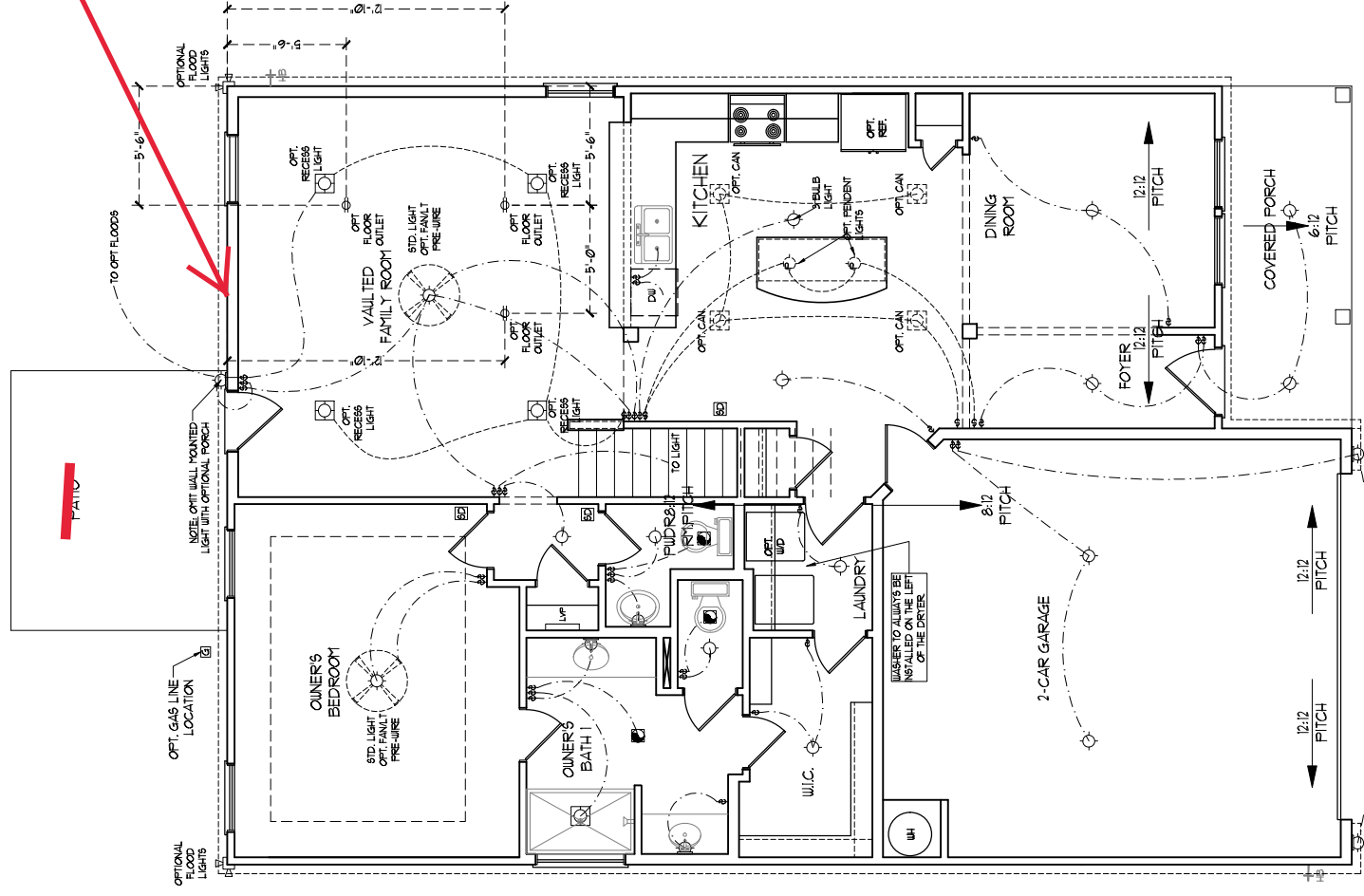
J.S. THOMPSON
ENGINEERING, INC.
 600 W. WILSON AVENUE, SUITE 104
 RALEIGH, NC 27605
 PHONE: (919) 789-9919
 FAX: (919) 789-9921
 N.C. LICENSE NO. G1134



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 ARE ESTIMATED AND MAY VARY IN ACTUAL
 CONSTRUCTION. ACTUAL POSITION OF HOUSE ON LOT
 FLOOR PLANS AND ELEVATIONS SHALL BE RETURNED TO
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COVERED PORCH

FIREPLACE



ELECTRICAL LAYOUT NOTES:
 1) BLOCK AND WIRE FOR ALL CEILING FAN PER PLAN.
 2) VANITY LIGHTS TO BE SET @ 30" AFF. (TYP)
 3) ADDITIONAL EXTERIOR OUTLETS REQUIRED BY CODE TO BE LOCATED BY ELECTRICIAN.
 4) PLACE SWITCHES 8" FROM FRONT ROUGH OPENINGS.

ELECTRICAL LEGEND	
	10 V OUTLET
	WALL MOUNT LIGHT
	CEILING MOUNT LIGHT
	PENDANT LIGHT
	RECESSED CAN LIGHT
	MINI CAN LIGHT
	EYEBALL LIGHT
	FLUORESCENT LIGHT
	1 LAMP 4 FLUORESCENT LIGHT
	FLOOD LIGHT
	SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	DINNER SWITCH
	CONDUIT FOR COMPONENT WIRING
	BREAKER
	DOORBELL CHIME
	10 V SMOKE DETECTOR
	CO DETECTOR
	EXHAUST FAN
	LOW VOLTAGE PANEL
	LVP
	CEILING FAN
	CEILING FAN w/ LIGHT

J.S. THOMPSON ENGINEERING, INC.
 600 W. MARKET STREET, SUITE 104
 FAYETTEVILLE, NC 27155
 PHONE: (919) 789-9919
 FAX: (919) 789-9921
 N.C. LICENSE NO. 61134



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 JORDAN

DATE: MARCH 15, 2019
 REV.: MAY 01, 2020
 SCALE: 1/4"=1'-0"
 DRAWN BY:
 ENGINEERED BY:
 REVIEWED BY:
FIRST FLOOR ELECTRICAL PLAN
E-1

FIRST FLOOR PLAN
 (A-1, B-1, AND C-1)

ELECTRICAL LAYOUT NOTES:
 1) BLOCK AND WIRE FOR ALL CEILING FAN PER PLAN
 2) VANITY LIGHTS TO BE SET @ 30" AFE (TYP.)
 3) ADDITIONAL EXTERIOR OUTLETS REQUIRED BY CODE TO BE LOCATED BY ELECTRICAL
 4) PLACE SWITCHES 8" MIN FROM ROUGH OPENINGS.

ELECTRICAL LEGEND	
	100 V OUTLET
	BALL MOUNT LIGHT
	CEILING MOUNT LIGHT
	PENDANT LIGHT
	RECESSED CAN LIGHT
	MIN CAN LIGHT
	EYEBALL LIGHT
	FLUORESCENT LIGHT
	2 LAMP, 4 FLUORESCENT LIGHT
	FLOOD LIGHT
	SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	DINER SWITCH
	CONDUIT FOR COMPONENT WIRING
	BREAKER
	DOORBELL CHIME
	100 V SMOKE DETECTOR
	CO DETECTOR
	EXHAUST FAN
	LOU VOLTAGE PANEL
	LVP
	CEILING FAN
	CEILING FAN W/ LIGHT

