

FIELD & REDLINE NOTES

LIST OF ABBREVIATIONS							
ACCESS	ACCESS TO ATTIC OR CRAWL SPACE	DN	DISH WASHER	PCKT	POCKET DOOR	T.C.	TOP CHORD
AFF	ABOVE FLOOR	EQ	EQUAL	PERF	PERFORATED	TOM	TOP OF WALL
BD	BOARD	FDN	FOUNDATION	PL	PLATE	TRANS	TRANSOM
BDRM	BEDROOM	FV	FOUNDATION VENT	PT	PRESSURE TREATED FOR EXPOSURE	TYP	TYPICAL
BM	BEAM	GL	GLASS (DOOR)	PL	POINT LOAD (SOLID BLOCK)	UON	UNLESS OTHERWISE NOTED
CAB	CABINETS / CABINERY	HB	HOSE BIB	R4S	ROD & SHELF (CLOSETS)	V.B.	VAPOR BARRIER
C-J	CONTROL JOINT	HDR	DOOR / WINDOW / OPENING HEADER	REF	REFRIGERATOR	VAN	VANITY
C	CENTERLINE	HVAC	HEATING, VENTING & AIR CONDITION	REIN	REINFORCEMENT	W	WIDE
CMU	CONCRETE MASONRY UNIT	KNALL	KNEEWALL	RM	ROOM	W/	WITH
CO	CLEAR OPENING	LVL	LAMINATED VENEER LUMBER	SEG	SEGMENTED	WV	WITH MAIN WATER VALVE SHUTOFF
COL	COLUMN	MANF	MANUFACTURED	SHWR	SHOWER	#SP	NUMBER OF STUD POCKETS @ WINDOW/DOOR JAMB
CONC	CONCRETE	MAS	MASONRY	SHV(S)	SHELVE(S)		
CSMT	CASEMENT	NIC	NOT IN CONTRACT	SPEC(T)	SPECIFICATION / SPECIFIED		
DBL	DOUBLE	OC	ON CENTER	SQ	SQUARE		
DIAM	DIA-METER	OH	OVERHANG	SS	STAINLESS STEEL		
DHSH	DOUBLE HUNG / SINGLE HUNG WINDOW	OPNG	OPENING	SST	SIMPSON STRONG-TIE OR EQUAL		
DN	DOWN	OPT	OPTIONAL	SUBFLR	SUB-FLOOR		
DP	DEEP			SYP	SOUTHERN YELLOW PINE		

