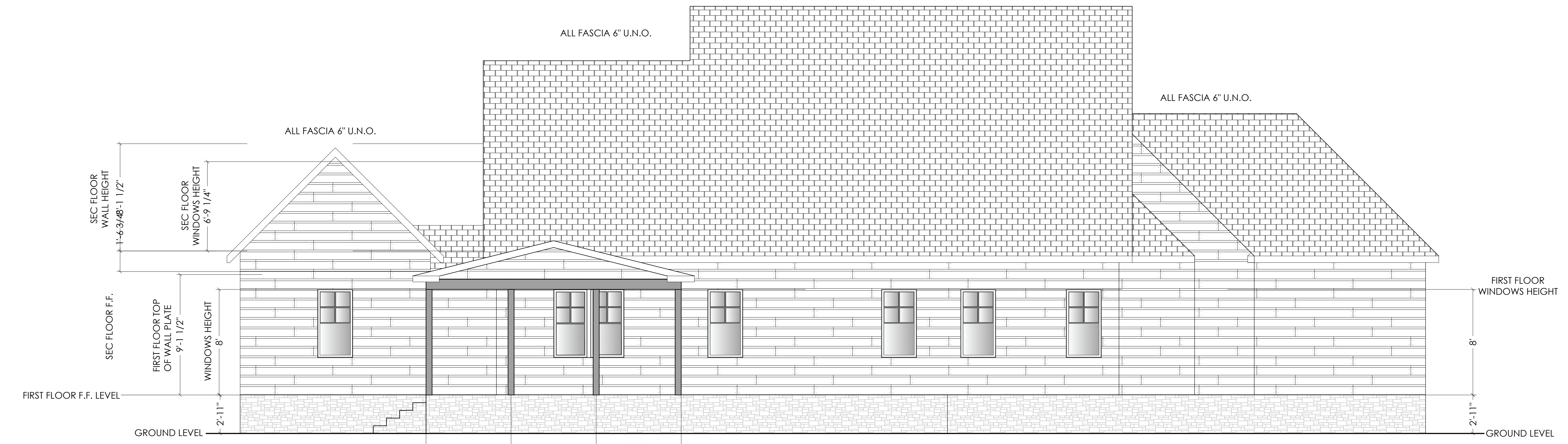




FRONT ELEVATION

GUARDS AT MINIMUM 36" HEIGHT PER CODE R312.1.2
 OPENINGS LIMITATIONS PER CODE R312.1.3
 REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW PASSAGE OF A SPHERE 4"



BACK ELEVATION

GUARDS AT MINIMUM 36" HEIGHT PER CODE R312.1.2
 OPENINGS LIMITATIONS PER CODE R312.1.3
 REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW PASSAGE OF A SPHERE 4"

THE BEST OF OUR KNOWLEDGE, THE SERVICES AND INFORMATION PROVIDED HEREIN ARE FOR YOUR INFORMATION ONLY AND DO NOT CONSTITUTE A WARRANTY OR GUARANTEE OF ANY KIND. THE USER SHALL BE RESPONSIBLE FOR VERIFYING ALL INFORMATION, MEASUREMENTS, AND SPECIFICATIONS. THE SERVICES WILL NOT BE USED FOR ANY OTHER PURPOSES WITHOUT PERMISSION FROM OCTAVIO FLORES. UNAUTHORIZED USE OF THIS DOCUMENT IS A VIOLATION OF THE FEDERAL COPYRIGHT ACT.

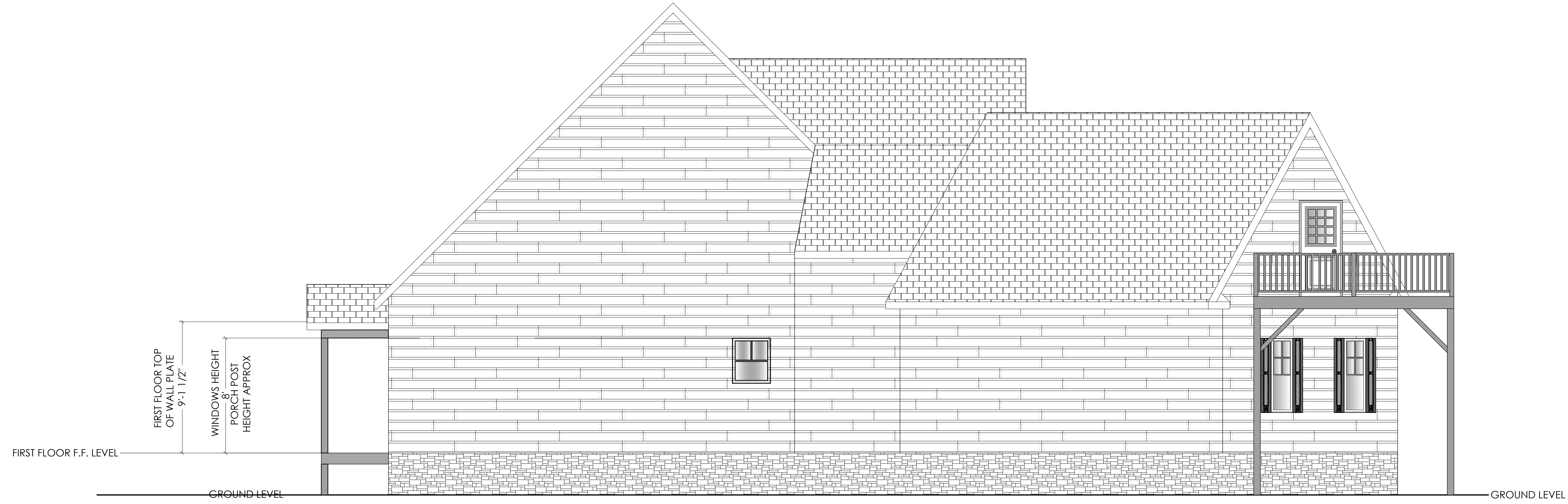
Project Site: APN 1600-55-1045.000
 Delina Grimes Rd Coats NC 27521

Project Title:
 New House

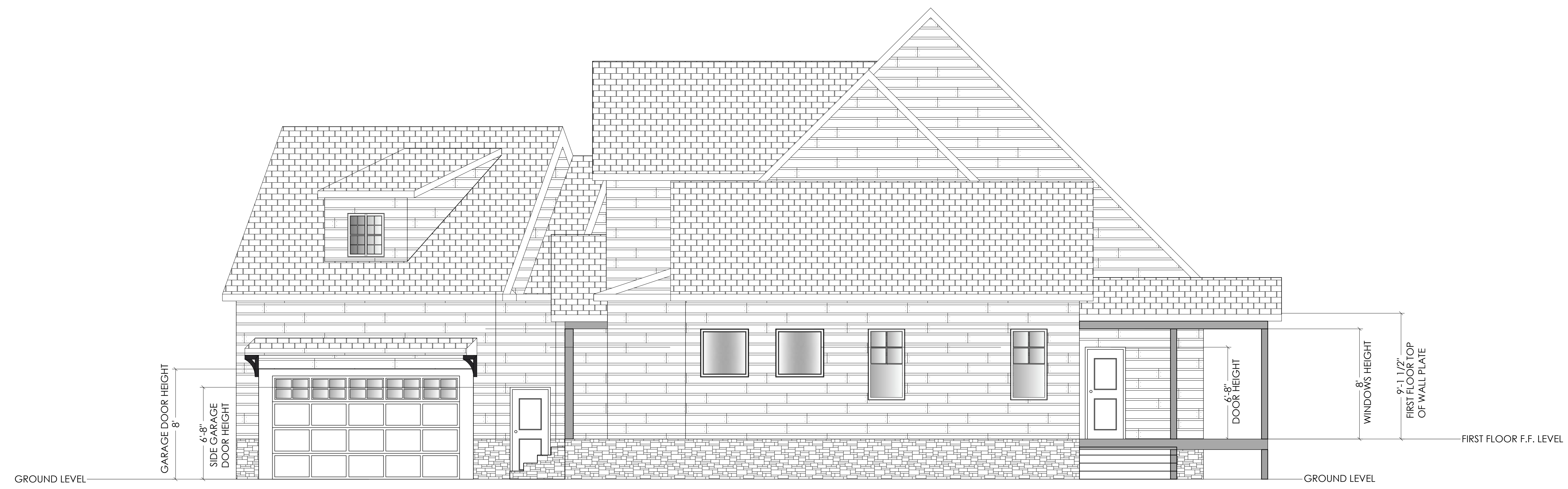
Layout:
S-01

Project:	0000563
Foundation Type:	Crawl Space
Scale:	1/4" = 1'-0"
Notes:	Field Verify For Foundation
Customer Name:	Delina Flores
Project:	0000563
Date:	03/04/2022
Design By:	Octavio Flores
Drawn By:	Octavio Flores
Area:	Main Floor 2356 SQF Heated Area Back Porch 29.97 SQF Front Porch 50.58 SQF Bonus Room 453 SQF
Customer Name:	Delina Flores
Design By:	Octavio Flores
Area:	Main Floor 2356 SQF Heated Area Back Porch 29.97 SQF Front Porch 50.58 SQF Bonus Room 453 SQF
Customer Name:	Delina Flores
Design By:	Octavio Flores
Area:	Main Floor 2356 SQF Heated Area Back Porch 29.97 SQF Front Porch 50.58 SQF Bonus Room 453 SQF

Design By:
 Octavio Flores
 3605 Edgetield Rd,
 Greensboro NC 27409
 Email: flores@ofcloud.com
 530-365-4745



LEFT ELEVATION



RIGHT ELEVATION

"CITY NOTES ONLY"

THE BEST OF HIS KNOWLEDGE, THE DESIGNER HAS PREPARED THESE PLANS TO COMPLY WITH THE CURRENT REGULATIONS AND LOCAL ORDINANCES GOING INTO EFFECT AT THE TIME. A "FIELD VERIFY" MEASUREMENT REPORT HAS BEEN MADE TO VERIFY DIMENSIONS AND TO CORRECT ANY DISCREPANCIES. THE CONTRACTOR AND/OR SUB CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CONDITIONS, DETAILS AND SPECIFICATIONS. THE DESIGNER WILL NOT BE LIABLE FOR HUMAN ERRORS AFTER CONSTRUCTION BEGINS. © COPYRIGHT ALL RIGHTS ARE RESERVED. NO PARTS OF THIS DOCUMENT SHALL BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION FROM OCTAVIO FLORES. UNAUTHORIZED USE OF THIS BLUEPRINT IS A VIOLATION OF THE FEDERAL COPYRIGHT ACT.



Design By:
Octavio Flores
 3605 Edgefield Rd.
 Greensboro NC 27409
 octavio.flores@fcloud.com
 336-969-4775

Area:
 Main Floor 2356 SQF Heated Area
 Sec Floor 751 SQF Heated Area
 Back Porch 292 SQF
 Garage 597 SQF
 Bonus Room 453 SQF

Customer Name:
Delino Flores
 Drawn By:
Octavio Flores

Project:
00000563
 Date:
03/04/2022

Foundation Type:
Crawl Space
 Scale:
1/4" = 1'-0"

Notes: Field Verify For Foundation

Project Site: APN 1600-55-1045-000
 Delina Grimes Rd Coas NC 27521
 Project Title:
New House

FRAMING PLAN NOTES

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2. ALL DIMENSIONS ARE SUBJECT TO BE VERIFIED.
3. SEE PAGE SD AND SD-1 FOR ADDITIONAL INFORMATION.
4. ALL EXTERIOR WALLS ARE ASSUMED TO BE 4" 2x4 WOOD STUDS, U.N.O. TO ACCOUNT FOR SHEATHING.
5. 1/2" EXTERIOR WALL SHEATHING, U.N.O.
6. ALL BEARING WALLS STUDS SPACING @ 16" O.C.
7. HEADER REQUIREMENTS FOR EXTERIOR LOAD BEARING WALLS PER CODE TABLE R602.7(1) TO BE (2) 2x10 DOUGLAS FIR-LARCH, HEM-FIR, SYP OR G.S.P.F.
8. ALL CABINETRY TO BE DESIGNED BY OTHERS AND SHALL MEET ALL APPLICABLE ACCESSIBILITY CODES (IF REQUIRED)
9. ALL MOULDINGS, DOORS, WINDOWS, FINISH AND COLOR SELECTIONS TO BE APPROVED BY H.O./G.C.
10. NUMBER OF EXTERIOR RISERS TO BE FIELD VERIFIED AT LOCATIONS, WHERE 4 OR MORE ARE REQUIRED A HANDRAIL WILL ALSO BE REQUIRED.
11. MINIMUM 22-1/2"W x 54-1/2"L ATTIC ACCESS DOOR W/PULL DOWN LADDER TO BE DETERMINED ON SITE.
12. HVAC RETURNS TO BE DETERMINED ON SITE.
13. ALL COUNTERTOPS TO BE 36" A.F.F. U.N.O.
14. ALL DOOR HEIGHTS MUST BE APPROVED BY H.O./G.C.
15. ENGINEERED WOOD PRODUCTS PER CODE, TABLE R502.8.2 and R802.7.2 CUTS, NOTCHES AND HOLES BORED IN TRUSSES, STRUCTURAL COMPOSITE LUMBER, STRUCTURAL GLUE LAMINATED MEMBERS, CROSS-LAMINATED TIMBER MEMBERS OR I-JOIST ARE PROHIBITED EXCEPT WHERE PERMITTED BY THE MANUFACTURER'S RECOMMENDATIONS OR WHERE THE EFFECTS OF SUCH ALTERATIONS ARE SPECIFICALLY CONSIDERED IN THE DESIGN BY A REGISTERED DESIGN PROFESSIONAL.