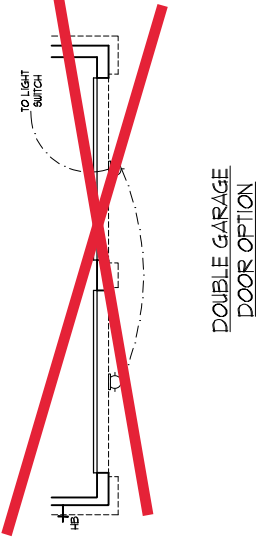
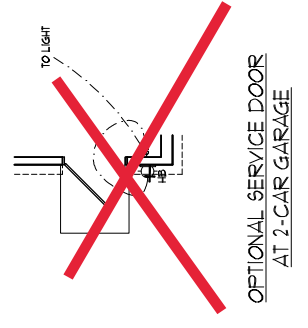
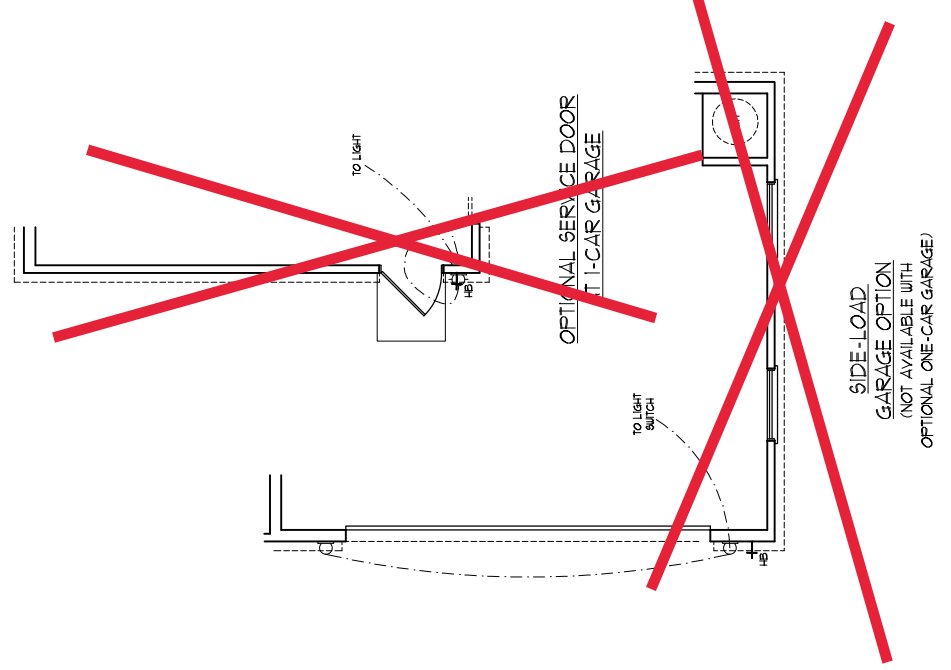
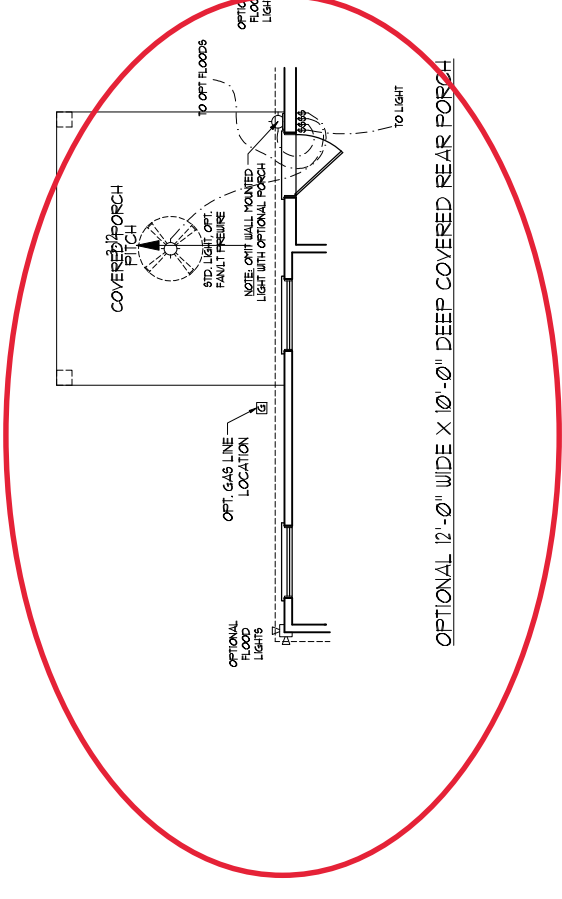
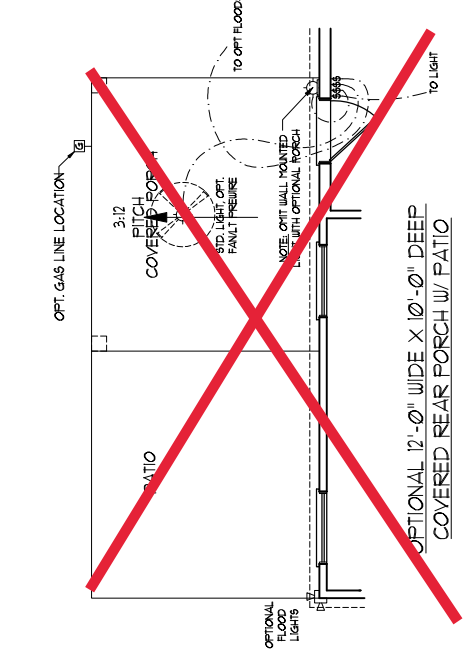
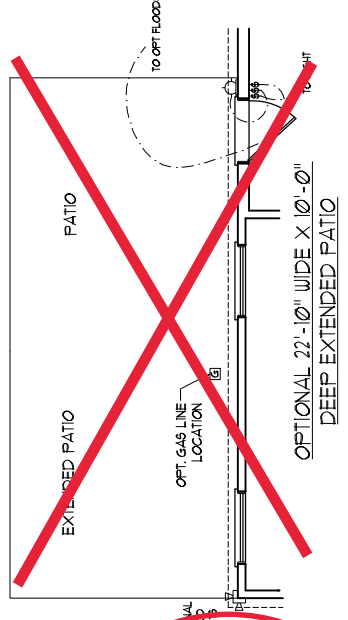
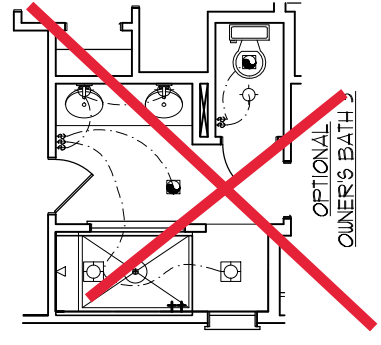
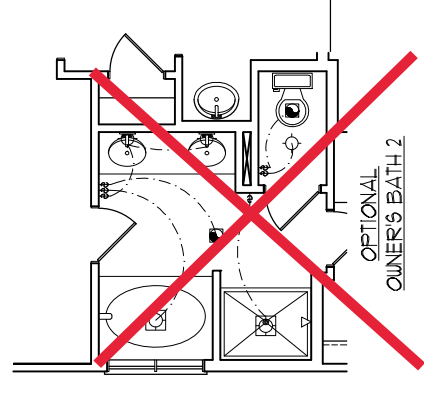
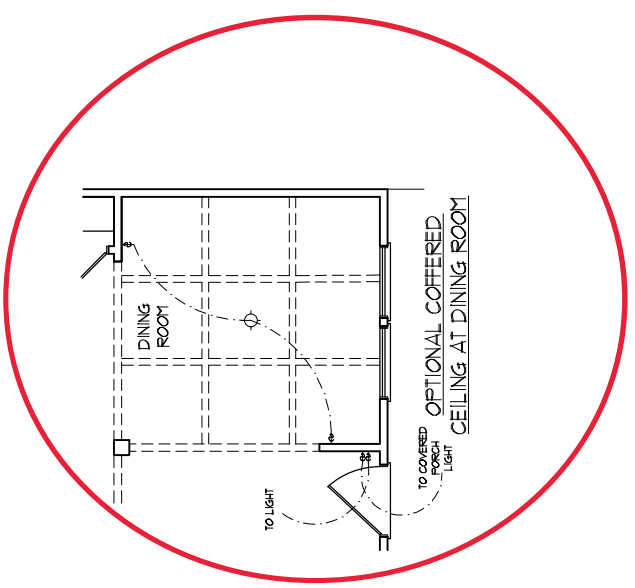
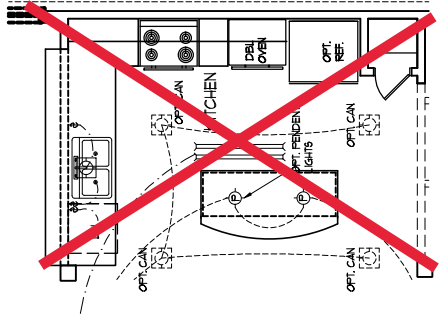
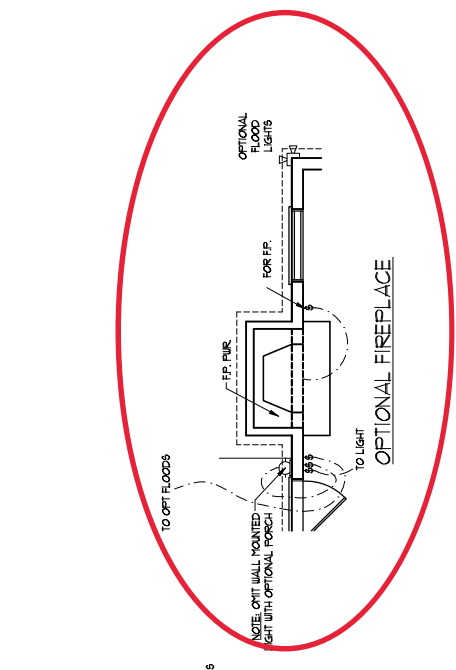


J.S. THOMPSON ENGINEERING, INC.
 600 W. WILSON AVENUE, SUITE 104
 WAKEFIELD, NC 27155
 PHONE: (919) 789-9919
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H&H HOMES, INC.
JORDAN

DATE: MARCH 15, 2019
 REV.: MAY 01, 2020
 SCALE: 1/4"=1'-0"
 DRAWN BY:
 ENGINEERED BY:
 REVIEWED BY:
FIRST FLOOR ELECTRICAL OPTIONS
E-1.1



DOUBLE GARAGE DOOR OPTION

OPTIONAL SERVICE DOOR AT 2-CAR GARAGE

SIDE-LOAD GARAGE OPTION (NOT AVAILABLE WITH OPTIONAL ONE-CAR GARAGE)

J.S. THOMPSON ENGINEERING, INC.
 600 W. WILSON ST. SUITE 104
 FAYETTEVILLE, NC 27405
 PHONE: (919) 789-9919
 FAX: (919) 789-9921
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JORDAN
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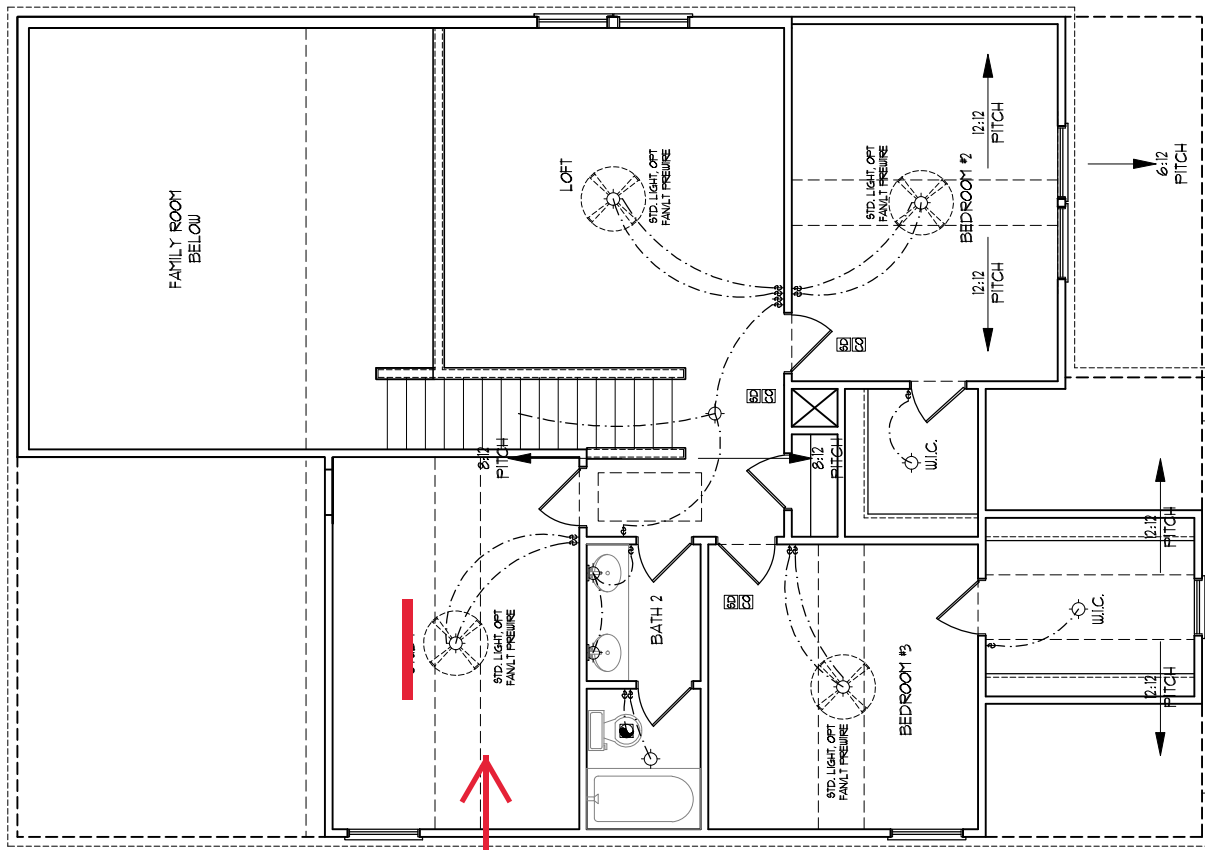
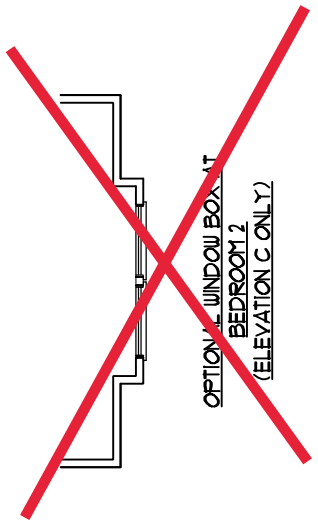
DATE: MARCH 15, 2019
 REV.: MAY 01, 2020
 SCALE: 1/4"=1'-0"
 DRAWN BY:
 ENGINEERED BY:
 REVIEWED BY:

SECOND FLOOR
 ELECTRICAL
 PLAN

E-2

ELECTRICAL LAYOUT NOTES:
 1/ BLOCK AND WIRE FOR ALL CEILING FANS PER PLAN & 30" AFF. (HT)
 2/ VANITY LIGHTS TO BE SET 4" AFF. (HT)
 3/ ADDITIONAL EXTERIOR OUTLETS REQUIRED BY CODE TO BE LOCATED BY ELECTRICIAN.
 4/ PLACE SWITCHES 8" MIN FROM ROUGH OPENINGS.