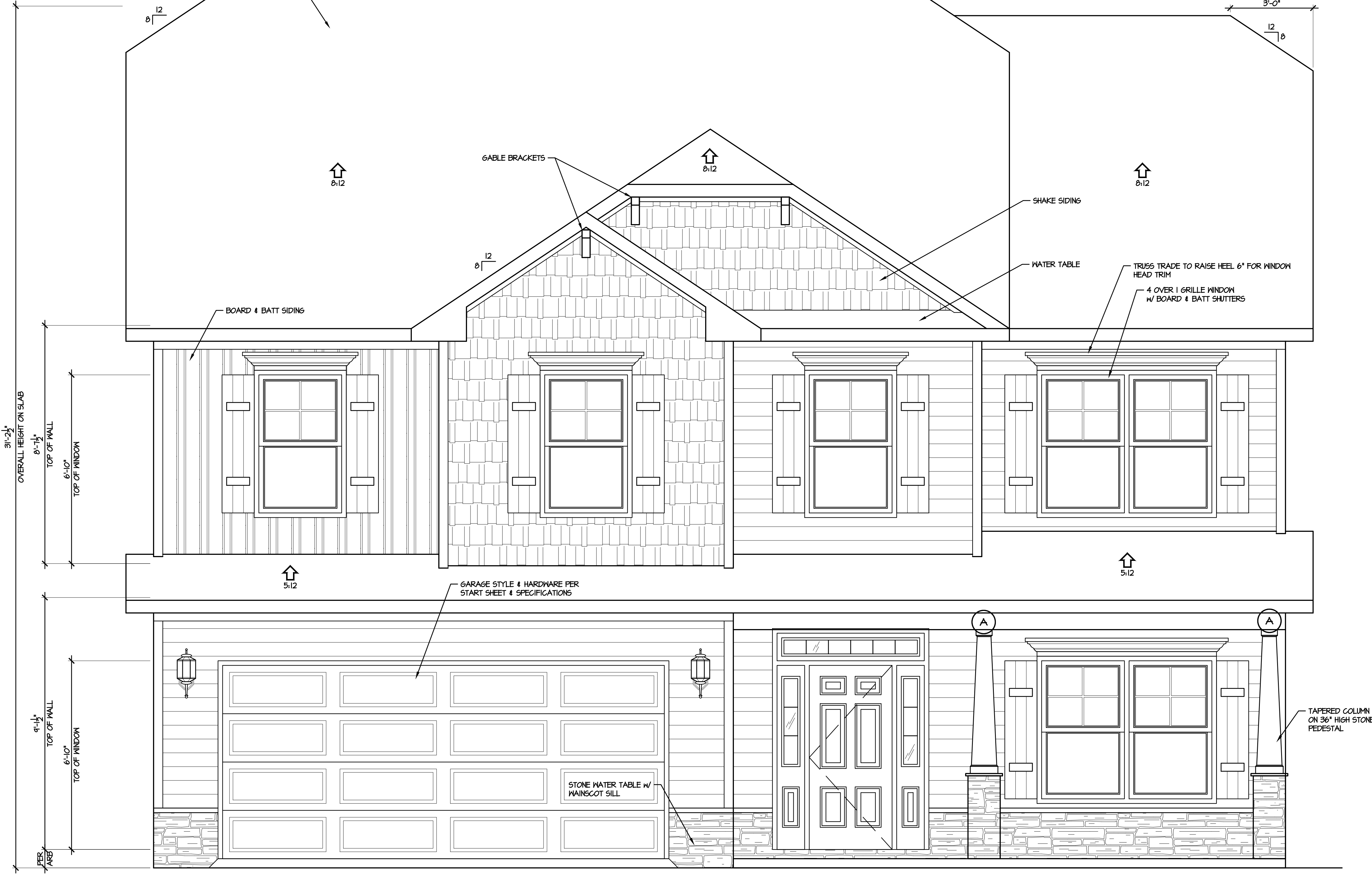
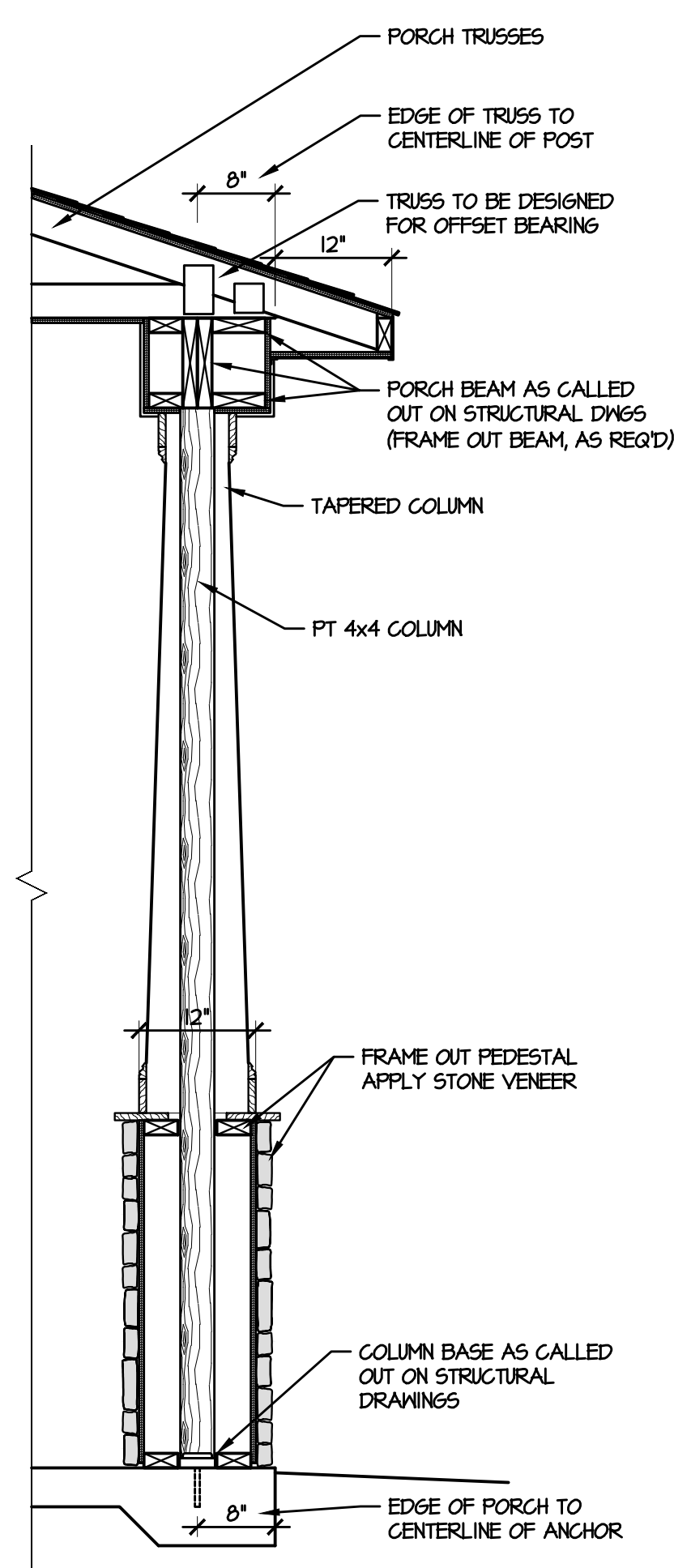
ATTIC VENT CALCULATIONS	
FIRST FLOOR ATTIC AREA:	N/A SF
RIDGE VENTS*:	N/A
SOFFIT VENT*:	N/A
SECOND FLOOR ATTIC AREA:	1350 SF
RIDGE VENTS*:	40 L.F. / 5 S.F. (50%)
SOFFIT VENT*:	12 L.F. / 5 S.F. (50%)
RATIO: $\frac{10}{1350} = \frac{1}{135}$	

