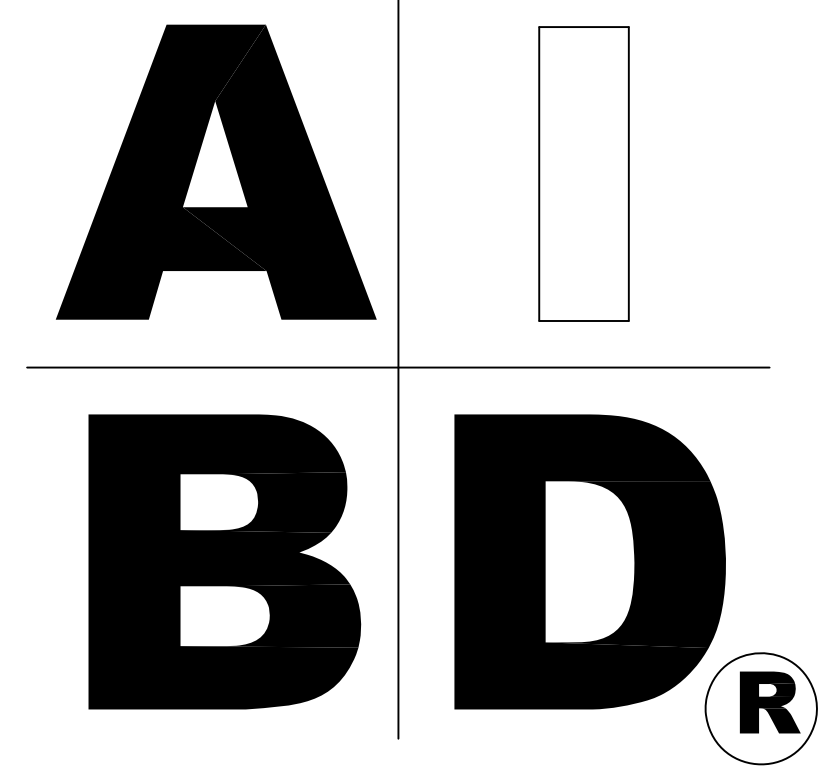


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STANDARD ABBREVIATIONS

@	AT	LT.	LIGHT
#	FOUND(S)	LIN.	LINEN
APPROX. APPROXIMATELY			
BASE.	BASEMENT	MANUF.	MANUFACTURER
B/T	BETWEEN	MAS.	MASONRY
BLK.	BLOCK	MAX.	MAXIMUM
BLK'G	BLOCKING	MTL.	METAL
BD.	BOARD	MIN.	MINIMUM