ELECTRICAL LEGEND	
	10 V. OUTLET
	BALL MOUNT LIGHT
	CEILING MOUNT LIGHT
	PENDANT LIGHT
	RECESSED CAN LIGHT
	MINI CAN LIGHT
	EYEBALL LIGHT
	FLUORESCENT LIGHT
	7 LAMP, 4' FLUORESCENT LIGHT
	FLOOD LIGHT
	SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	DIMMER SWITCH
	CONDUIT RUN
	SPEAKER
	DOORBELL CHIME
	10 V. SMOKE DETECTOR
	CO DETECTOR
	EXHAUST FAN
	LOU VOLTAGE PANEL
	CEILING FAN
	CEILING FAN W/ LIGHT



BEDROOM 4

SECOND FLOOR PLAN
 (A-I, B-1, AND C-1)

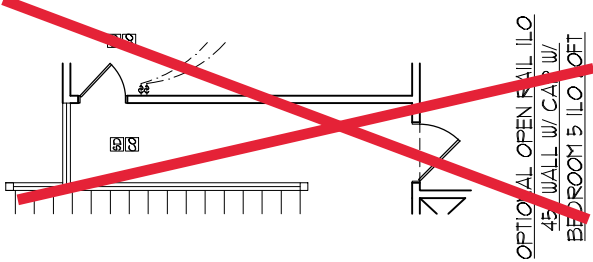
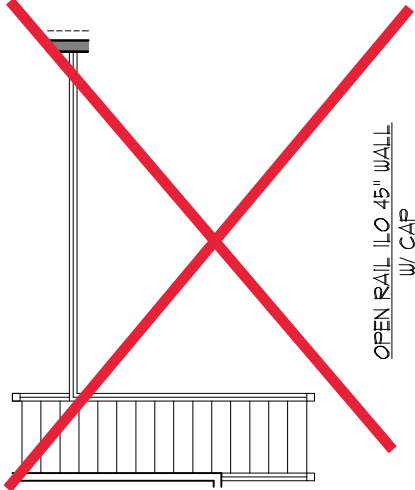
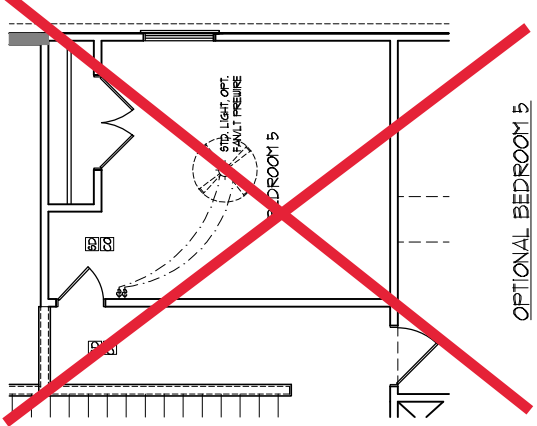
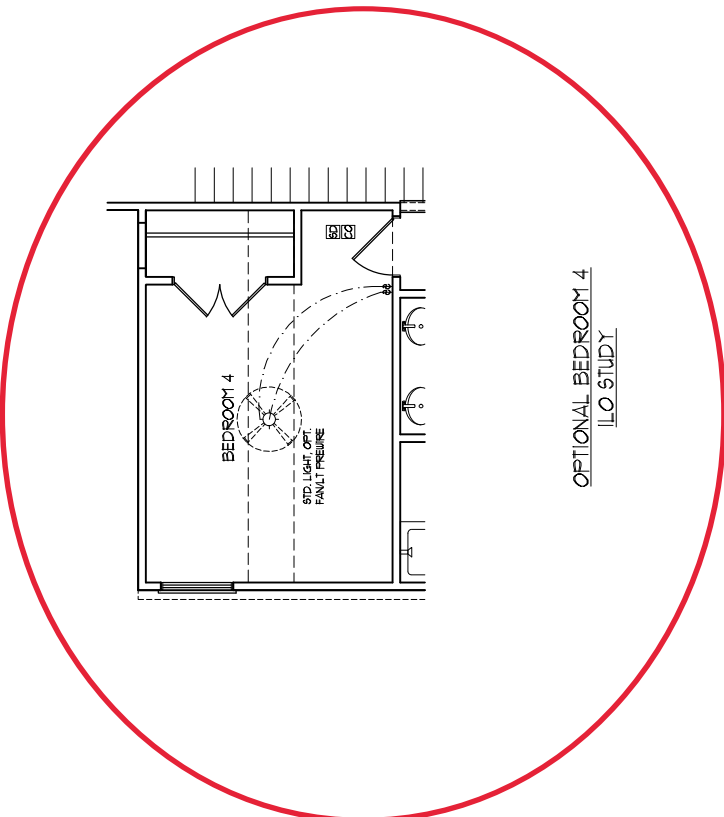
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 600 W. MARKET STREET, SUITE 104
 RALEIGH, NC 27605
 PHONE: (919) 789-9919
 FAX: (919) 789-9921
 N.C. LICENSE NO.: 61134

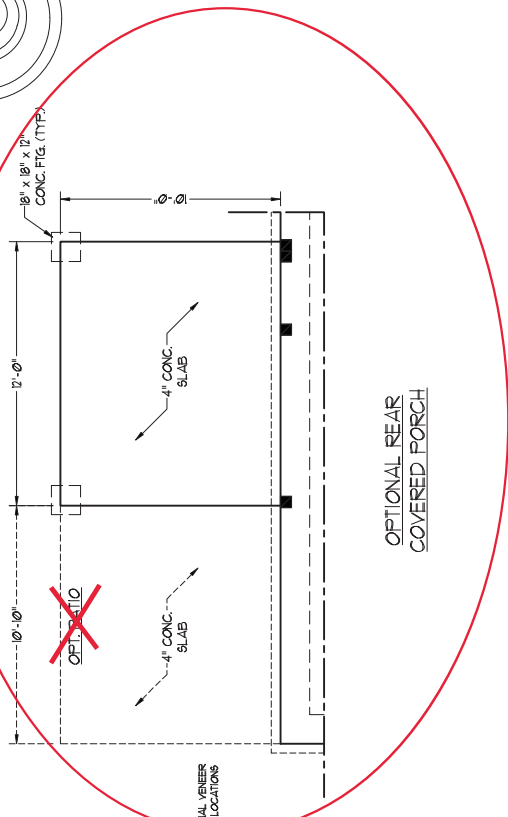
ELECTRICAL LAYOUT NOTES:
 1) BLOCK AND WIRE FOR ALL CEILING FANS PER PLAN.
 2) VANITY LIGHTS TO BE SET 4'-8" AFF. (HTP)
 3) ADDITIONAL EXTERIOR OUTLETS REQUIRED BY CODE TO BE LOCATED BY ELECTRICIAN.
 4) PLACE SWITCHES 8" FROM FRONT ROUGH OPENINGS.

ELECTRICAL LEGEND	
	10 V OUTLET
	BALL MOUNT LIGHT
	CEILING MOUNT LIGHT
	PENDANT LIGHT
	RECESSED CAN LIGHT
	MINI CAN LIGHT
	EYEBALL LIGHT
	FLUORESCENT LIGHT
	7 LAMP 4' FLUORESCENT LIGHT
	FLOOD LIGHT
	SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	DIMMER SWITCH
	CONDITIONAL COMPONENT
	BREAKER
	DOORBELL CHIME
	10 V SMOKE DETECTOR
	CO DETECTOR
	EXHAUST FAN
	100 V VOLTAGE PANEL
	LVP
	CEILING FAN
	CEILING FAN W/ LIGHT