STAIRWAYS

1. TREADS SHALL BE 10" WIDE PLUS 1" NOSING.
2. RISERS SHALL BE FIELD VERIFIED (NOT TO EXCEED 8-1/4")
3. STAIR SHALL BE 36" WIDE CLEAR MINIMUM AND SHALL HAVE A HANDRAIL AT A HEIGHT ABOVE THE NOSING OF 36"

GUARDS

1. GUARDS AT MINIMUM 36" HEIGHT PER CODE R312.1.2
2. OPENINGS LIMITATIONS PER CODE R312.1.3 REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW PASSAGE OF A SPHERE 4"

RESIDENTIAL FOUNDATIONS

1. ALL WALL FOOTINGS DESIGN ARE UNDER CODE BY TABLE R403.1(1) - R403.1(2) AND ALL FOOTINGS ARE 32"x32"x10" FOR TWO-STORY HOUSES UNLESS NOTED OTHERWISE.
2. ALL CONTINUOUS CONCRETE FOOTING SHALL BE 24"x10" UNLESS NOTED OTHERWISE.
3. ALL PIERS ARE 16"x16" CMU UP TO A MAXIMUM OF 32" HIGH. ALL PIERS OVER 32" HIGH MUST BE FILLED W/ TYPE S MORTAR, MAXIMUM HEIGHT FOR 8"x16" FILLED IS 6'-8".
4. PORCH FOOTINGS ARE 24"x24"x10" UNLESS NOTED OTHERWISE.
5. FOOTINGS FOR 16"x16" PIERS ARE 24"x36"x12" UNLESS NOTED OTHERWISE.
6. FOOTINGS REINFORCEMENT, BY CODE, TABLE R4503.1.2 FOOTINGS SHALL BE REINFORCED WITH THREE #4 BARS OR TWO #5 BARS AT 3" ABOVE THE BOTTOM OF THE FOOTING. THE BARS SHALL BE EQUALLY SPACED WITH 3" CLEAR MINIMUM FROM THE SIDE OF THE FOOTING. THE BARS SHALL BE CONTINUOUS OR LAPPED 25" AT ALL SPLICES.
7. SHALLOW FOUNDATIONS ARE DESIGNED FOR ASSUMED SOIL BEARING CAPACITY OF 2,000 PSF. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING TO AN ENGINEER IF ANY SOILS ARE FOUND TO BE UNSUITABLE FOR THIS BEARING CAPACITY. THE CONTRACTOR FOR OBTAINING SOIL TESTING TO ENSURE THE BEARING CAPACITY OF THE SOIL MEETS OR EXCEEDS THIS VALUE. ALL FILL IS TO BE COMPACTED TO 95% DENSITY AS MEASURED BY THE STANDARD PROCTOR TEST (ASTM D-1557) OTHERWISE USE SELF-COMPACTING CLEAN WASHED #57 STONE.
8. ALL SOILS AND FILL UNDER FLOOR WITHIN AND/OR UNDER BUILDINGS SHALL HAVE PRE-CONSTRUCTION SOIL TREATMENT FOR PROTECTION AGAINST TERMITES. CERTIFICATION OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY A LICENSED PEST CONTROL COMPANY.
9. ALL FOOTING EXCAVATIONS SHALL BE NEAT, STRAIGHT, AND LEVEL IN THE PROPER ELEVATIONS TO RECEIVE THE CONCRETE. EXCESSIVE VARIATIONS IN THE DIMENSIONS OF FOOTINGS OR SLAB WILL NOT BE PERMITTED. REINFORCING STEEL AND MESH SHALL BE ACCURATELY PLACED AND SUPPORTED TO MAINTAIN THEIR POSITION DURING THE CONCRETE POURING. EDGE FORMS SHALL USED FOR CONCRETE THAT WILL BE EXPOSED.
10. ALL SLAB PENETRATIONS ARE TO BE RESPONSIBILITY OF THE CONTRACTOR. NOTIFY AN ENGINEER IF ANY SOILS ARE FOUND TO BE UNSUITABLE FOR THIS BEARING CAPACITY PRIOR TO THE PLACEMENT OF CONCRETE.
11. ELEVATION DIFFERENCE BETWEEN THE BOTTOM OF ADJACENT FOOTINGS SHALL BE LESS THAN THEIR HORIZONTAL DISTANCE LESS ONE FOOT. (STEPS FOOTING) DIFFERENTIAL HEIGHTS BETWEEN FOOTINGS CAN BECOME EXCESSIVE USUALLY WHERE A PIER FOOTING IN A CRAWL SPACE OR GARAGE FOOTING IS NEXT TO A BASEMENT WALL FOOTING.
12. FOUNDATION VENT SIZING, TABLE R408.1.1 THE MINIMUM NET AREA OF VENTILATION OPENINGS SHALL BE NOT LESS THAN 1 SQUARE FOOT FOR EACH 150 SQUARE FEET OF CRAWL SPACE GROUND AREA.
13. 8"x14" MASONRY VENTS.
14. FOUNDATION VENT LOCATION, TABLE R408.1.2 ONE FOUNDATION VENT SHALL BE WITHIN 3 FEET OF EACH CORNER OF THE BUILDING.

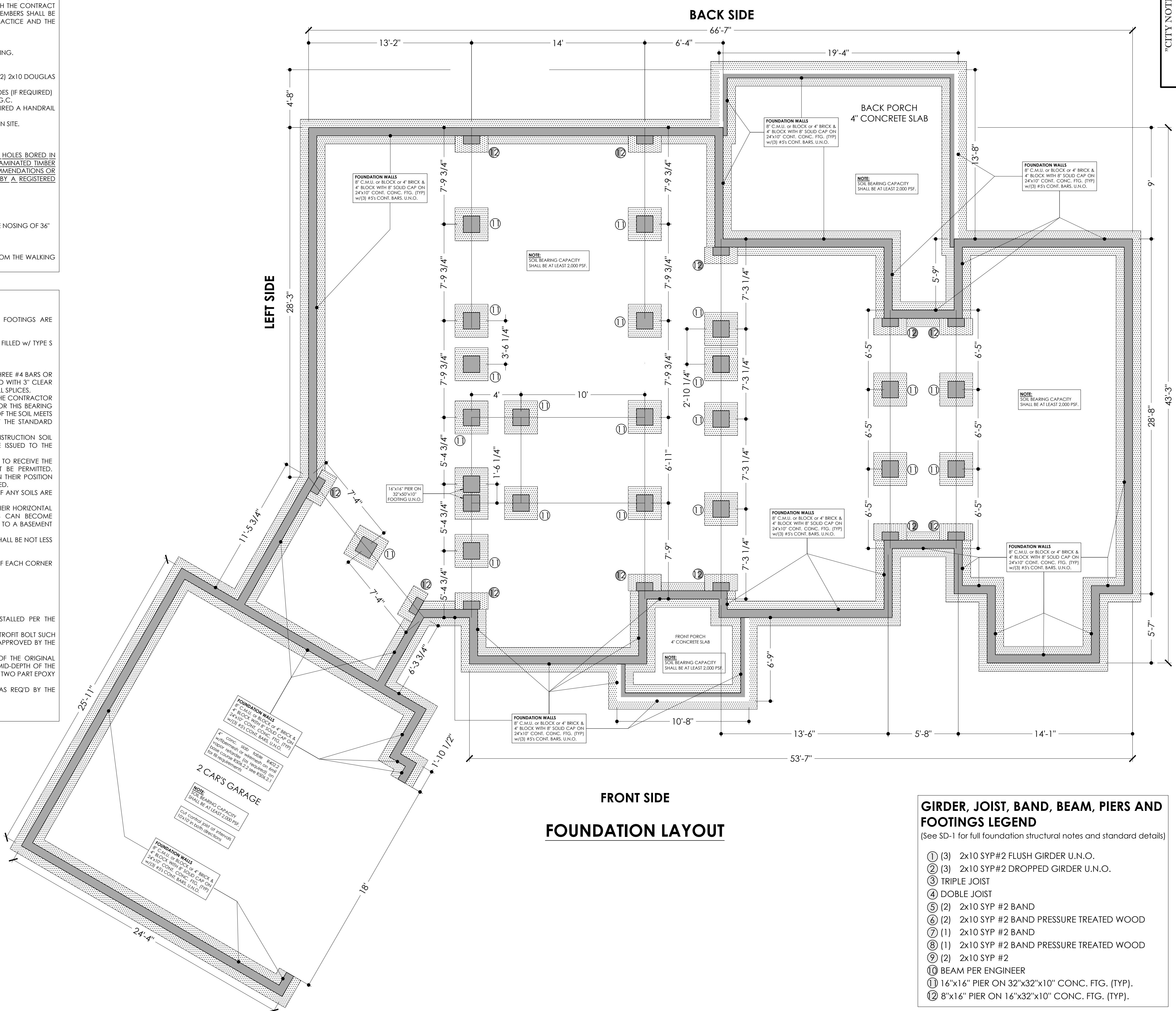
SPECIAL FOUNDATION CONSIDERATIONS

1. ANCHOR BOLT SHALL BE INSTALLED AS REQUIRED BY CODE UNLESS NOTED OTHERWISE.
2. STRAPS ARE ONLY ACCEPTABLE IN CONCRETE OR GROUT FILLED CMU AND MUST BE INSTALLED PER THE MANUFACTURER'S STANDARDS.
3. WHERE STANDARD ANCHOR BOLTS OR STRAPS ARE MISSED OR NOT INSTALLED PROPERLY, A RETROFIT BOLT SUCH AS A SIMPSON 1/2" TITEN HD BOLT OR EPOXY BOLT MAY BE USED IN ITS PLACE IN A MANNER APPROVED BY THE MANUFACTURER.
4. WHERE NEW FOOTINGS OF A BUILDING ADDITION TIE INTO EXISTING CONCRETE FOOTING OF THE ORIGINAL BUILDING, CONNECT THE NEW FOOTING TO THE EXISTING WITH TWO 18" LONG# DOWELS AT MID-DEPTH OF THE FOOTINGS. EMBED THE DOWELS 6" INTO THE EXISTING FOOTING USING NON-SHRINK GROUT OR A TWO PART EPOXY ADHESIVE SUCH AS HILTI HIT HY 150 OR EQUAL.
5. UNRESTRAINED RETAINING WALL GREATER THAN 46" IN WALL HEIGHT SHALL BE INSPECTED AS REQ'D BY THE COUNTY INSPECTOR PRIOR TO POURING CONCRETE.
6. CONCRETE SHALL BE 3,000 PSI AT 28 DAYS.
7. PLACEMENT OF CONCRETE SHALL CONFORM TO ACI 318.

WALL HATCH KEY

- LOAD BEARING WALL
- NON A LOAD BEARING WALL
- DOTTED LINE TO BE REMOVE
- 8" CONTINUOUS MASONRY UNIT
- WOOD BEAM OR LVL
- BRINCK VENEER

see SD or SN sheet for details
SD = standard details
SN = structural notes



FRONT SIDE
FOUNDATION LAYOUT

GIRDER, JOIST, BAND, BEAM, PIERS AND FOOTINGS LEGEND
(See SD-1 for full foundation structural notes and standard details)

- ① (3) 2x10 SYP #2 FLUSH GIRDER U.N.O.
- ② (3) 2x10 SYP #2 DROPPED GIRDER U.N.O.
- ③ TRIPLE JOIST
- ④ DOBLE JOIST
- ⑤ (2) 2x10 SYP #2 BAND
- ⑥ (2) 2x10 SYP #2 BAND PRESSURE TREATED WOOD
- ⑦ (1) 2x10 SYP #2 BAND
- ⑧ (1) 2x10 SYP #2 BAND PRESSURE TREATED WOOD
- ⑨ (2) 2x10 SYP #2
- ⑩ BEAM PER ENGINEER
- ⑪ 16"x16" PIER ON 32"x32"x10" CONC. FTG. (TYP).
- ⑫ 8"x16" PIER ON 16"x32"x10" CONC. FTG. (TYP).

THE REST OF THE DRAWINGS, THE DESIGNER HAS PREPARED THESE PLANS TO COMPLY WITH THE CLIENTS SPECIFICATIONS AND LOCAL BUILDING CODES IN EFFECT AT THE TIME. A FEELING OF RESPONSIBILITY HAS BEEN MADE TO HONOR ORDERS, ORDINANCES AND SPECIFICATIONS. THE DESIGNER WILL NOT BE LIABLE FOR HUMAN ERRORS AFTER CONSTRUCTION BEGINS. © COPYRIGHT ALL RIGHTS ARE RESERVED. NOTE: VIOLATIONS OF THE COPYRIGHT WILL BE PROSECUTED WITH THE FULLEST EXTENT OF THE LAW. THIS LIBRARY IS THE INTELLECTUAL PROPERTY OF OCTAVIO FLORES AND IT WILL NOT BE REPRODUCED, REPRODUCED OR USED FOR ANY ADDRESS OTHER THAN THE ONE IN THE REPRINT WITHOUT PERMISSION FROM OCTAVIO FLORES. UNAUTHORIZED USE OF THIS REPRINT IS A VIOLATION OF THE FEDERAL COPYRIGHT ACT.

Design By: Octavio Flores
 3605 Edgelynn Rd.
 Greensboro, NC 27409
 336-968-4745
 octavioflores@tdcfound.com

Area: Main Floor 2356 SQF Heated Area
 Back Porch 272 SQF
 Garage 597 SQF
 Bonus Room 453 SQF

Customer Name: Delfino Flores
Project: 00000563
Foundation Type: Crawl Space
Date: 03/04/2022
Drawn By: Octavio Flores
Scale: 1/4" = 1'-0"

Notes: Field Verify For Foundation

Project Site: APN 1600-55-1045-000
 Delma Grimes Rd Coats NC 27521
Project Title: New House

Layout:
S-03

"CITY NOTES ONLY"

RIGHT SIDE

LEFT SIDE

BACK SIDE

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- SEE PAGE SD AND SD-1 FOR ADDITIONAL INFORMATION.
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- 1/2" EXTERIOR WALL SHEATHING, U.N.O.
- ALL BEARING WALLS STUDS SPACING @ 16" O.C.
- HEADER REQUIREMENTS FOR EXTERIOR LOAD BEARING WALLS PER CODE TABLE R602.7(1) TO BE (2) 2x10 DOUGLAS FIR-LARCH, HEM-FIR, SYP #2 @ 16" O.C.
- ALL CABINETRY TO BE DESIGNED BY OTHERS AND SHALL MEET ALL APPLICABLE ACCESSIBILITY CODES (IF REQUIRED)
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- HVAC RETURNS TO BE DETERMINED ON SITE.
- ALL COUNTERTOPS TO BE 3/4" A.F.F. U.N.O.
- ALL DOOR HEIGHTS MUST BE APPROVED BY H.O./G.C.
- ENGINEERED WOOD PRODUCTS PER CODE, TABLE R502.8.2 and R802.7.2 CUTS, NOTCHES AND HOLES BORED IN TRUSSES, STRUCTURAL COMPOSITE LUMBER, STRUCTURAL GLUE LAMINATED MEMBERS, CROSS-LAMINATED TIMBER MEMBERS OR I-JOIST ARE PROHIBITED EXCEPT WHERE PERMITTED BY THE MANUFACTURER'S RECOMMENDATIONS OR WHERE THE EFFECTS OF SUCH ALTERATIONS ARE SPECIFICALLY CONSIDERED IN THE DESIGN BY A REGISTERED DESIGN PROFESSIONAL.

STAIRWAYS

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GUARDS

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DESIGN LOADS AND GENERAL.