BRD.	BOARD	N.I.C.	NOT IN CONTRACT
BOT.	BOTTOM	O.C.	ON CENTER
BLDG.	BUILDING	O/C	ON CENTER
		OFT.	OPTIONAL
CAB.	CABINET	O.S.B.	ORIENTED STRAND BOARD
CLG.	CEILING	OTS	OWNER TO SELECT
CLR.	CLEAR	O.T.S	OWNER TO SELECT
CLOS.	CLOSET		
COL.	COLUMN	Pg.	PAGE
COLS.	COLUMNS	PAN.	PANTRY
CONC.	CONCRETE	PL.	PLATE
CMU	CONCRETE MASONRY UNIT	P.	PLATE
C.U.	CONDENSOR UNIT	PLY'ND	PLYWOOD
CONN.	CONNECTION	PLY'ND	PLYWOOD
CONT.	CONTINUOUS	POLY.	POLYETHYLENE
COVER'G	COVERING	PSI	POUNDS PER SQUARE INGH
CS	CRANL SFACE	PRE-FAB	PREFABRICATED
DECO.	DECORATIVE	RE.	REFERENCE
DET	DETAIL	REF.	REFRIGERATOR
DIA.	DIAMETER	REINF.	REINFORCED
D/W	DISHWASHER	R.	RESISTANCE