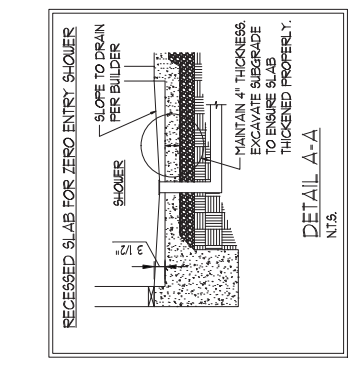




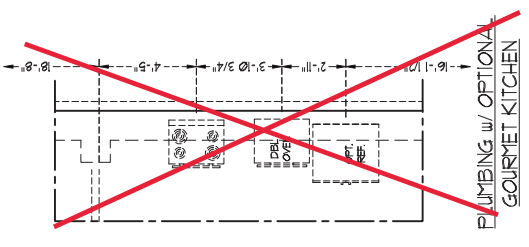
11/6/2020



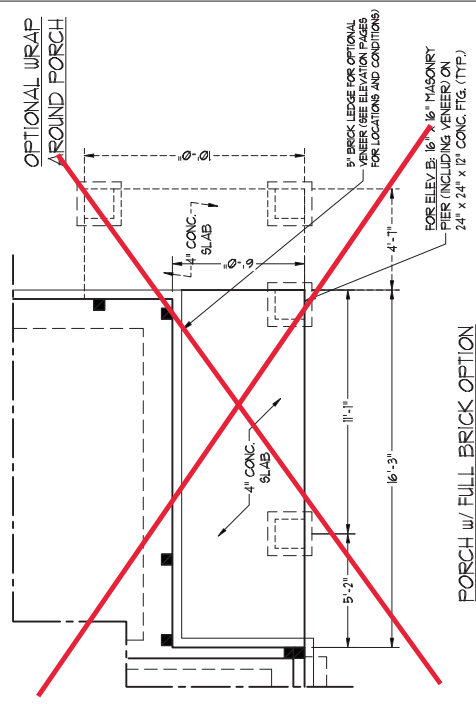
OPTIONAL REAR COVERED PORCH



DETAIL A-A

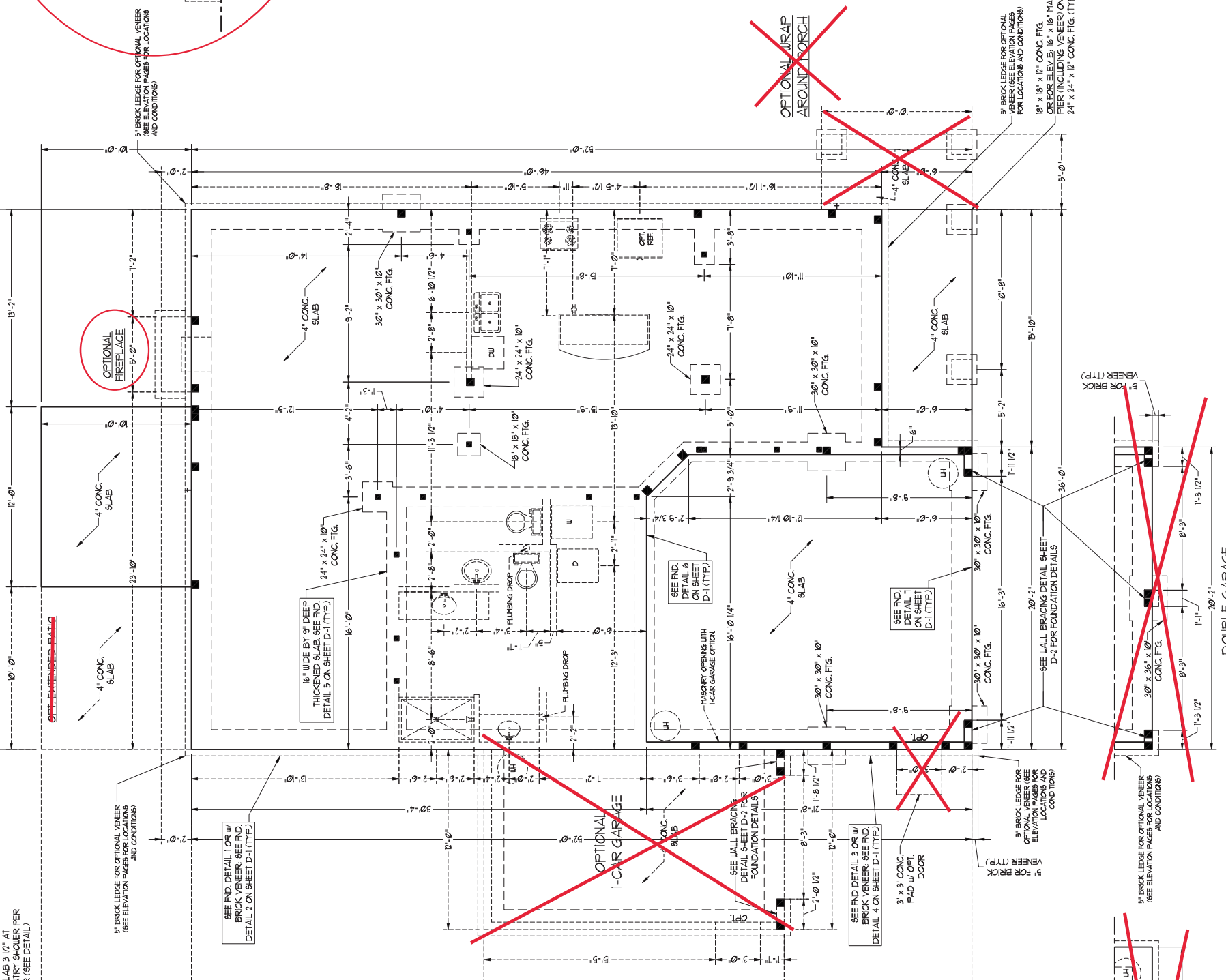


PLUMBING w/ OPTIONAL GOURMET KITCHEN



OPTIONAL WRAP AROUND PORCH

PORCH w/ FULL BRICK OPTION



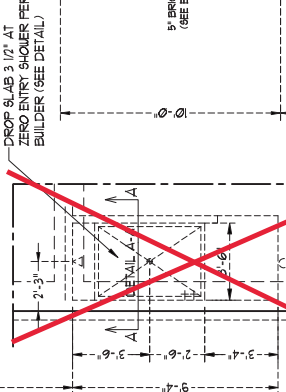
OPTIONAL FIRE PLACE

OPTIONAL 1-CAR GARAGE

OWNER'S BATH 2

SIDE-LOAD GARAGE OPTION

DOUBLE GARAGE DOOR OPTION



OWNER'S BATH 3

150 MPH ULTIMATE DESIGN WIND SPEED NOTES FOR LESS THAN 30' MEAN ROOF HEIGHT:
 1. ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS. ENGINEERS SEAL DOES NOT CERTIFY DIMENSIONAL ACCURACY OR ARCHITECTURAL LAYOUT.
 2. STRUCTURAL DESIGN PER NORTH CAROLINA RESIDENTIAL CODE 2008 EDITION WITH SPECIAL CONSIDERATION TO CHAPTER 45 (HIGH WIND ZONES) FOR 150 MPH WINDS OF THE NORTH CAROLINA FOUNDATION ANCHORAGE TO COMPLY WITH RESIDENTIAL CODE 2008 EDITION. MEAN ROOF HEIGHT IS LESS THAN 30 FEET.
 3. MEAN ROOF HEIGHT IS LESS THAN 30 FEET. AND .33 PSF (4. INDICATE POSITIVE) NEGATIVE PRESSURE (ITP).
 4. ROOF CLADDING DESIGNED FOR 122 PSF AND .38 PSF FOR ROOF PITCHES 12:12 TO 12:12.
 5. EXTERIOR WALLS.
 6. WALLS TO BE BRACED IN ACCORDANCE WITH CHAPTER 5 OF THE NORTH CAROLINA RESIDENTIAL CODE 2008 EDITION AND AS NOTED ON PLANS.
 7. INSULATION VALUES OF THE BUILDING TO COMPLY WITH CHAPTER 11 OF THE NRC, 2008 EDITION.

150 MPH ULTIMATE DESIGN WIND SPEED NOTES FOR LESS THAN 30' MEAN ROOF HEIGHT:
 1. ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS. ENGINEERS SEAL DOES NOT CERTIFY DIMENSIONAL ACCURACY OR ARCHITECTURAL LAYOUT.
 2. STRUCTURAL DESIGN PER NORTH CAROLINA RESIDENTIAL CODE 2008 EDITION. MEAN ROOF HEIGHT IS LESS THAN 30 FEET. AND .33 PSF (4. INDICATE POSITIVE) NEGATIVE PRESSURE (ITP).
 3. ROOF CLADDING DESIGNED FOR 122 PSF AND .38 PSF FOR ROOF PITCHES 12:12 TO 12:12.
 4. EXTERIOR WALLS DESIGNED FOR 120 PSF WINDS.
 5. WALL CLADDING DESIGNED FOR 85 PSF AND .38 PSF FOR ROOF PITCHES 12:12 TO 12:12. ROOF CLADDING DESIGNED FOR 442 PSF AND .38 PSF FOR ROOF PITCHES 12:12 TO 12:12.
 6. INSTALL 1/4" OSB SHEATHING ON ALL EXTERIOR WALLS OF ALL STORES IN ACCORDANCE WITH SECTION 1403.03 OF THE NRC, 2008 EDITION. SEE BRACING NOTES AND DETAILS SHEET FOR MORE INFORMATION.
 7. ENERGY EFFICIENCY COMPLIANCE AND NOTES TO BE IN ACCORDANCE WITH CHAPTER 11 OF THE NRC, 2008 EDITION.
 8. REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.

BRACED WALL DESIGN NOTES:

1. BRACED WALL DESIGN PER SECTION R60210 OF THE NORS 2008 EDITION.
2. CS-15P REFERS TO 'CONTINUOUS SHEATHING - WOOD STRUCTURAL PANELS' CONTRACTOR IS TO INSTALL 1/8" OGB ON ALL EXTERIOR WALLS ATTACHED W/ 8d NAILS SPACED 6" O.C. ALONG PANEL EDGES AND 12" O.C. IN THE FIELD.
3. 'GB' REFERS TO 'GYPSUM BOARD' CONTRACTOR IS TO INSTALL 1/2" (MIN) GYPSUM WALL BOARD WHERE NOTED ON THE PLANS. FASTEN GB WITH 1/4" SCREWS OR 1 3/8" NAILS SPACED 7" O.C. ALONG PANEL EDGES AND IN THE FIELD INCLUDING TOP AND BOTTOM PLATES.
4. DESIGN APPLIED IN WIND ZONES UP TO 150 MPH. FOR WIND ZONES BRACE WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH CHAPTER 45 OF THE NORS 2008 EDITION.
5. SEE NOTES AND DETAIL SHEETS FOR ADDITIONAL BRACED WALL INFORMATION.

NOTE:

1. PER SECTION R60210.46 OF THE 2008 NORS, THE AMOUNT OF BRACING REQUIRED ON ALL BRACING OR EXTERIOR WALLS MULTIPLIED BY A FACTOR OF 1.5.
2. SHEATH ALL EXTERIOR WALLS WITH 1/8" OGB SHEATHING ATTACHED WITH 8d NAILS AT 6" O.C. ALONG PANEL EDGES AND 12" O.C. IN THE FIELD.

STRUCTURAL NOTES:

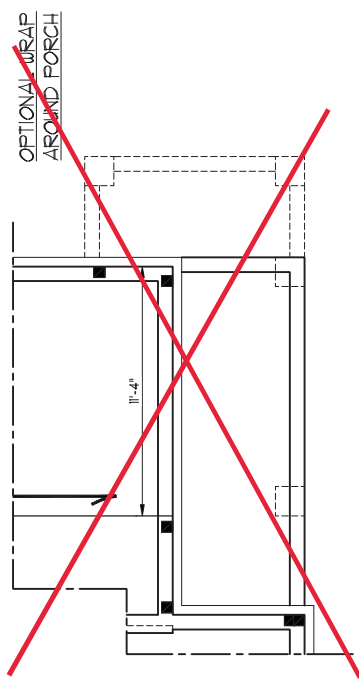
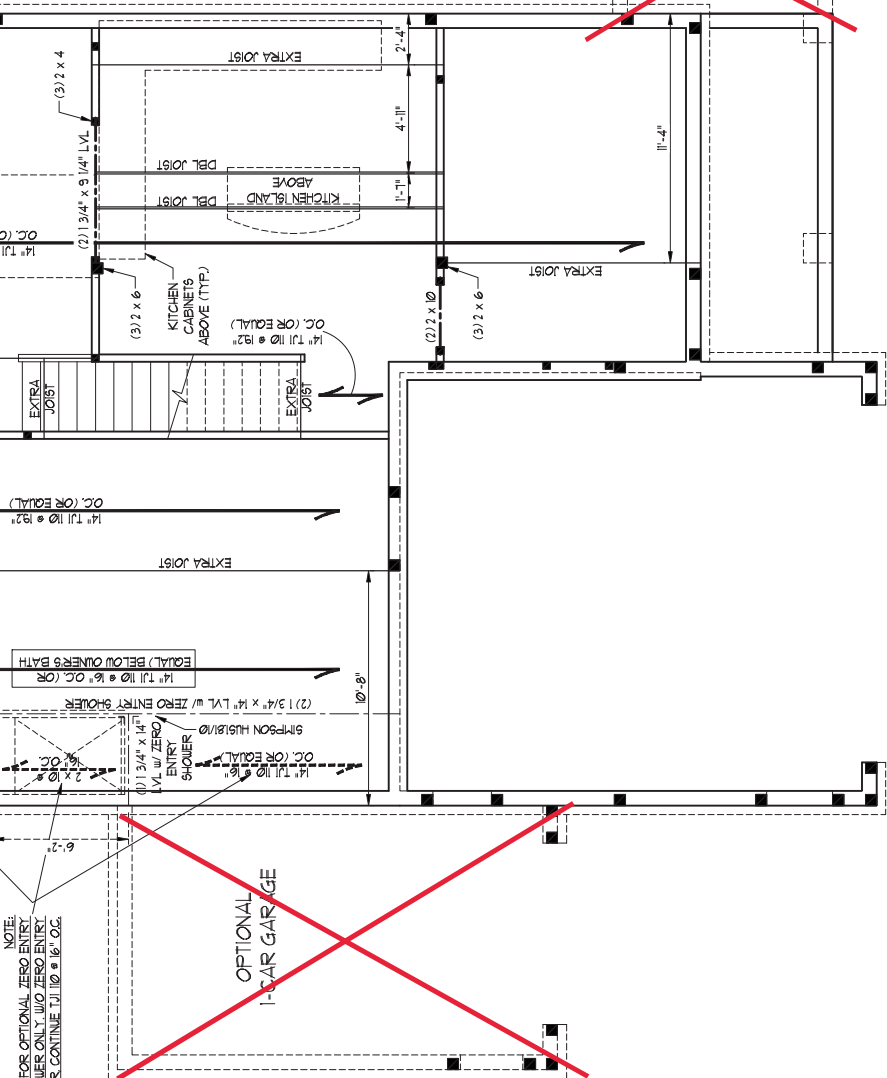
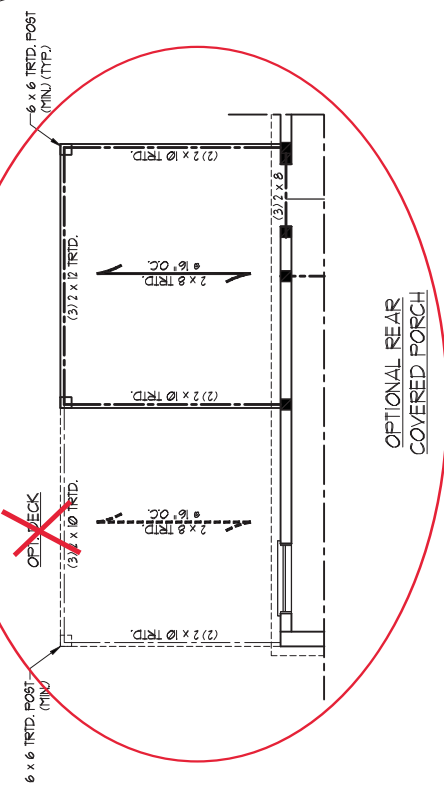
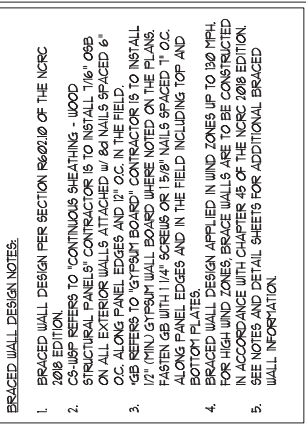
1. ALL FRAMING LUMBER TO BE #2 SFF (UNO).
2. ALL LOAD BEARING HEADERS TO BE (3) 2 x 8 (UNO).
3. SQUARES DENOTE POINT LOADS WHICH REQUIRE SOLID BLOCKING TO GIRDER OR FOUNDATION. SUPPORT UNSPECIFIED PT. LOADS ALONG FRAMED WALLS W/ (2) STUDS (UNO).
4. INSTALL AN EXTRA JOIST UNDER WALLS PARALLEL TO FLOOR JOISTS WHERE NOTED ON THE PLANS.
5. STEP FOUDED FOUNDATION WALL DOWN TO 2 x 6 @ 16" O.C. 5/16" WALL AS GRADE PERMITS.
6. ALL LOAD BEARING INTERIOR WALLS TO BE 2 x 4 @ 12" O.C. OR 2 x 6 @ 16" O.C. (UNO).
7. FOR HIGH WIND ZONES, ALL EXTERIOR WALLS TO BE SHEATHED WITH 1/8" OGB SHEATHING WITH JOISTS BLOKED AND SECURED WITH 8d NAILS AT 3" O.C. ALONG EDGES AND 6" O.C. IN THE FIELD.
8. PANELS TO BE INSTALLED WITH INTERSTICES AND GIRDERS WITH PANELS TO BE STAGGERED AT 3" O.C. PANELS SHALL EXTEND 12" BEYOND CONSTRUCTION JOINTS AND SHALL OVERLAP GIRDERS AND DOUBLE SILL PLATES THEIR FULL DEPTH.
9. ALL 4 x 4 POSTS SHALL BE ANCHORED TO SLABS W/ S/FRON ANCH44 POST BASES (OR EQUAL) AND 6 x 6 POSTS W/ ANCH66 POST BASES (OR EQUAL) (UNO). ALL 4 x 4 AND 6 x 6 POSTS TO BE INSTALLED WITH 100 LB CAPACITY UPLIFT CONNECTORS AT TOP (UNO).
10. FOR FIREGLASS, ALUMINUM OR COLUMN ENG. BY OTHERS, SECURE TO SLAB W/ (2) METAL ANGLES USING 2" CONC. SCREWS. FASTEN ANGLES TO COLUMNS W/ 1/4" THROUGH BOLTS W/ NUTS AND WASHERS. LOCATE ANGLES ON OPPOSITE SIDES OF COLUMN. THROUGH BOLTS MUST BE INSTALLED PRIOR TO SETTING COLUMN.
11. REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.

LINTEL SCHEDULE FOR BRICK/NATURAL STONE SUPPORT

LENGTH (FT.)	SIZE OF LINTEL
UP TO 4 FT.	L 3 1/2 x 3 1/2 x 1/4
4-8	L 5 x 3 1/2 x 5/16 L1V
8 AND GREATER	L 6 x 4 x 5/16 L1V

BRICK SUPPORT NOTES:

1. LINTEL SCHEDULE APPLIES TO ALL OPENINGS IN BRICK VENEER (UNO). SEE ARCH DETAILS FOR SIZE AND LOCATION OF OPENINGS.
2. (L1V) = LONG LEG VERTICAL
3. LENGTH OF CLEAR SPAN SHALL BE MIN. 4" EACH SIDE INTO VENEER TO PROVIDE BEARING.
4. FOR ALL HEADERS 8'-0" AND GREATER IN LENGTH, ATTACH STEEL ANGLE TO HEADER W/ 1/2" LAG SCREWS @ 12" O.C. STAGGERED.
5. FOR ALL BRICK SUPPORT * ROOF LINES, FASTEN (2) 2 x 10 BLOCKING BETWEEN STUDS W/ (4) 7d NAILS PER PLY. FASTEN A 6" x 4" x 5/16" STEEL ANGLE TO (2) 2 x 10 BLOCKING W/ (7) 7d LAG SCREWS @ 12" O.C. SEE ARCH DETAILS (NO. 0382) OF THE 2008 NORS FOR ADDITIONAL BRICK SUPPORT INFORMATION.
6. PRECAST REINFORCED CONCRETE LINTELS ENGINEERED BY OTHERS MAY BE USED IN LIEU OF STEEL LINTELS.



PORCH W/ FULL BRICK OPTION



11/7/2020

SHEET: 5 OF: 10
S-1.4a
FIRST FLOOR
FRAMING PLAN

J.S. THOMPSON ENGINEERING, INC.
606 WADE AVE., SUITE 104 RALEIGH, NC 27605
PHONE: (919) 789-9919 FAX: (919) 789-9921
N.C. LICENSE NO. C-1733

JORDAN
H&H HOMES, INC.

DATE: NOVEMBER 5, 2020
SCALE: 1/4" = 1'-0"
DRAWN BY: RENAISSANCE RESIDENTIAL DESIGN
ENGINEERED BY: WFB

DOUBLE GARAGE
DOOR OPTION



11/6/2020

- BRICK SUPPORT NOTES:**
1. LINTEL SCHEDULE APPLIES TO ALL OPENINGS IN BRICK VENEER (UNO). SEE ARCH DIMS. FOR SIZE AND LOCATION OF OPENINGS.
 2. (LLV) = LONG LEG VERTICAL
 3. LENGTH = CLEAR OPENING
 4. EMBED ALL ANGLE IRONS MIN. 4" EACH SIDE INTO VENEER TO PROVIDE BEARING.
 5. FOR ALL HEADERS 8'-0" AND GREATER IN LENGTH, ATTACH STEEL ANGLE TO HEADERS W/ 1/2" LAG SCREWS @ 12" O.C. STAGGERED.
 6. BETWEEN STUDS, 2" (1) LAG SCREWS PER FT. EASTERN 1/4" x 4" x 5/16" STEEL ANGLE TO (2) 2" x 10" BLOCKING W/ (2) 10" LAG SCREWS @ 12" O.C. STAGGERED. SEE SECTION R103.8.2.1 OF THE 2018 NCRC FOR ADDITIONAL BRICK SUPPORT INFORMATION.
 7. PRECAST REINFORCED CONCRETE LINTELS ENGINEERED BY OTHERS MAY BE USED IN LIEU OF STEEL LINTELS.

