# **PLANS FOR:**



DS

DTL

DWG

DWR

ELEV

**EMER** 

Garbage Disposal Double Joist

Downspout

**Expansion Joint** 

Electric Panel Board

Detail

Drawing

Drawer

Each

Elevation

LT WT

LVL LVR

MATL

MECH

MED

MFR

MEMB

MAX

Light Weight

Louver

Meter

Masonry

Maximum

Medium

Membrane

Mechanical

Medicine Cabinet

Manufacture(er)(ing)

Laminated Veneer Lumbe

# **MATTAMY HOMES - SHENANDOAH LH**

OPT. COVERED VERANDA

OPT. SCREENED PORCH

OPT. SUNROOM

GLOBAL OPTIONAL SQUARE FOOTAGES

		Α	BBREVIA <sup>*</sup>	ΓΙΟΝ	LEGEND			PLAN	<b>SET COM</b>	POSITION	NC		ELEVAT	ION
AB ABV	Anchor Bolt Above	EQ E.W.	Equal Each Wav	MIN MIR	Minimum Mirror	SQ SS	Square Solid Surface	PAGE#	LA	YOUT		NOTICE TO CONTRACTOR All construction must comply with curser NC Bu and is subject to field inspection and verification  APPROVED	aliding Codes	Harnett
AC ACC	Air Conditioner Access/ Accessible	EXIST EXP	Existing Exposed	MISC MM	Miscellaneous Millimeter	SS SST	Sanitary Sewer Stainless Steel	T1.0-T1.1	TITLE SHEET AN	ND REVISION	LOG	Limited building only review Permit holder responsible for full compliance with the code	Harnett COUNTY	MASTER SET
ACFL	Access Floor	EXT	Exterior	MO	Masonry Opening	ST	Steel	GN1.0-GN1.1	GENERAL NOTE	:0		01/31/2022	NORTH CAROLINA	01/31/2022
ADJ	Adjacent	F.A.	Flat Archway	MOV	Movable	STA	Station			:5				
ADJ AFF	Adjustable Above Finished Floor	FD FDTN	Floor Drain Foundation	MTD MTFR	Mounted	STC	Sound Transmission Class	0.10-0.15	ELEVATIONS				3 R A I I A	DUSE
AGGR	Aggregate	FE	Foundation Finish Floor	MTL	Metal Furring Metal	STD STOR	Standard Storage	0.20-0.21	BASEMENT FLO	OR PLANS		FΔF	( IVI H (	)U.SE
ALT	Alternate	FG	Fixed Glass	MULL	Mullion	STRUCT	Structural	J				. / \ .	<b>ZIVII I 7</b>	
ALUM	Aluminum	FIN	Finish	NIC	Not In Contract	SYS	System	1.0-1.4	1ST FLOOR PLA	.NS				
ANC	Anchor/Anchorage	FLEX	Flexible	NOM	Nominal	T	Tread	2.0-2.2	2ND FLOOR PLA	NIC				
AP	Access Panel	FLR	Floor	NR	Noise Reduction	T.A.	Trimmed Archway							
APPROX ARCH	Approximate Architect(ural)	F.O. FOC	Framed Opening Face of Concrete	NRC NTS	Noise Reduction Coefficien Not to Scale	t TB TEL	Towel Bar Telephone	3.0-3.1	3RD FLOOR PLA	NS				
AUTO	Automatic	FOF	Face of Concrete	OA	Overall	TEMP	Temporary/ Temperature	4.0-4.1	SECTIONS / DET	AII C				
BD	Board	FOM	Face of Masonry	OC	On Center	T&G	Tongue and Groove							_
BLDG	Building	FOS	Face of Studs	OD	Outside Diameter	THK	Thick(ness)	5.0-8.0	ELECTRICAL / H	VAC PLANS			CODE	
BLK	Block(ing)	FPL	Fireplace	OH	Overhead (Overhang)	THRES	Threshold							-
BOC	Bottom of Curb	FR	Frame	OPNG	Opening	TJ	Triple Joist							
BRG BRG PL	Bearing Bearing Plate	FTG FUR	Footing Furring/ Furred	PED PL	Pedestal Plate	TMPD TOC	Tempered Top of Curb/ Concrete						2018	
BSMT	Basement	GA	Gauge	PL	Property Line	TOL	Top of Curb/ Concrete  Tolerance							
BUR	Built up Roof	GALV	Galvanized	PLAM	Plastic Laminate	TOS	Top of Slab					NORTH CAP	ROLINA STATE	<b>BUILDING CODE:</b>
C.A.	Curved Archway	GD	Grade/ Grading	PLAS	Plastic	TOST	Top of Steel						RESIDENTIAL (	CODE
CAB	Cabinet	GL	Glass/ Glazing	PLAS	Plaster	TOW	Top of Wall							
CB	Catch Basin	G.T.	Girder Truss	PL GL	Plate Glass	TPD	Toilet Paper Dispenser							
CER	Ceramic	GYP	Gypsum	PLYWD	Plywood	TV	Television				•			
CIR	Circle	HB HC	Hose Bib Hollow Core	PNL P.T.	Panel Pressure Treated Lumber	TYP UFIN	Typical							
CJ CLG	Control Joint Ceiling	HDBD	Hard Board	P.T. PT	Paint(ed)	UNO	Unfinish(ed) Unless Noted Otherwise							
CLG HT	Ceiling Ceilina Heiaht	HDR	Header	PT	Point	UR	Urinal		СП	ENANDO	ли сопи	DE EOOT	ACEC	
CLO	Closet	HM	Hollow Metal	PT	Porcelain Tile	VB	Vinyl Base		٥п		AU SQUA	KE FUU I	AGES	
CM	Centimeter	HORIZ	Horizontal	PTN	Partition	VCT	Vinyl Composition Tile					EDENICH		
CMU	Concrete Masonry Unit	HP	High Point	PR	Pair	VER	Verify	AREA		COLONIAL	CRAFTSMAN	FRENCH	TUDOR	FARM HOUSE
COL	Column	HT	Height	PRKG	Parking	VERT	Vertical					COUNTRY		
CONC	Concrete	HTG	Heating	PSI	Pounds per Square Inch	VEST	Vestibule							
CONST CONT	Construction Continuous/ Continue	HVAC	Heating/ Ventilation/ Air Conditioning	PVC PVMT	Polyvinyl Chloride Pavement	VF VJ	Vinyl Flooring V(ee) Joint	1st FLOOF	₹	1112 SQ. FT.	1112 SQ. FT.	1112 SQ. FT.	1112 SQ. FT.	1112 SQ. FT.
CORR	Continuous/ Continue Corridor	ID	Inside Diameter	QT	Quarry Tile	VJ VNR	V(ee) Joint Veneer							
CPB	Carpet Base	INCL	Include(d)	R.	Radius	VWC	Vinyl Wall Covering	2nd FLOO	R	1456 SQ. FT.	1456 SQ. FT.	1456 SQ. FT.	1456 SQ. FT.	1456 SQ. FT.
CPT	Carpet	INSUL	Insulate/ Insulation	R	Riser	WB	Wood Base							
CSMT	Casement	INT	Interior	RA	Return Air	WD	Wood	TOTAL LIV	/ING	2567 SQ. FT.	2567 SQ. FT.	2567 SQ. FT.	2567 SQ. FT.	2567 SQ. FT.
CT	Ceramic Tile	INV	Invert	RB	Rubber Base	WDW	Window							
CTR	Center	J-Box	Junction Box	RCP	Reinforced Concrete Pipe	WGL	Wired Glass							
CU FT	Cubic Foot	JST JT	Joist Joint	RD REF	Roof Drain Reference	WH WM	Water Heater Wire Mesh	OPT. UPG	RADE SIDE	N/A	+9 SQ. FT.	+9 SQ. FT.	N/A	N/A
CU YD CWT	Cubic Yard Ceramic Wall Tile	Kit	Kitchen	REFR	Refrigerator	W/O	Without	ELEVATION	N	IN/A	TO OU. FI.	T9 3Q. F1.	IN/A	IN/A
DBL	Double	L	Length	REINF	Reinforced	WPT	Working Point							
DH	Double Hung	LAM	Laminate	REQD	Required	WSC	Wainscot			12155 -		10105		101.00
DIA	Diameter	LB	Lag Bolt	RESIL	Resilient	WT	Wall Tile	GARAGE -	· 2 CAR	421 SQ. FT.	421 SQ. FT.	421 SQ. FT.	421 SQ. FT.	421 SQ. FT.
DIAG	Diagonal	LH	Left Hand	RET	Return	WT	Weight							
DIM	Dimension	LT	Light	REV	Revision	WWF	Welded Wire Fabric	FRONT PO	ORCH COVERED	49 SQ. FT.	131 SQ. FT.	49 SQ. FT.	49 SQ. FT.	42 SQ. FT.
DISP.	Garbage Disposal	LTL	Lintel	RFG	Roofing			1			<u> </u>	I		

Channel

Plus or Minus

Property Line

Reverse

Schedule

Storm Drain

Sheet Glass

Specification

Shower

Similar

Rough Opening

Right of Way

RO

ROW

RVS

SCHED

SHT GL

SHWR

SPEC

SIM



**MATTAMY HOMES** RALEIGH DIVISION PH: 919-752-4898



SHENANDOAH

21901788

11/02/2021

120 SQ. FT.

120 SQ. FT.

120 SQ. FT.

CAR

TITLE SHEET

	PLAN REVISION LOG					
DATE	REVISION DESCRIPTION	SHEETS	DFTR			
-/-/-	PLAN CD RELEASE DATE	ALL	-			



MATTAMY HOMES
CHARLOTTE DIVISION
PH: 704-375-9373

MATTAMY HOMES RALEIGH DIVISION PH: 919-752-4898

JDS CONSULTING



MATTAMY HOMES

ODECT:
SHENANDOAH - LH

SHENANDOAH - LH
LOCATION:
NORTH CAROLINA

ECT NO.: **21901788** 

DATE: 11/02/2021

DRAWN BY:

CAR

REVISION LOG

**T1**.1

# (41) ROOF CONSTRUCTION

SPPG#TIJOH MFT#PWFS#&48#GFMU#OBOFS#+EPVCMF#MBZFS VOE FS MB ZN FOU#GPS #S PPGT #X JJI #B #Q JJD I #PG#MFTT #JIBO#7 =45 // : 249 %#P TC #TIFB UI JOH #X JUI #%I %#D MJO T#P O#B O O S P W FE #S P P G US VTTFT##+TFF#S PPG#US VTT#E FTJH OT,#OS FGJD#BMVN 1 FBW FTUS PVH I #GBTD JB #) #W FOUFE #TPGGJU#V101P1 +m 'a'm #UP #TIFFU#H O414#GPS #O1D 1#FOFS HZ #S FR VJS FN FOUT L

#### ROOF VENTILATION

POUDPO#4#N JO 1#W FOULMBULPO#BS FB #PG#463 3 #PG#UPUBM#BUUD #BS FB X JULY HN JO 1483 (#) HN BY 14:3 (#PG4S FR VJS FE 4D S PTT4W FOUJMBUJPO OSPW.RFR #W FOILMR HIPST#MPD RHFR #10 #HTF#WOOFS #OPSHIPO#PG UIF#TOBDF#BSF##N JD2#69%#BCPWF#FBWF#PS#DPSOJDF#WFOUT#XJUI UIF#CBMBODF#PG#UIF#SFRVJSFE#WFOUJMBUJPO#QSPWJEFE#CZ FBWF#PS#DPSODF#WFOUT

POULPO#5#N JO #W FOUJNBULPO#BSFB#PG#4633#PG#UPUBM#BUUJD#BSFB X JUI#S FE VD UJP O #JD #D S P TT #W FO UJMB UJP O #X JUI #VTF #P G#W B Q P S CBSSJFS #MPDBUFE #CFUXFFO#DTVMBUJPO#) #ESZXBMM1

## FRAME WALL CONSTRUCTION (2"X4") - SIDING

TJE JDH #B T#Q FS #FMFW B UJP O /#B Q Q S P W FE #I P VTF #X S B Q /#: 249 %#P T C FYUFS JPS #TIFBUIJDH #5%s 7 %#TUVE T#A #49 %#P ID 1#U3 #43 \*#N BY #IFJH IU1 S 46 #C B UU #LO T VMB ULP O /#425% #LO U1#E S Z X B MM #GLO JT I 1

+m 'a'm #UP #TIFFU#H O412#GPS #O1D #FOFS HZ#S FR VJS FN FOUT L

#### FRAME WALL CONSTRUCTION (2"X4") - STONE

TZOUI FUJD #TUP OF #TD S B UD I #D P B U#O FS #N B OVGB D UVS FS T#TO FD T1 PWFS#HBMW1#NUM1#MBUT#)#BOOSPWFE#XFBUTFS#SFTJTUBOU CBSSJFS #: 249 %#PTC #FYUFSJPS #TIFBUIJDH #5%s 7 %#TUVE T#A #49 %#P ID 1 UP #43 \*N B Y #I FJH I U #425 % #40 U #E S Z X B MM #GJO JT I 1

+m `a`m #UP #TIFFU#H O 424#GPS #O 1D 1#FOFS H Z #S FR VJS FN FOUT 1,

#### DRAINAGE

TJUF#TIBMM#HSBEF#UP#QSPWJEF#ESBJOBHF#VOEFS#BMM#QPSUJPOT PG#TUS VDUVSF#) #UP#ESBØ#TVSGBDF#XBUFS#BXBZ#GSPN#UIF TUS VD UVS F1#H S B E F#T I B MM#GB MM#9 %#X JD I JD #GJS TU#43 \*#B MM Q MVN C JOH #X P S L #T I B MM#D P N Q MZ #X JUI #UI F #D VS S FOU #S FT JE FOU JB M ) #O MVN C JOH #D P E FT1

# GROUND FLOOR SLAB ON GRADE

DPODSFUF#TMBC#QFS#TUSVDUVSBM#ESBXJOHT#PWFS#DMFBO UFS N JUF#US FBUFE #D PN Q BD U#GJMMJ#D I FN JD BM#Q S FOUS FBUN FOU#PG TP JM \ T \ HS FR V \ JS FE \ \ HC FGP S F \ \ HD B T U \ JD H \ \ HP G \ \ T T M B C \ \ \ HT B X \ \ \ HD V U \ \ HF W FS Z ±53 3 #T TG1

#### EXPOSED FLOOR TO EXTERIOR

QSPWJEF#NJDJ#S4<#CBUU#JDTVMBUJPO#JDJ#GMPPST#CFUXFFO DPOE JUPOFE #) #VODPOE JUPOFE #TQBDFT #BQQSPWFE #IPVTF XSBO #GJDJTIFE #TPGGJD1

:1) BUUD #DTVMBUPO#m \a\m #UP#TIFFU#HO414#GPS#OD#SFRVJSFNFOU1 425 % #DU U#ESZXBMM#DFJMJDH#GJDJTI#PS#BQQSPW FE#FR VBM

# INTERIOR STAIRS: SITE BUILT

- TUS JOH FS T#TIB MM#C F#5%s 45%#TZQ 1&5#+Q S FTTVS F#US FB UFE #B U CBTF, #FRVBMMZ #TQBDFE #) #BODIPSFE #UP #5%s; %#IFBEFS#) Q 1U1#5%s 7 %#Q MB UF
- 51 US FB E T#TI B MM#C F#5%s 45%#TZ O 16.5#S JD O FE #E P X O #B T#S FR VJS FE 1 +H MVFE #) #OB JMFE ,
- 61 S JTFS T#TIB MM#C F#4%s; %#TZQ 165#S JQ Q FE #E PXO#B T#S FR VJS FE 1 +H MVFE #) #OB JMFE .