\* CALCS BASED ON VENT FREE AREA OF 10 S.I. FOR RIDGE & 9 S.I. FOR SOFFIT

ENERGY COMPLIANCE	
CLIMATE ZONE:	4A HARNETT COUNTY
CHAPTER II ENERGY EFFICIENCY COMPLIANCE (CHECK ONE)	
<input checked="" type="checkbox"/>	PREScriptive CODE
<input type="checkbox"/>	PERFORMANCE
CEILING INSULATION:	R30
WALL INSULATION:	R15
FLOOR INSULATION:	R19 FOR CRAWL SPACE / R10 FOR SLAB

SUMMARY	
<b>PROJECT INFO</b>	
NAME OF PROJECT:	LOT 100 CROSSINGS AT ANDERSON CREEK - CC2325D
PROJECT ADDRESS:	356 KENSINGTON DRIVE
PROPOSED USE:	RESIDENTIAL
CONTACT:	CAVINESS & CATES, INC
<b>CODE COMPLIANCE:</b>	
MUNICIPALITY:	2018 NC STATE RESIDENTIAL BUILDING CODE
DESIGNER:	HARNETT COUNTY
DESIGNER:	TODD TUCKER, AIBD, CPBD 910-366-2636
<b>SPACE DATA:</b>	
FIRST FLOOR HEATED:	475 SF
SECOND FLOOR HEATED:	1350 SF
TOTAL HEATED:	2325 SF
FRONT PORCH:	100 SF
12x10 COVERED PORCH:	120 SF
GARAGE:	443 SF
OVERALL BUILDING HEIGHT 31'-2" WITH SLAB FOUNDATION	
<b>DESIGN LOADS</b>	
ROOF LOADS:	20 PSF LIVE, 20 PSF DEAD
ATTIC LOADS:	20 PSF LIVE, WHERE INDICATED (SEE TRUSS DWGS)
FIRST FLOOR:	40 PSF LIVE, 10 PSF DEAD
UPPER FLOORS:	30 PSF LIVE, 15 PSF DEAD
WIND LOAD:	FOR ASCE 7-10, RISK CATEGORY II, EXPOSURE 'B', 120 mph
ALL GARAGE PORTAL WALLS TO BE FRAMED WITH 2x6 STUDS	

LIST OF SYMBOLS			
SECTION SHEET	SECTION MARK	SLOPE UP PITCH	
SECTION SHEET	DETAIL MARK	EARTH	
TITLE SCALE	TITLE MARK	INSULATION	
INTERIOR BEARING WALL	STANDARD WALL		



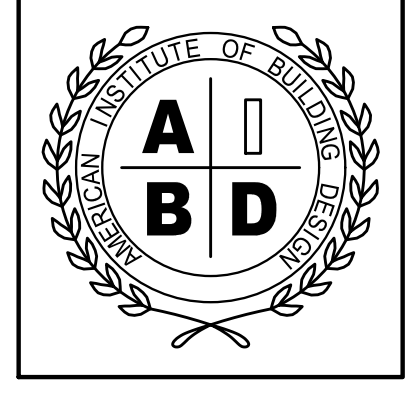
A PORCH DETAIL  
3/4" = 1'-0"