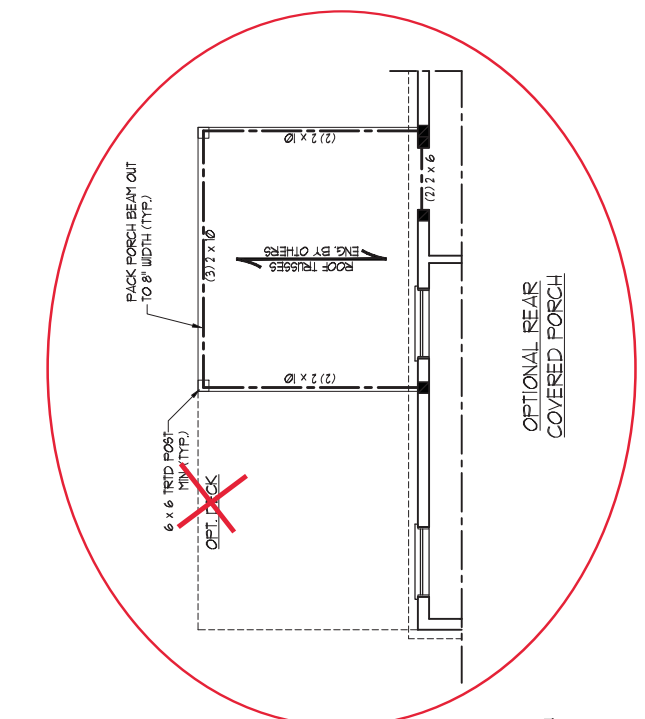
LINTEL SCHEDULE FOR BRICK/NATURAL STONE SUPPORT	
LENGTH (FT.)	SIZE OF LINTEL
UP TO 4 FT.	L 3 1/2 x 3 1/2 x 1/4
4-8	L 5 x 3 1/2 x 5/16 L1V
8 AND GREATER	L 6 x 4 x 5/16 L1V

NOTE: ALL EXTERIOR WALLS AND ATTIC WALLS ARE TO BE 2 x 6 @ 16" O.C. (UNO). 2 x 4 @ 16" O.C. EXTERIOR WALLS MAY BE CONSTRUCTED IN LIEU OF 2 x 6 WALLS (UNO). ALL INTERIOR LOAD BEARING WALLS ARE TO BE 2 x 4 @ 16" O.C. (UNO) AND NON-LOAD BEARING INTERIOR WALLS ARE TO BE 2 x 4 @ 24" O.C. (UNO).

- STRUCTURAL NOTES:**
1. ALL FRAMING LUMBER TO BE SPP #1 (UNO).
 2. ALL TREATED LUMBER TO BE SPP #1 (UNO).
 3. ALL LOAD BEARING HEADERS TO BE (2) 2 x 6 (UNO).
 4. WINDOW AND DOOR HEADERS TO BE SUPPORTED W/ (1) JACK STUD AND (1) KING STUD EA END (UNO). SEE TABLE R602.1.5 FOR MINIMUM NUMBER OF FULL HEIGHT STUDS. SOLES SHALL BE POINT TO POINTS.
 5. SOLES SHALL BE POINT TO POINTS. REQUIRE SOLID BLOCKING TO GROUND OR FOUNDATION. ALL SQUARES TO BE (2) STUDS (UNO).
 6. FOR HIGH WIND ZONES, ALL EXTERIOR WALLS TO BE SHEATHED WITH 1/2" OSB SHEATHING WITH JOINTS BLOCKED AND SECURED WITH 8d NAILS AT 3" O.C. ALONG EDGES AND 6" O.C. IN THE FIELD.
 7. FOR HIGH WIND ZONES, SECURE ALL EXTERIOR WALL SHEATHING PANELS TO DOUBLE TOP FLATES, BANDS, JOISTS AND GRIDDERS WITH (2) ROWS OF 8d NAILS STAGGERED AT 3" O.C. PANELS SHALL EXTEND 1" BEYOND CONSTRUCTION JOINTS AND SHALL OVERLAP GRIDDERS AND DOUBLE SILL PLATES THEIR FULL DEPTH.
 8. ALL 4 x 4 POSTS SHALL BE ANCHORED TO FOUNDATION WITH 1/2" DIA. POST BASES OR EMBED (OR EQUAL) (UNO) ALL 4x6 AND 6 x 6 POSTS TO BE INSTALLED WITH 1000 LB CAPACITY UPLIFT CONNECTORS AT TOP (UNO) FOR FIBERGLASS ALUMINUM OR COLUMN END ANGLES USING 2" CONC. SCREWS FASTEN ANGLES TO COLUMNS W/ 1/4" THROUGH BOLTS / NUTS AND WASHERS. LOCATE ANGLES ON OPPOSITE SIDES OF COLUMN. THROUGH BOLTS MUST BE INSTALLED PRIOR TO SETTING COLUMN.
 9. REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.
 10. "TSP" INDICATES TRIPLE STUD POCKET BETWEEN WINDOW UNITS.

TABLE R602.1.5
 MINIMUM NUMBER OF FULL HEIGHT STUDS AT EACH END OF HEADERS IN EXTERIOR WALLS

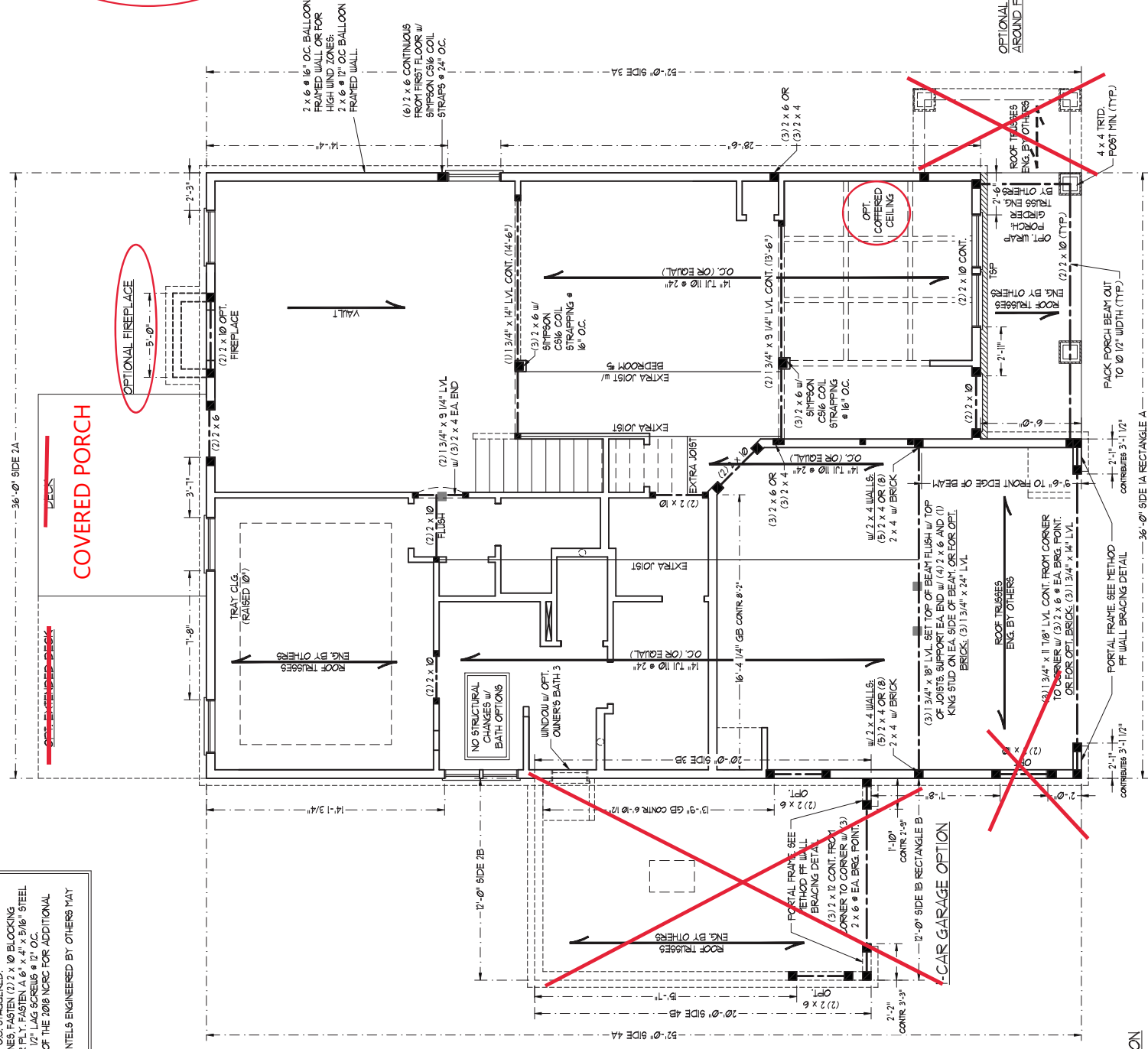
HEADER SPAN (FEET)	MINIMUM STUD SPACING (INCHES) (PER TABLE R602.1.5)
UP TO 3'	24
4'	1
6'	2
8'	3
10'	5
12'	3
16'	4



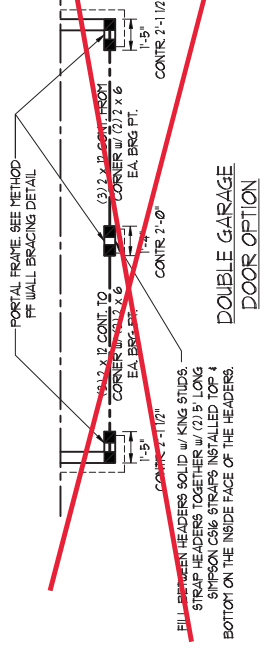
BRACED WALL DESIGN

RECTANGLE A	RECTANGLE B
SIDE 1A (FRONT LOAD)	SIDE 1B
METHOD: C5-WSP/FF	METHOD: C5-WSP/FF
TOTAL REQUIRED LENGTH: 16'	TOTAL REQUIRED LENGTH: 32'
TOTAL PROVIDED LENGTH: 16B'	TOTAL PROVIDED LENGTH: 6'
SIDE 2A	SIDE 2B
METHOD: C5-WSP	METHOD: C5-WSP
TOTAL REQUIRED LENGTH: 16'	TOTAL REQUIRED LENGTH: 32'
TOTAL PROVIDED LENGTH: 16B'	TOTAL PROVIDED LENGTH: 6'
SIDE 3A	SIDE 3B / SIDE 4A (CUMULATIVE)
METHOD: C5-WSP	METHOD: C5-WSP/GB
TOTAL REQUIRED LENGTH: 11'4"	TOTAL REQUIRED LENGTH: 13'4"
TOTAL PROVIDED LENGTH: 48B3'	TOTAL PROVIDED LENGTH: 30'6"
SIDE 4A (SIDE LOAD)	SIDE 4B
METHOD: C5-WSP/FF	METHOD: C5-WSP
TOTAL REQUIRED LENGTH: 11'4"	TOTAL REQUIRED LENGTH: 2'
TOTAL PROVIDED LENGTH: 35'2"	TOTAL PROVIDED LENGTH: 55B'

- BRACED WALL DESIGN NOTES:**
1. BRACED WALL DESIGN PER SECTION R602.10 OF THE NCRC.
 2. 2008 EDITIONS TO "CONTINUOUS SHEATHING - WOOD STRUCTURAL PANELS" CONTRACTOR IS TO INST ALL 1/2" OSB ON ALL EXTERIOR WALLS ATTACHED W/ 8d NAILS SPACED 6" O.C. ALONG PANEL EDGES AND 12" O.C. IN THE FIELD. "GB" REFERS TO "GYPSUM BOARD" CONTRACTOR IS TO INSTALL 1/2" (MIN) GYPSUM WALL BOARD WHERE NOTED ON THE PLANS. FASTEN GB WITH 1 1/4" SCREWS OR 1 5/8" NAILS SPACED 12" O.C. ALONG PANEL EDGES AND IN THE FIELD INCLUDING TOP AND BOTTOM PLATES.
 3. BRACED WALL DESIGN APPLIED IN WIND ZONES UP TO 150 MPH. FOR HIGH WIND ZONES, BRACE WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH SECTION R602.10 OF THE NCRC. SEE NOTES AND DETAIL SHEETS FOR ADDITIONAL BRACED WALL INFORMATION.
 4. BRACED WALL DESIGN APPLIED IN WIND ZONES UP TO 150 MPH. FOR HIGH WIND ZONES, BRACE WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH SECTION R602.10 OF THE NCRC. SEE NOTES AND DETAIL SHEETS FOR ADDITIONAL BRACED WALL INFORMATION.
 5. WALL INFORMATION.