71	N D #US FBE	?#< %
	NBY#OPTJDH	?#40427 %
	N D #US FBE#) #OPT DH	?#< 0627 %
	NBY ##S JTFS	?#; 0427%
	N D #I FBESPPN	?#9 *0; %
	NBY 1#WFSUJDBM#SJTF#GPS#GMJRIU#PG#TUBJST	?#45*03 %
	N JD #TUB JS #X JE UI	?#6*03 %
	N JD JHD MFB S #TUB JS #X JE UI	?#6 418 %

# FOR WINDER STAIRS

N JD #X JDE FS #US FBE #N FB TVS FE 45%#GSPN#ADTJEF#FEHF

?#< % N JD JHX JDE FS HUS FBE HN FB TVS FE HB UHB OZ HQ P JD U ?#7% NBY 1#X JDEFS #EFOUI

#### HAND RAIL

N JO #TUB JS #2#S B N O #I B O E S B JM#I F JH I U ?#67% NBY #TUBJS #2#SBNQ #IBOESBJM#IFJHIU ?#6;% N.O. THOURS PS #H VBSE #T FOR TU ?#69% N.O.1#FYUFS.PS#HVBSE#TFJHIU 2#69%

GADATIFE #SBANADH #BOE #HVBSE #SBAN#QADL FUT#TIBMM#CF#TQBDFE 7 % #P 1D 1#N BY JN VN #C FUX FFO #Q JD L FUT 1#H VBS E T #BOE #S BJMJDHT TIBMM#OPU#IBWF#POFO.DHT#GSPN#UIF#XBML.DH#TVSGBDF#UP#UIF S FR VJS FE #H VB S E #I FJR I U#X I JD I #B MMP X #UI F #D B TTB H F #P G #B TO IFS F#7 %#AD #E JB N FUFS 1

# (43) WALLS BACKING ONTO ATTIC

XBMMT#XIJDI#TFQBSBUF#DPOEJUJPOFE#MJNJOH#TQBDF#GSPN VODPOEJUPOFE #BUUJD #TOBDF#TIBMM#CF#DTVMBUFE#BOE#TFBMFE X JITT #BO #B JS #C BSS JES #TZ TITEN #TP #M JN JT #D GJMTIS BTJ PO 1#F 1#W BV/MTIFE DFJMJDH #TLZMJHIU#SBJTFE#DPGGFSFE#DFJMJDH1 +m 'a'm #UP #TIFFU#H O 414#GP S #O ID 1#FOFS H Z #S FR VJS FN FOUT 1,

41) CFBN #QPDLFU#PS#; %s; %#DPODSFUF#CMPDL#OJC#XBMMTJ#NJOJN VN CFBSJOH#60425%1

# (451) WALL & CEILING BETWEEN GARAGE & LIVING SPACE

82; %#UZOF#VY \*#ESZXBMM#PO#DFJMJDH#PG#HBSBHF#X2#MJMJDH#TOBDF BCPWF#) #425%#ESZXBMM#PO#XBMMT#TVOOPSUJOH#82; %#JZOF#Y #HXC X 2#I B C JUB C MF #TQ B D F #B C P W F #B O E #C F UX F F O #I P V T F #B O E HBSBHF#ADTVMBUF#XBMMT#BOE#DFJMJDH#CFUXFFO#HBSBHF#BOE DPOE JUJPOFE #TQBDF #UBQF#TFBM#) #TUS VDUVSBMMZ #TVQQPSU#BMM KP JOUT /HJO #PSEFS #UP #CF#HBT2GVNF#UJFIU1

+m 'a'm #UP #TIFFU#H O 412#GP S #O 1D 1#FOFS H Z #S FR VJS FN FOUT 1,

461) EPPS#BOE#GSBNF#HBTQSPPGFE##EPPS#FRVQQFE#XJDI#TFMG DMPTOH #E FW OF #BOE #X FBUIFSTUS QQOH 1

## (47) CLOTHES DRYER VENT

ESZFS#FYIBVTU#WFOUFE#UP#FYUFSJPS#)#FRVJDOFE#X2#CBDL ESBGII#EBNOFS 1#NBY 1#68 #EVDII#MFOHIII #GSPN #II F#DPOOFDIJPO UP #IT F#US B OT/UP O#E VD U#GS PN #IT F#E S Z FS #IP #IT F#P VUMFU UFS N JDB M#X T FS F#GJTUJOH T#B S F#VTFF #S FGFS #IP #N FD T B O JD B M DPEF#GPS #NBY #MFOHUI #SFEVDUJPOT #TFBM#XJJTI OPOODPNCVTUCMF#NBUFSBM#BQQSPWFE#GJSF#DBVMLJOH#PS#OPO DPNCVTUCMF#ESZFS#FYIBVTU#EVDU#XBMM#SFDFOUBDMF

# ATTIC ACCESS

BUULD #BDDFTT#IBUDI#53 %s 63 %#XJUI#XFBUIFS 0#TUS JO OJOH #LOUP BOZ#BUUJD#FYDFFEJDH#63 #TG#s#63 %#WFSUJ#IFJHIUJ##BMMPX#63 % IFBESPPN #JD#BUUJD#BU#IBUDI#MPDBUJPO#m 043 #N JD#JDTVMBUJPO OR

O VMM#E PXO#TUB JS #+O ET,#+TJ[F#O FS #O MBO,#X JUI XFBUIFS OTUS DO ODH #) #DTVMBUFE #XJDI #+S 8.#SJH JE #DTVMBUJP 01 +0 P O 0 S JH JE #JD T V MB U JP O #N B U F S JB M T #B S F #O P U #B M M P X F E ,

#### FIREPLACE CHIMNEYS

UP Q #P G#GJS FQ MB D F#D I JN OFZ #TIB MM#C F#N JD J#6\*03 %#B C P W F#UI F TUR TETUMO POULAR UMX TUD T MUTAD POUR DUAX TUT MUTEUR POULA BOE #5\*03 %#BCPWF#UIF#SPPG#TVSGBDF#XJUIJD#B#IPSJ[#EJTUBODF PG#43 \*03 %#GS PN #UIF#D IJN OFZ 1

MJD FO #D MP TFU#P S #Q B O US Z #X 2#N JD  $\pm$ 45%#E FFQ #T I FMW FT  $\pm$ Q S P W JE F

#### MECHANICAL VENTILATION

N FD IB OJD B M#FY IB VTU#GB O AW FOUFE #E JS FD UMZ #UP #FY UFS APS AHIP OSPWEF#83 ah #DUFSN JUUFOU#PS#53 ah #DPOUJOVPVT#D CBUISPPNT#) #UP JMFU#SPPNT#OSPWJEF#EVDU#TDSFFOJ#TFF#IWBD

# CABINET BLOCKING

- 69 %#B1G1G1#GPS#CBTF#DBCJ0FUT
- 87 %#B 1G1G1#GPS #CPUUPN #PG#VOOFS #DBC JOFUT ; 7 %#B 1G1G #GP S #UP Q #P G#B #63 %#VQ Q FS #D B C JD FU
- < 9 %#B 1G1G #GP S #UP O #P G#P O U.P OB M#7 5%#VO O FS T
- $_{53}$ ) $_{1}$  <u>Stud wall reinf. For Handicap Bathroo</u>m

X I F S F # I B O E JD B Q Q F E # B D D F T T JC JMJUZ #JT # S F R VJS F E ÆQ S P W JE F XPPE#CMPDL ODH#SFOOGPSDFNFOU#UP#TUVE#XBMMT##GPS#HSBC CBS #10 TUB MMB U.P O #10 #CBUT SPPN #466%069 %#B 1G1G1#CFT.10 E ##UP.1MFU1 66#BIGIG #PO#UIF#XBMM#PQQPTJUF#UIF#UIF#FOUSBODF#UP#UIF CBUIUVC #PS #TIPXFS

# S4 RANGE HOOD VENT

SBOHF#IPPE #W FOUFE #UP #FY UFS JPS J#) #FR VJQ Q FE #X 2#C BD L ESBGU#EBNQFS#NDSPXBWFT#MPDBUFE#BCPWF#B#DPPLDDH BOOMBODF#TIBMM#DPOGPSN#UP#VM<561

# (551) SLAB ON GRADE PORCH

DPODSFUF#TMBC#QFS#TUSVDUVSBM#ESBX.DHT#PWFS#DMFRO UFS N JUF#US FB UFE #D PN O B D U#GJMMJ#TVC UFS S B O FB O #UFS N JUF QPTUOUS FBUN FOU#NBZ#CF#CPSBDBSF#BQQMJFE#UP#HSPVOE GMPPS#XPPE#TVSGBDFT#JMP#TPJM#USFBUNFOU1

- (56) EJS FDUHW FOUHGVS OBD FHUFS NJOB MHTFFHBQQ FOEJY OD HWFY JD UFS N JOB MT#P G#N FD I B O JO B M#E S B GU#B O E #E JS FD U#W FOU#W FOUJOH TZTUFN %#GPS #N JOJN VN #D MFBS BOD FT#UP #X JOE PX #) #E PPS POFOJOH T#HSBEF#FYIBVTU#) #JOUBLF#WFOUTJ#SFGFS#UP#HBT VUMNTBUNPO#DPEF1
- (57) E JS FD U#W FOU#H B T#GJS FQ MB D F #TFF#B Q Q FOE JY OD #%FY JJ#UFS N JD B MT PG#NFDIBOJDBM#ESBGU#BOE#EJSFDU#WFOU#NFOUJDH#TZTUFN%#GPS N JOJN VN #D MFBSBODFT#UP#XJOEPX#)#EPPS#PQFOJOHT/#HSBEF/ FYIBVTU#) #LOUBL F#W FOUTL#S FGFS #UP #H BT#VUJMJ[BUJPO#DPEF1

# 58) SUBFLOOR FLOOR TRUSSES

627 %#U#) #H #TVC GMP P S #P O#Q S F0FOH JD FFS FE #GMP P S #US VTTFT#C Z S FH JUFS FE #US VTT#N B OVGB D UVS FS 1##+TFF#TUS VD U1#FOH JDFFS \*T OBJMJOH #TD I FE VMF,

OSPWJEF#ESBGU#TUPOOJOH#FWFSZ#4333#TG1 CSBD JOH #JO#BDD PSEBOD F#X 2#JO JOX JDB #CD T.J +427 %.#O B OFM#UZ O F#VOE FS MB Z #VOE FS #S FTJMJFOU#) #O B S R VFU GMPPSJOH1

#### EXPOSED BUILDING FACE

XBMMT#MFTT#UIBO#8\*03 %#GSPN#QSPQFSUZ#MDF#TIBMM#IBWF#B GJS F#S BUJOH #PG#OP#MFTT#UIBO##IPVS#JD#BDDPSEBODF#XJJI B TUN #F#44< #PS #VM#596#XJUI #FYQPTVSF#GSPN#CPUI #TJEFT OSPKFDUPOT#CFUXFFO#5\*03 %#) #8\*03 %#GSPN#OSPOFSUZ#MDF#NVTU IBWF#B#SBUODH#PO#UIF#VOEFSTÆF#PG#OP#MFTT#UIBO##IPVS#O BDDPSEBODF#XJJI#BTUN#F#44<#PS#VM#596 QSPKFDUPOT#MFTT#UIBO#8\*03 %#GSPN#QSPQFSUZ#MOF#DBOOPU

IBWF#B#WFOUMBUFE#TPGGJU

PQFO.DHT#.D#B#XBMM#MFTT#UIBO#6\*03 %#GSPN#QSPQFSUZ#M.DF#BSF OPU#BMMPXFE

PQFO.DHT#D#B#XBMM#CFUXFFO#6\*03 %#)#8\*03 %#GSPN#UIF#QSPQFSUZ MADF#DBOOPU#FYDFFE#58 (#PG#UIF#NBYANVN#XBMM#BSFB OFOFUS BUJPOT#MFTT#UIBO#8\*03 %#GS PN #UIF#OS POFS UZ #MJDF#N VTU DPNOMZ#XJJI#DVSSFOU#OD#DPEF

X T F S F #C V.ME .OH #GB D F #T #X .TIT .TO #43 \*03 \$#P G #O S P O F S UZ #M.OF #B F E 82; %#HZQTVN #CPBSE#VOEFSMBZNFOU#A#TPGGJU

#### STEMBALL FOUNDATION \$ FOOTING

X T F S F ## S P VO E #CMP P S #TMB C #F V II F O E T #II P P #G B S #B C P W F #G ID 1 HSBEF#GPS#B#NPOPMJDIJD#TMBC#DPOTUSVDU#TUFNXBMM#EFUBJM Q FS #TUS VD UVS B M#FOH JOFFS \*T#TQ FD JGJD B UJP OT1

## TWO STORY VOLUME SPACES

CBMMPPO#GSBN JOH #QFS #TUS VDUVSBM#FOH JOFFS #0#SFGFS #UP GMP PS #O MB OT

(5<) UZQ ##IPVS #S BUFE #QBSUZXBMM#S FGFS #UP #E FUB JMT#GPS #UZQF BOE #TO FD T1

# WOOD FRAME \$ CONCRETE BLOCK CONSTRUCTION NOTES

41 UFS N JUF#) #E FD B Z #Q S P UFD UJP O

# CHEMICAL SOIL TREATMENT

UI F#D P OD FUS B U-P O#S B UF#P G#B Q Q MJD B U-P O#B OE #US FB UN FOU N FUI PE #P G#UI F#UFS N JUD JE F#T I B MM#C F#D P O TJT UF O U#X JUI #B O E OFWES #METT#JIBO#JIF#JESNJJJDJEF#MBCEM#BOE#TIBMM#CF BOOMFE#BDDPEOH#IP#ITF#TUBOEBSET#PG#ITF#OPSUT DBSPMJDB#EFOBSUNFOU#PG#BHSJDVMUVSF

GJFME #D VUT #OP UD I FT#B OE #E S JMMFE #I P MFT#TIB MM#C F US FB UFE #10 #UI F#GJFME #10 #B D D P S E B O D F#X JUI #B X Q B #N 71

B MM#X P P E #40 #E 35 FD U#D P OUB D U#X 3JI #D P OD S FUF#P S #N B T P OS Z GP VOE BUJP O#X B MMT#T I B MM#FJIII FS #C F#O S FTTVS F#IS FB UFF XPPE #D#BDDPSEBODF#XJTT#BXOB#V4#TUBOEBSET#PS OSPUFDUFE #GSPN #DPOUBDU#CZ#BO#BOOSPW FE #JN OFSW JPVT N PJTUVS F#C B S SJFS

51 TFF#TUS VD UVS B M#FOH JDFFS \*T#E S B X JDH T#GP S #TUFFM#MJDUFMT TVQQPSUJDH#BOZ#CSJDL#WFOFFS

#### WINDOWS:

41 N JD #FN FS H FOD Z #FTD B O F #X JDE P X #P O FO JD H #T J FT N D #P G#P OF #FN FS H FOD Z #FTD B O F #X DE P X #S FR #D #FW FS Z TMFFO JOH#SPPN

N D #B S FB #GP S #H S P VOE #GMP P S #FN FS H FOD Z #FTD B Q F POFO.DH #?#813 #T1 IGo1 N D #BSFB #GPS #TFD POE #GMPPS #FN FSH FOD Z #FTD BQF

PQFO.DH#?#81:#T1 1Go1 N JO JHI FJH I U#E JN FOTJP O #GPS #FN FS H FOD Z #FTD B O F#P O FOJOH #?

N D #X E UI #E JN FOT P O #GPS #FN FS H FOD Z #FTD B Q F #P Q FO JOH ##?

NBY #TJMM#IFJHIU#GPS#FNFSHFODZ#FTDBQF#PQFOJDH##?#77% BCPWF#GMPPS

51 N JOJN VN #X JOE P X #TJMM#I FJH I U

THE X FMM THE 4TO THE FET THE SET THE SET OF OUR HOUSE OF SEC. X DEPX #IT #N PSF#UIBO#: 5%#BCPWF#GDIFE#HSBEF#PS TVS GBD F#C FMP X ÆUT F#MP X FTU#O BS U#P G#UT F#D MFBS #P O FO.DH TIBMM#CF#B#NJOJNVN#PG#57%#BCPWF#UIF#GJOJTIFE#GMPPS1 BOZ#X ODE PX#57 %#PS#MFTT#GSPN#GOOTIFE#GMPPS#TIBMM#CF FR VJQ Q FE #X JUI #B O #P Q FO JO H #MJN JUJO H #E FW JD F1

- 61 GJYFE #H MBTT#SFRVJSFN FOUT-#GJYFE #H MBTT#JT#SFRJ#GPS X JDE PXT#MFTT#UIBO#57 %#BCPWF#GJDJTIFE#GMPPS1
- 71 GMB TI JOH #TFB MB OUT#B OF #X FB UT FS TUS JO O JOH #JOTUB MM BOOSPWFE #DPSSPTPOOSFTTUBOU#GMBTIJOH #BU#BMM FY UFS JPS #EPPST#) #X JDEPXT#UP #FY UFOE #UP #UIF#TVS GBDF#PG UT F#FY UFS JPS #X B MM#GJDJT I #PS #X B UFS #S FTJT UJW F#C BSS JFS 1 X JOEPXT#TIBMM#CF#TFBMFE#XJJI#NJOJNVN#RVBMJJZ#PG D B VMI, JDH #IP #C F#B TIIN #Tk \ ^ #< 53 #P S #45: 4#X JII #IFTIJDH #) OFS GPSNBODF#Dg\nn#58#PS#BBNB#Dg\nn#; 3 3 #PS#; 451 S FD P N N F O E #T L B #53 41
- 81 NBYJN VN #UPMFSBODF#GPS#NBTPOSZ#SPVHI#PQFOJOH#TJ[F= NBTPOSZ#SPVHI#PQFOJOH#EJNFOTJPOT#TIBMM#QSPWJEF#GPS B #X JOEPX #Q FS JN FUFS #TFB MB OU#KP JOU#B #N BY JN VN #PG#427 %#JO
- 91 N JOJN VN #FOFSH Z #D P E F#S FR VJS FN FOUT #GPS #X JOE P X T1 OTUB MMFF #X OF PXT#TIB MM#IBW F#OS POFS UFT#B T#FGG.D FOU BT#X ODE PXT#VTFE #UP #D BMD VMBUF#GPS N #443 3 B 1##X ODE PX QFSGPSNBODF#DSJUFSJB#BSF#DPOUBJOFE#JD#UIF#FOFSHZ HBVHF#VTB2GMB2SFT#DPNQVUFS#QSPHSBN1 m 'a'm #UP #TIFFU#H O 424#GPS #N JOJN VN #OID #TPMBS #IFBU#H BJO DPFGGJDJFOU##TIHD.1 X DEPXT#X JDI#DFSUJGJFE#QFSGPSNBODF#TIBMM#IBWF#UIF OGS D #MB C FM#O S P W .E .DH #VOW B MVF#) #T T H D #JP #S FN B .D #P O #JT F X JDE PX #VOUJN#GJDB M#FOFS HZ #JDTO FD UJP 01
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#### GENERAL

- 41 UIF#GPMMPXJOH #XIFSF#OSFTFOU#TIBMM#CF#DBVMLFE/ HBTL FUFE #XFBUIFS OTUS OO OFE #PS #PUIFS XJFF#TFBMFE #XJUI BO#BJS#CBSSJFS#NBUFSJBM=
  - B1 CMPDL JOH #BOE #TFB MJOH #GMPPS #2#D FJMJOH #TZ TUFN T#BOE VOE FS #LOFF#XBMMT#PQFO#UP#VODPOEJUPOFE#PS FYUFS PS #TO BD F
  - C 1 DBQQ JOH #BOE #TFB MJOH #TIB GUT#PS #DIB TFT#JOD MVE JOH GMVF#TTRGIIT
- D 1 D B Q Q JOH #B OE #TFB MJOH #TP GGJU#P S #E S P Q Q FE #D FJMJOH BSFBT
- E 1 UPO #BOE #C PUUPN #OMBUFT
- 51 Q FOFUS B U.P OT#X JMM#C F#TFB MFE #X JUI #B #Q S PE VD U#UI B U#N FFUT BTUN #F44< 1#GJC FS HMBTT#DTVMBUJPO#JT#OPU#OFS NJJUFE#UP TFB M#B OZ #Q FOFUS B UJP OT1
- 61 H VB S F T#T I B MM#C F#MP D B IIFF #B MP OH #P O FOOT F F F #X B MI . TO H TVS GB D FT #LOD MVE JOH #GMP PS FE #B UUJD #B S FB T1