- DESIGN LOADS ARE ALL DEAD LOADS PLUS.
 - A) SLEEPING ROOMS.....30 PSF.
 - B) ALL OTHERS FLOORS.....40 PSF.
 - C) BALCONIES.....40 PSF.
 - D) ATTIC FLOOR LIVE LOADING WITH THE FOLLOWING.
 - I. UNINHABITABLE ATTICS WITHOUT STORAGE.....10 PSF.
 - II. UNINHABITABLE ATTICS WITH LMA STORAGE.....20 PSF.
 - III. HABITABLE ATTICS SERVED WITH FIX STAIR.....30 PSF.
 - E) STAIRS.....40 PSF.
 - F) DECKS.....40 PSF.
 - G) GUARDRAILS AND HANDRAILS.....200 LBS
 - H) ROOF LIVE LOADS.....20 PSF OR AS REQ'D BY CODE.
 - I) WIND LOAD.....VULT 115/VASD 89, TABLE R301.2.1.3
- ALL DESIGNS ARE IN ACCORDANCE WITH NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION AND THE INTERNATIONAL RESIDENTIAL CODE. REFER TO THE RELEVANT CODE FOR ANY ADDITIONAL INFORMATION NOT COVERED OR MISSING ON THIS NOTES OR THE DESIGNS.
- DESIGNER DOES NOT ACCEPT RESPONSIBILITY FOR DIMENSIONS ERRORS, CONCRETE, DETAILING OF WATERPROOFING, PLUMBING, ELECTRICAL, MECHANICAL INFORMATION, OR CONSTRUCTION METHODS, TECHNIQUES, SEQUENCE OR PROCEDURES OR ANY PART OF THE PLAN NOT RELEVANT TO THE STRUCTURAL INFORMATION.
- THE GENERAL CONTRACTOR OR SUB-CONTRACTOR IS REQUIRED FOR PROVIDING ALL REQUIRED BRACING AND SHORING DURING CONSTRUCTION TO MAINTAIN THE STABILITY AND SAFETY OF ALL STRUCTURAL ELEMENTS DURING THE CONSTRUCTION PROCESS UNTIL THE STRUCTURE IS TIED TOGETHER AND COMPLETE.

WALL HATCH KEY

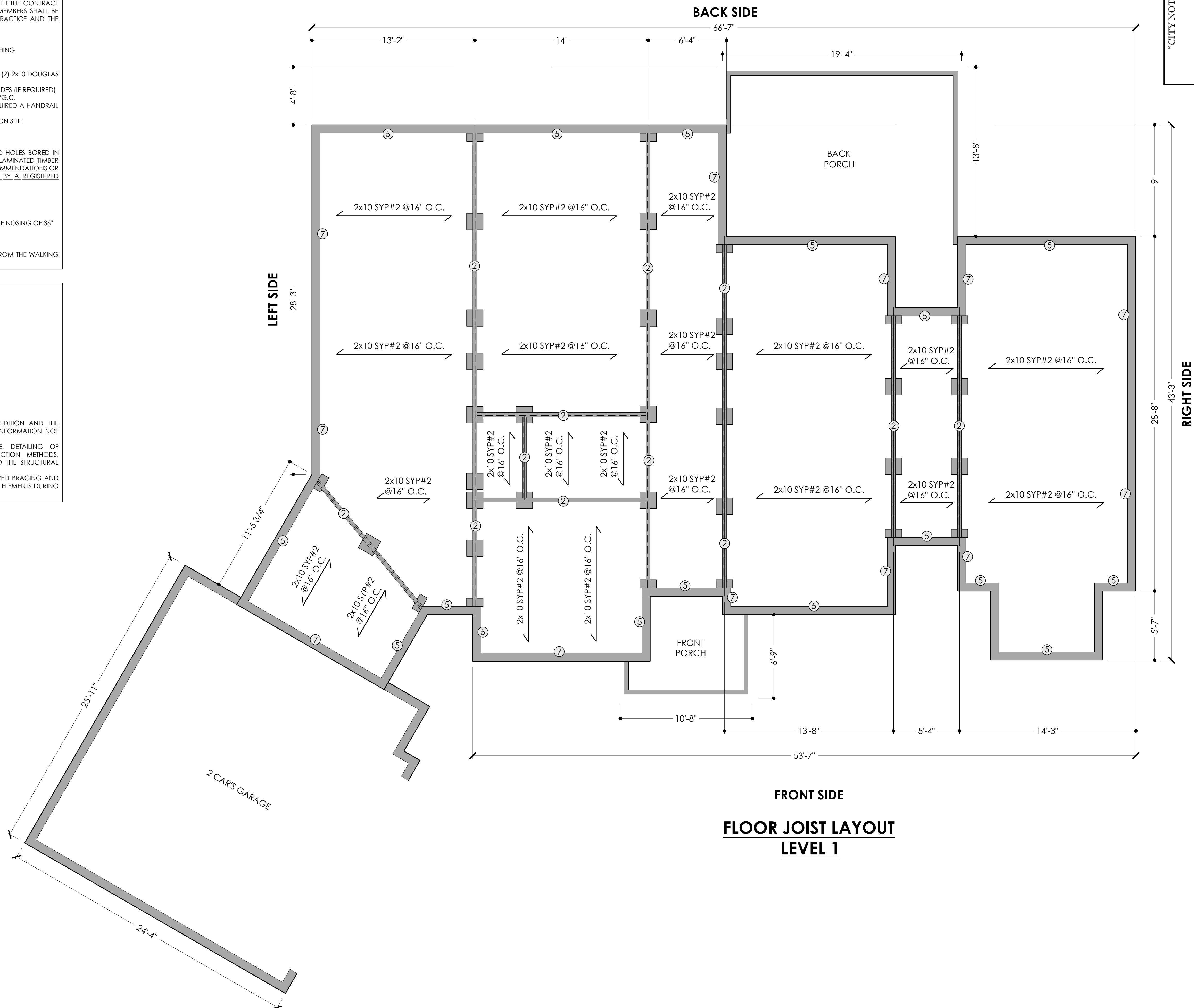
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- WOOD BEAM OR LVL
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see SD or SN sheet for details
SD = standard details
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GIRDER, JOIST, BAND, BEAM, PIERS AND FOOTINGS LEGEND

(See SD-1 for full foundation structural notes and standard details)

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- ⑥ (2) 2x10 SYP #2 BAND PRESSURE TREATED WOOD
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- ⑪ 16"x16" PIER ON 32"x32"x10" CONC. FTG. (TYP).
- ⑫ 8"x16" PIER ON 16"x32"x10" CONC. FTG. (TYP).



FLOOR JOIST LAYOUT LEVEL 1

"CITY NOTES ONLY"

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Project Site: APN 1600-55-1045-000
Debra Grimes Rd Coats NC 27521

Project Title: New House

Layout: S-04

Notes: Field Verify For Foundation

Foundation Type: Crawl Space

Project: 00000563

Customer Name: Delfino Flores

Area: Main Floor 2356 SQF Heated Area
Sec Floor 751 SQF Heated Area
Back Porch 297 SQF
Garage 597 SQF
Bonus Room 453 SQF

Design By: Octavio Flores
3605 Edgefield Rd.
Greensboro NC 27409
336-869-7745
octavio.flores@icloud.com

Date: 03/04/2022

Scale: 1/4" = 1'-0"

Drawn By: Octavio Flores

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GUARDS

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 - II. UNINHABITABLE ATTICS WITH LIM. STORAGE.....20 PSF.
 - III. HABITABLE ATTICS SERVED WITH FIX STAIR.....30 PSF.
 - E) STAIRS.....40 PSF.
 - F) DECKS.....40 PSF.
 - G) GUARDRAILS AND HANDRAILS.....200 LBS
 - H) ROOF LIVE LOADS.....20 PSF OR AS REQ'D BY CODE.
 - I) WIND LOAD.....VULT 115/VASD 89, TABLE R301.2.1.3
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WALL HATCH KEY

- LOAD BEARING WALL
- NON A LOAD BEARING WALL
- DOTTED LINE TO BE REMOVE
- 8" CONTINUOUS MASONRY UNIT
- WOOD BEAM OR LVL
- BRINCK VENEER

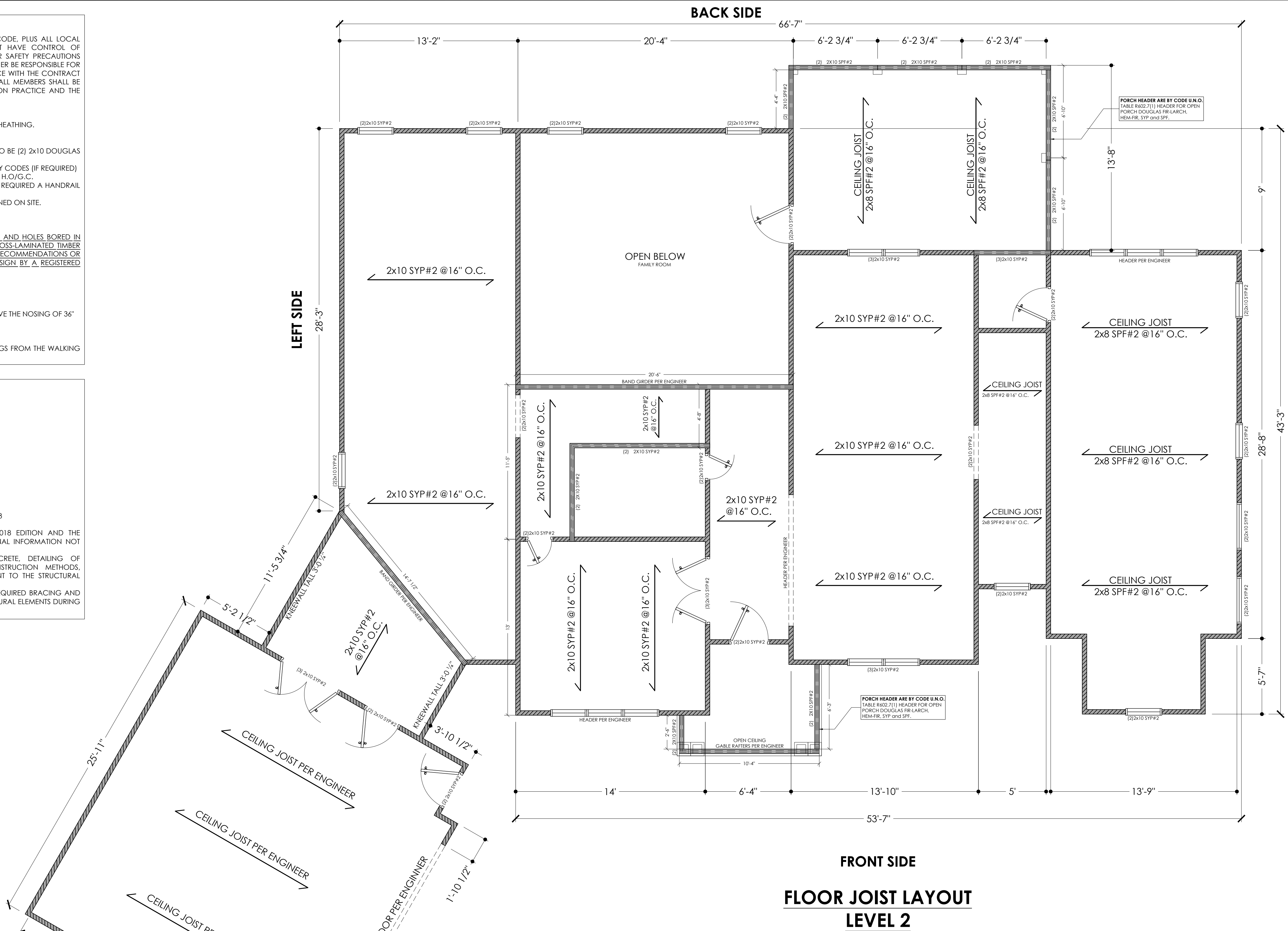
see SD or SN sheet for details
SD = standard details
SN = structural notes

GIRDER, JOIST, BAND, BEAM, PIERS AND FOOTINGS LEGEND

(See SD-1 for full foundation structural notes and standard details)

- ① (3) 2x10 SYP #2 FLUSH GIRDER U.N.O.
- ② (3) 2x10 SYP #2 DROPPED GIRDER U.N.O.
- ③ TRIPLE JOIST
- ④ DOBLE JOIST
- ⑤ (2) 2x10 SYP #2 BAND
- ⑥ (2) 2x10 SYP #2 BAND PRESSURE TREATED WOOD
- ⑦ (1) 2x10 SYP #2 BAND
- ⑧ (1) 2x10 SYP #2 BAND PRESSURE TREATED WOOD
- ⑨ (2) 2x10 SYP #2
- ⑩ BEAM PER ENGINEER
- ⑪ 16"x16" PIER ON 32"x32"x10" CONC. FTG. (TYP).
- ⑫ 8"x16" PIER ON 16"x32"x10" CONC. FTG. (TYP).

Attach Band to the structure per code.
Attachment for all Structures except Brick Veneer.
Table AM104.1(1)
5/8" Hot-dip Galvanized Bolts
With Nut and Washer (1) @ 1'-8" O.C.
and 12d Common Hot-Dip Galvanized Nails
(3) @ 6" O.C.
OR Self-Drilling Screw Fastener 6" O.C. Staggered.



FRONT SIDE
BACK SIDE
LEFT SIDE
RIGHT SIDE
FLOOR JOIST LAYOUT
LEVEL 2

"CITY NOTES ONLY"

THE BEST OF US KNOWS: THE DESIGNER HAS PREPARED THESE PLANS IN COMPLIANCE WITH THE CLIENT'S SPECIFICATIONS AND LOCAL BUILDING CODES IN EFFECT AT THE TIME. A TRULY EASY-TO-UNDERSTAND AND USEFUL SET OF PLANS HAS BEEN MADE TO AVOID ERRORS, OMISSIONS, DETAILS AND SPECIFICATIONS. THE DESIGNER WILL BE LIABLE FOR HUMAN ERRORS AFTER CONSTRUCTION BEGINS. COPYRIGHT AND ALL RIGHTS ARE RESERVED. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED, COPIED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT PERMISSION FROM THE DESIGNER.

Design By:
Octavio Flores
3605 Edgefield Rd.
Greensboro NC 27409
336-968-4715
octavio@floreid.com

Area:
Main Floor 2356 SQF Heated Area
See Floor 7-1, 8 SQF Heated Area
Back Porch 717 SQF
Garage 597.58 SQF
Bonus Room 453 SQF

Customer Name:
Delfino Flores

Project: 00000563
Date: 03/04/2022

Foundation Type: Crawl Space
Scale: 1/4" = 1'-0"

Notes: Field Verify For Foundation

Project Site: APN 1600-55-1045.000
Delma Grimes Rd Coats NC 27521

Project Title: New House

Layout: S-05

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- HEADER REQUIREMENTS FOR EXTERIOR LOAD BEARING WALLS PER CODE TABLE R602.7(1) TO BE (2) 2X10 DOUGLAS FIR-LARCH, HEM-FIR, SYP, 0090 SPF.
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INSULATION VALUES	CLIMATE ZONE 3/4
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WALLS.....	R-15
CEILINGS.....	R-38
CONCRETE SLAB ON GRADE.....	R-10
BASEMENT WALLS.....	R-13

WINDOW REQUIREMENTS AND SPECIFICATIONS.