SITE-LOAD GARAGE OPTION
 (NOT AVAILABLE WITH OPTIONAL ONE-CAR GARAGE)



DOUBLE GARAGE DOOR OPTION



MASONRY STEM WALL SPECIFICATIONS

WALL HEIGHT (FEET)	MASONRY WALL TYPE			
	8" CMU	4" BRICK AND 4" CMU	4" BRICK AND 8" CMU	12" CMU
2 AND BELOW	UNGRAOUTED	GROUT SOLID	UNGRAOUTED	UNGRAOUTED
3	UNGRAOUTED	GROUT SOLID	UNGRAOUTED	UNGRAOUTED
4	GROUT SOLID w/ 1/4" REBAR @ 36" O.C.	GROUT SOLID w/ 1/4" REBAR @ 48" O.C.	GROUT SOLID	GROUT SOLID w/ 1/4" REBAR @ 64" O.C.
5	GROUT SOLID w/ 1/4" REBAR @ 36" O.C.	NOT APPLICABLE	GROUT SOLID w/ 1/4" REBAR @ 36" O.C.	GROUT SOLID w/ 1/4" REBAR @ 64" O.C.
6	GROUT SOLID w/ 1/4" REBAR @ 24" O.C.	NOT APPLICABLE	GROUT SOLID w/ 1/4" REBAR @ 24" O.C.	GROUT SOLID w/ 1/4" REBAR @ 64" O.C.
1 AND GREATER	ENGINEERED DESIGN BASED ON SITE CONDITIONS			

STRUCTURAL NOTES:

- WALL HEIGHT MEASURED FROM TOP OF FOOTING TO TOP OF THE WALL.
- IF MULTIPLE WALLS TOGETHER WITH LADDER WIRE AT 18" O.C. VERTICALLY.
- CHART APPLICABLE FOR HOUSE FOUNDATION ONLY. CONSULT ENGINEER FOR DESIGN OF GARAGE FOUNDATION NOT COMMON TO HOUSE.
- BACKFILL OF CEILING (5' TO 16') WASHED STONE IS ALLOWABLE.
- CLASSIFIED AS GROUP 1 ACCORDING TO UNSETTLED SOILS AND CLASSIFICATION SYSTEM IN ACCORDANCE WITH TABLE B602.1 OF THE 2018 INTERNATIONAL RESIDENTIAL CODE ARE ALLOWABLE.
- PREP SLAB PER IS9042.1 AND IS9042.2 BASE OF THE 2018 INTERNATIONAL RESIDENTIAL CODE.
- MINIMUM 2" LAP SPlice LENGTH.
- LOCATE REBAR IN CENTER OF FOUNDATION WALL.
- WHERE REQUIRED, FILL BLOCK SOLID WITH TYPE 'S' PORTLAND OR 3000 PSI GROUT. USE OF 'LOU' LIFT GROUTING METHOD REQUIRED WHEN FILLING WALLS WITH GROUT AT HEIGHTS OF 9' AND GREATER.

ANCHOR SPACING AND EMBEDMENT

WIND ZONE	120 MPH	130 MPH
SPACING	6'-0" O.C.	4'-0" O.C.
EMBEDMENT	1'	18" INTO MASONRY 1" INTO CONCRETE

STEM WALL DETAILS

DETAIL 1

TYPICAL STEM WALL DETAIL (w/ OPTIONAL WATER TABLE)

OPTIONAL DETAIL 1

OPTIONAL STEM WALL DETAIL

DETAIL 2

TYPICAL STEM WALL DETAIL w/ BRICK DETAIL

DETAIL 3

TYPICAL STEM WALL DETAIL w/ CURB @ GARAGE

OPTIONAL DETAIL 2

TYPICAL STEM WALL DETAIL w/ CURB @ GARAGE

DETAIL 4

TYPICAL STEM WALL DETAIL w/ BRICK DETAIL

DETAIL 5

TYPICAL STEM WALL DETAIL w/ BRICK DETAIL

DETAIL 6

GARAGE CURB BRICK LEDGE DETAIL

OPTIONAL DETAIL 3

TYPICAL STEM WALL DETAIL w/ CURB @ GARAGE

DETAIL 7

STEP IN GARAGE DETAIL

DETAIL 8

SLAB AT GARAGE DOOR DETAIL

MONOLITHIC SLAB DETAILS

DETAIL 1

TYPICAL SLAB DETAIL

DETAIL 2

BRICK VENEER DETAIL

DETAIL 3

GARAGE CURB DETAIL

DETAIL 4

GARAGE CURB BRICK LEDGE DETAIL

DETAIL 5

GARAGE CURB DETAIL

DETAIL 6

STEP IN GARAGE DETAIL

DETAIL 7

THICKENED SLAB DETAIL

DETAIL 8

SLAB AT GARAGE DOOR DETAIL

GENERAL NOTES

- ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS INCLUDING ROOF RAFTERS, HIPs, VALLEYS, RIDGES, FLOORS, WALLS, BEAMS, HEADERS, COLUMNS, CANTILEVERS, OFFSET LOAD BEARING WALLS, PIERS, GIRDER SYSTEM AND FOOTING. ENGINEER'S SEAL DOES NOT CERTIFY DIMENSIONAL ACCURACY OF ARCHITECTURAL LAYOUT INCLUDING ROOF. ENGINEER'S SEAL DOES NOT APPLY TO JOIST OR FLOOR/ROOF TRUSS LAYOUT DESIGN AND ACCURACY.
- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REQUIREMENTS OF THE NORTH CAROLINA RESIDENTIAL CODE (NRC), 2018 EDITION PLUS ALL LOCAL CODES AND REGULATIONS. THE STRUCTURAL ENGINEER IS NOT RESPONSIBLE FOR, AND WILL NOT HAVE CONTROL OF, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE CONSTRUCTION WORKS. NOR WILL THE ENGINEER BE RESPONSIBLE FOR THE CONTRACTORS FAILURE TO CARRY OUT THE CONSTRUCTION WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- STRUCTURAL DESIGN BASED ON THE PROVISIONS OF THE NRC, 2018 EDITION (R602.4 - R601.1)

DESIGN CRITERIA:	LIVE LOAD (PSF)	DEAD LOAD (PSF)	DEFLECTION (IN)
ATTIC WITH LIMITED STORAGE	20	10	L/240 (L/240 w/ BRITTLE FINISHES)
ATTIC WITHOUT STORAGE	10	10	L/360
DECKS	40	10	L/360
EXTERIOR BALCONIES	40	10	L/360
FIRE ESCAPES	40	10	L/360
HANDRAILS/GUARDRAILS	200 LB OR 50 (FEF)	10	L/360
PASSENGER VEHICLE GARAGE	50	10	L/360
ROOMS OTHER THAN SLEEPING ROOM	40	10	L/360
SLEEPING ROOMS	30	10	L/360
STAIRS	40	10	L/360
WIND LOAD	(BASED ON TABLE R602.2(4) WIND ZONE AND EXPOSURE)		
GROUND SNOW LOAD, Pg	20 (PSF)		

- JOIST SYSTEMS DESIGNED WITH 12 PSF DEAD LOAD AND DEFLECTION (IN) OF L/480
 - FLOOR TRUSS SYSTEMS DESIGNED WITH 15 PSF DEAD LOAD
- FOR 15 AND 120 MPH WIND ZONES; FOUNDATION ANCHORAGE IS TO COMPLY WITH SECTION R405.1.6 OF THE NRC, 2018 EDITION. FOR 130 MPH, 140 MPH, AND 150 MPH WIND ZONES; FOUNDATION ANCHORAGE IS TO COMPLY WITH SECTION 4504 OF THE NRC, 2018 EDITION.
 - ENERGY EFFICIENCY COMPLIANCE AND INSULATION VALUES OF THE BUILDING TO BE IN ACCORDANCE WITH CHAPTER 11 OF THE NRC, 2018 EDITION.

FOOTING AND FOUNDATION NOTES

- FOUNDATION DESIGN BASED ON A MINIMUM ALLOWABLE BEARING CAPACITY OF 2000 PSF. CONTACT GEOTECHNICAL ENGINEER IF BEARING CAPACITY IS NOT ACHIEVED.
- FOR ALL CONCRETE SLABS AND FOOTINGS, THE AREA WITHIN THE PERIMETER OF THE BUILDING ENVELOPE SHALL HAVE ALL VEGETATION, TOP SOIL AND FOREIGN MATERIAL REMOVED. FILL MATERIAL SHALL BE FREE OF VEGETATION AND FOREIGN MATERIAL. THE FILL SHALL BE COMPACTED TO ASSURE UNIFORM SUPPORT OF THE SLAB, AND EXCEPT WHERE APPROVED, THE FILL DEPTHS SHALL NOT EXCEED 24" FOR GRAVEL OR SAND, 12" FOR SILT OR CLAY, AND 6" FOR ORGANIC MATERIAL. ALL CONCRETE SLABS SHALL BE INSTALLED ON WELL-DRAINED OR SAND-GRAVEL MIXTURES. ALL SLABS SHALL BE REINFORCED WITH CONCRETE REINFORCING SYSTEM IN ACCORDANCE WITH TABLE R602.1 OF THE NRC, 2018 EDITION.
- PROPERLY DELIMIT EXCAVATION PRIOR TO POURING CONCRETE WHEN BOTTOM OF CONCRETE SLAB IS AT OR BELOW WATER TABLE. IF APPLICABLE, 3/4" - 1" DEEP CONTROL JOINTS ARE TO BE SAILED WITHIN 4 TO 12 HOURS OF CONCRETE FINISHING AND WALL LOCATIONS HAVE BEEN MARKED. ADJUST WHERE NECESSARY.
- CONCRETE SHALL CONFORM TO SECTION R402.2 OF THE NRC, 2018 EDITION. CONCRETE REINFORCING STEEL TO BE ASTM A615 GRADE 60. WELDED WIRE FABRIC TO BE ASTM A95. MAINTAIN A MINIMUM CONCRETE COVER AROUND REINFORCING STEEL OF 3" IN FOOTINGS AND 1 1/2" IN SLABS. FOR POURED CONCRETE WALLS, CONCRETE COVER FOR REINFORCING STEEL MEASURED FROM THE INSIDE FACE OF THE WALL SHALL NOT BE LESS THAN 3/4". CONCRETE COVER FOR REINFORCING STEEL MEASURED FROM THE OUTSIDE FACE OF THE WALL SHALL NOT BE LESS THAN 1 1/2" FOR 6 BARS OR SMALLER, AND NOT LESS THAN 2" FOR 6 BARS OR LARGER.
- MASONRY UNITS TO CONFORM TO ACE 530/ASCE 5 WITHS 402. MORTAR SHALL CONFORM TO ASTM C270.
- THE UNSUPPORTED HEIGHT OF MASONRY PIERS SHALL NOT EXCEED FOUR TIMES THEIR LEAST DIMENSION FOR UNFILLED HOLLOW CONCRETE MASONRY UNITS AND TEN TIMES THEIR LEAST DIMENSION FOR SOLID OR SOLID FILLED PIERS. PIERS MAY BE FILLED WITH CONCRETE OR TYPE N OR S MORTAR. PIERS AND WALLS SHALL BE CAPPED WITH 8" OF SOLID MASONRY.
- THE CENTER OF EACH OF THE PIERS SHALL BEAR IN THE MIDDLE THIRD OF ITS RESPECTIVE FOOTING. EACH GIRDER SHALL BEAR IN THE MIDDLE THIRD OF THE PIERS.
- ALL CONCRETE AND MASONRY FOUNDATION WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF SECTION R404 OF THE NRC, 2018 EDITION OR IN ACCORDANCE WITH ACI 318, ACI 332, NCHA TR88-A OR ACE 530/ASCE 5 WITHS 402. MASONRY FOUNDATION WALLS ARE TO BE REINFORCED PER TABLE R404.1(1), R404.1(2), R404.1(3), OR R404.1(4) OF THE NRC, 2018 EDITION. CONCRETE FOUNDATION WALLS ARE TO BE REINFORCED PER TABLE R404.1(5) OF THE NRC, 2018 EDITION. STEP CONCRETE FOUNDATION WALLS TO 2 x 6 FRAMED WALLS AT 16" O.C. WHERE GRADE PERMITS (UNO).