DBL.	DOUBLE	R.A.	RETURN AIR
DF.	DOUGLAS FIR	R.A.G.	RETURN AIR GRILLE
D	DRYER	REQ'D	REQUIRED
EA.	EACH	SCR.	SCREEN
ELEV.	ELEVATION	SHLVs.	SHELVES
ENG.	ENGINEER	SHR.	SHOWER
		SHWR.	SHOWER
FT.	FEET	SST.	SIMPSON STRONG TIE
F.F.L.	FINISHED FLOOR LINE	SP.	SOUTHERN PINE
FIN.	FINISH	SPECs.	SPECIFICATIONS
F.C.	FIRE CODE	SQ.	SQUARE
FLR.	FLOOR	S.F.	SQUARE FOOTAGE
FTG.	FOOTING	STL.	STEEL
FOUND.	FOUNDATION	THK.	THICK
FND.	FOUNDATION	THK.	THICKNESS
FR.	FREEZER	TBD.	TO BE DETERMINED
GA.	GAUGE	TR.	TRANSOM
GALV.	GALVANIZED	TYP.	TYPICAL
GYP.	GYPsum	U.T.C.	UNDER THE COUNTER
HDR.	HEADER	UTIL.	UTILITY
HVAC	HEATING, VENTILATION & AIR CONDITIONING	VAN.	VANITY