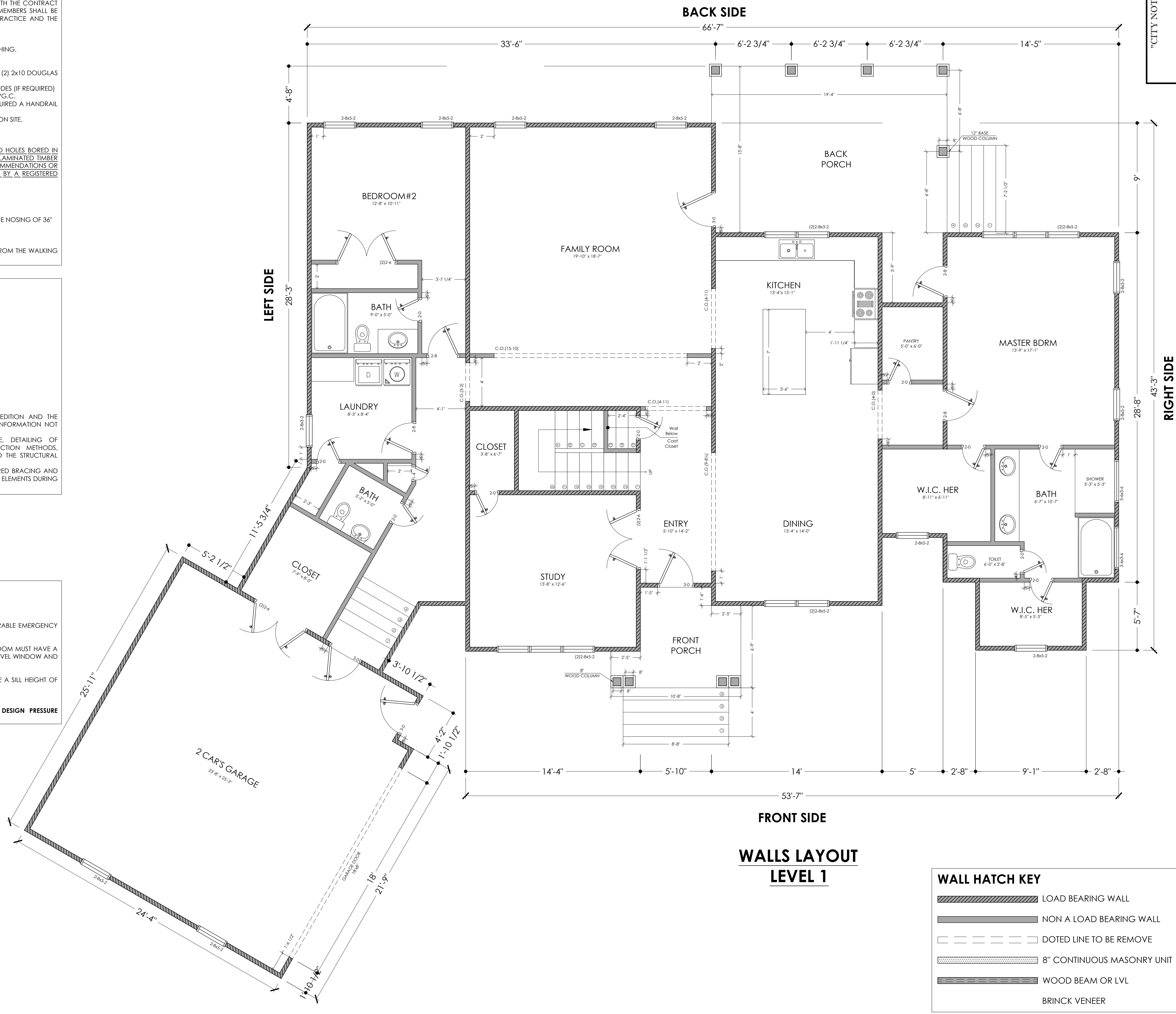
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TABLE R31.2.2 WINDOW SILL HEIGHT.
 WERE A WINDOW IS PROVIDED AS THE EMERGENCY ESCAPE AND RESCUE OPENING, IT SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FINISH FLOOR.

WINDOW SPECIFICATIONS:
 U-FACTOR .30 (U.S./I.P.), SHGC-29 DUAL GLAZED, LOW-E, G8C7/8, ARGON GAS, STRUCTURAL DESIGN PRESSURE RATING+35

ABBREVIATIONS

A.F.F.	ABOVE FINISHED FLOOR
F.F.	FINISHED FLOOR
ABV.	ABOVE
APPROX.	APPROXIMATELY
O.C.	ON CENTER
CONC.	CONCRETE
C.M.U.	CONTINUOUS MASONRY UNIT
C.M.W.	CONTINUOUS MASONRY WALL
CONT.	CONTINUOUS
U.N.O.	UNLESS NOTED OTHERWISE
TYP.	TYPICAL DETAIL
C.F.	CONCRETE FOOTING
CONT. FT.	CONTINUOUS FOOTING
CLR.	CLEAR
P.T.W.	PRESSURE TREATED WOOD
N.T.S.	NOT TO SCALE
SHW.	SHOWER
C.O.	CASED OPENING
K.S.C.	KING STUD COLUMN
K.S.	KING STUD
BRG.	BEARING
CLG.	CEILING
C.J.	CEILING JOIST
BTM.	BOTTOM
MAX.	MAXIMUM
CLG.HGT.	CEILING HEIGHT

see SD or SN sheet for details
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Project: 00000563
 Project Type: Crawl Space
 Foundation: Foundation
 Notes: Field Verify For Foundation

Customer Name: Delfino Flores
 Project Name: Octavio Flores
 Project Address: 3605 Edgemoor Rd, Greensboro NC 27409
 Design By: Octavio Flores, 3605 Edgemoor Rd, Greensboro NC 27409
 Drawn By: Octavio Flores
 Date: 03/04/2022
 Scale: 1/4" = 1'-0"

Project Site: APN: 1600-55-1045-000
 Debra Grimes Rd Coas NC 27521
 Project Title: New House
 Layout: S-06

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WINDOW REQUIREMENTS AND SPECIFICATIONS.

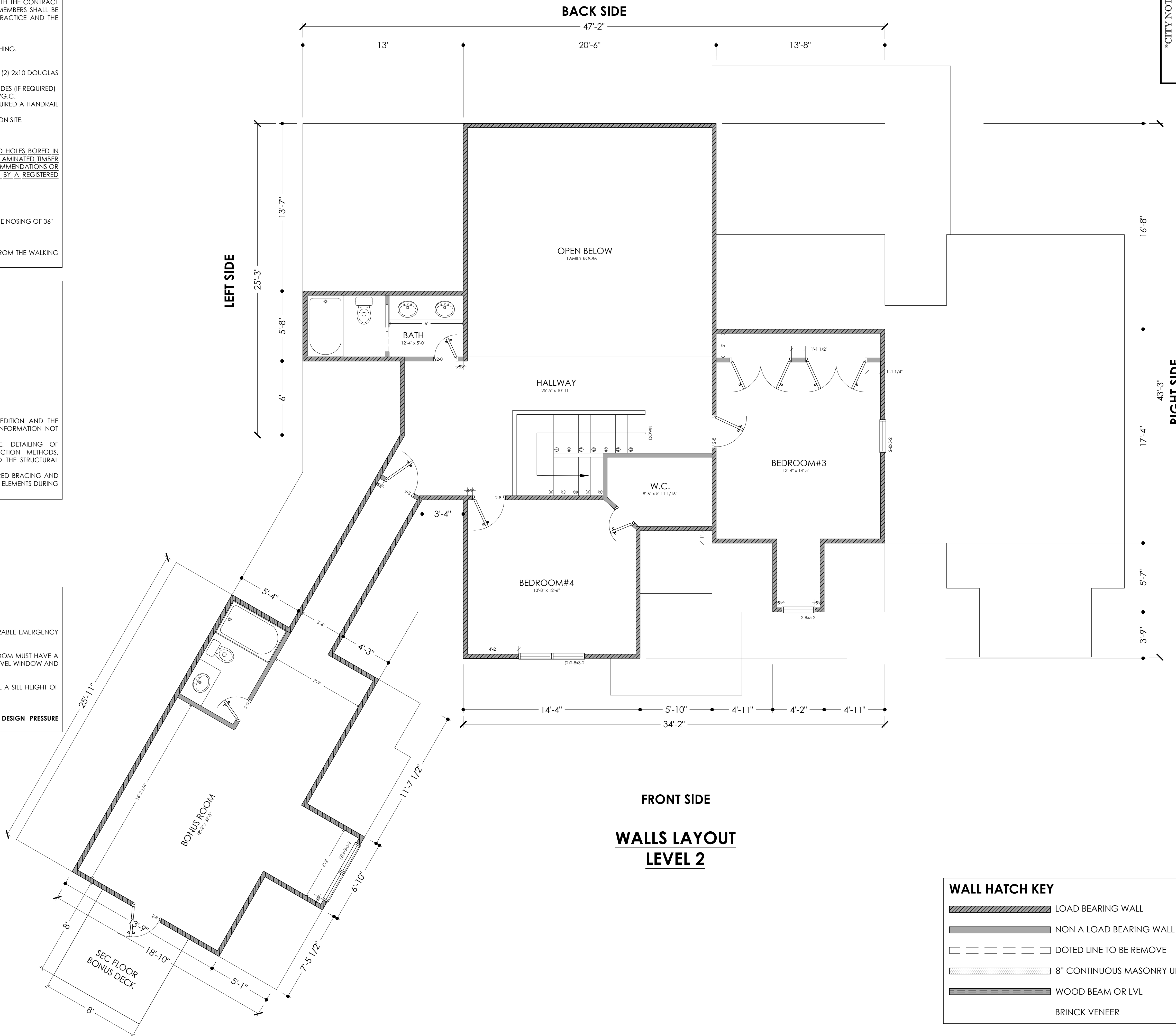
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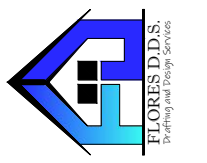
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Design By:
 Octavio Flores
 3605 Edgefield Rd.
 Greensboro, NC 27409
 336-966-4745
 octavio@cloud.com

Area:
 Main Floor 2356 SQF Heated Area
 Sec Floor 751 SQF Heated Area
 Back Porch 277 SQF
 Garage 597 SQF
 Bonus Room 453 SQF

Customer Name:
 Delfino Flores
 Drawn By:
 Octavio Flores

Project:
 00000563
 Date:
 03/04/2022

Foundation Type:
 Crawl Space
 Scale:
 1/4" = 1'-0"

Notes: Field Verify For Foundation

Project Site: APN: 1600-55-1045-000
 Daina Grimes Rd Coats NC 27521
 Project Title:
 New House

Layout:
S-07

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 - G) GUARDRAILS AND HANDRAILS.....200 LBS
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 - I) WIND LOAD.....VULT 115/VASD 89, TABLE R301.2.1.3
2. ALL DESIGNS ARE IN ACCORDANCE WITH NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION AND THE INTERNATIONAL RESIDENTIAL CODE. REFER TO THE RELEVANT CODE FOR ANY ADDITIONAL INFORMATION NOT COVERED OR MISSING ON THIS NOTES OR THE DESIGNS.
3. DESIGNER DOES NOT ACCEPT RESPONSIBILITY FOR DIMENSIONS ERRORS, CONCRETE, DETAILING OF WATERPROOFING, PLUMBING, ELECTRICAL, MECHANICAL INFORMATION, OR CONSTRUCTION METHODS, TECHNIQUES, SEQUENCE OR PROCEDURES OR ANY PART OF THE PLAN NOT RELEVANT TO THE STRUCTURAL INFORMATION.
4. THE GENERAL CONTRACTOR OR SUB-CONTRACTOR IS REQUIRED FOR PROVIDING ALL REQUIRED BRACING AND SHORING DURING CONSTRUCTION TO MAINTAIN THE STABILITY AND SAFETY OF ALL STRUCTURAL ELEMENTS DURING THE CONSTRUCTION PROCESS UNTIL THE STRUCTURE IS TIED TOGETHER AND COMPLETE.

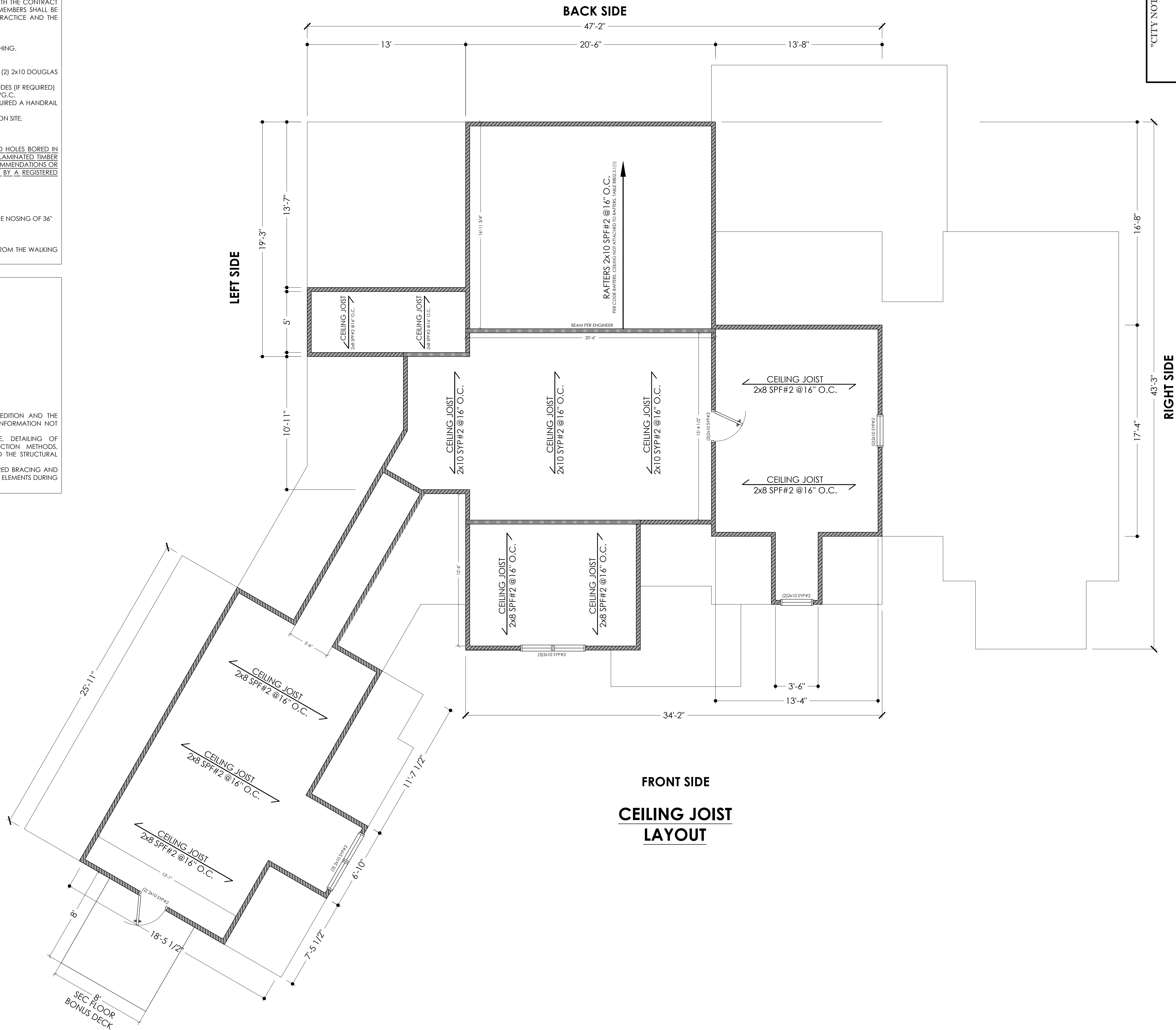
ABBREVIATIONS

- A.F.F.-----ABOVE FINISHED FLOOR
- F.F.-----FINISHED FLOOR
- ABV.-----ABOVE
- APPROX.-----APPROXIMATELY
- O.C.-----ON CENTER
- CONC.-----CONCRETE
- C.M.U.-----CONTINUOUS MASONRY UNIT
- C.M.W.-----CONTINUOUS MASONRY WALL
- CONT.-----CONTINUOUS
- U.N.O.-----UNLESS NOTED OTHERWISE
- TYP.-----TYPICAL DETAIL
- C.F.-----CONCRETE FOOTING
- CONT. FT.-----CONTINUOUS FOOTING
- CLR.-----CLEAR
- P.T.W.-----PRESSURE TREATED WOOD
- N.T.S.-----NOT TO SCALE
- SHW.-----SHOWER
- C.O.-----CASED OPENING
- K.S.C.-----KING STUD COLUMN
- K.S.-----KING STUD
- BRG.-----BEARING
- CLG.-----CEILING
- C.J.-----CEILING JOIST
- BTM.-----BOTTOM
- MAX.-----MAXIMUM
- CLG.HGT.-----CEILING HEIGHT

see SD or SN sheet for details
SD = standard details
SN = structural notes

WALL HATCH KEY

- LOAD BEARING WALL
- NON A LOAD BEARING WALL
- DOTTED LINE TO BE REMOVE
- 8" CONTINUOUS MASONRY UNIT
- WOOD BEAM OR LVL
- BRINCK VENEER