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FRAMING NOTES

- ALL FRAMING LUMBER SHALL BE # 2 MINIMUM (Fb = 875 PSI, Fv = 375 PSI, E = 16,000,000 PSI) UNLESS NOTED OTHERWISE (UNO). ALL TREATED LUMBER SHALL BE # 2 MINIMUM (Fb = 875 PSI, Fv = 375 PSI, E = 16,000,000 PSI) UNLESS NOTED OTHERWISE (UNO).
- LAMINATED VENEER LUMBER (LVL) SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fb = 2600 PSI, Fv = 265 PSI, E = 19,000,000 PSI. LAMINATED STRAND LUMBER (LSL) SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fb = 2315 PSI, Fv = 310 PSI, E = 19,000,000 PSI. PARALLEL STRAND LUMBER (PSL) UP TO 1" DEPTH SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fc = 2500 PSI, E = 19,000,000 PSI. PARALLEL STRAND LUMBER (PSL) MORE THAN 1" DEPTH SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fc = 2300 PSI, E = 20,000,000 PSI. INSTALL ALL CONNECTIONS PER MANUFACTURER'S SPECIFICATIONS.
- STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING ASTM SPECIFICATIONS
 - W AND UT SHAPES: ASTM A992
 - CHANNELS AND ANGLES: ASTM A36
 - PLATES AND BARS: ASTM A36
 - HOLLOW STRUCTURAL SECTIONS: ASTM A500 GRADE B
 - STEEL PIPE: ASTM A53, GRADE B, TYPE E OR S
- STEEL BEAMS SHALL BE SUPPORTED AT EACH END WITH A MINIMUM BEARING LENGTH OF 3 1/2" AND FULL FLANGE WIDTH (UNO). PROVIDE SOLID BEARING FROM BEAM SUPPORT TO FOUNDATION. BEAMS SHALL BE ATTACHED AT THE BOTTOM FLANGE TO EACH SUPPORT AS FOLLOWS (UNO):
 - WOOD FRAMING (2) 1/2" DIA. x 4" LONG LAG SCREWS
 - CONCRETE (2) 1/2" DIA. x 4" WEDGE ANCHORS
 - MASONRY (FULLY GROUTED) (2) 1/2" DIA. x 4" LONG SIMPSON ITEN HD ANCHORS
- LATERAL SUPPORT IS CONSIDERED ADEQUATE PROVIDING THE POSTS ARE TOE NAILED TO THE 2x NAILERS ON TOP OF THE STEEL BEAM, AND THE 2x NAILER IS SECURED TO THE TOP OF THE STEEL BEAM w/ (2) ROWS OF SELF TAPPING SCREWS # 16" O.C. OR (2) ROWS OF 1/2" DIAMETER BOLTS # 16" O.C. IF 1/2" BOLTS ARE USED TO FASTEN THE NAILER, THE STEEL BEAM SHALL BE FABRICATED w/ (2) ROWS OF 3/16" DIAMETER HOLES # 16" O.C.
- SQUARES DENOTE POINT LOADS WHICH REQUIRE SOLID BLOCKING TO GIRDER OR FOUNDATION. SHAPED SQUARES DENOTE POINT LOADS FROM ABOVE WHICH REQUIRE SOLID BLOCKING TO SUPPORTING MEMBER BELOW.
- ALL LOAD BEARING HEADERS TO CONFORM TO TABLE R602.1(1) AND R602.1(2) OF THE NRC, 2018 EDITION OR BE (2) 2" x 6" WITH (1) JACK AND (1) KING STUD EACH END (UNO) UNLESS OTHERWISE NOTED TO EACH BEARING POINT (UNO). INSTALL KING STUDS PER SECTION R602.1.5 OF THE NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION.
- ALL BEAMS, HEADERS, OR GIRDER TRUSSES PARALLEL TO WALL ARE TO BEAR FULLY ON (1) JACK OR (2) STUDS MINIMUM OR THE NUMBER OF JACKS OR STUDS NOTED. ALL BEAMS OR GIRDER TRUSSES PERPENDICULAR TO WALL AND SUPPORTED BY (3) STUDS OR LESS ARE TO HAVE 1/2" MINIMUM BEARING (UNO). ALL BEAMS OR GIRDER TRUSSES PERPENDICULAR TO WALL AND SUPPORTED BY MORE THAN (3) STUDS OR OTHER NOTED COLUMN ARE TO BEAR FULLY ON SUPPORT COLUMN FOR ENTIRE WALL DEPTH (UNO). BEAM ENDS THAT BUTT INTO ONE ANOTHER ARE TO EACH BEAR EQUAL LENGTHS (UNO).
- FLITCH BEAMS SHALL BE BOLTED TOGETHER USING 1/2" DIAMETER BOLTS (ASTM A307) WITH WASHERS PLACED AT THREADED END OF BOLT. BOLTS SHALL BE SPACED AT 24" CENTERS (MAXIMUM) AND STAGGERED AT TOP AND BOTTOM OF BEAM (2" EDGE DISTANCE) WITH (2) BOLTS LOCATED AT 6" FROM EACH END (UNO).
- ALL JOIST OR TRUSS LAYOUTS ARE TO BE IN COMPLIANCE WITH THE OVERALL DESIGN SPECIFIED ON THE PLANS. ALL DEVIATIONS ARE TO BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD PRIOR TO INSTALLATION.
- BRACED WALL PANELS SHALL BE CONSTRUCTED ACCORDING TO THE NORTH CAROLINA RESIDENTIAL CODE 2018 EDITION WALL BRACING CRITERIA, THE AMOUNT, LENGTH, AND LOCATION OF BRACING SHALL COMPLY WITH ALL APPLICABLE TABLES IN SECTION R602.10.
- PROVIDE DOUBLE JOIST UNDER ALL WALLS PARALLEL TO FLOOR JOISTS. PROVIDE SUPPORT UNDER ALL WALLS PARALLEL TO FLOOR TRUSSES OR JOISTS PER MANUFACTURER'S SPECIFICATIONS. INSTALL BLOCKING BETWEEN JOISTS OR TRUSSES FOR POINT LOAD SUPPORT FOR ALL POINT LOADS ALONG OFFSET LOAD LINES.
- FOR ALL HEADERS SUPPORTING BRICK VENEER THAT ARE LESS THAN 8'-0" IN LENGTH, REST 4 6" x 4" x 5/16" STEEL ANGLE WITH 6" MINIMUM EMBEDMENT AT SIDES FOR BRICK SUPPORT (UNO). FOR ALL HEADERS 8'-0" AND GREATER IN LENGTH, BOLT 4 6" x 4" x 5/16" STEEL ANGLE TO HEADER WITH 1/2" LAG SCREWS AT 12" O.C. STAGGERED FOR BRICK SUPPORT. FOR ALL BRICK SUPPORT AT ROOF LINES, BOLT 4 6" x 4" x 5/16" STEEL ANGLE TO (2) 2" x 10" BLOCKING INSTALLED w/ (4) 10d NAILER PLT BETWEEN WALL STUDS WITH (2) ROWS OF 1/2" LAG SCREWS AT 12" O.C. STAGGERED AND IN ACCORDANCE WITH SECTION R403.2(2) OF THE NRC, 2018 EDITION.
- FOR STICK FRAMED ROOFS, CIRCLES DENOTE (3) 2 x 4 POSTS FOR ROOF MEMBER SUPPORT. HIP SPICES ARE TO BE SPACED A MINIMUM OF 8'-0". FASTEN MEMBERS WITH THREE ROWS OF 10d NAILS AT 16" O.C. FRAME DORMER WALLS ON TOP OF DOUBLE OR TRIPLE RAFTERS AS SHOWN (UNO).
- FOR TRUSSED ROOFS, FRAME DORMER WALLS ON TOP OF 2 x 4 LADDER FRAMING AT 24" O.C. BETWEEN ADJACENT ROOF TRUSSES. STICK FRAME OVER-FRAMED ROOF SECTIONS WITH 2 x 8 RIDGES, 2 x 6 RAFTERS AT 16" O.C. AND FLAT 2 x 10 VALLEYS (UNO).
- ALL 4 x 4 AND 6 x 6 POSTS TO BE INSTALLED WITH 100 LB CAPACITY UPLIFT CONNECTORS TOP AND BOTTOM (UNO). POSTS MAY BE SECURED USING ONE SIMPSON I-16 OR I-192 UPLIFT CONNECTOR FASTENED TO THE BAND AT THE BOTTOM AND THE BEAM AT THE TOP OF EACH POST. ONE 1/2" SECTION OF SIMPSON C506 COIL STRAPPING WITH (8) 8d HDG NAILS AT EACH END MAY BE USED IN LIEU OF EACH TUST STRAP IF DESIRED. FOR MASONRY OR CONCRETE FOUNDATION USE SIMPSON POST BASE.