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**GENERAL NOTES** 

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# **North Carolina** INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT

	(11010-12)									
CLIMATE ZONE	FENESTRATION U-FACTOR (notes b, j)	SKYLIGHT U-FACTOR (note b)	GLAZED FENESTRATION SHGC (notes b, k)	CEILING R-VALUE (note m)	WOOD FRAME WALL R-VALUE	MASS WALL <i>R</i> -VALUE (note i)	FLOOR R-VALUE	BASEMENT WALL R-VALUE (notes c, o)	SLAB R-VALUE AND DEPTH (note d)	CRAWL SPACE WALL R-VALUE (note c)
3	0.35	0.55	0.30	38 or 30ci	15 or 13 + 2.5 (note h)	5/13 or 5/10ci	19	5/13 (note f)	0	5/13
4	0.35	0.55	0.30	38 or 30ci	15 or 13 + 2.5 (note h)	5/13 or 5/10ci	19	10/15	10	10/15
5	0.35	0.55	NR	38 or 30ci	19 (note n) or 13 + 5 or 15 + 3 (note h)	13/17 or 13/12.5ci	30 (note g)	10/15	10	10/19

- R-VALUES ARE MINIMUMS. U-FACTORS AND SHGC ARE
- THE FENESTRATION U-FACTOR COLUMN EXCLUDES SKYLIGHTS. THE SHGC COLUMN APPLIES TO ALL GLAZED FENESTRATION.
- "10/15" MEANS R-10 CONTINUOUS INSULATED SHEATHING ON THE INTERIOR OR EXTERIOR OF THE HOME OR R-15 CAVITY INSULATION AT THE INTERIOR OF THE BASEMENT WALL OR CRAWL SPACE WALL.
- R-5 SHALL BE ADDED TO THE REQUIRED SLAB EDGE R-VALUES FOR HEATED SLABS. FOR MONOLITHIC SLABS, INSULATION SHALL BE APPLIED FROM THE INSPECTION GAP DOWNWARD TO THE BOTTOM OF THE FOOTING OR A MAXIMUM OF 24 INCHES BELOW GRADE, WHICHEVER IS LESS, FOR FLOATING SLABS, INSULATION SHALL EXTEND TO THE BOTTOM OF THE FOUNDATION WALL OR 24", WHICHEVER IS LESS.
- BASEMENT WALL INSULATION IS NOT REQUIRED IN WARM-HUMID LOCATIONS AS DEFINED BY FIGURE N1101.7 AND **TABLE N1101.7**
- OR INSULATION SUFFICIENT TO FILL THE FRAMING CAVITY, R-19 MINIMUM.
- THE FIRST VALUE IS CAVITY INSULATION, THE SECOND VALUE IS CONTINUOUS INSULATION, SO "13 + 5" MEANS R-13 CAVITY INSULATION PLUS R-5 CONTINUOUS INSULATION. IF STRUCTURAL SHEATHING COVERS 25 PERCENT OR LESS OF THE EXTERIOR, INSULATING SHEATHING IS NOT REQUIRED WHERE STRUCTURAL SHEATHING IS USED. IF STRUCTURAL SHEATHING COVERS MORE THAN 25 PERCENT OF EXTERIOR, STRUCTURAL SHEATHING SHALL BE SUPPLEMENTED WITH INSULATED SHEATHING OF AT LEAST R-2.

- THE SECOND R-VALUE APPLIES WHEN MORE THAN HALF THE INSULATION IS ON THE INTERIOR OF THE MASS WALL.
- IN ADDITION TO THE EXEMPTION IN SECTION N1102.3.3, A MAXIMUM OF TWO GLAZED FENESTRATION PRODUCT ASSEMBLIES HAVING A U-FACTOR NO GREATER THAN 0.55 SHALL BE PERMITTED TO BE SUBSTITUTED FOR MINIMUM CODE COMPLIANT FENESTRATION PRODUCT ASSEMBLIES WITHOUT PENALTY.
- IN ADDITION TO THE EXEMPTION IN SECTION N1102.3.3, A MAXIMUM OF TWO GLAZED FENESTRATION PRODUCT ASSEMBLIES HAVING A SHGC NO GREATER THAN 0.70 SHALL BE PERMITTED TO BE SUBSTITUTED FOR MINIMUM CODE COMPLIANT FENESTRATION PRODUCT ASSEMBLIES WITHOUT
- R-30 SHALL BE DEEMED TO SATISFY THE CEILING INSULATION REQUIREMENT WHEREVER THE FULL HEIGHT OF UNCOMPRESSED R-30 INSULATION EXTENDS OVER THE WALL TOP PLATE AT THE EAVES. OTHERWISE R-38 INSULATION IS REQUIRED WHERE ADEQUATE CLEARANCE EXISTS OR INSULATION MUST EXTEND TO EITHER THE INSULATION BAFFLE OR WITHIN 1" OF THE ATTIC ROOF DECK.
- m. TABLE VALUE REQUIRED EXCEPT FOR ROOF EDGE WHERE THE SPACE IS LIMITED BY THE PITCH OF THE ROOF, THERE THE INSULATION MUST FILL THE SPACE UP TO THE AIR BAFFLE.
- R-19 FIBERGLASS BATTS COMPRESSED AND INSTALLED IN A NOMINAL 2x6 FRAMING CAVITY IS DEEMED TO COMPLY. FIBERGLASS BATTS RATED R-19 OR HIGHER COMPRESSED AND INSTALLED IN A 2x4 WALL IS NOT DEEMED TO COMPLY.
- BASEMENT WALL MEETING THE MINIMUM MASS WALL SPECIFIC HEAT CONTENT REQUIREMENT MAY USE THE MASS WALL R-VALUE AS THE MINIMUM REQUIREMENT.



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**MATTAMY HOMES** 

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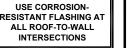
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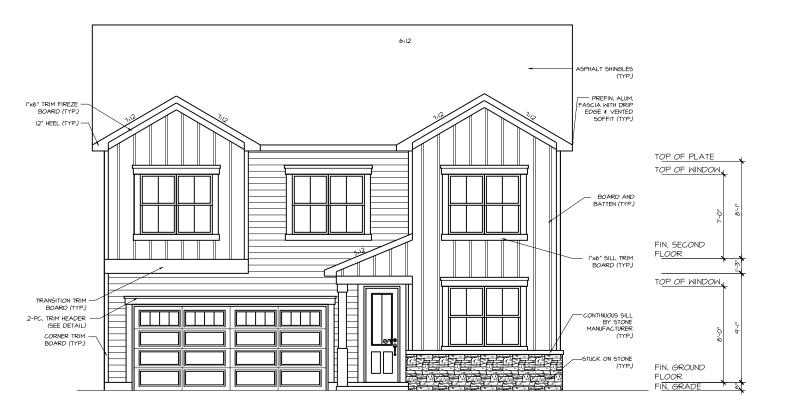
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**GENERAL NOTES** 

USE CORROSION-ALL ROOF-TO-WALL INTERSECTIONS





FRONT ELEVATION - FARMHOUSE



REAR ELEVATION - FARMHOUSE

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EXTERIOR ELEVATIONS

USE CORROSION-RESISTANT FLASHING AT ALL ROOF-TO-WALL INTERSECTIONS



RIGHT SIDE ELEVATION - FARMHOUSE



LEFT SIDE ELEVATION - FARMHOUSE



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Consulting

SHENANDOAH - LH

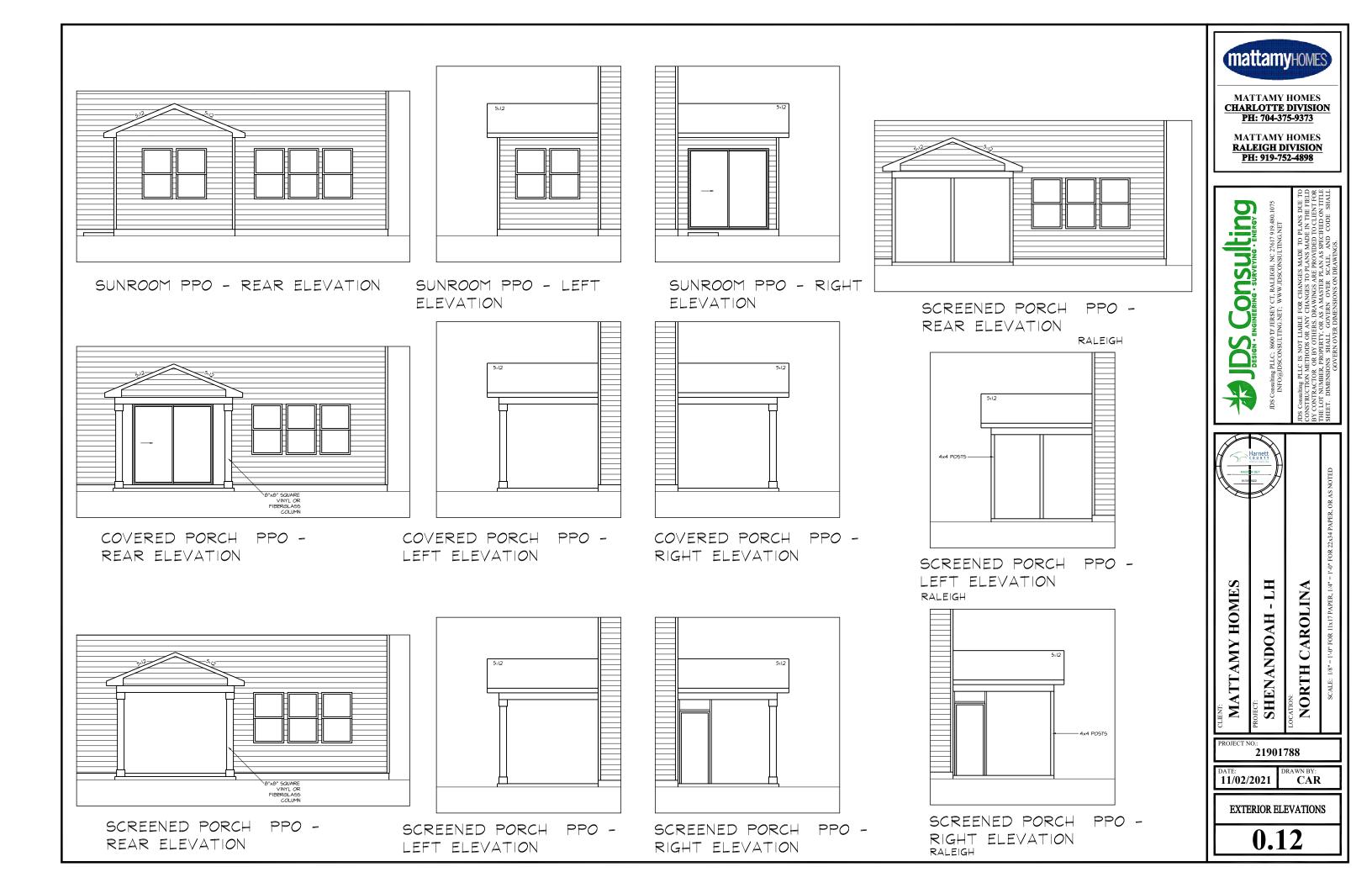
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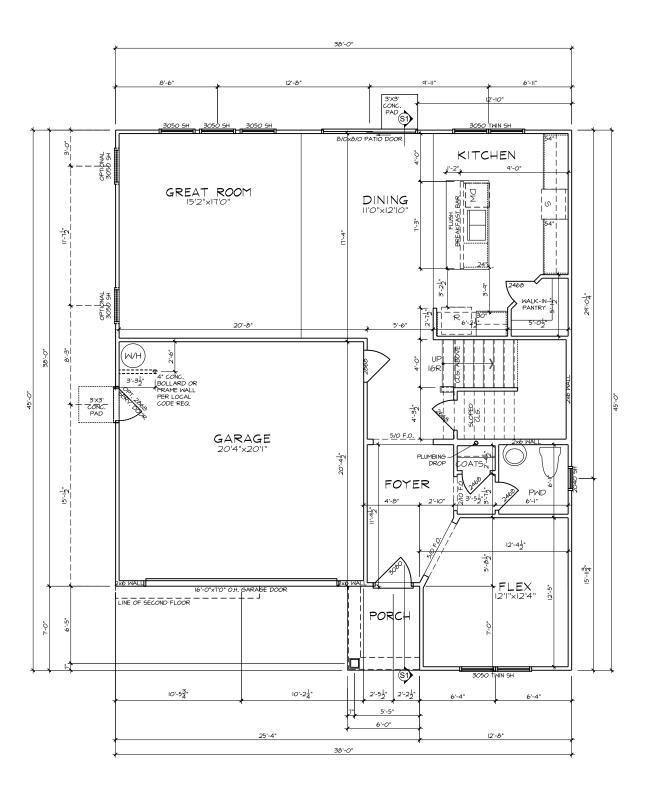
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DRAWN BY: **CAR** 

EXTERIOR ELEVATIONS





GROUND FLOOR PLAN - FARMHOUSE

# FLOOR PLAN NOTES

- ALL FRAMED OPENINGS (F.O.) @ 80" ON 1ST & 96" ON 2ND U.N.O.
  4 SHELVES MAX. @ ALL LINEN & PANTRIES.
  INSTALL HOUSE WRAP AT ALL ATTIC WALLS NEXT TO HEATED SPACES I.L.O. T-PLY.
- REFER TO GARAGE FRAMING DETAIL ON SHT. DTA3 FOR GOAL POST FRAMING.
  ALL STUD POCKETS TO BE 4 1/2" (3) STUDS U.N.O.
  ALL STUDS BEHIND SHOWER STALLS @ 16" O.C.



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MATTAMY HOMES

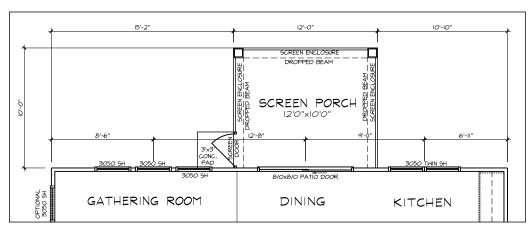
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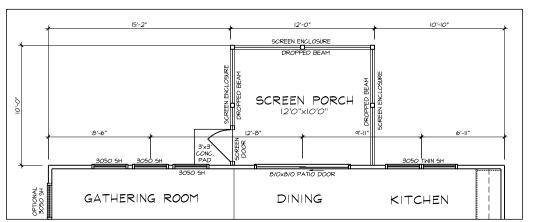
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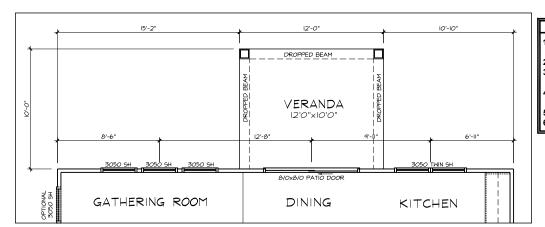
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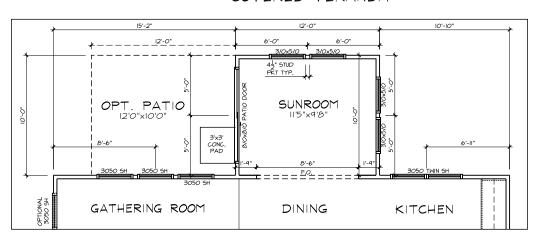
PPO - GROUND FLOOR PLAN SCREEN PORCH (CHARLOTTE)



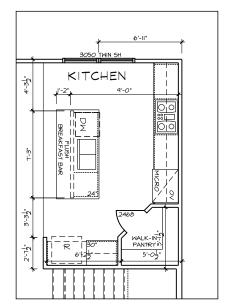
PPO - GROUND FLOOR PLAN SCREEN PORCH (RALEIGH)



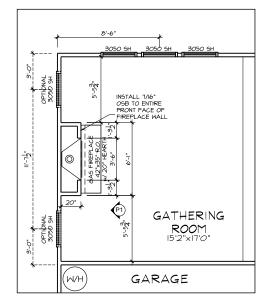
PPO - GROUND FLOOR PLAN Covered Veranda



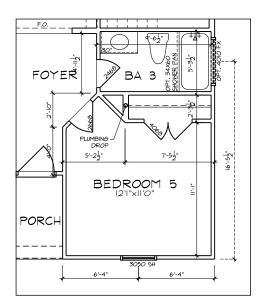
PPO - GROUND FLOOR PLAN SUNROOM



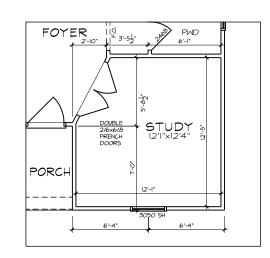
PPO - GROUND FLOOR PLAN SIGNATURE KITCHEN



PPO - GROUND FLOOR PLAN GAS FIREPLACE



PPO - GROUND FLOOR PLAN - CRAFTSMAN BED5/BATH3 - FARMHOUSE



FLOOR PLAN NOTES

ALL FRAMED OPENINGS (F.O.) @ 80" ON 1ST & 96"
ON 2ND U.N.O.

4 SHELVES MAX. @ ALL LINEN & PANTRIES.
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REFER TO GARAGE FRAMING DETAIL ON SHT. DTA3 FOR GOAL POST FRAMING. ALL STUD POCKETS TO BE 4 1/2" (3) STUDS U.N.O. ALL STUDS BEHIND SHOWER STALLS @ 16" O.C.

TO HEATED SPACES I.L.O. T-PLY.