"CITY NOTES ONLY"

THE REST OF THE DRAWING, THE DESIGNER HAS PREPARED THESE PLANS TO COMPLY WITH THE CLIENT'S SPECIFICATIONS AND LOCAL REGULATIONS AND LOCAL BUILDING CODES IN EFFECT AT THE TIME. IN NO EVENT SHALL THE DESIGNER BE HELD RESPONSIBLE FOR ANY ERRORS, OMISSIONS, DETAILS AND SPECIFICATIONS. THE DESIGNER WILL NOT BE LIABLE FOR UNLAWFUL PERMITS AFTER CONSTRUCTION BEGINS. COPYRIGHT ALL RIGHTS ARE RESERVED. NO PART OF THIS DRAWING WILL BE REPRODUCED, COPIED OR USED FOR ANY ADDRESS OTHER THAN THE ONE IN THE PERMIT WITHOUT PERMISSION FROM OCTAVIO FLORES. UNAUTHORIZED USE OF THIS DRAWING IS A VIOLATION OF THE FEDERAL COPYRIGHT ACT.

Project: APN: 1600-55-1045.000
Project Title: Delma Grimes Rd Coats NC 27521
Project Title: New House

Design By: Octavio Flores, 3605 Edgefield Rd., Greensboro, NC 27409, 336-965-4745, octaviof@outland.com

Customer Name: Delma Flores
Area: Main Floor 2356 SQF Heated Area, Sec Floor 751 SQF Heated Area, Bonus Deck 711 SQF, Garage 597.58 SQF, Bonus Room 453 SQF

Project Type: Crawl Space
Scale: 1/4" = 1'-0"

Date: 03/04/2022
Drawn By: Octavio Flores

Project Number: 00000563

Notes: Field Verify For Foundation

Layout: S-08

FRAMING PLAN NOTES

1. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REQUIREMENTS OF RESIDENTIAL CODE, PLUS ALL LOCAL CODES AND REGULATIONS. THE DESIGNER IS NOT RESPONSIBLE FOR AND WILL NOT HAVE CONTROL OF CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE CONSTRUCTION WORK, NOR WILL THE DESIGNER BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE CONSTRUCTION WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. "CONSTRUCTION REVIEW SERVICES" ARE NOT PART OF OUR CONTRACT. ALL MEMBERS SHALL BE FRAMED ANCHORED, TIED AND BRACED IN ACCORDANCE WITH GOOD CONSTRUCTION PRACTICE AND THE BUILDING CODE.
2. ALL DIMENSIONS ARE SUBJECT TO BE VERIFIED.
3. SEE PAGE SD AND SD-1 FOR ADDITIONAL INFORMATION.
4. ALL EXTERIOR WALLS ARE ASSUMED TO BE 4" 2x4 WOOD STUDS, U.N.O. TO ACCOUNT FOR SHEATHING.
5. 1/2" EXTERIOR WALL SHEATHING, U.N.O.
6. ALL BEARING WALLS STUDS SPACING @ 16" O.C.
7. HEADER REQUIREMENTS FOR EXTERIOR LOAD BEARING WALLS PER CODE TABLE R602.7(1) TO BE (2) 2x10 DOUGLAS FIR-LARCH, HEV-FIR, SYP OR G SPF.
8. ALL CABINETS TO BE DESIGNED BY OTHERS AND SHALL MEET ALL APPLICABLE ACCESSIBILITY CODES (IF REQUIRED)
9. ALL MOLDINGS, DOORS, WINDOWS, FINISH AND COLOR SELECTIONS TO BE APPROVED BY H.O./G.C.
10. NUMBER OF EXTERIOR RISES TO BE FIELD VERIFIED AT LOCATIONS, WHERE 4 OR MORE ARE REQUIRED A HANDRAIL WILL ALSO BE REQUIRED.
11. MINIMUM 22-1/2"W x 54-1/2"L ATTIC ACCESS DOOR W/PULL DOWN LADDER TO BE DETERMINED ON SITE.
12. HVAC RETURNS TO BE DETERMINED ON SITE.
13. ALL COUNTERTOPS TO BE 36" A.F.F. U.N.O.
14. ALL DOOR HEIGHTS MUST BE APPROVED BY H.O./G.C.
15. ENGINEERED WOOD PRODUCTS PER CODE, TABLE R502.8.2 and R802.7.2 CUTS, NOTCHES AND HOLES BORED IN TRUSSES, STRUCTURAL COMPOSITE LUMBER, STRUCTURAL GLUE LAMINATED MEMBERS, CROSS-LAMINATED TIMBER MEMBERS OR I-JOIST ARE PROHIBITED EXCEPT WHERE PERMITTED BY THE MANUFACTURER'S RECOMMENDATIONS OR WHERE THE EFFECTS OF SUCH ALTERATIONS ARE SPECIFICALLY CONSIDERED IN THE DESIGN BY A REGISTERED DESIGN PROFESSIONAL.

STAIRWAYS

1. TREADS SHALL BE 10" WIDE PLUS 1" NOSING.
2. RISERS SHALL BE FIELD VERIFIED (NOT TO EXCEED 8-1/4")
3. STAIR SHALL BE 36" WIDE CLEAR MINIMUM AND SHALL HAVE A HANDRAIL AT A HEIGHT ABOVE THE NOSING OF 36"

GUARDS

1. GUARDS AT MINIMUM 36" HEIGHT PER CODE R312.1.2
2. OPENINGS LIMITATIONS PER CODE R312.1.3 REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW PASSAGE OF A SPHERE 4"

DESIGN LOADS AND GENERAL.

1. DESIGN LOADS ARE ALL DEAD LOADS PLUS.
 - A) SLEEPING ROOMS.....30 PSF.
 - B) ALL OTHERS FLOORS.....40 PSF.
 - C) BALCONIES.....40 PSF.
 - D) ATTIC FLOOR LIVE LOADING WITH THE FOLLOWING.
 - I. UNINHABITABLE ATTICS WITHOUT STORAGE.....10 PSF.
 - II. UNINHABITABLE ATTICS WITH LMA STORAGE.....20 PSF.
 - III. HABITABLE ATTICS SERVED WITH FIX STAIR.....30 PSF.
 - E) STAIRS.....40 PSF.
 - F) DECKS.....40 PSF.
 - G) GUARDRAILS AND HANDRAILS.....200 LBS
 - H) ROOF LIVE LOADS.....20 PSF OR AS REQ'D BY CODE.
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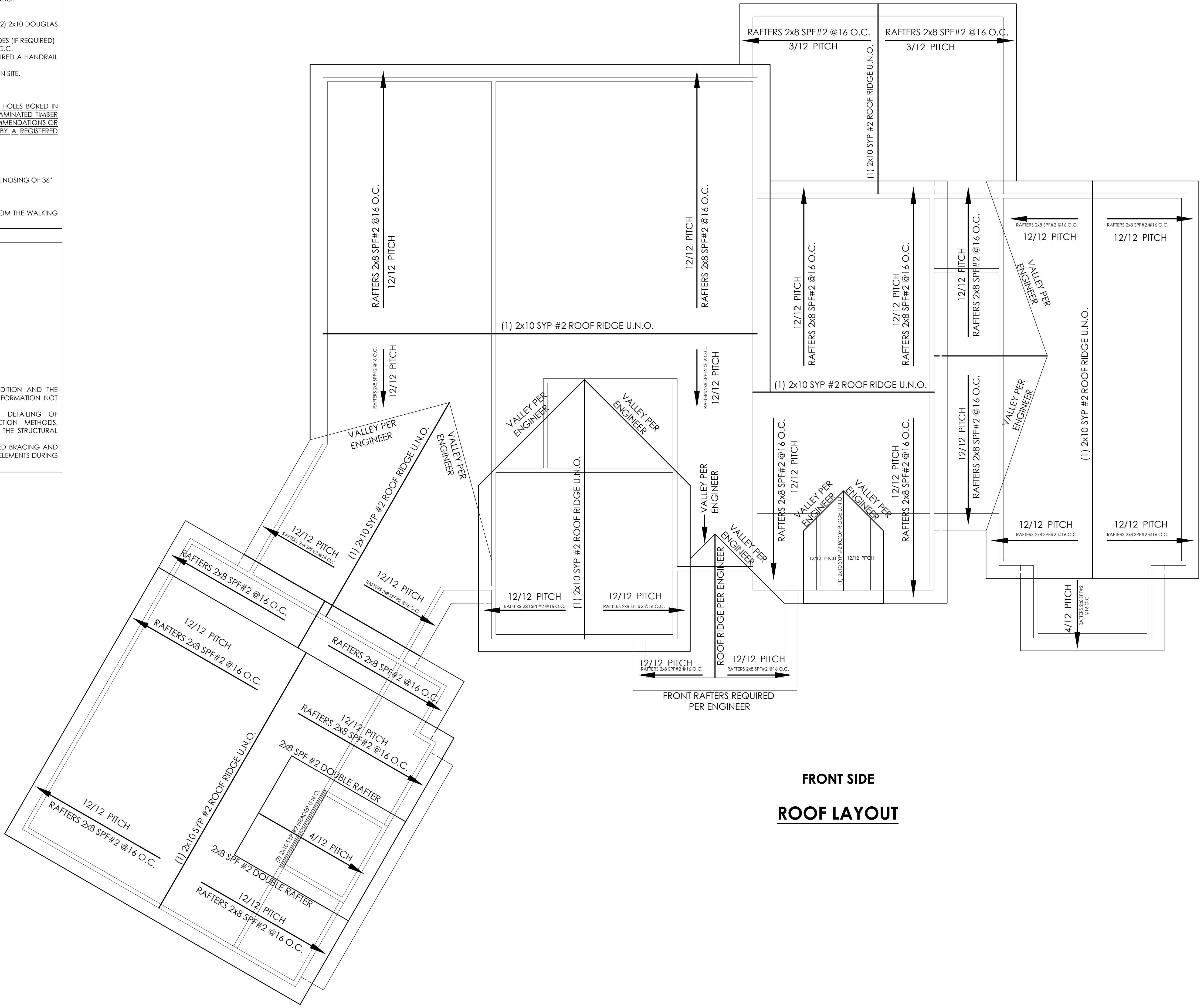
ABBREVIATIONS

A.F.F.	ABOVE FINISHED FLOOR
F.F.	FINISHED FLOOR
ABV.	ABOVE
APPROX.	APPROXIMATELY
O.C.	ON CENTER
CONC.	CONCRETE
C.M.U.	CONTINUOUS MASONRY UNIT
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BRG.	BEARING
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MAX.	MAXIMUM
CLG.HGT.	CEILING HEIGHT

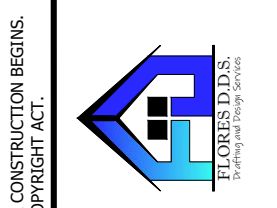
see SD or SN sheet for details
SD = standard details
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	NON A LOAD BEARING WALL
	DOTTED LINE TO BE REMOVE
	8" CONTINUOUS MASONRY UNIT
	WOOD BEAM OR LVL
	BRINCK VENEER



**FRONT SIDE
ROOF LAYOUT**



Design By:
Octavio Flores
3605 Edgefield Rd.
Greensboro NC 27409
Phone: 336-407-7788
Fax: 336-407-7745
336-968-4745

Area:
Main Floor 2356 SQF Heated Area
See Floor 751 SQF Heated Area
Basement 717 SQF
Garage 597 SQF
Bomis Room 453 SQF

Customer Name:
Delfino Flores
Drawn By:
Octavio Flores

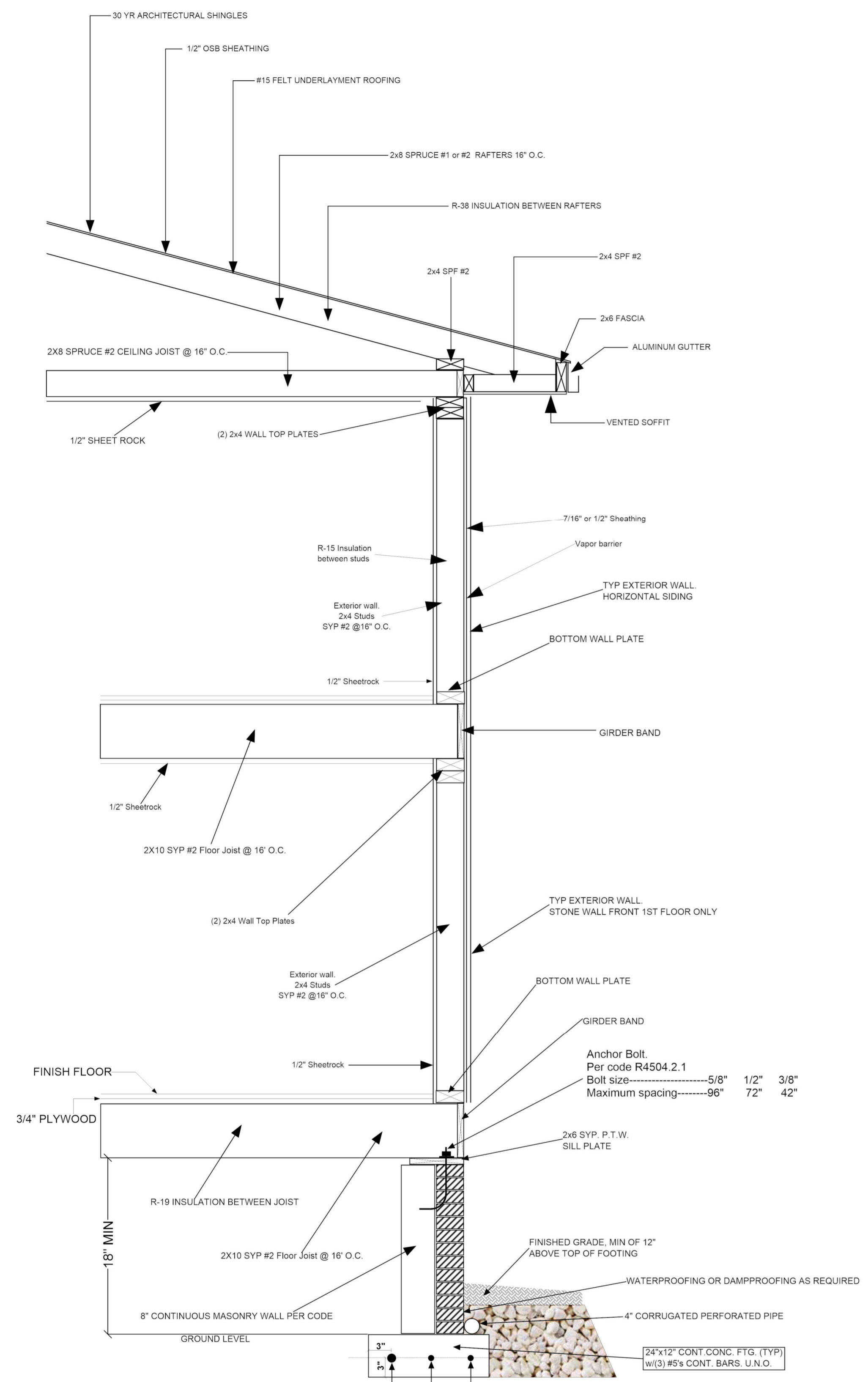
Project:
00000563
Date:
03/04/2022

Foundation Type:
Crawl Space
Scale:
1/4" = 1'-0"