HT.	HEIGHT	VERT.	VERTICAL
HTS.	HEIGHTS	WH.	WATER HEATER
HORIZ.	HORIZONTAL	W.	WASHER
IN.	INCHES	WT.	WEIGHT
INCL.	INCLUDE	WIN.	WINDOW
INSUL.	INSULATION	W.M.	WIRE MESH
JT.	JOINT	W.	WITH
JST.	JOIST	WD.	WOOD
JSTS.	JOISTS	WCFM	WOOD FRAME CONSTRUCTION MANUAL



SHEET INDEX:

- 1 COVER SHEET
- 2 FOUNDATION PLAN
- 3 FLOOR PLANS
- 4 EXTERIOR ELEVATIONS
- 5 EXTERIOR ELEVATIONS
- 6 CROSS SECTION & CABINETS
- 7 ROOF PLANS
- 8 ELECTRICAL PLANS

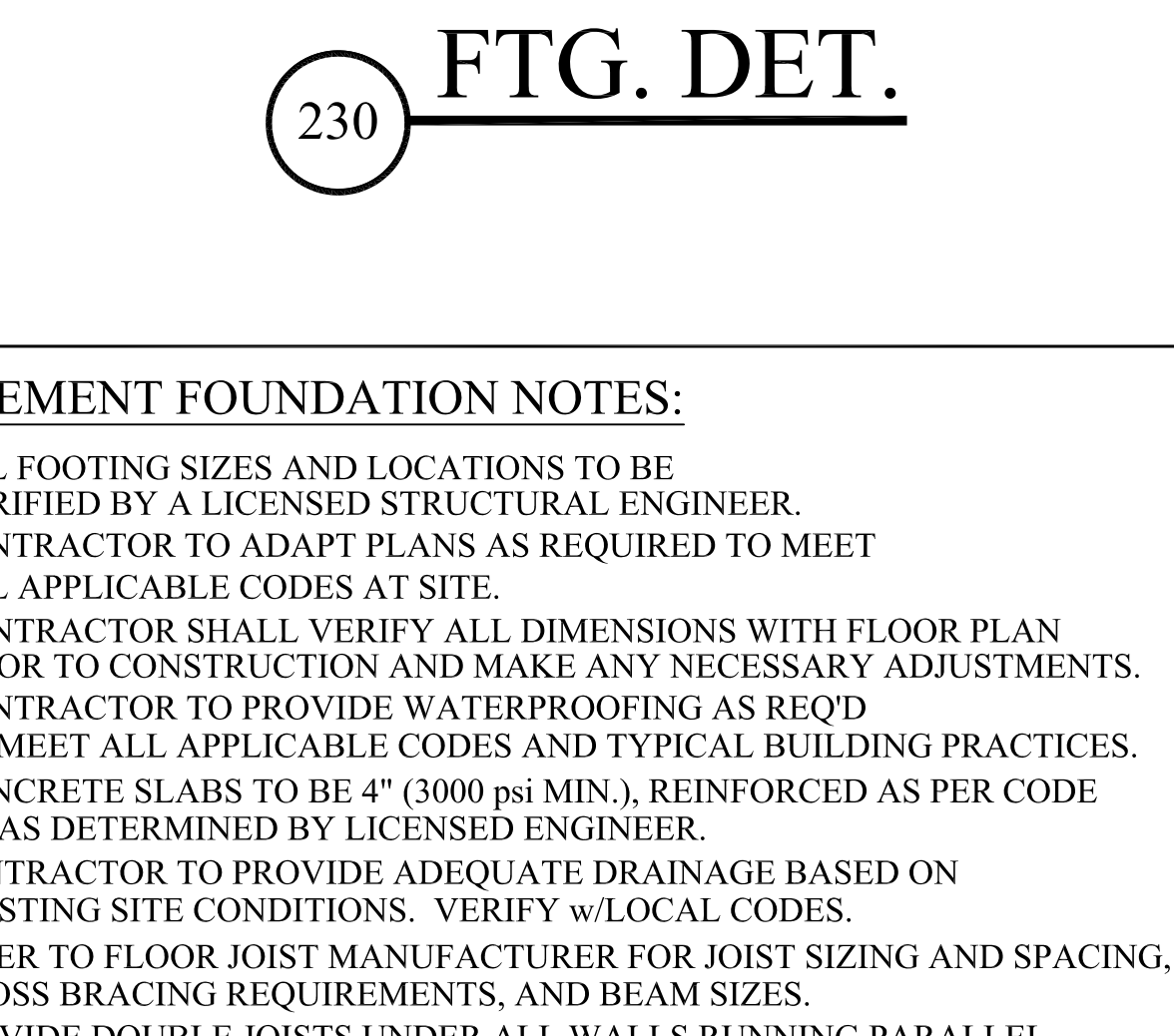
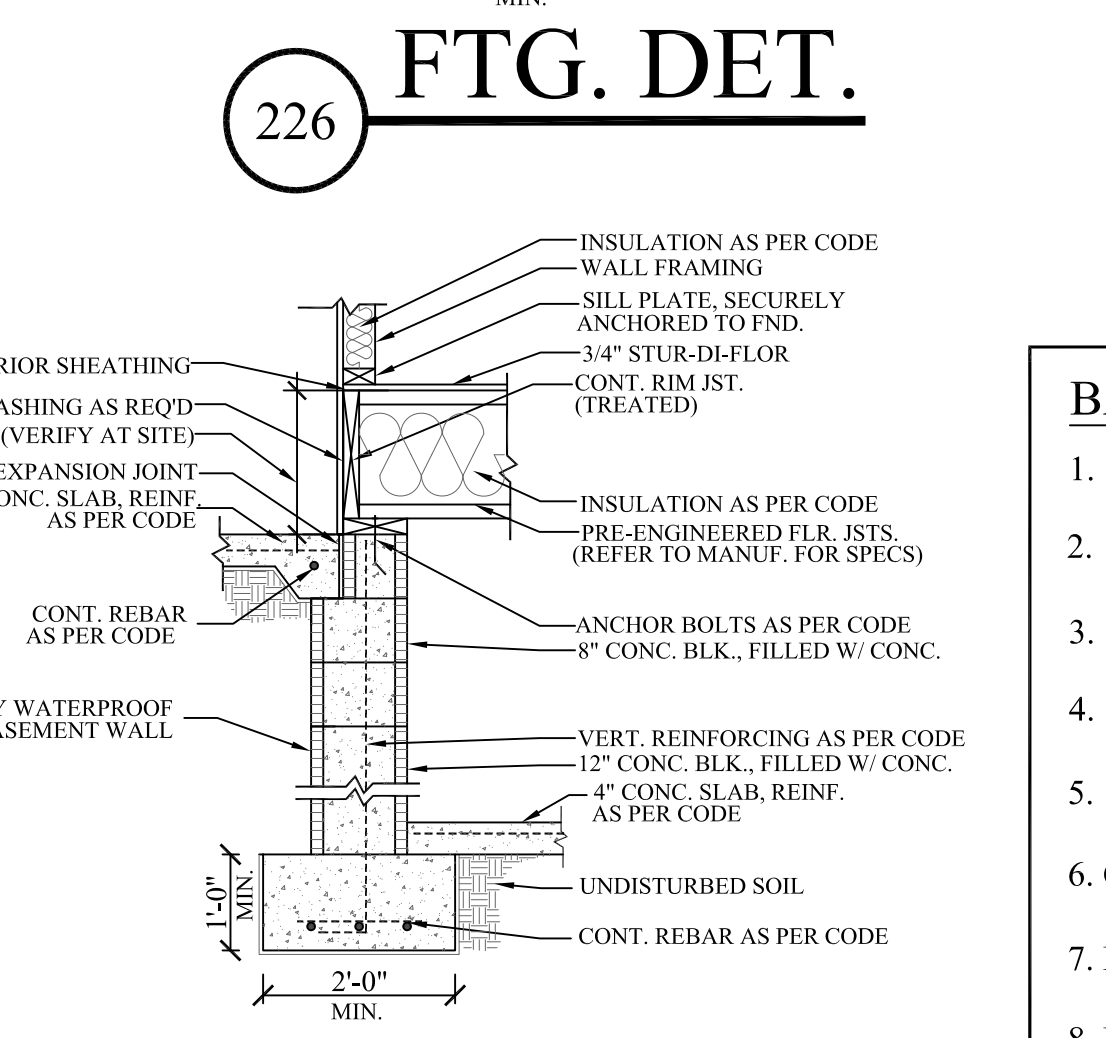
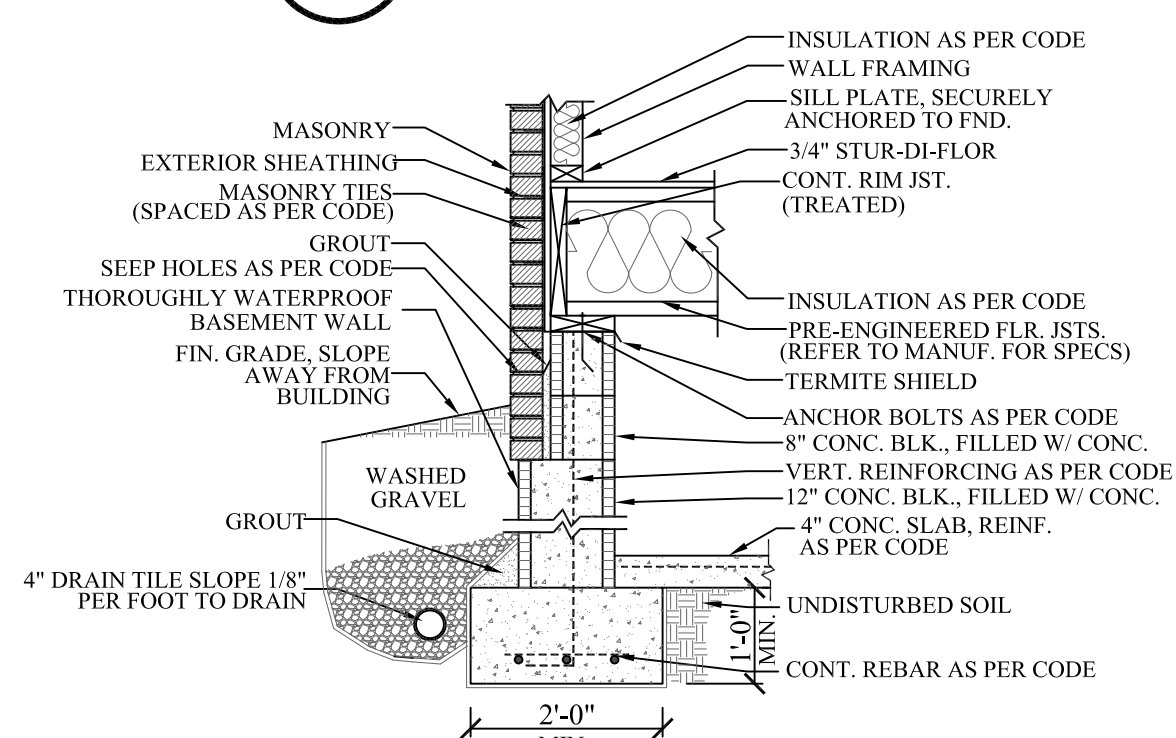
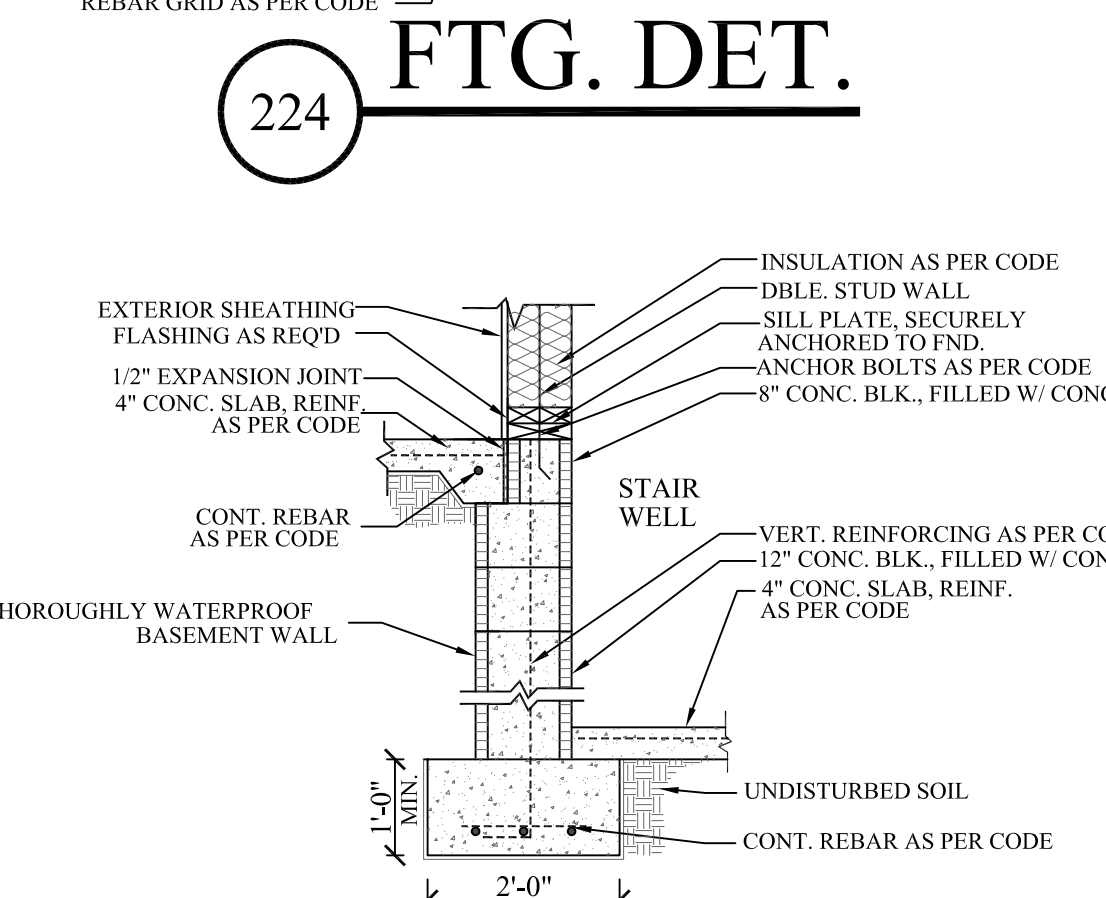
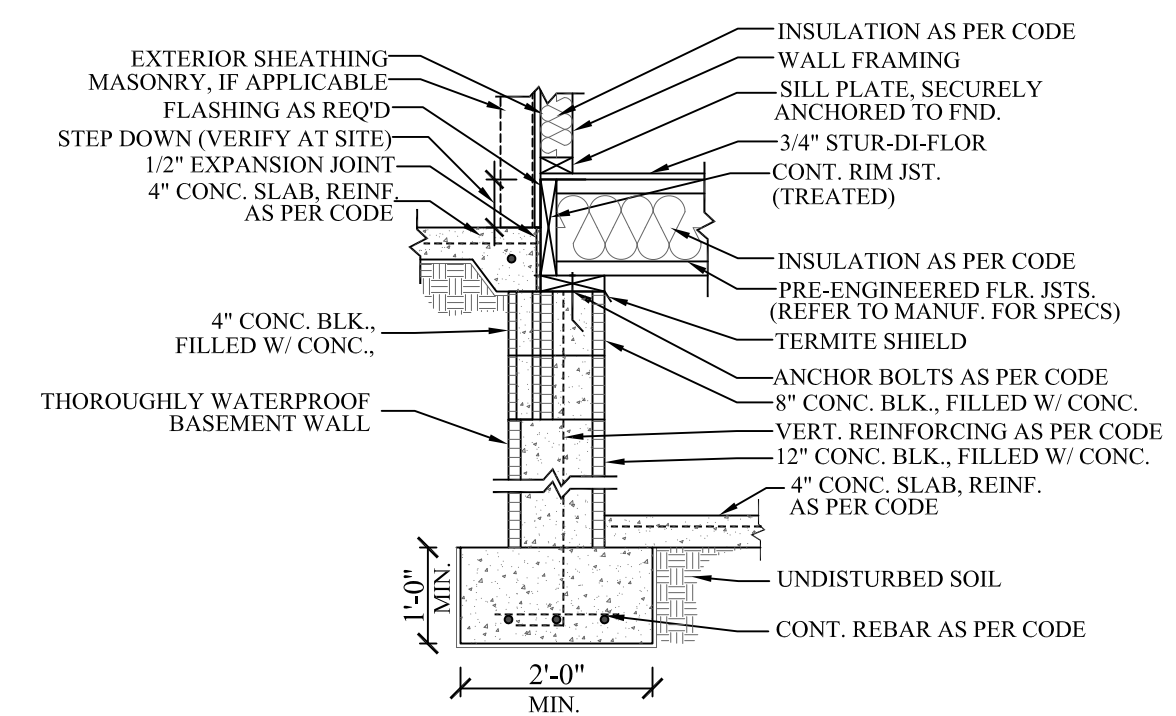