PPO - GROUND FLOOR PLAN - CRAFTSMAN Study - Farmhouse



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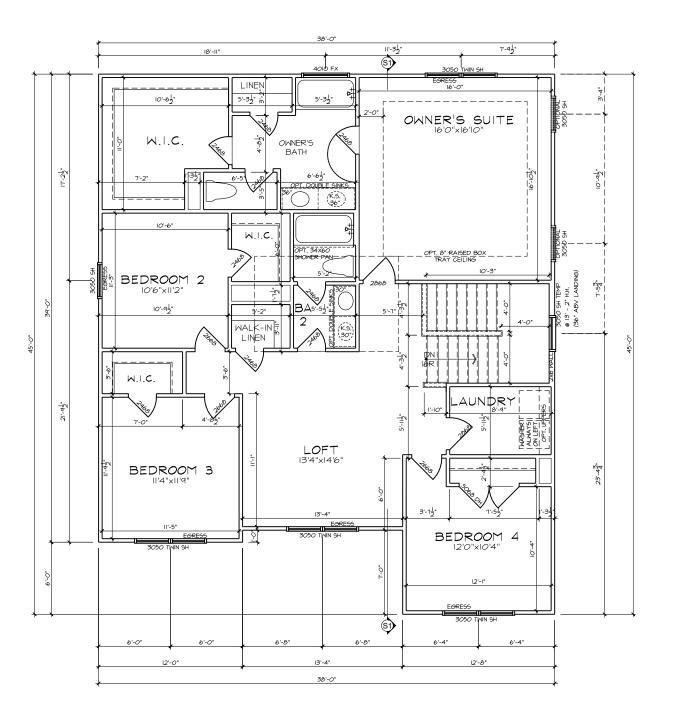
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FIRST FLOOR OPTIONS
FLOOR PLANS

1.1



# **FLOOR PLAN NOTES**

- ALL FRAMED OPENINGS (F.O.) @ 80" ON 1ST & 96" ON 2ND U.N.O.
- ON 2ND U.N.Y. 4 SHELVES MAX. @ ALL LINEN & PANTRIES. INSTALL HOUSE WRAP AT ALL ATTIC WALLS NEXT TO HEATED SPACES I.L.O. T-PLY.
- REFER TO GARAGE FRAMING DETAIL ON SHT.
  DTA3 FOR GOAL POST FRAMING.
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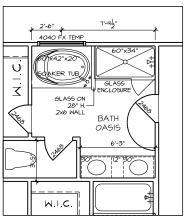
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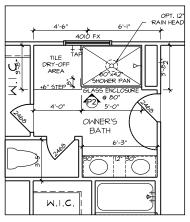
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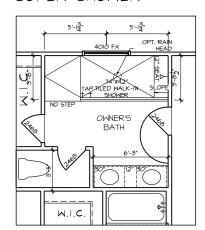
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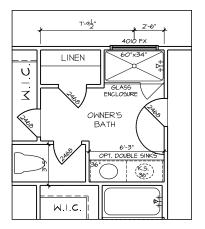
PPO - SECOND FLOOR PLAN BATH OASIS



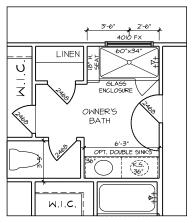
PPO - SECOND FLOOR PLAN SUPER SHOWER



PPO - SECOND FLOOR PLAN SPA SHOWER



PPO - SECOND FLOOR PLAN STAND-IN SHOWER



PPO - SECOND FLOOR PLAN STAND-IN SHOWER W/ SEAT

## FLOOR PLAN NOTES

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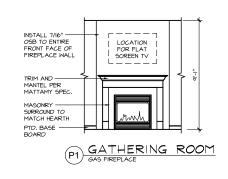
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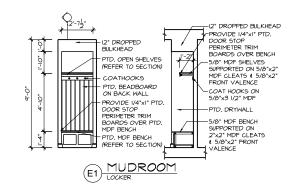
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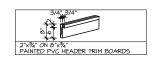
SECOND FLOOR OPTIONS FLOOR PLANS

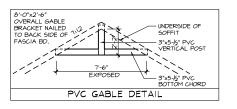


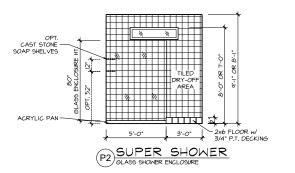
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CAROLINA SHENANDOAH NORTH

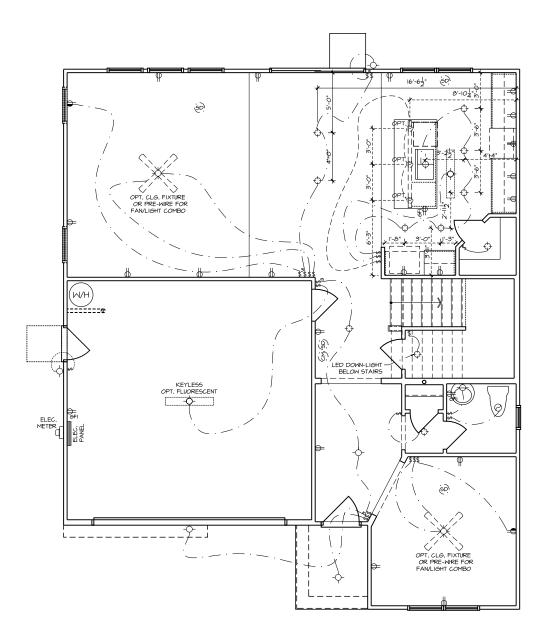
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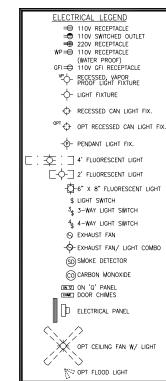
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SECTIONS & DETAILS



ELECTRICAL PLAN - FARMHOUSE



NOTE: ALL SMOKE DETECTORS TO BE INTERCONNECTED PER APPLICABLE CODE (SEE TITLE SHEET)



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CAROLINA NORTH

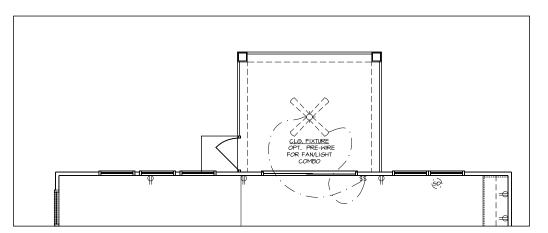
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SHENANDOAH

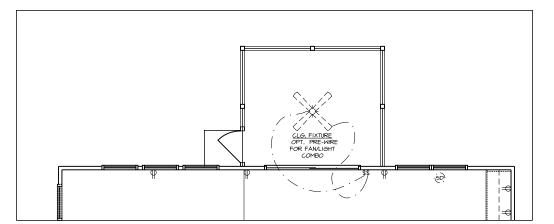
MATTAMY HOMES

11/02/2021 CAR

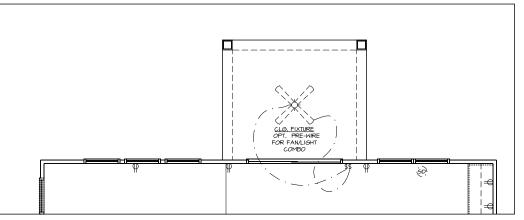
> FIRST FLOOR ELECTRICAL PLAN



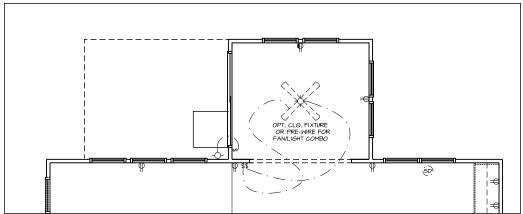
PPO - GROUND FLOOR ELECT. PLAN SCREEN PORCH (CHARLOTTE)



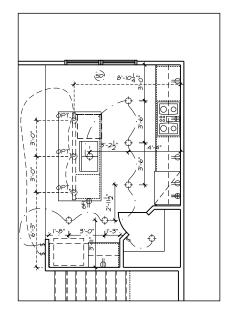
PPO - GROUND FLOOR ELECT. PLAN SCREEN PORCH (RALEIGH)



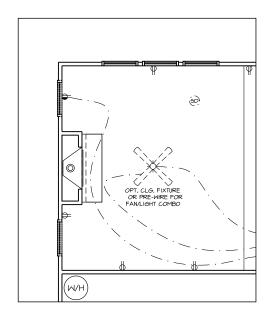
PPO - GROUND FLOOR ELECT. PLAN COVERED VERANDA



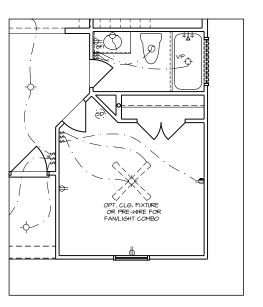
PPO - GROUND FLOOR ELECT. PLAN SUNROOM



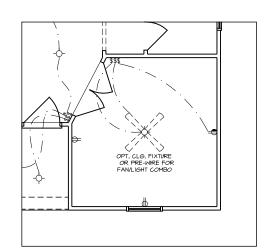
PPO - GROUND FLOOR ELECT. PLAN SIGNATURE KITCHEN



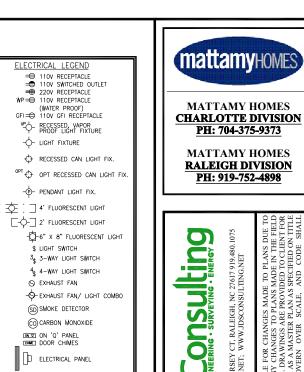
PPO - GROUND FLOOR ELECT. PLAN GAS FIREPLACE



PPO - GROUND FLOOR ELECT. PLAN - CRAFTSMAN BED 5/BATH 3 - FARMHOUSE



PPO - GROUND FLOOR ELECT. PLAN - CRAFTSMAN STUDY - FARMHOUSE



OPT CEILING FAN W/ LIGHT

PO OPT FLOOD LIGHT NOTE: ALL SMOKE DETECTORS TO BE INTERCONNECTED PER APPLICABLE CODE (SEE TITLE SHEET)

MATTAMY HOMES

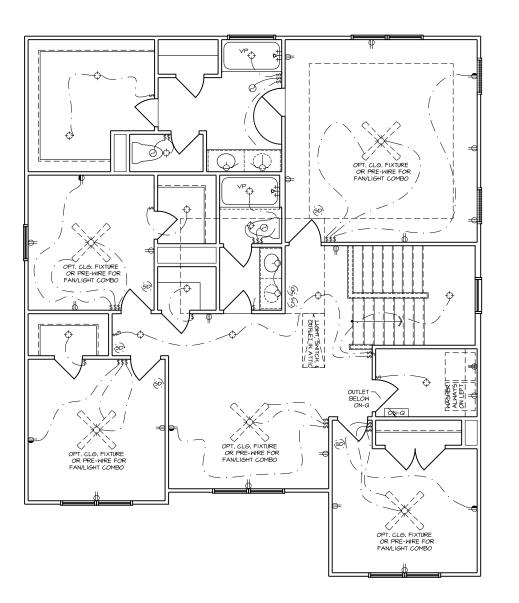
CAROLINA SHENANDOAH NORTH

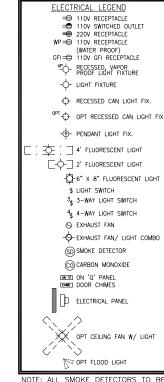
21901788

11/02/2021

FIRST FLOOR OPTIONS ELECTRICAL PLANS

CAR





NOTE: ALL SMOKE DETECTORS TO BE INTERCONNECTED PER APPLICABLE CODE (SEE TITLE SHEET)



MATTAMY HOMES CHARLOTTE DIVISION PH: 704-375-9373

MATTAMY HOMES RALEIGH DIVISION PH: 919-752-4898





SHENANDOAH

NORTH

21901788

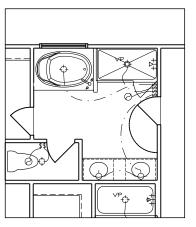
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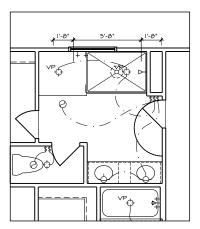
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SECOND FLOOR ELECTRICAL PLAN

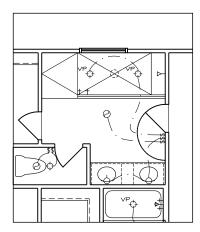
SECOND FLOOR ELECTRICAL PLAN - FARMHOUSE



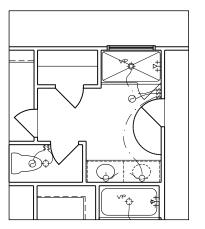
PPO - SECOND FLOOR ELECT. PLAN STAND-IN SHOWER



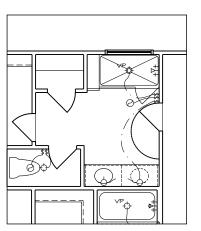
PPO - SECOND FLOOR ELECT. PLAN SUPER SHOWER



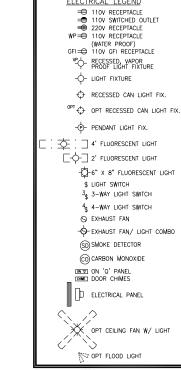
PPO - SECOND FLOOR ELECT. PLAN SPA SHOWER



PPO - SECOND FLOOR ELECT. PLAN STAND-IN SHOWER



PPO - SECOND FLOOR ELECT. PLAN STAND-IN SHOWER W/ SEAT



ELECTRICAL LEGEND

NOTE: ALL SMOKE DETECTORS TO BE INTERCONNECTED PER APPLICABLE CODE (SEE TITLE SHEET)



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RALEIGH DIVISION
PH: 919-752-4898





CAROLINA

SHENANDOAH
LOCATION:
NORTH CAROL

O.: **21901788** 

DATE: 11/02/2021

MATTAMY HOMES

SECOND FLOOR OPTIONS

CAR

ELECTRICAL PLANS

**7.**1

# STRUCTURAL PLANS FOR:



# **MATTAMY HOMES - SHENANDOAH LH**

PLAN RELEASE / REVISIONS					
REV. DATE	ARCH PLAN VERSION	REVISION DESCRIPTION	DRFT		
10/04/2021	NC4006 - 2015.12.14	SET UP & DESIGNED STRUCTURE	ABS		

# **NOTES**

- 1. ENGINEER'S SEAL APPLIES TO STRUCTURAL COMPONENTS ONLY. ENGINEER'S SEAL DOES NOT CERTIFY DIMENSIONAL ACCURACY OR ARCHITECTURAL LAYOUT, INCLUDING ROOF GEOMETRY. JDS CONSULTING, PLLC ASSUMES NO LIABILITY FOR CHANGES MADE TO THESE PLANS BY OTHERS, OR FOR CONSTRUCTION METHODS, OR FOR ANY DEVIATION FROM THE PLANS. ENGINEER TO BE NOTIFIED PRIOR TO CONSTRUCTION IF ANY DISCREPANCIES ARE NOTED ON THE PLANS.
- 2. DIMENSIONS SHALL GOVERN OVER SCALE, AND CODE SHALL GOVERN OVER DIMENSIONS.
- 3. PLANS MUST HAVE SIGNED SEAL TO BE VALID AND ARE LIMITED TO THE FOLLOWING USES:
- A. IF THESE PLANS ARE ISSUED AS A MASTER-PLAN SET, THE SET IS VALID FOR 18 MONTHS FROM THE DATE ON THE SEAL, UNLESS ANY CODE-REQUIRED UPDATES ARE PLACED IN EFFECT BY THE MUNICIPALITY.
- B. IF THESE PLANS ARE NOT ISSUED AS A MASTER-PLAN SET, THE SET IS VALID FOR A CONDITIONAL, ONE-TIME USE FOR THE LOT OR ADDRESS SPECIFIED ON THE TITLE BLOCK

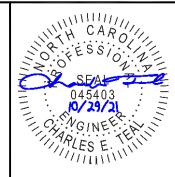
# CODE

ALL CONSTRUCTION, WORKMANSHIP, AND MATERIAL QUALITY AND SELECTION SHALL BE PER:

2018 NORTH CAROLINA STATE BUILDING CODE: RESIDENTIAL CODE

# **ENGINEER OF RECORD**

JDS CONSULTING, PLLC
DESIGN - ENGINEERING - SURVEYING - ENERGY
8600 'D' JERSEY COURT
RALEIGH, NC 27617
FIRM LIC. NO: P-0961
PROJECT REFERENCE: 21901788



P-0961





CAROLINA

SHENANI

CATION:

mattamyHOMES

ROJECT NO.: **21901788** 

21901788

DATE: DRAWN BY: ABS

TITLE SHEET

T

NOTE: ALL CHAPTERS, SECTIONS, TABLES, AND FIGURES CITED WITHOUT A PUBLICATION TITLE ARE FROM THE APPLICABLE RESIDENTIAL CODE (SEE TITLE SHEET).

## GENERAL

- 1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. FURTHERMORE, CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, AND SAFETY ON SITE, NOTIFY JDS CONSULTING PLLC IMMEDIATELY IF DISCREPANCIES ON PLAN EXIST
- BRACED-WALL DESIGN IS BASED ON SECTION ROOZ.18 WALL BRACING . PRIMARY PRESCRIPTIVE METHOD TO BE CS-WSP. SEE WALL BRACING PLANS AND DETAILS FOR ADDITIONAL INFORMATION

ALL NON-PRESCRIPTIVE SOLUTIONS ARE BASED ON GUIDELINES **ESTABLISHED IN THE AMERICAN SOCIETY OF CIVIL ENGINEERS** PUBLICATION ASCE 7 AND THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION - SPECIAL DESIGN PROVISIONS FOR

2.000 PSF

SEISMIC DESIGN SHALL BE PER SECTION R301.2.2 - SEISMIC PROVISIONS INCLUDING ASSOCIATED TABLES AND FIGURES. BASED ON LOCAL SEISMIC DESIGN CATEGORY.