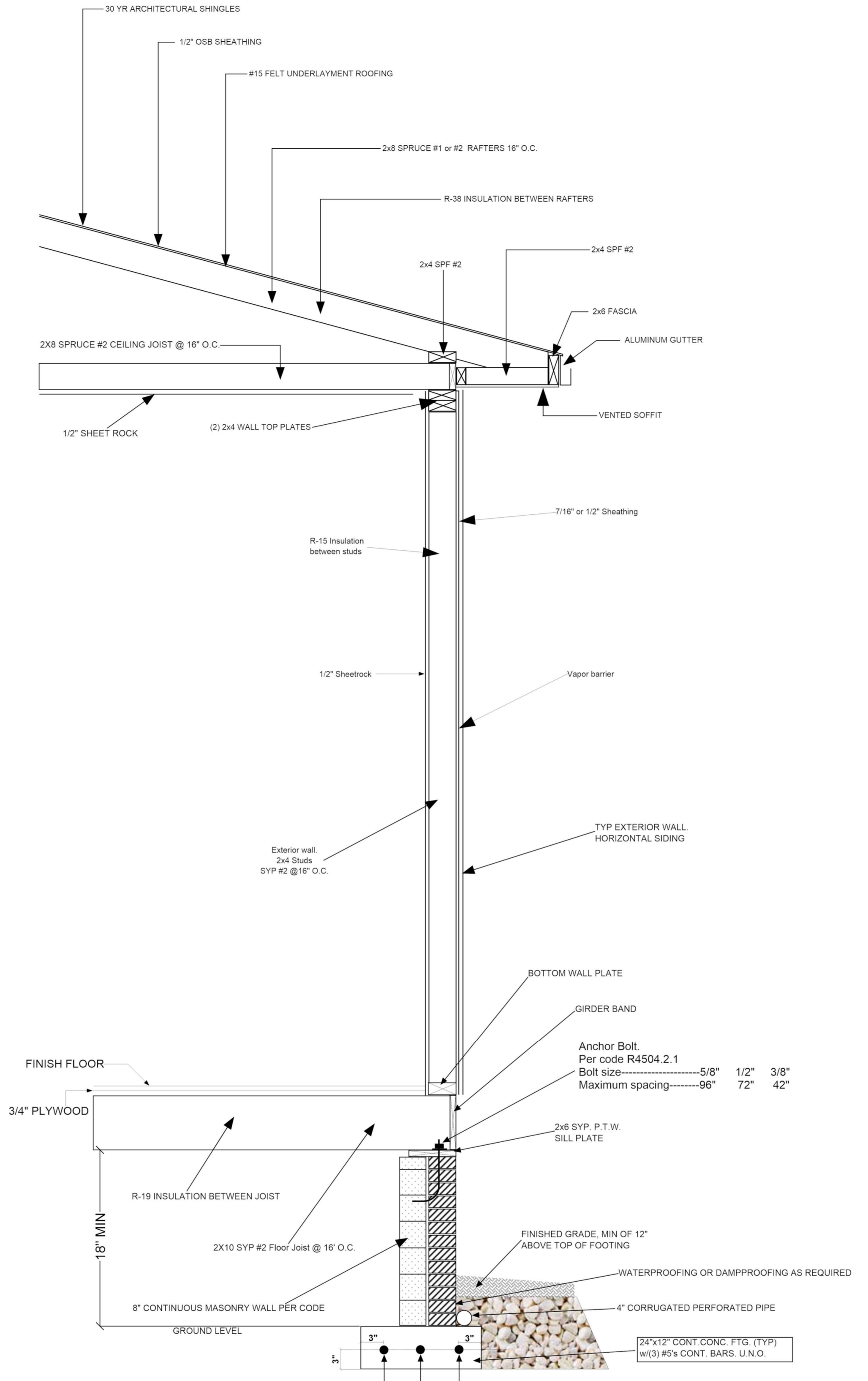
Notes: Field Verify For Foundation

Project Site: APN 1600-55-1045,000
Delma Grimes Rd Coats NC 27521
Project Title:
New House

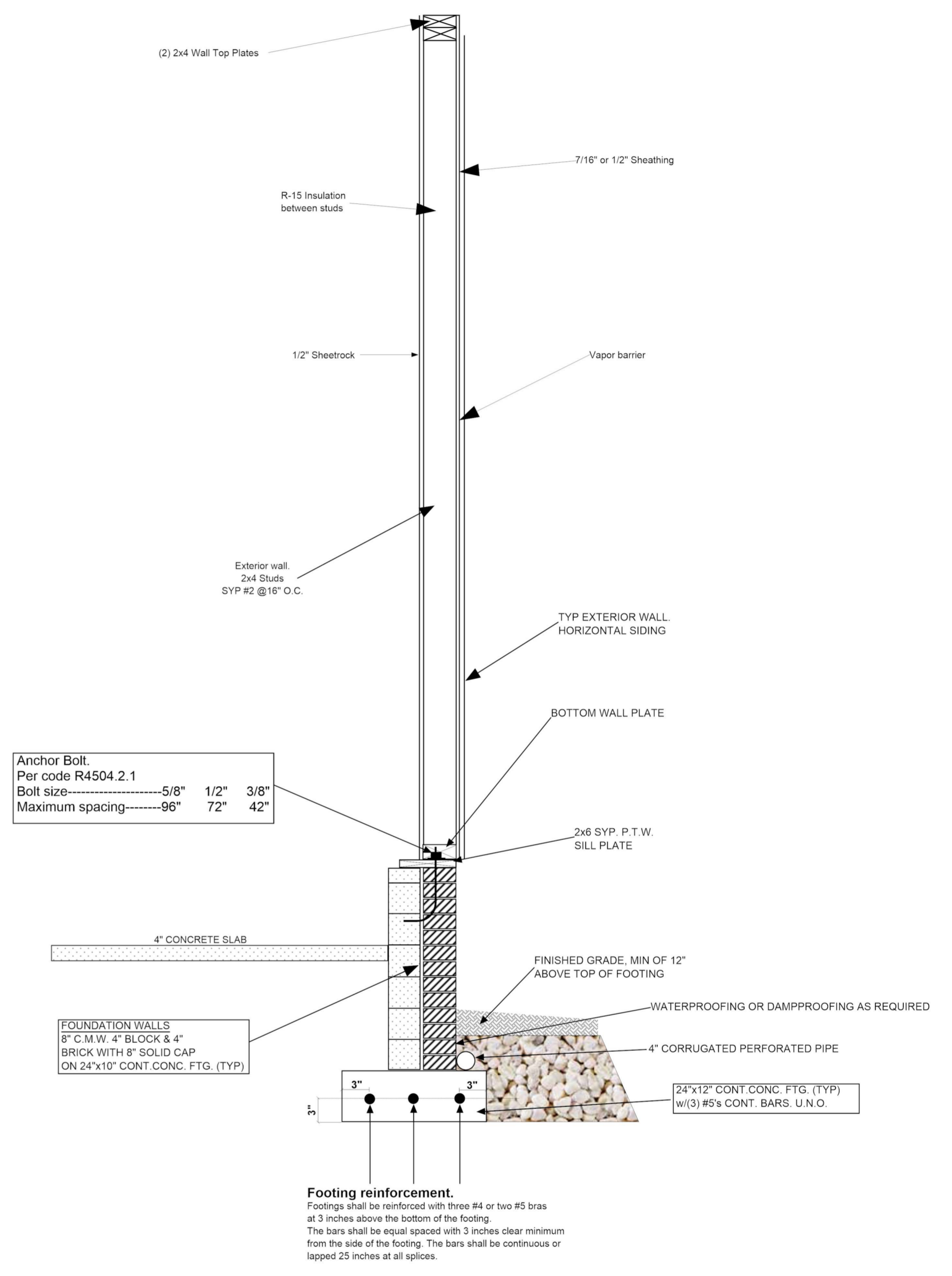
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NOT TO SCALE