I FRONT ELEVATION "D"  
1/2" = 1'-0"

CONSTRUCTION SET 12-6-21



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TODD TUCKER 34 - 156  
FORTIFIED-WISE™  
PROFESSIONAL  
910-824-1474

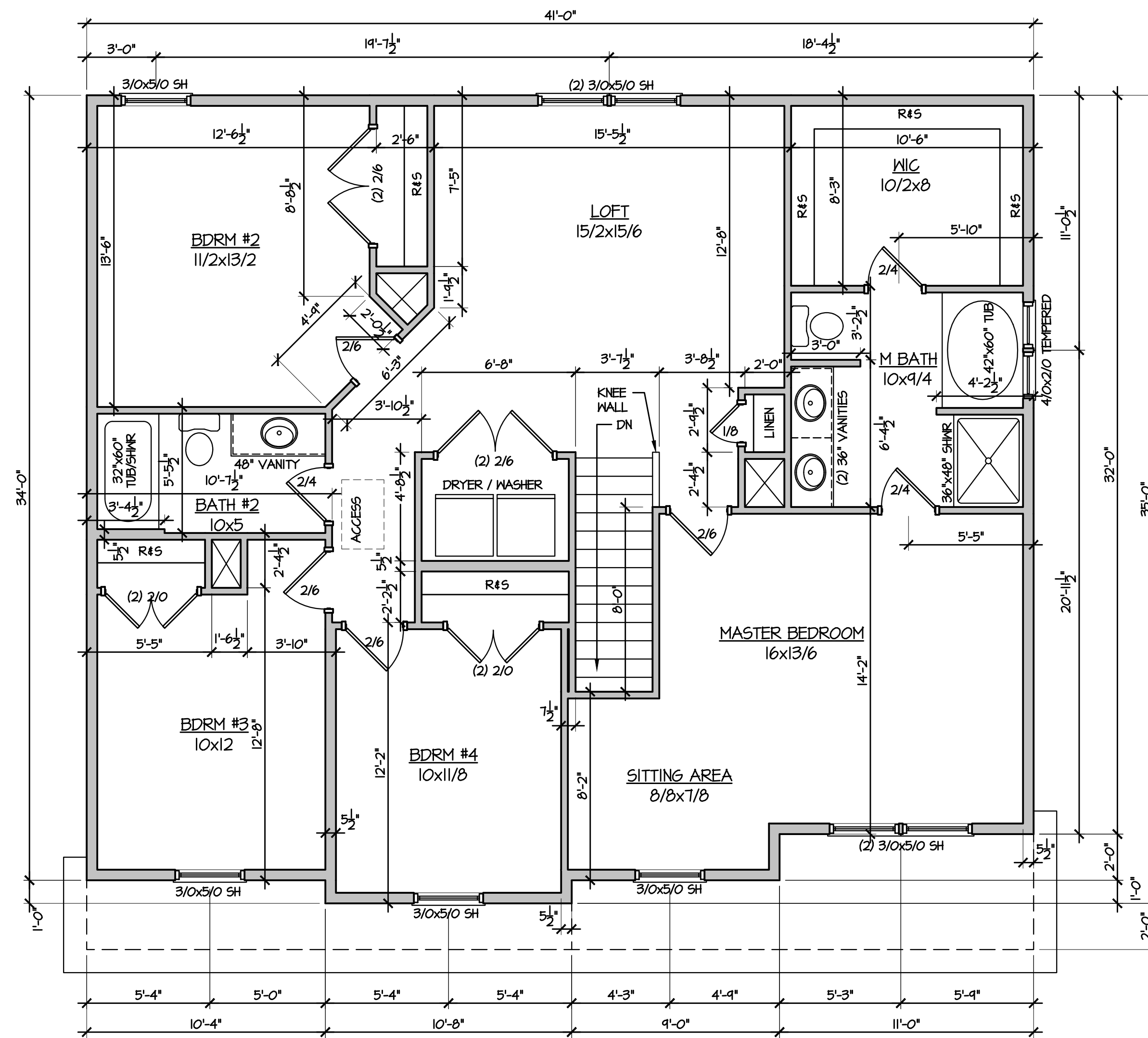
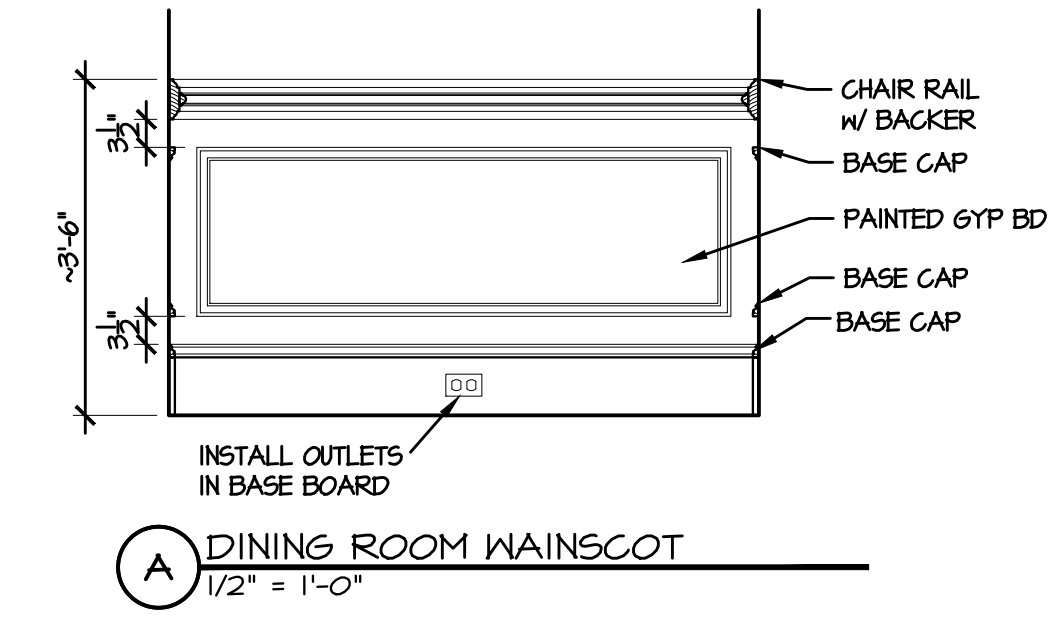
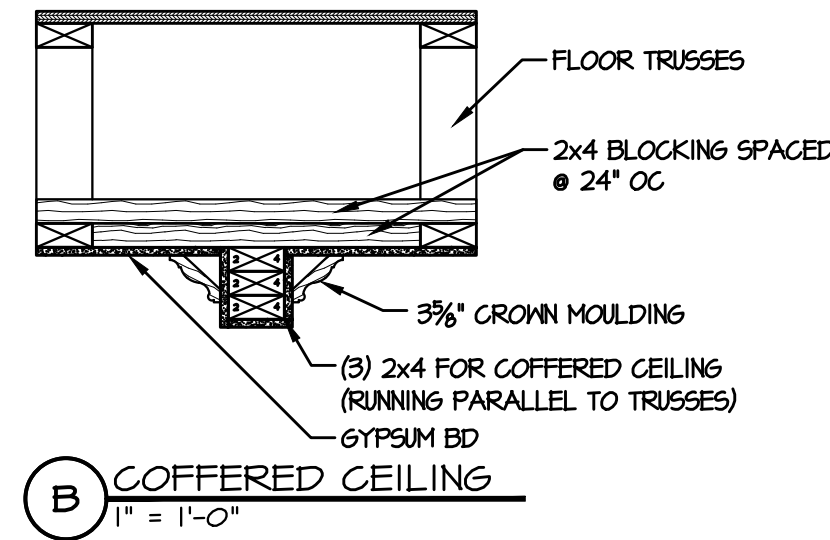
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SHEET TITLE: ELEVATIONS