#### DESIGN LOADS

**DECKS** 

**EXTERIOR BALCONIES** 

ASSUMED SOIL BEARING-CAPACITY

	LIVE LOAD
ULTIMATE DESIGN WIND SPEED	115 MPH, EXPOSURE B
GROUND SNOW	15 PSF
ROOF	20 PSF
RESIDENTIAL CODE TABLE R301.5	Live LGAD (PSF)
DWELLING UNITS	40
SLEEPING ROOMS	30
	00
ATTICS WITH STORAGE	20

**PASSENGER VEHICLE GARAGES** 50 FIRE ESCAPES **GUARDS AND HANDRAILS** 200 (pounds, concentrated)

COMPONENT AND CLADDING LOADS, INCLUDING THOSE FOR DOORS AND WINDOWS, SHALL BE DERIVED FROM TABLES R301.222 AND FOR A BUILDING WITH A MEAN ROOF HEIGHT OF 35 FEET, LOCATED IN EXPOSURE B.

ABBR	EVIATI <b>ONS</b>	KS LVL	KING STUD COLUMN LAMINATED VENEER
451/	100/5		LUMBER
ABV	ABOVE	MAX	
AFF ALT	ABOVE FINISHED FLOOR ALTERNATE	MECH	
BRG	ALIEKNATE	MFTR	
BRG	BEARING BASEMENT	MIN	MINIMUM
	CANTILEVER	NTS	NOT TO SCALE
CANT	CEILING JOIST	OA	
	CEILING JOIST	OC .	ON CENTER
	CONCRETE MASONRY UNIT	PT	PRESSURE TREATED
CO		R	RISER
	COLUMN	REF	REFRIGERATOR
	CONCRETE	RFG	ROOFING
CONT		RO	ROUGH OPENING
D	CLOTHES DRYER	RS	ROOF SUPPORT
DBL	DOUBLE	SC	STUD COLUMN
DIAM	DIAMETER	SF	SQUARE FOOT (FEET)
DJ	DOUBLE JOIST	SH	SHELF / SHELVES
DN	DOWN	SHTG	SHEATHING
DP	DEEP	SHW	SHOWER
DR	DOUBLE RAFTER	SIM	SIMILAR
DSP	DOUBLE STUD POCKET	SJ	SINGLE JOIST
EA.	EACH	SP	STUD POCKET
EE	EACH END	SPEC'D	SPECIFIED
EQ	EQUAL	SQ	SQUARE
EX		T	TREAD
FAU		TEMP	TEMPERED GLASS
FDN		T TEMP THK	THICK(NESS)
FF	FINISHED FLOOR	IJ	I RIPLE JUIS I
FLR	FLOOR(ING)	TOC	TOP OF CURB / CONCRETE
FP	FIREPLACE	TR	
FTG	FOOTING	TYP	TYPICAL
НВ	HOSE BIBB	UNO	UNLESS NOTED OTHERWISE
HDR	HEADER	W	CLOTHES WASHER
HGR	HANGER	WH	
JS	JACK STUD COLUMN		WELDED WIRE FABRIC
		ΧJ	EXTRA JOIST

# MATERIALS

INTERIOR / TRIMMED FRAMING LUMBER SHALL BE #2 SPRUCE PINE FIR (SPF) WITH THE FOLLOWING DESIGN PROPERTIES (#2 SOUTHERN YELLOW PINE MAY BE SUBSTITUTED):

Fb = 875 PSI Fv = 70 PSI E = 1.4E6 PSI

FRAMING LUMBER EXPOSED TO WEATHER OR IN CONTACT WITH THE GROUND, CONCRETE, OR MASONRY SHALL BE PRESSURE TREATED #2 SOUTHERN YELLOW PINE (SYP) WITH THE FOLLOWING DESIGN PROPERTIES:

Fb = 975 PSI Fv = 95 PSI E = 1.6E6 PSI

3. LVL STRUCTURAL MEMBERS TO BE LAMINATED VENEER LUMBER WITH THE FOLLOWING MINIMUM DESIGN PROPERTIES:

Fb = 2600 PSI Fv = 285 PSI F = 1.9F6 PSI

4. PSL STRUCTURAL MEMBERS TO BE PARALLEL STRAND LUMBER WITH THE FOLLOWING MINIMUM DESIGN PROPERTIES

Fb = 2900 PSI Fv = 290 PSI E = 2.0E6 PSI

5. LSL STRUCTURAL MEMBERS TO BE LAMINATED STRAND LUMBER WITH THE FOLLOWING MINIMUM DESIGN PROPERTIES:

Fb = 2250 PSI Fv = 400 PSI E = 1.55E6 PSI

- 6. STRUCTURAL STEEL WIDE-FLANGE BEAMS SHALL CONFORM TO ASTM A992. Fv = 50 KSI
- 7. REBAR SHALL BE DEFORMED STEEL CONFORMING TO ASTM A615, GRADE 60.
- POURED CONCRETE COMPRESSIVE STRENGTH TO BE A MINIMUM 3,000 PSI AT 28 DAYS. MATERIALS USED TO PRODUCE CONCRETE SHALL COMPLY WITH THE APPLICABLE STANDARDS LISTED IN AMERICAN CONCRETE INSTITUTE STANDARD ACI 318 OR ASTM
- CONCRETE SUBJECT TO MODERATE OR SEVERE WEATHERING PROBABILITY PER TABLE R301.201 SHALL BE AIR-ENTRAINED WHEN REQUIRED BY TABLE R462.2
- 10. CONCRETE MASONRY UNITS (CMU) SHALL CONFORM TO AMERICAN CONCRETE INSTITUTE PUBLICATION 530: BUILDING CODE REQUIREMENTS AND SPECIFICATIONS FOR MASONRY STRUCTURES AND COMPANION COMMENTARIES AND THE MASONRY SOCIETY PUBLICATION TMS 402/602: BUILDING CODE REQUIREMENTS AND SPECIFICATIONS FOR MASONRY STRUCTURES.
- 11. MORTAR SHALL COMPLY WITH ASTM INTERNATIONAL STANDARD C270.
- 12. INDICATED MODEL NUMBERS FOR ALL METAL HANGERS, STRAPS. FRAMING CONNECTORS, AND HOLD-DOWNS ARE SIMPSON STRONG-TIE BRAND. EQUIVALENT USP BRAND PRODUCTS ARE
- 13. REFER TO I-JOIST EQUIVALENCE CHART ON I-JOIST DETAIL SHEET FOR SUBSTITUTION OF MANUFACTURER SERIES.

#### FOUNDATION

- MINIMUM ALLOWABLE SOIL BEARING CAPACITY IS ASSUMED TO BE 2,000 PSF, IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY SOIL BEARING CAPACITY IF UNSATISFACTORY CONDITIONS
- 2. CONCRETE FOUNDATION WALLS TO BE SELECTED AND CONSTRUCTED PER SECTION R464 OR AMERICAN CONCRETE **INSTITUTE STANDARD ACI 318.**
- MASONRY FOUNDATION WALLS TO BE SELECTED AND CONSTRUCTED PER SECTION R484 AND/OR AMERICAN CONCRETE INSTITUTE PUBLICATION 530: BUILDING CODE REQUIREMENTS AND SPECIFICATIONS FOR MASONRY STRUCTURES AND COMPANION COMMENTARIES AND/OR THE MASONRY SOCIETY PUBLICATION TMS 402/602: BUILDING CODE REQUIREMENTS AND SPECIFICATIONS FOR MASONRY STRUCTURES .
- CONCRETE WALL HORIZONTAL REINFORCEMENT TO BE PER TABLE R484.1.2017 OR AS NOTED OR DETAILED. CONCRETE WALL VERTICAL REINFORCEMENT TO BE PER TABLES R484.1.203 AND 49 OR AS NOTED OR DETAILED. ALL CONCRETE WALLS SHALL COMPLY WITH APPLICABLE PROVISIONS OF CHAPTERS.
  - A. TABLES ASSUME THAT WALLS HAVE PERMANENT LATERAL SUPPORT AT THE TOP AND BOTTOM.
  - FOUNDATION DRAINS ARE ASSUMED AT ALL WALLS PER BECTION RAGS
- PLAIN-MASONRY WALL DESIGN TO BE PER TABLE R484.1.1億億 OR AS NOTED OR DETAILED. MASONRY WALLS WITH VERTICAL REINFORCEMENT TO BE PER TABLES R484.1.1 12 THROUGH 44 OF AS NOTED OR DETAILED. ALL MASONRY WALLS SHALL COMPLY WITH APPLICABLE PROVISIONS OF CHAPTERS .
  - TABLES ASSUME THAT WALLS HAVE PERMANENT LATERAL SUPPORT AT THE TOP AND BOTTOM.
- WALL REINFORCING SHALL BE PLACED ACCORDING TO FOOTNOTE (c) OF THE TABLES (REINFORCING IS NOT CENTERED IN WALL).
  FOUNDATION DRAINS ARE ASSUMED AT ALL WALLS PER
- SECTION R405
- WOOD SILL PLATES TO BE ANCHORED TO THE FOUNDATION WITH 1/2" DIAMETER ANCHOR BOLTS WITH MINIMUM 7" EMBEDMENT, SPACED A MAXIMUM OF 6'-0" OC AND WITHIN 12" FROM THE ENDS OF EACH PLATE SECTION. INSTALL MINIMUM (2) ANCHOR BOLTS PER SECTION. SEE SECTION F463.1.6 FOR SPECIFIC CONDITIONS.
- THE UNSUPPORTED HEIGHT OF SOLID MASONRY PIERS SHALL NOT EXCEED TEN TIMES THEIR LEAST DIMENSION ... UNFILLED, HOLLOW PIERS MAY BE USED IF THE UNSUPPORTED HEIGHT IS NOT MORE THAN FOUR TIMES THEIR LEAST DIMENSION
- CENTERS OF PIERS TO BEAR IN THE MIDDLE THIRD OF THE FOOTINGS, AND GIRDERS SHALL CENTER IN THE MIDDLE THIRD OF
- ALL FOOTINGS TO HAVE MINIMUM 2" PROJECTION ON EACH SIDE OF FOUNDATION WALLS (SEE DETAILS).
- 10. ALL REBAR NOTED IN CONCRETE TO HAVE AT LEAST 2" COVER FROM EDGE OF CONCRETE TO EDGE OF REBAR.
- 11. FRAMING TO BE FLUSH WITH FOUNDATION WALLS.
- 12. WITH CLASS 1 SOILS, VAPOR BARRIER AND CRUSHED STONE MAY BE OMITTED.

## FRAMING

- 1. ALL BEARING HEADERS TO BE (2) 2x6 SUPPORTED W/ MIN (1) JACK STUD AND (1) KING STUD EACH END, UNO.
- 2. ALL NON-BEARING HEADERS TO BE (2) 2x4, UNO.
- NON-BEARING INTERIOR WALLS NOT MORE THAN 10' NOMINAL HEIGHT AND NOT SHOWN AS BRACED WALLS MAY BE FRAMED WITH 2x4 STUDS @ 24" OC.
- SOLID BLOCKING TO BE PROVIDED AT ALL POINT LOADS THROUGH FLOOR LEVELS TO THE FOUNDATION OR TO OTHER STRUCTURAL COMPONENTS.
- ALL BEAMS SPECIFIED ARE MINIMUM SIZES ONLY. LARGER MEMBERS MAY SUBSTITUTED AS NEEDED FOR EASE OF CONSTRUCTION.
- 6. ALL EXTERIOR WALLS TO BE FULLY SHEATHED WITH 7/16" OSB.
- 7. PORCH / PATIO COLUMNS TO BE 4x4 MINIMUM PRESSURE-TREATED
  - A. ATTACH PORCH COLUMNS TO SLAB / FDN WALL USING ABA, ABU, ABW, OR CPT SIMPSON POST BASES TO FIT COLUMN SIZES NOTED ON PLAN -OR- ANY OTHER COLUMN CONNECTION WITH 500# UPLIET CAPACITY.
  - B. ATTACH PORCH COLUMNS TO PORCH BEAMS USING AC OR BC SIMPSON POST CAPS TO FIT COLUMN SIZES NOTED ON PLAN -OR- ANY OTHER COLUMN CONNECTION WITH 500# UPLIFT CAPACITY.
  - C. TRIM OUT COLUMN(S) AND BEAM(S) PER BUILDER AND
- ALL ENGINEERED WOOD PRODUCTS (LVL, PSL, LSL, ETC.) SHALL BE INSTALLED WITH CONNECTIONS PER MANUFACTURER SPECIFICATIONS
- 8. ENGINEERED WOOD FLOOR SYSTEMS AND ROOF TRUSS SYSTEMS: A. SHOP DRAWINGS FOR THE SYSTEMS SHALL BE PROVIDED. TO THE ENGINEER OF RECORD FOR REVIEW AND COORDINATION BEFORE CONSTRUCTION.
  - B. TRUSS PROFILES SHALL BE SEALED BY THE TRUSS MANUFACTURER.
  - INSTALLATION OF THE SYSTEMS SHALL BE PER MANUFACTURER'S INSTRUCTIONS.
  - TRUSS LAYOUT AND PLACEMENT BY MANUFACTURER TO COINCIDE WITH THE SUPPORT LOCATIONS SHOWN IN THESE
- ALL BEAMS TO BE CONTINUOUSLY SUPPORTED LATERALLY AND SHALL BEAR FULL WIDTH ON THE SUPPORTING WALLS OR COLUMNS INDICATED, WITH A MINIMUM OF THREE STUDS, UNO.
- 10. ALL STEEL BEAMS TO BE SUPPORTED AT EACH END WITH A MIN BEARING LENGTH OF 3 1/2" AND FULL FLANGE WIDTH BEAMS MUST BE ATTACHED AT EACH END WITH A MINIMUM OF FOUR 16d NAILS OR TWO 1/2" x 4" LAG SCREWS, UNO.
- 11. STEEL FLITCH BEAMS TO BE BOLTED TOGETHER USING (2) ROWS OF 1/2" DIAMETER BOLTS (ASTM 307) WITH WASHERS PLACED UNDER THE THREADED END OF THE BOLT, BOLTS TO BE SPACED AT 24" OC (MAX) AND STAGGERED TOP AND BOTTOM OF BEAM (2" EDGE DISTANCE), WITH TWO BOLTS TO BE LOCATED AT 6" FROM EACH END OF FLITCH BEAM.
- 12. WHEN A 4-PLY LVL BEAM IS USED, ATTACH WITH (1) 1/2" DIAMETER BOLT, 12" OC, STAGGERED TOP AND BOTTOM, 1 1/2" MIN FROM ENDS. ALTERNATE EQUIVALENT ATTACHMENT METHOD MAY BE USED, SUCH AS SDS, SDW, OR TRUSSLOK SCREWS (SEE MANUFACTURER SPECIFICATIONS).
- 13. FOR STUD COLUMNS OF 4-OR-MORE STUDS, INSTALL SIMPSON STRONG-TIE CS16 STRAPS ACROSS STUDS @ 30" OC, 6" MAX FROM PLATES, ON INSIDE FACE OF COLUMN (EXTERIOR WALL), ON BOTH FACES OF COLUMN (INTERIOR WALL).
- 14. FLOOR JOISTS ADJACENT AND PARALLEL TO THE EXTERIOR FOUNDATION WALL SHALL BE PROVIDED WITH FULL-DEPTH SOLID BLOCKING, NOT LESS THAN TWO (2) INCHES NOMINAL IN THICKNESS, PLACED PERPENDICULAR TO THE JOIST AT SPACING NOT MORE THAN FOUR (4) FEET. THE BLOCKING SHALL BE NAILED TO THE FLOOR SHEATHING, THE SILL PLATE, THE JOIST, AND THE EXTERIOR RIM JOIST / BOARD.



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**HOMES** 

ATTAMY

CAROLI NORTH

SHENANDOAH



21901788

RAWN BY

10/29/2021

GENERAL NOTES

ABS

FASTI	ENER SCHEDUL	.E			
CONNECTION	3" x 0.131" NAIL	3" x 0.120" NAIL			
JOIST TO SILL PLATE	(4) TOE NAILS	(4) TOE NAILS			
SOLE PLATE TO JOIST / BLOCKING	NAILS @ 8" OC (typical) (4) PER 16" SPACE (at braced panels)	NAILS @ 8" OC (typical) (4) PER 16" SPACE (at braced panels)			
STUD TO SOLE PLATE	(4) TOE NAILS	(4) TOE NAILS			
TOP OR SOLE PLATE TO STUD	(3) FACE NAILS	(4) FACE NAILS			
RIM JOIST OR BAND JOIST TO TOP PLATE OR SILL PLATE	TOE NAILS @ 6" OC	TOE NAILS @ 4" OC			
BLOCKING BETWEEN JOISTS TO TOP PLATE OR SILL PLATE	(4) TOE NAILS	(4) TOE NAILS			
DOUBLE STUD	NAILS @ 8" OC	NAILS @ 8" OC			
DOUBLE TOP PLATES	NAILS @ 12" OC	NAILS @ 12" OC			
DOUBLE TOP PLATES LAP (24" MIN LAP LENGTH)	(12) NAILS IN LAPPED AREA, EA SIDE OF JOINT	(12) NAILS IN LAPPED AREA, EA SIDE OF JOINT			
TOP PLATE LAP AT CORNERS AND INTERSECTING WALLS	(3) FACE NAILS	(3) FACE NAILS			
OPEN-WEB TRUSS BOTTOM CHORD TO TOP PLATES OR SILL PLATE (PARALLEL TO WALL)	NAILS @ 6" OC	NAILS @ 4" OC			
BOTTOM CHORD OF TRUSS TO TOP PLATES OR SILL PLATE (PERPENDICULAR TO WALL)	(3) TOE NAILS	(3) TOE NAILS			

SEE TABLE R882.3(1) FOR ADDITIONAL STRUCTURAL-MEMBER FASTENING REQUIREMENTS.

DETAILS AND NOTES ON DRAWINGS GOVERN.