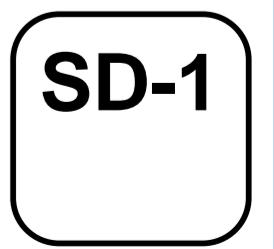
**TYPICAL WALL DETAIL
NOT TO SCALE**

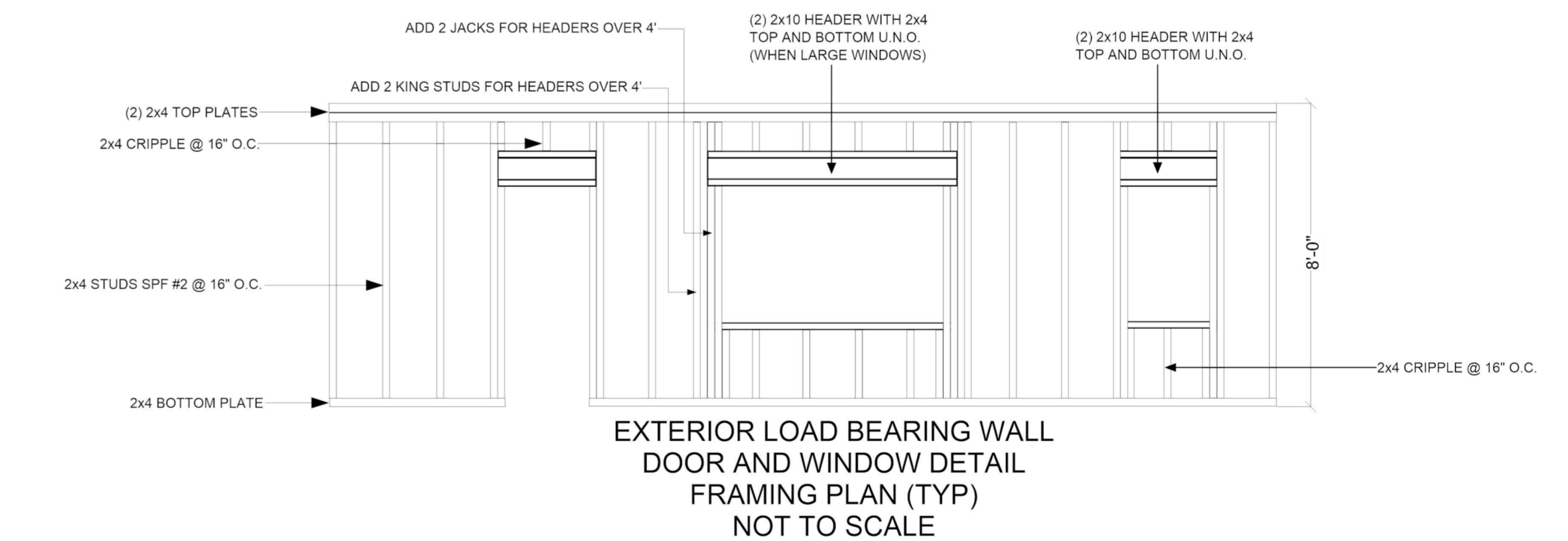
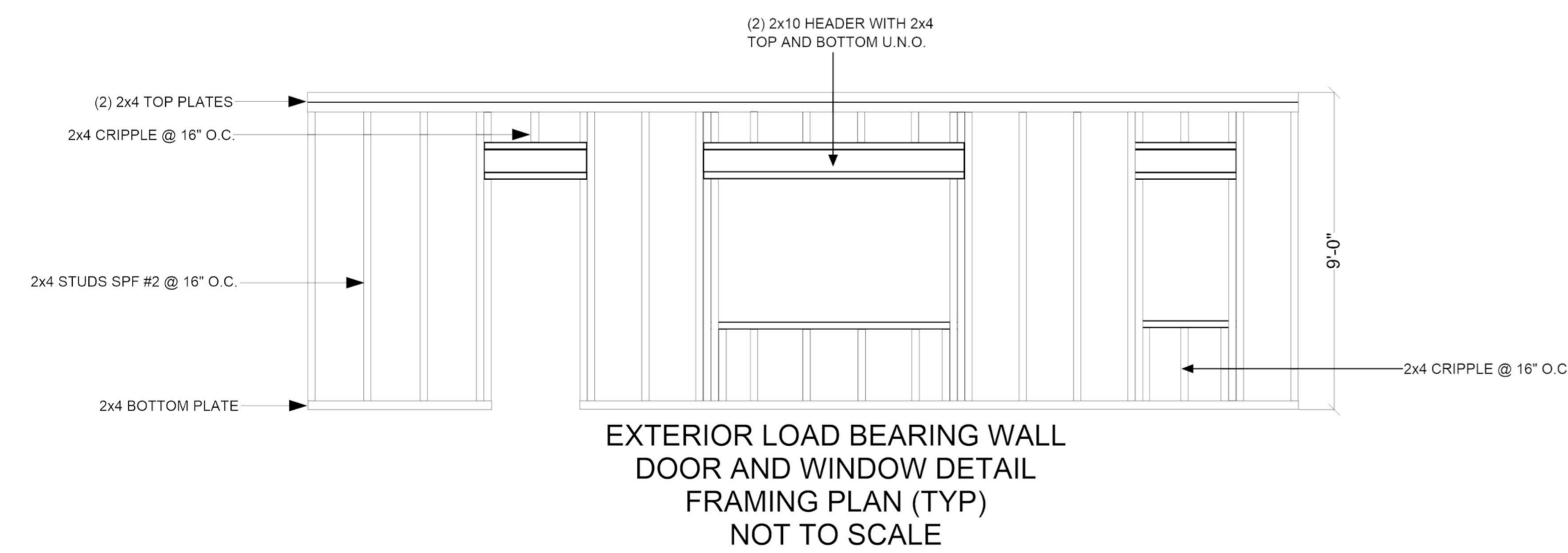
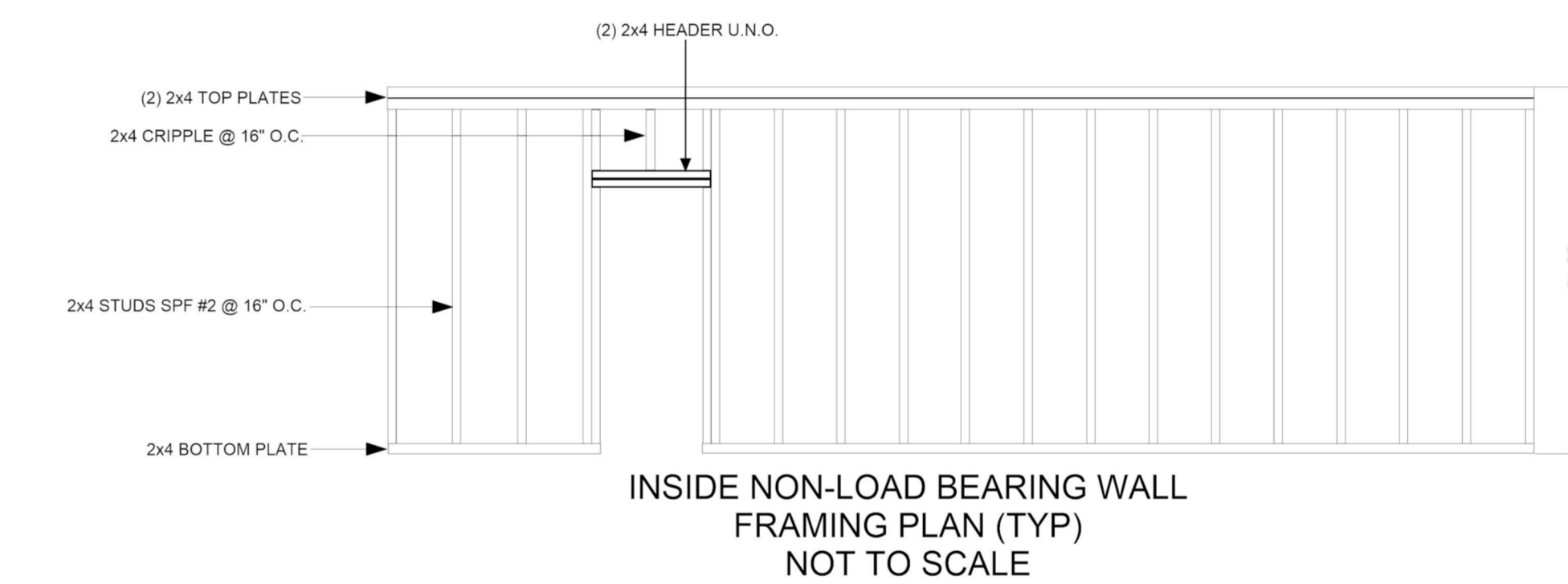
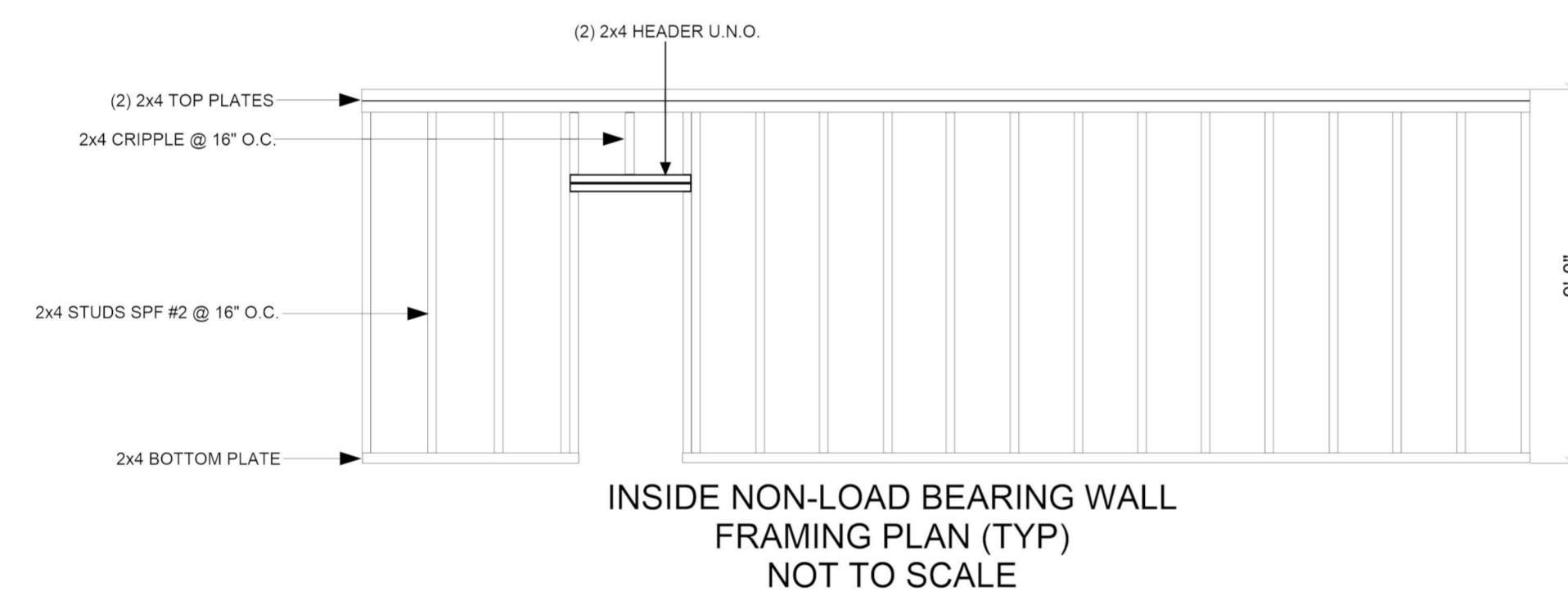
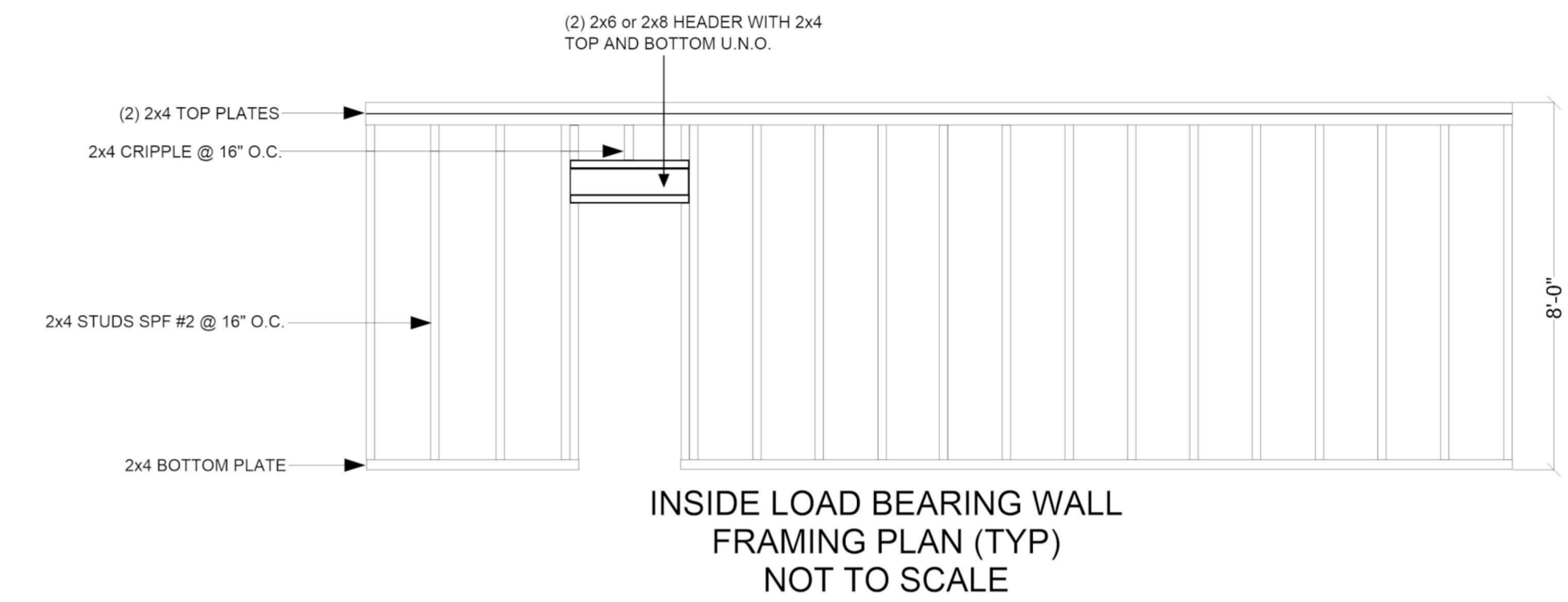
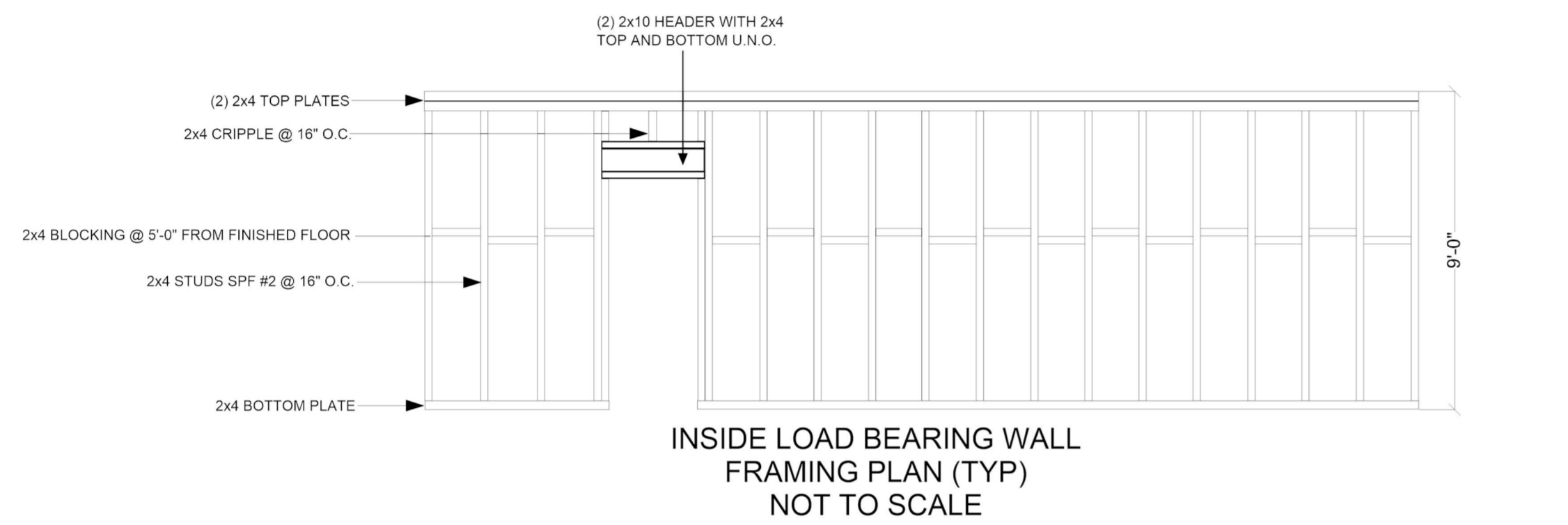


**GARAGE WALL
TYP DETAIL
NOT TO SCALE**

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Project Site: APN 1600-55-1045.000 Delma Grimes Rd Coats NC 27521	Foundation Type: Crawl Space	Notes: NOT TO SCALE	Project: 00000563	Customer Name: Delfino Flores	Area:
Project Title: New House	Scale:	Date: 03 / 04 / 2022	Drawn by: Octavio Flores.	Design by: Octavio Flores. 3605 Edgfield Rd. Greensboro NC, 27409 email. flores409@icloud.com 336-965-4745	





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Project Site: APN 1600-55-1045.000
Delma Grimes Rd Coats NC 27521

Foundation Type:
Crawl Space

Notes:
NOT TO SCALE

Project:
00000563

Customer Name:
Delfino Flores

Area:

Design by:
Octavio Flores.
3605 Edgerfield Rd.
Greensboro NC, 27409
email. flores409@icloud.com
336-965-4745

Project Title:
New House

Scale:

Date:
03 / 04 / 2022

Drawn by:
Octavio Flores.

DESIGN LOADS AND GENERAL.

- DESIGN LOADS ARE ALL DEAD LOADS PLUS.
 - SLEEPING ROOMS-----30 PSF.
 - ALL OTHERS FLOORS-----40 PSF.
 - BALCONIES-----40 PSF.
 - ATTIC FLOOR LIVE LOADING WITH THE FOLLOWING.
 - UNINHABITABLE ATTICS WITHOUT STORAGE-----10 PSF.
 - UNINHABITABLE ATTICS WITH LIM. STORAGE-----20 PSF.
 - HABITABLE ATTICS SERVED WITH FIX STAIR-----30 PSF.
 - STAIRS-----40 PSF.
 - DECKS-----40 PSF.
 - GUARDRAILS AND HANDRAILS-----200 LBS
 - ROOF LIVE LOADS-----20 PSF OR AS REQ'D BY CODE.
 - WIND LOAD-----V ULT 115V/ASD 89, TABLE R301.2.1.3
- ALL DESIGNS ARE IN ACCORDANCE WITH NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION AND THE INTERNATIONAL RESIDENTIAL CODE. REFER TO THE RELEVANT CODE FOR ANY ADDITIONAL INFORMATION NOT COVERED OR MISSING ON THIS NOTES OR THE DESIGNS.
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- THE GENERAL CONTRACTOR OR SUB-CONTRACTOR IS REQUIRED FOR PROVIDING ALL REQUIRED BRACING AND SHORING DURING CONSTRUCTION TO MAINTAIN THE STABILITY AND SAFETY OF ALL STRUCTURAL ELEMENTS DURING THE CONSTRUCTION PROCESS UNTIL THE STRUCTURE IS TIED TOGETHER AND COMPLETE.

GUARDS AT MINIMUM 36" HEIGHT PER CODE R312.1.2
OPENINGS LIMITATIONS PER CODE R312.1.3
REQUIRED GUARDS SHALL NOT HAVE OPENINGS
FROM THE WALKING SURFACE TO THE REQUIRED
GUARD HEIGHT THAT ALLOW PASSAGE OF A SPHERE 4"

**SEE ENGINEERED NOTES OR DRAWINGS
FOR ALL ADDITIONAL STRUCTURAL
INFORMATION PROVIDED BY OTHERS**

RESIDENTIAL FOUNDATIONS.