PLAN NO:	CC 2325
DATE:	SEPTEMBER 2019
REVISIONS:	

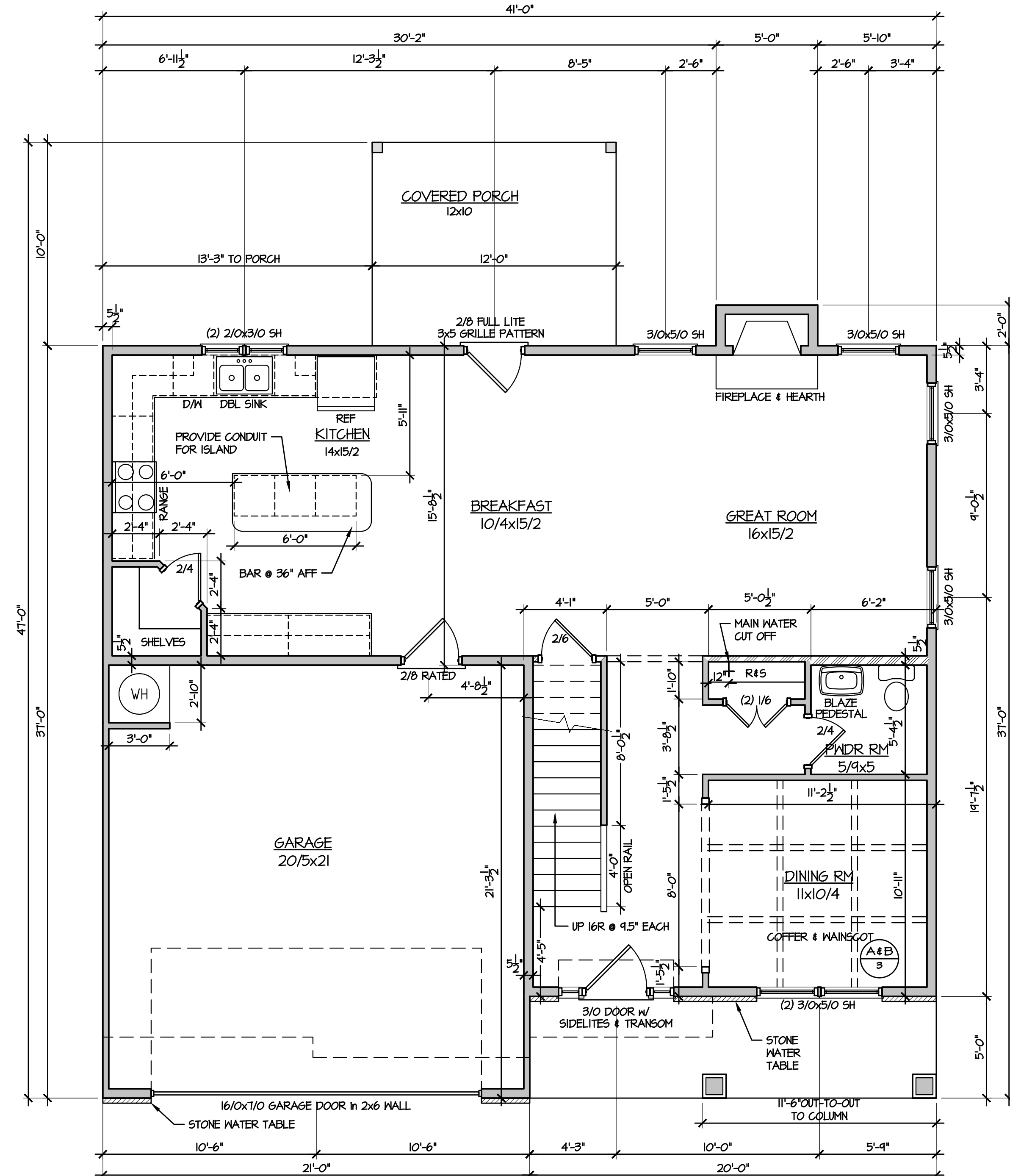
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LOT AC188



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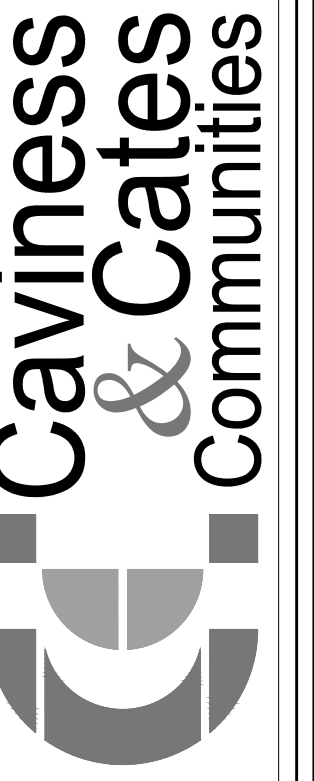


2 SECOND FLOOR PLAN  
1/4" = 1'-0"



1 FIRST FLOOR PLAN  
1/4" = 1'-0"

\*\*\* ALL EXTERIOR INSULATED WALLS TO BE FRAMED WITH 2x6 STUDS



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CC 2325

FLOOR PLANS

PLAN NUMBER:

PLAN NO:  
CC 2325

DATE:  
SEPTEMBER 2019

REVISIONS:

SHEET NO:

3

LOT AC188