# Balloon Wall Framing Schedule

FRAMING MEMBER SIZE	MAX HEIGHT (PLATE TO PLATE) 116 MPH ULTIMATE DESIGN WIND SPEED
2x4 @ 16" OC	10'-0"
2x4 @ 12" OC	12'-0"
2x6 @ 16" OC	15'-0"
2x6 @ 12" OC	17'-9"
2x8 @ 16" OC	19'-0"
2x8 @ 12" OC	22'-0"
(2) 2x4 @ 16" OC	14'-6"
(2) 2x4 @ 12" OC	17'-0"
(2) 2	21'-6"
(2) 2x6 @ 16" OC	
(2) 2x6 @ 12" OC	25'-0"
(2) 2x8 @ 16" OC	27'-0"
(2) 2x8 @ 12" OC	31'-0"

- a. ALL HEIGHTS ARE MEASURED SUBFLOOR TO TOP OF WALL PLATE.
- b. WHEN SPLIT-FRAMED WALLS ARE USED FOR HEIGHTS OVER 12', THE CONTRACTOR SHALL ADD 6' MINIMUM OF CS16 COIL STRAPPING (FULLY NAILED), CENTERED OVER THE WALL BREAK.
- c. FINGER-JOINTED MEMBERS MAY BE USED FOR CONTINUOUS HEIGHTS WHERE TRADITIONALLY MILLED LUMBER LENGTHS ARE
- d. FOR GREATER WIND SPEED, SEE ENGINEERED SOLUTION FOR CONDITION IN DRAWINGS.

# ROOF SYSTEMS

## TRUSSED ROOF - STRUCTURAL NOTES

1. PROVIDE CONTINUOUS BLOCKING THROUGH STRUCTURE FOR ALL POINT LOADS.



DENOTES OVER-FRAMED AREA

- 3. MINIMUM 7/16" OSB ROOF SHEATHING
- 4. TRUSS LAYOUT AND PLACEMENT BY MANUFACTURER TO COINCIDE WITH THE SUPPORT LOCATIONS SHOWN. TRUSS PROFILES SHALL BE SEALED BY THE TRUSS MANUFACTURER. TRUSS PLANS TO BE COORDINATED WITH THE SEALED STRUCTURAL DRAWINGS. INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- 5. MANUFACTURER TO PROVIDE REQUIRED UPLIFT CONNECTION.
- 6. PROVIDE H2.5A (MINIMUM) OR EQUIVALENT AT EACH TRUSS-TO-TOP PLATE CONNECTION AT OVER-FRAMED AREAS, UNLESS NOTED OTHERWISE.
- 7. UPLIFT CONNECTION TO BE CARRIED THROUGH TO FLOOR SYSTEM.

#### STICK-FRAMED ROOF - STRUCTURAL NOTES

- PROVIDE 2x4 COLLAR TIES AT 48" OC AT UPPER THIRD OF RAFTERS. UNLESS NOTED OTHERWISE
- 2. FUR RIDGES FOR FULL RAFTER CONTACT.
- 3. PROVIDE CONTINUOUS BLOCKING THROUGH STRUCTURE FOR ALL POINT LOADS.



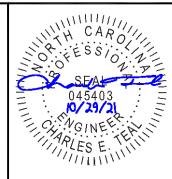
DENOTES OVER-FRAMED AREA

- 5. MINIMUM 7/16" OSB ROOF SHEATHING
- 6. PROVIDE 2x4 RAFTER TIES AT 16" OC AT 45° BETWEEN RAFTERS AND CEILING JOISTS. USE (4) 16d NAILS AT EACH CONNECTION. RAFTER TIES MAY BE SPACED AT 48" OC AT LOCATIONS WHERE NO KNEE WALLS ARE INSTALLED.
- PROVIDE H2.5A (MINIMUM) OR EQUIVALENT AT EACH RAFTER-TO-TOP PLATE CONNECTION AT OVER-FRAMED AREAS, UNLESS NOTED OTHERWISE.
- 8. UPLIFT CONNECTION TO BE CARRIED THROUGH TO FLOOR

BRICK VENEER LINTEL SCHEDULE						
SPAN	STEEL ANGLE SIZE	END BEARING LENGTH				
UP TO 42"	L3-1/2"x3-1/2"x1/4"	8" (MIN. @ EACH END)				
UP TO 72"	L6"x4"x5/16"* (LLV)	8" (MIN. @ EACH END)				
OVER 72"	OVER 72" L6"x4"x5/16"* (LLV) ATTACH LINTEL w/ 1/2" THRU BOLT @ 12" OC, 3" FROM EACH END					

\* FOR QUEEN BRICK: LINTELS AT THIS CONDITION MAY BE 5"x3-1/2"x5/16"

NOTE: BRICK LINTELS AT SLOPED AREAS TO BE 4"x3-1/2"x1/4" STEEL ANGLE WITH 16D NAILS IN 3/16" HOLES IN 4" ANGLE LEG AT 12" OC TO TRIPLE RAFTER. WHEN THE SLOPE EXCEEDS 4:12 A MINIMUM OF 3"x3"x1/4" PLATES SHALL BE WELDED AT 24" OC ALONG THE STEEL ANGLE.



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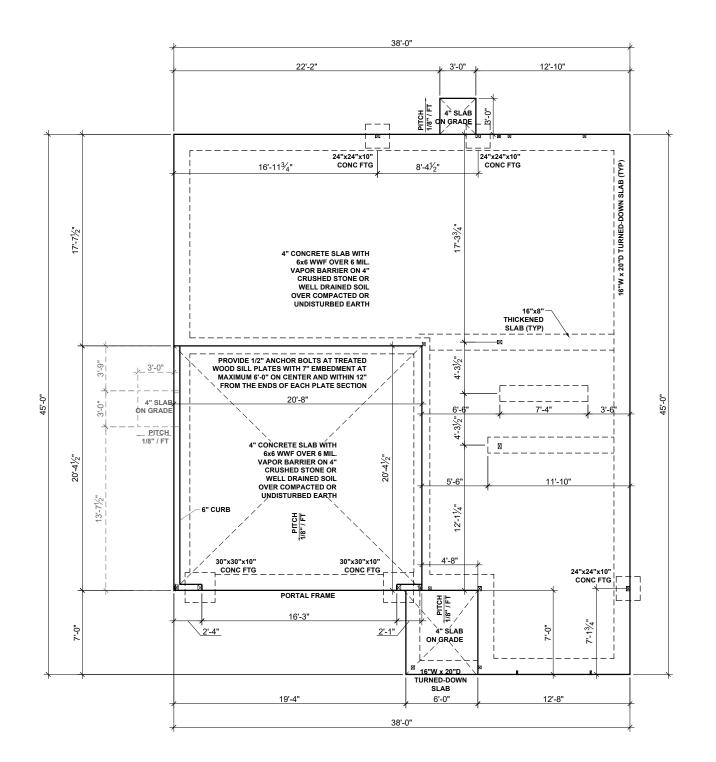
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GENERAL NOTES

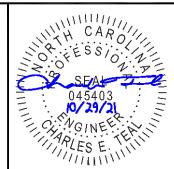


# **SLAB FOUNDATION PLAN - FARMHOUSE**

SCALE: 1/8"=1'-0"

LOAD BEARING WALL - - ROOF RAFTER/TRUSS SUPPORT - · - · - · DOUBLE RAFTER / DOUBLE JOIST STRUCTURAL BEAM / GIRDER WINDOW / DOOR HEADER POINT LOAD TRANSFER POINT LOAD FROM ABOVE BEARING ON BEAM / GIRDER

MAT CLT ONLY: ALL FOOTINGS TO HAVE CONTINUOUS (2) #4 REBAR



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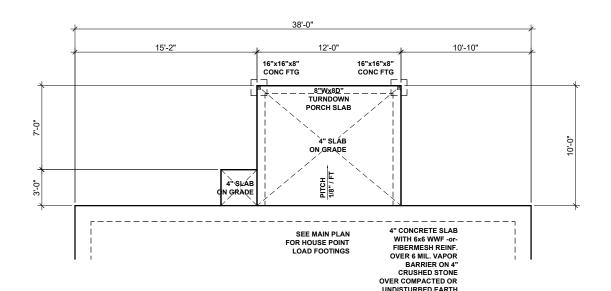
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10/29/2021

SLAB FOUNDATION PLAN

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**SCREENED PORCH - MAT RALEIGH** 

# 10'-10" 16"x16"x8" CONC FTG 16"x16"x8" CONC FTG PORCH SLAB ON GRADE 4" CONCRETE SLAB SEE MAIN PLAN WITH 6x6 WWF -or-FOR HOUSE POINT LOAD FOOTINGS OVER 6 MIL. VAPOR BARRIER ON 4" CRUSHED STONE

# **COVERED VERANDA - BOTH LOCATIONS SCREENED PORCH - MAT CHARLOTTE**



LOAD BEARING WALL - - ROOF RAFTER/TRUSS SUPPORT

MAT CLT ONLY: ALL FOOTINGS TO HAVE

SEE FULL PLAN FOR ADDITIONAL INFORMATION

CONTINUOUS (2) #4 REBAR

DOUBLE RAFTER / DOUBLE JOIST STRUCTURAL BEAM / GIRDER POINT LOAD TRANSFER POINT LOAD FROM ABOVE BEARING ON BEAM / GIRDER

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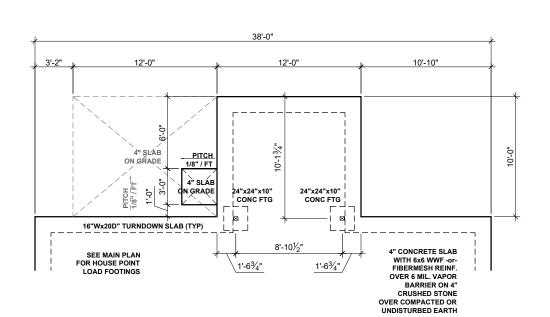


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SLAB FOUNDATION OPTIONS

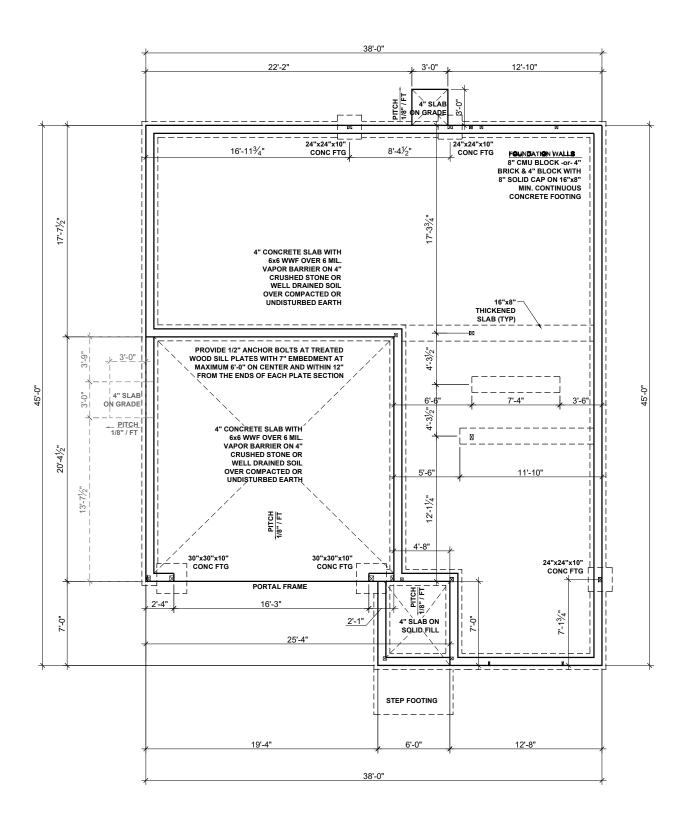


# **SUNROOM FOUNDATION**

SCALE: 1/8"=1'-0"

# **SLAB FOUNDATION OPTIONS - FARMHOUSE**

SCALE: 1/8"=1'-0"



# **STEM WALL PLAN - FARMHOUSE**

SCALE: 1/8"=1'-0"

#### BEAM & POINT LOAD-LEGEND

LOAD BEARING WALL

ROOF RAFTER/TRUSS SUPPORT

DOUBLE RAFTER / DOUBLE JOIST

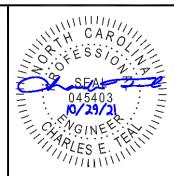
STRUCTURAL BEAM / GIRDER

WINDOW / DOOR HEADER

POINT LOAD TRANSFER

POINT LOAD FROM ABOVE BEARING ON BEAM / GIRDER

MAT CLT ONLY: ALL FOOTINGS TO HAVE CONTINUOUS (2) #4 REBAR



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DESIGN - ENGINEE IDS Consuling PLLC: 8600 '19 JEKSEY INFO@ JDSCONSULTING.NET;

Harnett County MASS SET 010 2022

**MATTAMY HOMES** 

CAROLINA

SHENANI
LOCATION:
NORTH C



PROJECT NO.:

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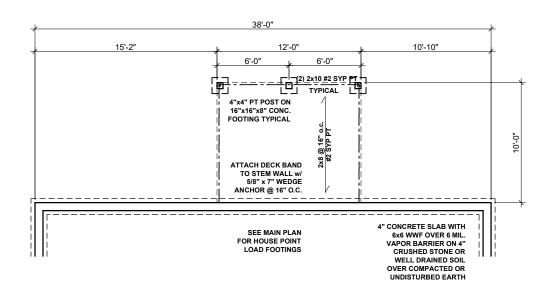
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STEM WALL FOUNDATION PLAN

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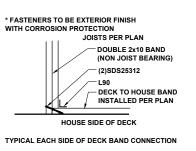
**SCREENED PORCH - MAT RALEIGH** 

# 38'-0" 15'-2" 12'-0" 6'-0" 6'-0" 6'-0" 16'-10" 10'-10" 16'-10" 16'-10" 10'-10" 10'-10" 4"x4" PT POST ON Inferior Conc. FOOTING TYPICAL 16'-x16" x8" CONC. FOOTING TYPICAL 30'-0' ATTACH DECK BAND TO STEM WALL w/ 5/8" x "7" WEDGE ANCHOR @ 16" O.C. SEE MAIN PLAN FOR HOUSE POINT LOAD FOOTINGS 4" CONCRETE SLAB WITH 6.66 WWF OVER 6 MIL. VAPOR BARRIER ON 4" CRUSHED STONE OR WELL DRAINED SOIL OVER COMPACTED OR

# COVERED VERANDA - BOTH LOCATIONS SCREENED PORCH - MAT CHARLOTTE

# 38'-0" 15'-2" 22'-10" 10'-1

1'-6¾" /



# **SUNROOM FOUNDATION**

1'-6¾"

SCALE: 1/8"=1'-0"

TO STEM WALL w/ 5/8" x 7" WEDGE

ANCHOR @ 16" O.C.

# STEM WALL FOUNDATION OPTIONS - FARMHOUSE

SCALE: 1/8"=1'-0"

6x6 WWF OVER 6 MIL. VAPOR BARRIER ON 4"

CRUSHED STONE OR WELL DRAINED SOIL OVER COMPACTED OR UNDISTURBED EARTH

# eam & point load legend:

LOAD BEARING WALL

ROOF RAFTER/TRUSS SUPPORT

OUBLE RAFTER / DOUBLE JOIST

STRUCTURAL BEAM / GIRDER

WINDOW / DOOR HEADER

POINT LOAD TRANSFER

POINT LOAD TRANSFER

POINT LOAD FROM ABOVE
BEARING ON BEAM / GIRDER

MAT CLT ONLY: ALL FOOTINGS TO HAVE CONTINUOUS (2) #4 REBAR

SEE FULL PLAN FOR ADDITIONAL INFORMATION

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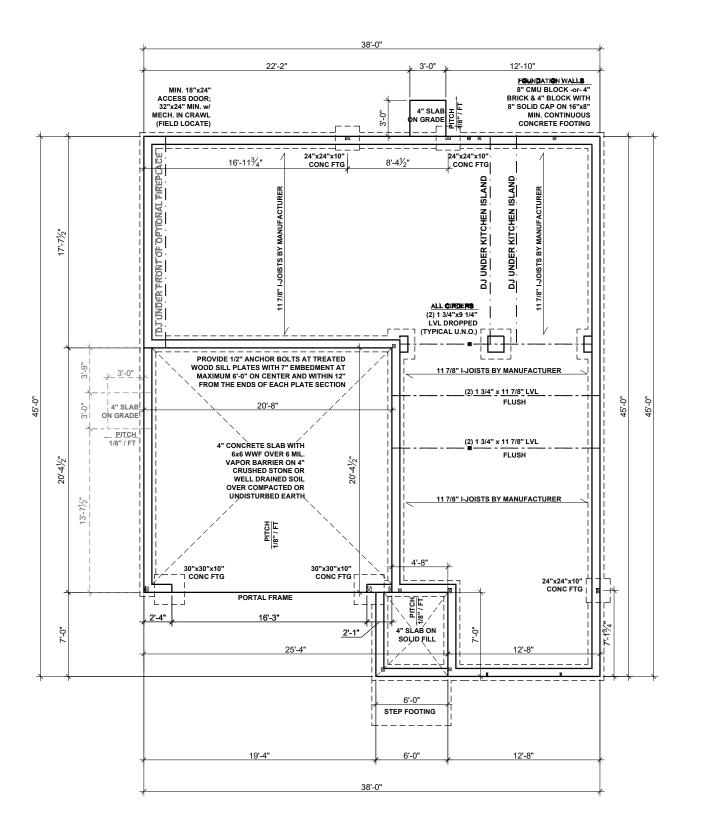
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STEM WALL FOUNDATION OPTIONS

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# **CRAWL SPACE FOUNDATION PLAN - FARMHOUSE**

SCALE: 1/8"=1'-0"

#### BEAM & POINT LOAD LEGEN

LOAD BEARING WALL

ROOF RAFTER/TRUSS SUPPORT

DOUBLE RAFTER / DOUBLE JOIST

STRUCTURAL BEAM / GIRDER
WINDOW / DOOR HEADER

 ☑ POINT LOAD TRANSFER
 ☑ POINT LOAD FROM ABOVE BEARING ON BEAM / GIRDER

MAT CLT ONLY: ALL FOOTINGS TO HAVE CONTINUOUS (2) #4 REBAR

## CRAWL SPACE VENTILATION

THE MINIMUM NET AREA OF VENTILATION OPENINGS SHALL NOT BE LESS THAN 1 SQUARE FOOT FOR EACH 150 SQUARE FEET OF UNDERFLOOR SPACE AREA, AND ONE SUCH OPENING SHALL BE WITHIN 3 FEET OF EACH CORNER OF THE BUILDING.