- ALL WALL FOOTINGS DESIGN ARE UNDER CODE BY TABLE R403.1(1) - R403.1(2) - R4503.2.1
- FOOTINGS FOR ONE-STORY HOUSES, ARE 24"x24"x8" UNLESS NOTED OTHERWISE.
*AND CONTINUOUS CONCRETE FOOTING SHALL BE 16"x10" UNLESS NOTED OTHERWISE.
*AND PIERS ARE 8"x16". PIERS FOR ONE-STORY HOUSES ARE BASED ON HOLLOW CMU CAPPED WITH 4" OF SOLID MASONRY OR CONCRETE AND 8" OF SOLID MASONRY OR CONCRETE.
- FOOTINGS FOR TWO-STORY HOUSES, ARE 32"x32"x10" UNLESS NOTED OTHERWISE.
*AND CONTINUOUS CONCRETE FOOTING SHALL BE 24"x10" UNLESS NOTED OTHERWISE.
*AND PIERS ARE 16"x16" CMU UP TO A MAXIMUM OF 32" HIGH. ALL PIERS OVER 32" HIGH MUST BE FILLED W/ TYPE S MORTAR.
MAXIMUM HEIGHT FOR 8"x16" FILLED PIERS IS 6'-8".
- PORCH FOOTINGS ARE 24"x24"x10" UNLESS NOTED OTHERWISE.
- FOOTINGS FOR 16"x16" PIERS ARE 32"x32"x10" UNLESS NOTED OTHERWISE.
- FOOTINGS REINFORCEMENT, BY CODE, TABLE R4503.1.2 FOOTINGS SHALL BE REINFORCED WITH THREE #4 BARS OR TWO #5 BRAS AT 3" ABOVE THE BOTTOM OF THE FOOTING. THE BARS SHALL BE EQUALLY SPACED WITH 3" CLEAR MINIMUM FROM THE SIDE OF THE FOOTING. THE BARS SHALL BE CONTINUOUS OR LAPPED 25" AT ALL SPLICES.
- SHALLOW FOUNDATIONS ARE DESIGNED FOR ASSUMED SOIL BEARING CAPACITY OF 2,000 PSF. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING TO AN ENGINEER IF ANY SOILS ARE FOUND TO BE UNSUITABLE FOR THIS BEARING CAPACITY. THE CONTRACTOR FOR OBTAINING SOIL TESTING TO ENSURE THE BEARING CAPACITY OF THE SOIL MEETS OR EXCEEDS THIS VALUE. ALL FILL IS TO BE COMPACTED TO 95% DENSITY AS MEASURED BY THE STANDARD PROCTOR TEST (ASTM D-1557) OTHERWISE USE SELF-COMPACTING CLEAN WASHED #57 STONE.
- ALL SOILS AND FILL UNDER FLOOR WITHIN AND/OR UNDER BUILDINGS SHALL HAVE PRECONSTRUCTION SOIL TREATMENT FOR PROTECTION AGAINST TERMITES. CERTIFICATION OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY A LICENSED PEST CONTROL COMPANY.
- FOOTING EXCAVATIONS SHALL BE NEAT, STRAIGHT, AND LEVEL IN THE PROPER ELEVATIONS TO RECEIVE THE CONCRETE. EXCESSIVE VARIATIONS IN THE DIMENSIONS OF FOOTINGS OR SLAB WILL NOT BE PERMITTED. REINFORCING STEEL AND MESH SHALL BE ACCURATELY PLACED AND SUPPORTED TO MAINTAIN THEIR POSITION DURING THE CONCRETE POURING. EDGE FORMS SHALL USED FOR CONCRETE THAT WILL BE EXPOSED.
- ALL SLAB PENETRATIONS ARE TO BE RESPONSIBILITY OF THE CONTRACTOR. NOTIFY AN ENGINEER IF ANY SOILS ARE FOUND TO BE UNSUITABLE FOR THIS BEARING CAPACITY PRIOR TO THE PLACEMENT OF CONCRETE.
- ELEVATION DIFFERENCE BETWEEN THE BOTTOM OF ADJACENT FOOTINGS SHALL BE LESS THAN THEIR HORIZONTAL DISTANCE LESS ONE FOOT. (STEPPED FOOTING) DIFFERENTIAL HEIGHTS BETWEEN FOOTINGS CAN BECOME EXCESSIVE USUALLY WHERE A PIER FOOTING IN A CRAWL SPACE OR GARAGE FOOTING IS NEXT TO A BASEMENT WALL FOOTING.
- CRAWL ACCESS PANEL DOOR TABLE R409.1.2 A MINIMUM ACCESS OPENINGS MEASURING 18 INCHES BY 24 INCHES SHALL BE PROVIDED TO THE CRAWL SPACE. ACCESS PANEL OR DOOR SHALL BE INSULATED TO A MINIMUM OF R-12
- FOUNDATION VENT SIZING, TABLE R408.1.1 THE MINIMUM NET AREA OF VENTILATION OPENINGS SHALL BE NOT LESS THAN 1 SQUARE FOOT FOR EACH 150 SQUARE FEET OF CRAWL SPACE GROUND AREA.
- 8"x16" MASONRY VENTS
- FOUNDATION VENT LOCATION, TABLE R408.1.2 ONE FOUNDATION VENT SHALL BE WITHIN 3 FEET OF EACH CORNER OF THE BUILDING.

SPECIAL FOUNDATION CONSIDERATIONS.

- ANCHOR BOLT SHALL BE INSTALLED AS REQUIRED BY CODE UNLESS NOTED OTHERWISE.
- STRAPS ARE ONLY ACCEPTABLE IN CONCRETE OR GROUT FILLED CMU AND MUST BE INSTALLED PER THE MANUFACTURER'S STANDARDS.
- WHERE STANDARD ANCHOR BOLTS OR STRAPS ARE MISSED OR NOT INSTALLED PROPERLY, A RETROFIT BOLT SUCH AS A SIMPSON 1/2" TITEN HD BOLT OR EPOXY BOLT MAY BE USED IN ITS PLACE IN A MANNER APPROVED BY THE MANUFACTURER.
- WHERE NEW FOOTINGS OF A BUILDING ADDITION TIE INTO EXISTING CONCRETE FOOTINGS OF THE ORIGINAL BUILDING, CONNECT THE NEW FOOTING TO THE EXISTING WITH TWO 18" LONG# DOWELS AT MID-DEPTH OF THE FOOTINGS. EMBED THE DOWELS 6" INTO THE EXISTING FOOTING USING NON-SHRINK GROUT OR A TWO PART EPOXY ADHESIVE SUCH AS HILTI HIT HY 150 OR EQUAL.
- UNRESTRAINED RETAINING WALL GREATER THAN 48" IN WALL HEIGHT SHALL BE INSPECTED AS REQ'D BY THE COUNTY INSPECTOR PRIOR TO POURING CONCRETE.
- CONCRETE SHALL BE 3,000 PSI AT 28 DAYS.
- PLACEMENT OF CONCRETE SHALL CONFORM TO ACI 318

FRAMING PLAN NOTES

- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REQUIREMENTS OF RESIDENTIAL CODE, PLUS ALL LOCAL CODES AND REGULATIONS. THE DESIGNER IS NOT RESPONSIBLE FOR AND WILL NOT HAVE CONTROL OF CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE CONSTRUCTION WORK. NOR WILL THE DESIGNER BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE CONSTRUCTION WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. *CONSTRUCTION REVIEW SERVICES* ARE NOT PART OF OUR CONTRACT. ALL MEMBERS SHALL BE FRAMED ANCHORED, TIED AND BRACED IN ACCORDANCE WITH GOOD CONSTRUCTION PRACTICE AND THE BUILDING CODE.
- ALL DIMENSIONS ARE SUBJECT TO BE VERIFIED.
- WALL CONSTRUCTION "C", PER CODE TABLE R602.3(5) A HABITABLE ATTIC ASSEMBLY SUPPORTED BY 2x4 IS LIMITED TO A ROOF SPAN OF 32 FEET. WHERE THE ROOF SPAN EXCEEDS 32 FEET, THE WALL SHALL BE INCREASE TO 2x6.
- WALL CONSTRUCTION "D" ONE HALF OF THE STUDS INTERRUPTED BY A WALL OPENING SHALL BE PLACED IMMEDIATELY.
- ALL EXTERIOR WALLS ARE ASSUMED TO BE 4" 2x4 WOOD STUDS, U.N.O. TO ACCOUNT FOR SHEATHING.
- 1/2" EXTERIOR WALL SHEATHING, U.N.O.
- ALL BEARING WALLS STUDS SPACING @ 16" O.C.
- HEADER REQUIREMENTS FOR EXTERIOR LOAD BEARING WALLS PER CODE TABLE R602.7(1) TO BE (2) 2x10 DOUGLAS FIR-LARCH, HEM-FIR, SYP and SPF.
- ALL CABINETRY TO BE DESIGNED BY OTHERS AND SHALL MEET ALL APPLICABLE ACCESSIBILITY CODES (IF REQUIRED)
- ALL MOULDINGS, DOORS, WINDOWS, FINISH AND COLOR SELECTIONS TO BE APPROVED BY H.O.G.C.
- NUMBER OF EXTERIOR RISES TO BE FIELD VERIFIED AT LOCATIONS. WHERE 4 OR MORE ARE REQUIRED A HANDRAIL WILL ALSO BE REQUIRED.
- MINIMUM 22-1/2"W x 54-1/2"L ATTIC ACCESS DOOR W/PULL DOWN LADDER TO BE DETERMINED ON SITE.
- HVAC RETURNS TO BE DETERMINED ON SITE.
- ALL COUNTERTOPS TO BE 36" A.F.F. U.N.O.
- ALL DOOR HEIGHTS MUST BE APPROVED BY H.O.G.C.
- ENGINEERED WOOD PRODUCTS PER CODE, TABLE R502.8.2 and R802.7.2 CUTS, NOTCHES AND HOLES BORED IN TRUSSES, STRUCTURAL COMPOSITE LUMBER, STRUCTURAL GLUE LAMINATED MEMBERS, CROSS-LAMINATED TIMBER MEMBERS OR JOIST ARE PROHIBITED EXCEPT WHERE PERMITTED BY THE MANUFACTURER'S RECOMMENDATIONS OR WHERE THE EFFECTS OF SUCH ALTERATIONS ARE SPECIFICALLY CONSIDERED IN THE DESIGN BY A REGISTERED DESIGN PROFESSIONAL.

STAIRWAYS

- TREADS SHALL BE 10" WIDE PLUS 1" NOSING.
- RISERS SHALL BE FIELD VERIFIED (NOT TO EXCEED 8-1/4")
- STAIR SHALL BE 36" WIDE CLEAR MINIMUM AND SHALL HAVE A HANDRAIL AT A HEIGHT ABOVE THE NOSING OF 36"

GUARDS

- GUARDS AT MINIMUM 36" HEIGHT PER CODE R312.1.2
- OPENINGS LIMITATIONS PER CODE R312.1.3
REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW PASSAGE OF A SPHERE 4"

4" conc. slab table R402.2
w/fibermesh or wiremesh on 6mil
vapor retarder (as required)
on base course R506.2.2
see R506.2.1 for fill requirements

NOTE:
SOIL BEARING CAPACITY
SHALL BE AT LEAST 2,000 PSF

INSULATION VALUES CLIMATE ZONE 3/4

CRAWL SPACE FLOORS	R-19
CANTILEVER FLOORS	R-19
WALLS	R-15
CEILING	R-38
CONCRETE SLAB ON GRADE	R-10
BASEMENT WALLS	R-13

FOUNDATION WALLS
8" C.M.U. or BLOCK or 4"
BRICK & 4" BLOCK WITH
8" SOLID CAP ON 24"x12"
CONT.CONC. FTG. (TYP)
w/(3) #5's CONT. BARS. U.N.O.

DECK FOUNDATION
8" C.M.W. or 4" BLOCK or 4" BRICK.
ON 24"x10" CONT.CONC. FTG. (TYP)

WINDOW REQUIREMENTS AND SPECIFICATIONS.

EMERGENCY ESCAPE AND RESCUE OPENINGS.
NRCR SECTION R310
TABLE R310.1 EMERGENCY ESCAPE AND RESCUE OPENING REQUIRED.
BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE NOT LESS THAN ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING.
TABLE R310.2.1 MINIMUM OPENING AREA.
THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20 INCHES.
EACH WINDOW FROM SLEEPING ROOM MUST HAVE A MINIMUM TOTAL GLAZING AREA OF NOT LESS THAN 5 SQUARE FEET IN CASE OF A GROUND FLOOR LEVEL WINDOW AND NOT LESS THAN 5.7 SQUARE FEET IN THE CASE OF AN UPPER STORY LEVEL WINDOW.
TABLE R31.2.2 WINDOW SILL HEIGHT.
WHERE A WINDOW IS PROVIDED AS THE EMERGENCY ESCAPE AND RESCUE OPENING, IT SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FINISH FLOOR.
WINDOW SPECIFICATIONS:
U-FACTOR .30 (U.S.I.P), SHGC-29 DUAL GLAZED, LOW-E, GBC7/8, ARGON GAS, STRUCTURAL DESIGN PRESSURE RATING +35

ABBREVIATIONS

A.F.F.	ABOVE FINISHED FLOOR
F.F.	FINISHED FLOOR
ABV	ABOVE
APPROX.	APPROXIMATELY
O.C.	ON CENTER
CONC.	CONCRETE
C.M.U.	CONTINUOUS MASONRY UNIT
C.M.W.	CONTINUOUS MASONRY WALL
CONT.	CONTINUOUS
U.N.O.	UNLESS NOTED OTHERWISE
TYP.	TYPICAL DETAIL
C.F.	CONCRETE FOOTING
CONT.FT.	CONTINUOUS FOOTING
CLR.	CLEAR
P.T.W.	PRESSURE TREATED WOOD
N.T.S.	NOT TO SCALE
SHW	SHOWER
C.O.	CASED OPENING
K.S.C.	KING STUD COLUMN
K.S.	KING STUD
K.J.	KING JACK
BRG.	BEARING
CLG.	CEILING
C.J.	CEILING JOIST
BTM	BOTTOM
MAX	MAXIMUM
CLG.HGT	CEILING HEIGHT
F.J.	FLOOR JOIST
W.C.	WATER CLOSET
EA. END	EACH END
W.I.P.	WALK IN PANTRY
W.I.C.	WALK IN CLOSET

WALL HATCH KEY

	LOAD BEARING WALL
	NON A LOAD BEARING WALL
	DOTTED LINE TO BE REMOVE
	8" CONTINUOUS MASONRY UNIT
	WOOD BEAM OR LVL
	BRICK VENEER

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Project Site: APN 1600-55-1045-000 Delma Grimes Rd Coats NC 27521	Foundation Type: Crawl Space	Notes: NOT TO SCALE	Project: 00000563	Customer Name: Delfino Flores	Area:	Design by: Octavio Flores. 3605 Edgerfield Rd. Greensboro NC, 27409 email. flores409@icloud.com 336-965-4745
Project Title: New House	Scale:	Date: 03 / 04 / 2022	Drawn by: Octavio Flores.			