EXCEPTION: THE TOTAL AREA OF VENTILATION MAY BE REDUCED TO 1/1500 OF THE UNDERFLOOR AREA WHERE THE GROUND SURFACE IS TREATED WITH AN APPROVED VAPOR RETARDER MATERIAL AND THE REQUIRED OPENINGS ARE PLACED SO AS TO PROVIDE CROSS-VENTILATION.

1112 SQUARE FEET OF TOTAL CRAWL SPACE /

FLOOR FRAMING TO BE 11 7/8" DEEP TJI 210 SERIES OR EQUAL, 19.2" OC MAXIMUM SPACING

\*\*REFER TO I-JOIST EQUIVALENCE CHART ON I-JOIST DETAIL SHEET FOR SUBSTITUTION OF MANUFACTURER SERIES

#### FOUNDATION STRUCTURAL NOTES :

1. CONCRETE BLOCK PIER SIZE SHALL BE:

8x16 UP TO 32" HIGH UP TO 5'-0" HIGH
12x16 UP TO 48" HIGH UP TO 9'-0" HIGH
16x16 UP TO 64" HIGH UP TO 12'-0" HIGH
24x24 UP TO 96" HIGH

WITH 30" x 30" x 10" CONCRETE FOOTING, UNO.

8"x16" PIERS AT FOUNDATION WALL SUPPORTING DROPPED GIRDER TO HAVE A 30"x10"x8" FOOTING PROJECTION FROM THE MAIN WALL FOOTING.

EXTRA JOISTS UNDER ALL NON LOAD BEARING WALLS THAT RUN AT LEAST 30% OF THE JOIST SPAN.



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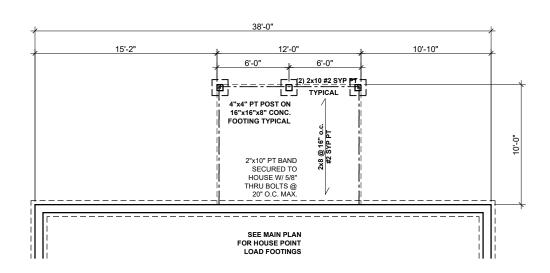
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DATE: 10/29/2021

CRAWL SPACE FOUNDATION PLAN

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S.30



# 10'-10" (2))2x10 #2 SYP PT 4"x4" PT POST ON 16"x16"x8" CONC. FOOTING TYPICAL 2"x10" PT BAND SECURED TO HOUSE W/ 5/8" THRU BOLTS @ 20" O.C. MAX SEE MAIN PLAN FOR HOUSE POINT LOAD FOOTINGS

# LOAD BEARING WALL

- - ROOF RAFTER/TRUSS SUPPORT DOUBLE RAFTER / DOUBLE JOIST STRUCTURAL BEAM / GIRDER

POINT LOAD TRANSFER

POINT LOAD FROM ABOVE BEARING ON BEAM / GIRDER

MAT CLT ONLY: ALL FOOTINGS TO HAVE CONTINUOUS (2) #4 REBAR

SEE FULL PLAN FOR ADDITIONAL INFORMATION

P-0961



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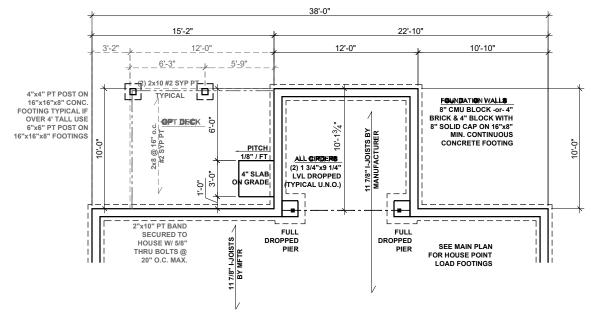
ABS CRAWL SPACE

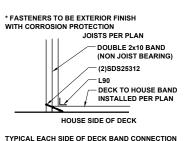
FOUNDATION OPTIONS

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# **SCREENED PORCH - MAT RALEIGH**

# **COVERED VERANDA - BOTH LOCATIONS SCREENED PORCH - MAT CHARLOTTE**



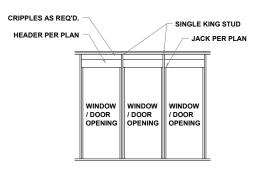


# **SUNROOM FOUNDATION**

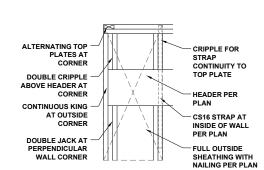
SCALE: 1/8"=1'-0"

# **CRAWL SPACE FOUNDATION OPTIONS - FARMHOUSE**

SCALE: 1/8"=1'-0"

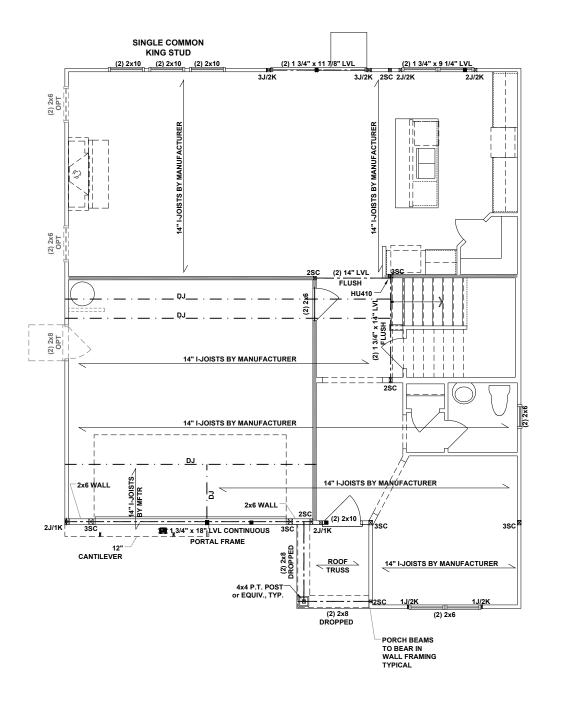


MULTI HEADER DETAIL
SINGLE COMMON KING STUD NTS



PORTAL FRAMED OR
ENGINEERED OPENING
OUTSIDE CORNER DETAIL

NITC



#### M & POUNT LOAD-LEGENDE

LOAD BEARING WALL

ROOF RAFTER/TRUSS SUPPORT

DOUBLE RAFTER / DOUBLE JOIST

STRUCTURAL BEAM / GIRDER

WINDOW / DOOR HEADER

POINT LOAD TRANSFER

POINT LOAD FROM ABOVE
BEARING ON BEAM / GIRDER

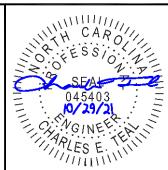
#### Structural framing notes - see general notes sheet for additional requirements

- . ALL FRAMING TO BE #2 SPF MINIMUM.
- 2. ALL BEARING HEADERS TO BE (2) 2x6 SUPPORTED w/ MIN (1) JACK AND (1) KING EACH END, UNO.
- 3. EXTERIOR WALL OPENINGS OVER 3' TO HAVE MULTIPLE KING STUDS AS NOTED ON PLAN.
- ALL NON-BEARING HEADERS TO BE (2) 2x4 (1) (1) K, UNO.
- 5. PROVIDE CONTINUOUS BLOCKING THROUGH STRUCTURE FOR ALL POINT LOADS.
- 6. ALL HANGERS AND CONNECTORS SPECIFIED ARE TO BE SIMPSON STRONG-TIE OR EQUIVALENT.
- 7. ALL BEAMS SPECIFIED ARE MINIMUM SIZES ONLY, LARGER MEMBERS MAY SUBSTITUTED AS NEEDED FOR EASE OF CONSTRUCTION, MINIMUM BEAM SUPPORT IS (1) 2x4 STUD.
- 8. ALL EXTERIOR WALLS TO BE FULLY SHEATHED WITH 7/16" OSB.
- 9. FRONT PORCH COLUMNS TO BE MIN 4x4 PT ATTACHED AT TOP AND BOTTOM USING SIMPSON (OR EQUIV) COLUMN BASE OR SST A24 BRACKETS. TRIM OUT PER BUILDER.
- PORCH COLUMNS TO BE MIN 4x4 PT ATTACHED AT BOTTOM USING SIMPSON (OR EQUIV) ABA44 AND AT TOP USING CS 16 STRAPPING (12" MIN) TO PORCH HEADER / BAND.
- 11. WHEN A 4-PLY LVL IS USED, ATTACH WITH (I) 1/2" Ø BOLT 12" OC STAGGERED, TOP AND BOTTOM, 1-1/2" MIN FROM ENDS, ALTERNATE ATTACHMENT EQUIVALENT METHOD MAY BE USED, SUCH AS SDW OR TRUSSLOK SCREWS (SEE MANUFACTURER'S SPECIFICATIONS).
- FOR STUD COLUMNS OF 4 OR MORE, INSTALL SST CSI6 STRAPS @ 30" OC, 6" MAX FROM PLATES, ON INSIDE FACE OF COLUMN (EXTERIOR WALL), ON BOTH FACES OF COLUMN (INTERIOR WALL).

\*\*REFER TO I-JOIST EQUIVALENCE CHART ON I-JOIST DETAIL SHEET FOR SUBSTITUTION OF MANUFACTURER SERIES

FLOOR FRAMING TO BE 14" DEEP TJI 210 SERIES OR EQUAL, 19.2" OC MAXIMUM SPACING

ALL FLUSH BEAMS TO BE DIRECTLY SUPPORTED BY (2) 2X\_STUDS UNLESS OTHERWISE NOTED. STUD COLUMNS TO BE SUPPORTED BY SOLID BLOCKING TO FOUNDATION OR TO BEARING COMPONENT BELOW.



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DESIGN - ENGINEERING S Consulting PLLC; 8600 'D JERSEY CT, RA
INFO@JDSCONSULTING, NET; WWW.



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DATE: 10/29/2021

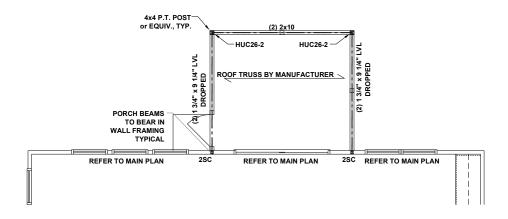
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FIRST FLOOR I-JOIST CEILING FRAMING PLAN

S1.0

FIRST FLOOR CEILING FRAMING PLAN - FARMHOUSE

SCALE: 1/8"=1'-0"



# PORCH BEAMS TO BEAM TO BEAMING TYPICAL REFER TO MAIN PLAN 2SC REFER TO MAIN PLAN REFER TO MAIN PLAN 2SC REFER TO MAIN PLAN REFER TO MAIN PLAN 2SC REFER TO MAIN PLAN REFER TO MAIN PLAN 2SC REFER TO MAIN PLAN REFER TO MAIN PLAN 2SC REFER TO MAIN PLAN 2SC REFER TO MAIN PLAN

# **SCREENED PORCH - MAT RALEIGH**

**COVERED PORCH - BOTH LOCATIONS SCREENED PORCH - MAT CHARLOTTE** 

# ROOF TRUSS BY MANUFACTURER ROOF TRUSS BY MANUFACTURER ROOF TRUSS BY MANUFACTURER REFER TO MAIN PLAN REFER TO MAIN PLAN REFER TO MAIN PLAN

# **SUNROOM**

SCALE: 1/8"=1'-0"

FIRST FLOOR CEILING FRAMING OPTIONS - FARMHOUSE

SCALE: 1/8"=1'-0"

#### BEAM & POINT LOAD-LEGEND

LOAD BEARING WALL

ROOF RAFTER/TRUSS SUPPORT

DOUBLE RAFTEE / DOUBLE JOIST

STRUCTURAL BEAM / GIRDER

WINDOW / DOOR HEADER

POINT LOAD TRANSFER

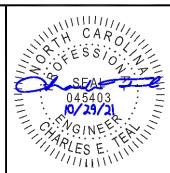
POINT LOAD FROM ABOVE
BEARING ON BEAM / GIRDER

#### Structural Kraming Notes - See General Notes sheet for additional requirements

ALL FRAMING TO BE #2 SPF MINIMUM.

- 2. ALL BEARING HEADERS TO BE (2) 2x6 SUPPORTED w/ MIN (1) JACK AND (1) KING EACH END, UNO.
- 3. EXTERIOR WALL OPENINGS OVER 3' TO HAVE MULTIPLE KING STUDS AS NOTED ON PLAN.
- ALL NON-BEARING HEADERS TO BE (2) 2x4 (1) (1) K, UNO.
- 5. PROVIDE CONTINUOUS BLOCKING THROUGH STRUCTURE FOR ALL POINT LOADS.
- 6. ALL HANGERS AND CONNECTORS SPECIFIED ARE TO BE SIMPSON STRONG-TIE OR EQUIVALENT.
- 7. ALL BEAMS SPECIFIED ARE MINIMUM SIZES ONLY LARGER MEMBERS MAY SUBSTITUTED AS NEEDED FOR EASE OF CONSTRUCTION. MINIMUM BEAM SUPPORT IS (1) 2x4 STUD.
- 8. ALL EXTERIOR WALLS TO BE FULLY SHEATHED WITH 7/16" OSB.
- 9. FRONT PORCH COLUMNS TO BE MIN 4x4 PT ATTACHED AT TOP AND BOTTOM USING SIMPSON (OR EQUIV) COLUMN BASE OR ST A24 BRACKETS. TRIM OUT PER BUILDER.
- 10. PORCH COLUMNS TO BE MIN 4x4 PT ATTACHED AT BOTTOM USING SIMPSON (OR EQUIV) ABA44 AND AT TOP USING CS 16 STRAPPING (12" MIN) TO PORCH HEADER! BAND.
- 11. WHEN A 4-PLY LVL IS USED, ATTACH WITH (I) 1/2"
  Ø BOLT 12" OC STAGGERED, TOP AND BOTTOM,
  1-1/2" MIN FROM ENDS. ALTERNATE ATTACHMENT
  EQUIVALENT METHOD MAY BE USED, SUCH AS
  SDW OR TRUSSLOK SCREWS (SEE
  MANUFACTURER'S SPECIFICATIONS).
- FOR STUD COLUMNS OF 4 OR MORE, INSTALL SST CS16 STRAPS @ 30" OC, 6" MAX FROM PLATES, ON INSIDE FACE OF COLUMN (EXTERIOR WALL), ON BOTH FACES OF COLUMN (INTERIOR WALL).

SEE FULL PLAN FOR ADDITIONAL INFORMATION



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DS Consulting PLLC: 8600 'D' JERSEY CT, R INFO@JDSCONSULTING.NET; WW

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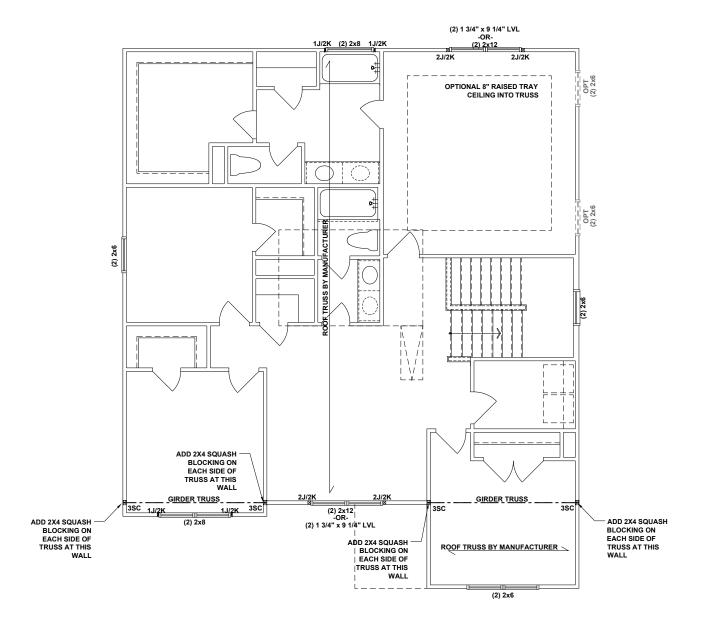
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DATE: 10/29/2021

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FIRST FLOOR I-JOIST CEILING FRAMING OPTIONS

**S1.1** 



# SECOND FLOOR CEILING FRAMING PLAN -

**FARMHOUSE** 

SCALE: 1/8"=1'-0"

Beam & Point Load Legent

LOAD BEARING WALL

ROOF RAFTER/TRUSS SUPPORT

DOUBLE RAFTER / DOUBLE JOIST

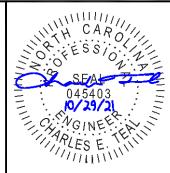
STRUCTURAL BEAM/GIRDER
WINDOW/DOOR HEADER
POINT LOAD TRANSFER

POINT LOAD FROM ABOVE BEARING ON BEAM / GIRDER

#### Structural framing notes - see general notes shert for additional requirements.

- 1. ALL FRAMING TO BE #2 SPF MINIMUM.
- 2. ALL BEARING HEADERS TO BE (2) 2x6 SUPPORTED w/ MIN (1) JACK AND (1) KING EACH END, UNO.
- 3. EXTERIOR WALL OPENINGS OVER 3' TO HAVE MULTIPLE KING STUDS AS NOTED ON PLAN.
- 4. ALL NON-BEARING HEADERS TO BE (2) 2x4 (1) (1) K, UNO.
- 5. PROVIDE CONTINUOUS BLOCKING THROUGH STRUCTURE FOR ALL POINT LOADS.
- 6. ALL HANGERS AND CONNECTORS SPECIFIED ARE TO BE SIMPSON STRONG-TIE OR EQUIVALENT.
- 7. ALL BEAMS SPECIFIED ARE MINIMUM SIZES ONLY. LARGER MEMBERS MAY SUBSTITUTED AS NEEDED FOR EASE OF CONSTRUCTION. MINIMUM BEAM SUPPORT IS (1) 2x4 STUD.
- 8. ALL EXTERIOR WALLS TO BE FULLY SHEATHED WITH 7/16" OSB.
- 9. FRONT PORCH COLUMNS TO BE MIN 4x4 PT ATTACHED AT TOP AND BOTTOM USING SIMPSON (OR EQUIV) COLUMN BASE OR SST A24 BRACKETS. TRIM OUT PER BUILDER.
- PORCH COLUMNS TO BE MIN 4x4 PT ATTACHED AT BOTTOM USING SIMPSON (OR EQUIV) ABA44 AND AT TOP USING CS 16 STRAPPING (12" MIN) TO PORCH HEADER / BAND.
- 11. WHEN A 4-PLY LVL IS USED, ATTACH WITH (I) 1/2" Ø BOLT 12" OC STAGGERED, TOP AND BOTTOM, 1-1/2" MIN FROM ENDS, ALTERNATE ATTACHMENT EQUIVALENT METHOD MAY BE USED, SUCH AS SDW OR TRUSSLOK SCREWS (SEE MANUFACTURER'S SPECIFICATIONS).
- FOR STUD COLUMNS OF 4 OR MORE, INSTALL SST CSI6 STRAPS @ 30" OC, 6" MAX FROM PLATES, ON INSIDE FACE OF COLUMN (EXTERIOR WALL), ON BOTH FACES OF COLUMN (INTERIOR WALL)

ALL FLUSH BEAMS TO BE DIRECTLY SUPPORTED BY (2) 2X\_STUDS UNLESS OTHERWISE NOTED. STUD COLUMNS TO BE SUPPORTED BY SOLID BLOCKING TO FOUNDATION OR TO BEARING COMPONENT BELOW.



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Consulting surveying - ENERGY

DESIGN - ENGINEERING

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CAROLINA

SHENAND

SCATION:

NORTH C.



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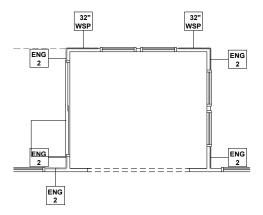
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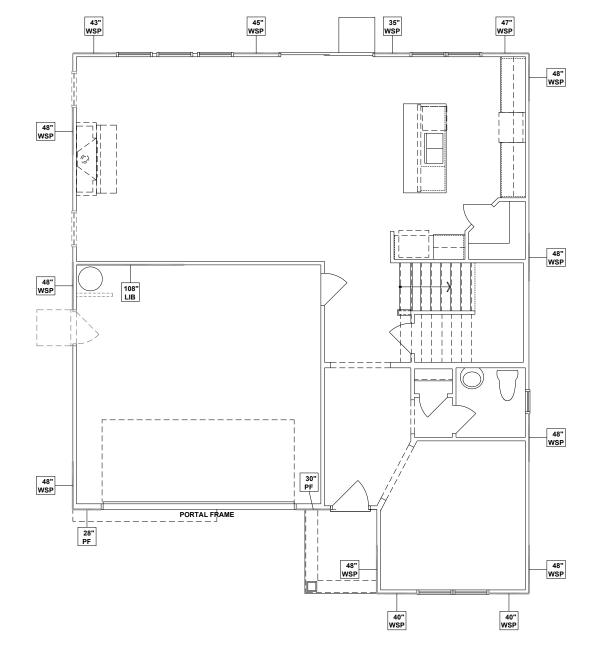
SECOND FLOOR CHILING FRAMING PLAN

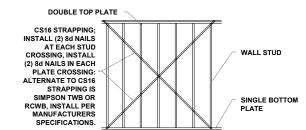
S2.0



# **SUNROOM OPTION**

SCALE: 1/8"=1'-0"





CROSS BRACED LIB
CS16 STRAPPING METHOD
SCALE: 1/4" = 1'-0" STRAP ANGLES TO BE NO MORE THAN

# FIRST FLOOR WALL BRACING PLAN - FARMHOUSE

SCALE: 1/8"=1'-0"

#### WALL BRACING REQUIREMENTS

- MINIMUM PANEL WIDTH IS 24"
   FIGURES BASED ON THE CONTINUOUS SHEATHING
  METHOD USING THE RECTANGLE CIRCUMSCRIBED
  AROUND THE FLOOR PLAN OR PORTION OF THE
  FLOOR PLAN. IF NO RECTANGLE IS NOTED, THE
  STRUCTURE HAS BEEN FIGURED ALL WITHIN ONE
  RECTANGLE.
- PANELS MAY SHIFT UP TO 36" EITHER DIRECTION FOR EASE OF CONSTRUCTION (NAILING & BLOCK REOUIREMENTS STILL APPLY).
- FOR ADDITIONAL WALL BRACING INFORMATION, REFER TO WALL BRACING DETAIL SHEET(S).
- SCHEMATIC BELOW INDICATES HOW SIDES OF RECTANGLE ARE TO BE INTERPRETED IN BRACING CHART WHEN APPLIED TO STRUCTURE:



CS16 STRAP FROM STUD, CROSS HEADER, TO WALL TOP PLATE, 36" LONG MINIMUM

SIMPSON MSTAIS HOLD DOWN CAPACITY OF 970 POUNDS PER ANCHOR WITH (12) 100 NAILS. STRAP TO BE LOCATED AT EDGE OF BRACED WALL PANEL. (CS16 STRAPPING MAY BE SUBSTITUTED W/SIMILAR LENGTH AND NAILING PATTERN.) USE HT14 FOR ATTACHMENT TO CONCRETE.

SCALED LENGTH
OF WALL PANEL
AT LOCATION

NUMERICAL
LENGTH
WSP
OF PANEL
PANEL TYPE

## ENGINEERED WALL SCHEDULE

ENG1: CONTINUOUSLY SHEATH WITH 7/16" OSB ATTACHED WITH 8d NAILS @ 6" OC EDGE AND 12" OC FIELD. FULLY BLOCKED AT ALL PANEL FDGES

ENG2: CONTINUOUSLY SHEATH WITH 7/16" OSB WITH 10d NAILS @ 3" OC EDGE AND 3" OC FIELD. FULLY BLOCKED AT ALL PANEL EDGES.

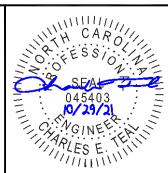
ENG4: CONTINUOUSLY SHEATH 7/16" OSB ATTACHED WITH 8d NAILS @ 4" OC EDGE AND 8" OC FIELD. FULLY BLOCKED AT ALL PANEL EDGES.

# WALL BRACING NOTE:

WALLS WITH REQUIRED LENGTH LISTED AS "N/A" DO NOT MEET THE REQUIREMENTS OF PRESCRIPTIVE WALL BRACING FOUND IN THE NCRC. THESE WALLS HAVE BEEN ENGINEERED BASED ON DESIGN UPLEWENTS. SET AND THE NDS: WIND & SEISMIC PROVISIONS SUPPLEMENT.

## WALL BRACING: RECTANGLE 1

SIDE	REQUIRED LENGTH	PROVIDED LENGTH
FRONT	12.0 FT.	16.16 FT.
RIGHT	11.0 FT.	20.0 FT.
REAR	12.0 FT.	14.16 FT.
LEFT	11.0 FT.	20.0 FT.
•	•	•



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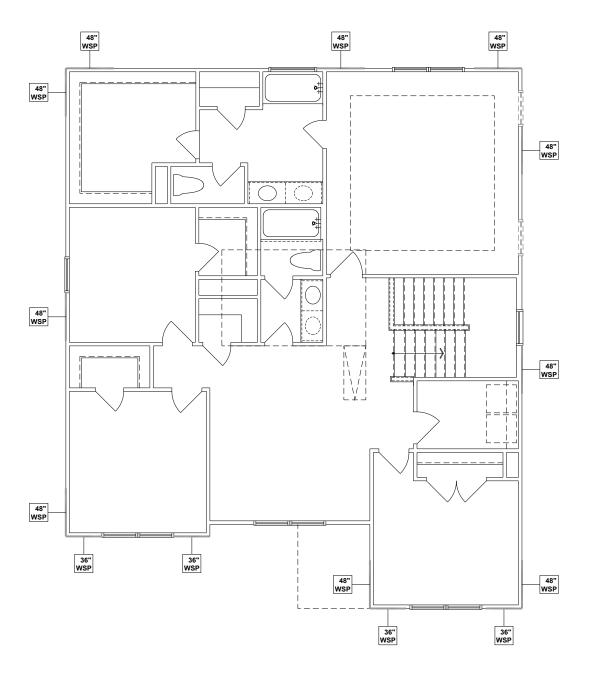
DATE: 10/29/2021

FIRST FLOOR WALL BRACING PLAN

DRAWN BY

ABS

**S4.0** 



# **SECOND FLOOR WALL BRACING PLAN -FARMHOUSE**

SCALE: 1/8"=1'-0"

# WALL BRACING REQUIREMENTS

- MINIMUM PANEL WIDTH IS 24"
- FIGURES BASED ON THE CONTINUOUS SHEATHING METHOD USING THE RECTANGLE CIRCUMSCRIBED AROUND THE FLOOR PLAN OR PORTION OF THE FLOOR PLAN. IF NO RECTANGLE IS NOTED, THE STRUCTURE HAS BEEN FIGURED ALL WITHIN ONE RECTANGLE.
- PANELS MAY SHIFT UP TO 36" EITHER DIRECTION FOR EASE OF CONSTRUCTION (NAILING & BLOCK REQUIREMENTS STILL APPLY).
- FOR ADDITIONAL WALL BRACING INFORMATION,
  REFER TO WALL BRACING DETAIL SHEET(S).
   SCHEMATIC BELOW INDICATES HOW SIDES OF RECTANGLE ARE TO BE INTERPRETED IN BRACING CHART WHEN APPLIED TO STRUCTURE:



CS16 STRAP FROM STUD, CROSS HEADER, TO WALL TOP PLATE, 36" LONG MINIMUM

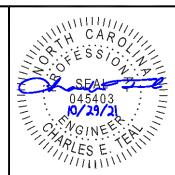
SIMPSON MSTA15 HOLD DOWN CAPACITY OF 970 POUNDS PER ANCHOR WITH (12) 10d NAILS. STRAP TO BE LOCATED AT EDGE OF BRACED WALL PANEL. (CS16 STRAPPING MAY BE SUBSTITUTED w/ SIMILAR LENGTH AND NAILING PATTERN.) USE HTT4 FOR ATTACHMENT TO CONCRETE.

NUMERICAL LENGTH SCALED LENGTH OF PANEL AT LOCATION -- PANEL TYPE

## WALL BRACING NOTE:

WALLS WITH REQUIRED LENGTH LISTED AS "N/A" DO NOT MEET THE REQUIREMENTS OF PRESCRIPTIVE WALL BRACING FOUND IN THE NCRC. THESE WALLS HAVE BEEN ENGINEERED BASED ON DESIGN GUIDELINES ESTABLISHED IN ASCE-07 AND THE NDS: WIND & SEISMIC PROVISIONS SUPPLEMENT.

WALL BRACING: RECTANGLE 1					
SIDE	REQUIRED LENGTH	PROVIDED LENGTH			
FRONT	7.0 FT.	12.0 FT.			
RIGHT	6.0 FT.	16.0 FT.			
REAR	4.5 FT.	12.0 FT.			
LEFT	7.0 FT.	12.0 FT.			



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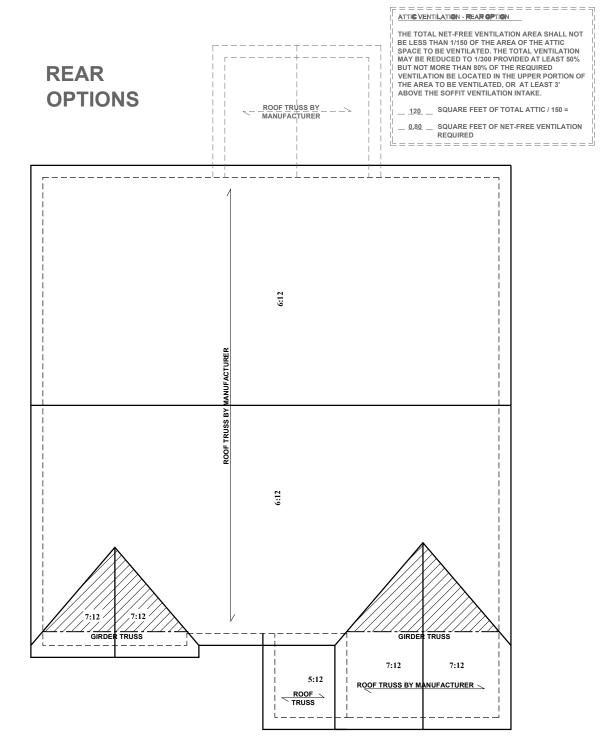
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10/29/2021

SECOND FLOOR WALL BRACING PLAN

ABS

**S5.0** 



# **ROOF FRAMING PLAN - FARMHOUSE**

SCALE: 1/8"=1'-0"

#### BEAM & POINT LOAD LEGEND:

LOAD BEARING WALL

ROOF RAFTER/TRUSS SUPPORT

DOUBLE RAFTER / DOUBLE JOIST

STRUCTURAL BEAM / GIRDER

WINDOW / DOOR HEADER

POINT LOAD TRANSFER

POINT LOAD FROM ABOVE
BEARING ON BEAM / GIRDER

#### Structural framing notes - see general notes shirt for additional requirements.

- 1. ALL FRAMING TO BE #2 SPF MINIMUM.
- 2. ALL BEARING HEADERS TO BE (2) 2x6 SUPPORTED w/ MIN (1) JACK AND (1) KING EACH END, UNO.
- 3. EXTERIOR WALL OPENINGS OVER 3' TO HAVE MULTIPLE KING STUDS AS NOTED ON PLAN.
- 4. ALL NON-BEARING HEADERS TO BE (2) 2x4 (1) J/(1) K, UNO.
- 5. PROVIDE CONTINUOUS BLOCKING THROUGH STRUCTURE FOR ALL POINT LOADS.
- . ALL HANGERS AND CONNECTORS SPECIFIED ARE TO BE SIMPSON STRONG-TIE OR EQUIVALENT.
- 7. ALL BEAMS SPECIFIED ARE MINIMUM SIZES ONLY. LARGER MEMBERS MAY SUBSTITUTED AS NEEDED FOR EASE OF CONSTRUCTION. MINIMUM BEAM SUPPORT IS (1) 2x4 STUD.
- 8. ALL EXTERIOR WALLS TO BE FULLY SHEATHED WITH 7/16" OSB.
- D. FRONT PORCH COLUMNS TO BE MIN 4x4 PT ATTACHED AT TOP AND BOTTOM USING SIMPSON (OR EQUIV) COLUMN BASE OR SST A24 BRACKETS. TRIM OUT PER BUILDER.
- 0. PORCH COLUMNS TO BE MIN 4x4 PT ATTACHED AT BOTTOM USING SIMPSON (OR EQUIV) ABA44 AND AT TOP USING CS 16 STRAPPING (12" MIN) TO PORCH HEADER / BAND.
- 11. WHEN A 4-PLY LVL IS USED, ATTACH WITH (I) 1/2" Ø BOLT 12" OC STAGGERED, TOP AND BOTTOM, 1-1/2" MIN FROM ENDS, ALTERNATE ATTACHMENT EQUIVALENT METHOD MAY BE USED, SUCH AS SDW OR TRUSSLOK SCREWS (SEE MANUFACTURER'S SPECIFICATIONS).
- 12. FOR STUD COLUMNS OF 4 OR MORE, INSTALL SST CSI6 STRAPS @ 30" OC, 6" MAX FROM PLATES, ON INSIDE FACE OF COLUMN (EXTERIOR WALL), ON BOTH FACES OF COLUMN (INTERIOR WALL).

#### ATTIC VENTILATION

THE TOTAL NET-FREE VENTILATION AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE ATTIC SPACE TO BE VENTILATED. THE TOTAL VENTILATION MAY BE REDUCED TO 1/300 PROVIDED AT LEAST 50% BUT NOT MORE THAN 80% OF THE REQUIRED VENTILATION BE LOCATED IN THE UPPER PORTION OF THE AREA TO BE VENTILATED, OR AT LEAST 3' ABOVE THE SOFFIT VENTILATION INTAKE.

10.3 SQUARE FEET OF NET-FREE VENTILATION REQUIRED

#### Truss uplift connections: exposure b\_115 mpil\_ any pitch\_24"-o.C. Max roop truss spacing

TRUSSES SHALL BE ATTACHED TO SUPPORT WALL FOR UPLIFT RESISTANCE. CONTINUOUS OSB WALL SHEATHING BELOW PROVIDES CONTINUOUS UPLIFT RESISTANCE TO FOUNDATION. ALL TRUSSES SUPPORTED BY INTERMEDIATE SUPPORT WALLS, KNEEWALLS, OR BEAMS SHALL BE ATTACHED TO SUPPORTING MEMBER PER SCHEDULE:

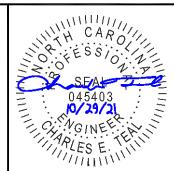
ROOF SPAN IS MEASURED HORIZONTALLY BETWEEN FURTHEST SUPPORT POINTS.

PROFFPLAN UP TO 28' CANNECTOR
NAILING PER TABLE 602.3(1)
NCRBC 2018 EDITION

OVER 28'

(1) SIMPSON H2.5A HURRICANE CLIP TO DBL TOP PLATE OR BEAM

OR (1) SIMPSON H3 CLIP TO SINGLE 2x4 PLATE



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ERING - SURVEYING - ENERGY

Y CT. RALEIGH, NC 27617 919480.1075

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DESIGN - ENGINEERI JDS Consulting PLLC; 8600 'D' JERSEY C INFO@JDSCONSULTING.NET;

Harnett COUNTY COUNTY MANUFACTORINA MANUFACT

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ROJECT NO.: 21901788

DATE: 10/29/2021

DRAWN BY:
ABS

ROOF FRAMING PLAN

**S6.0**