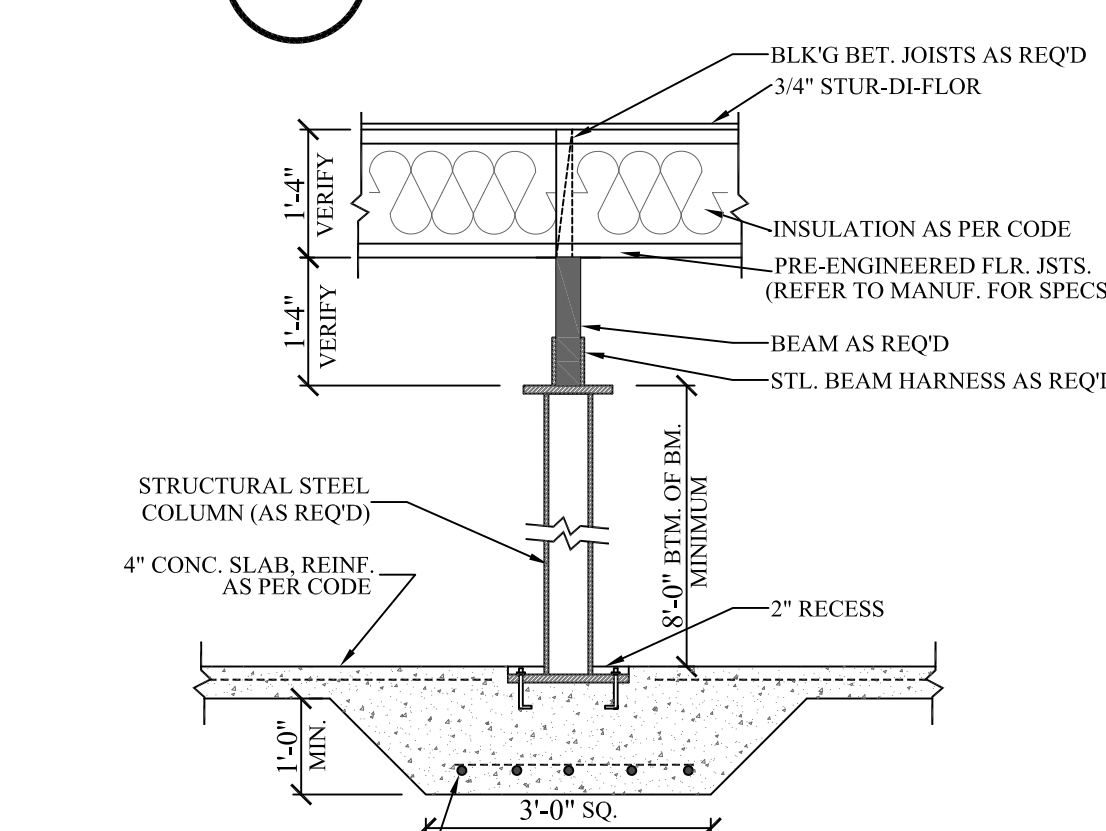
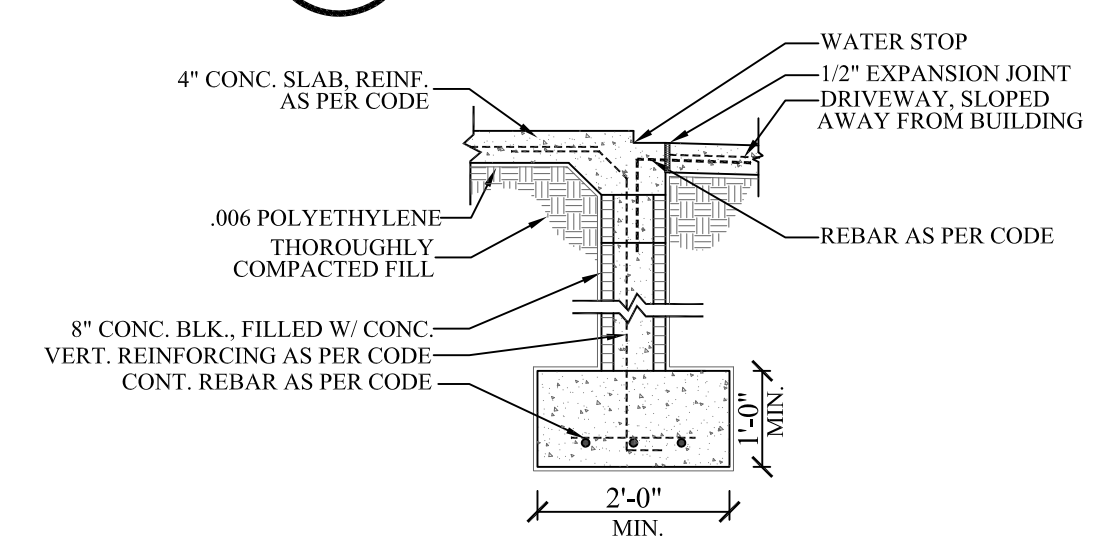
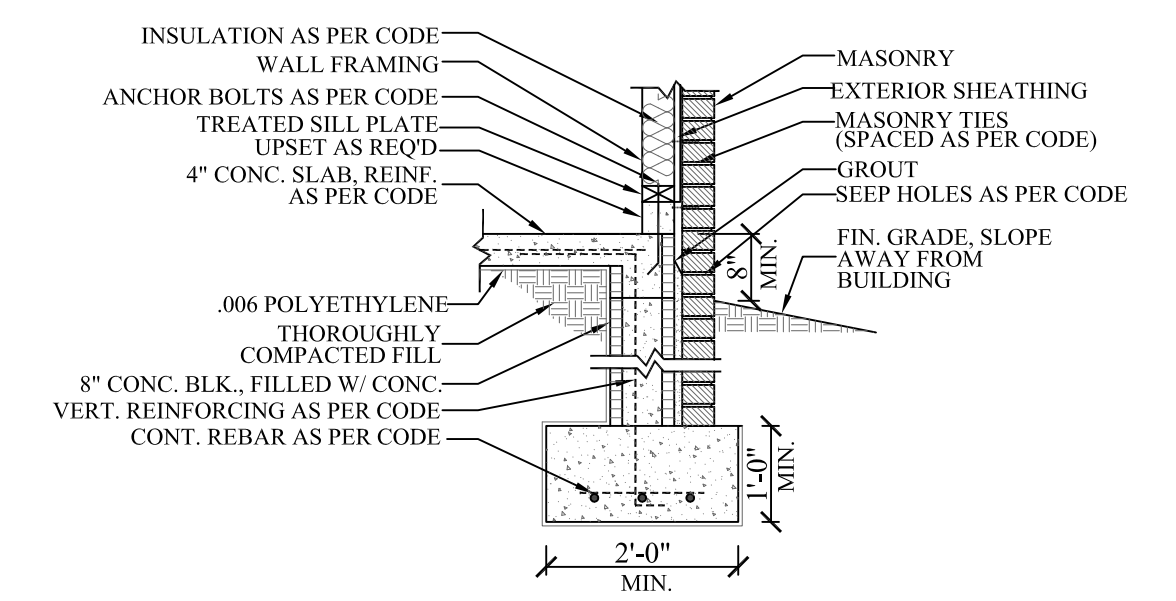
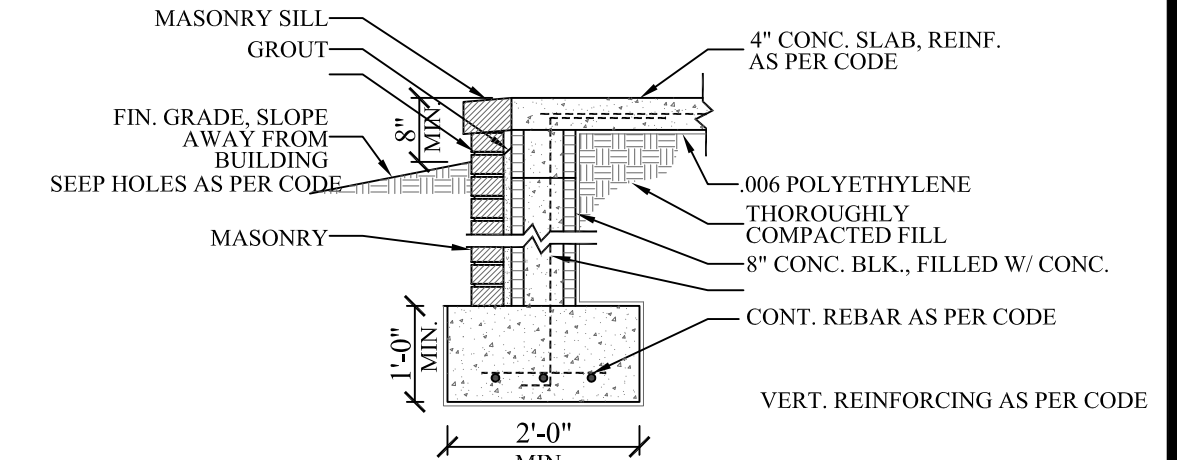
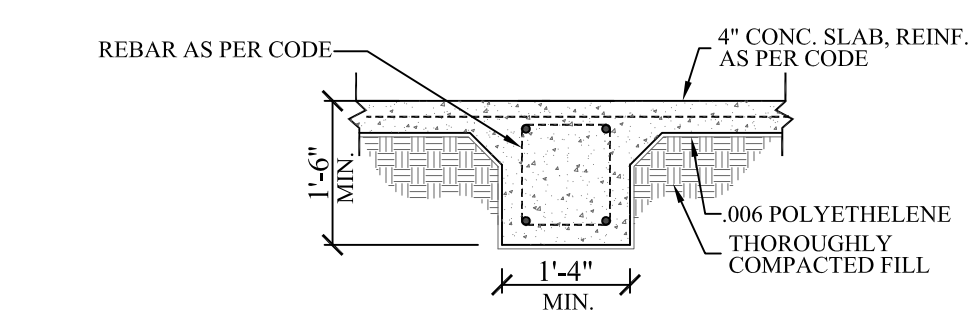
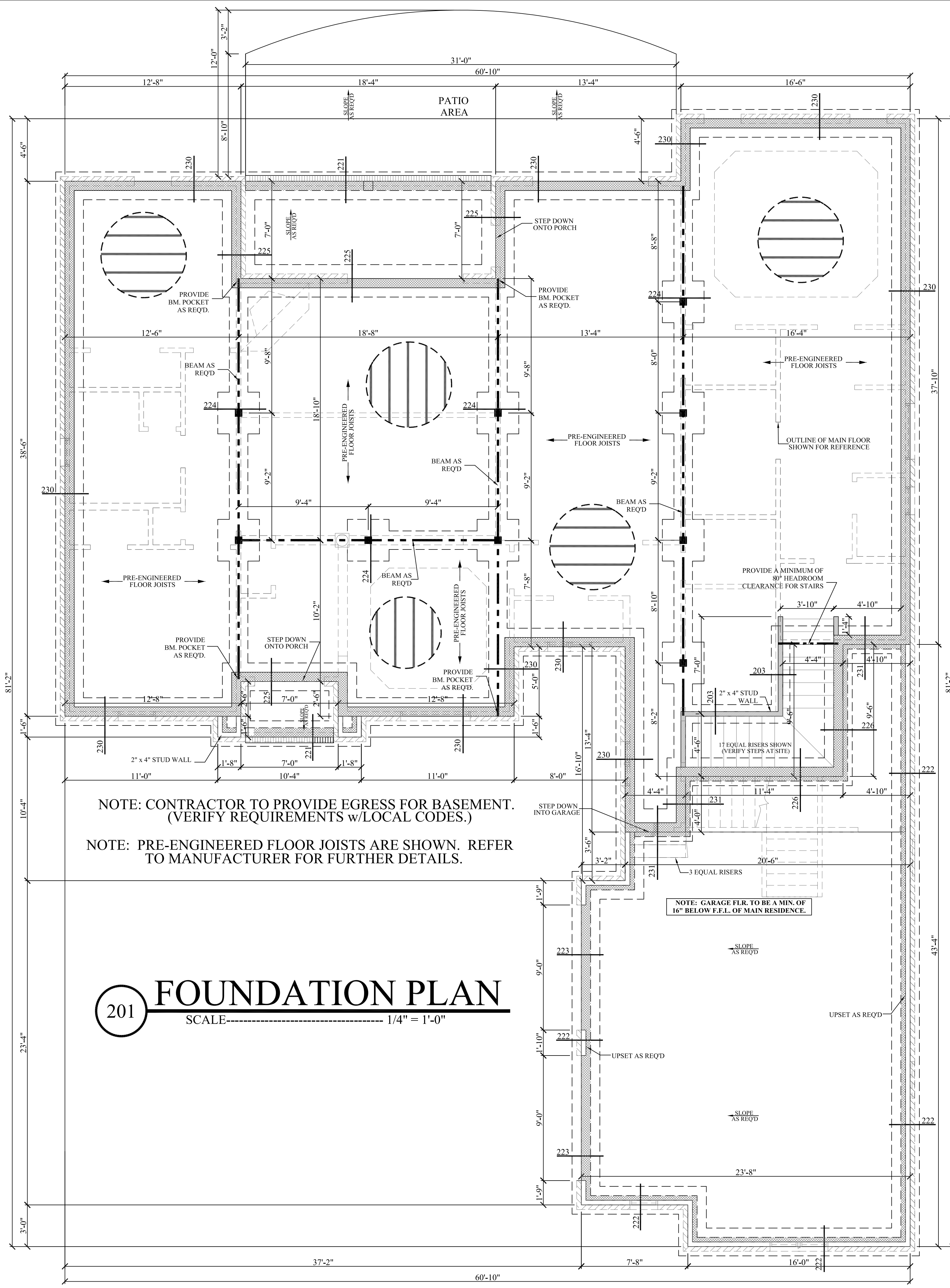
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Date: 05/02/07

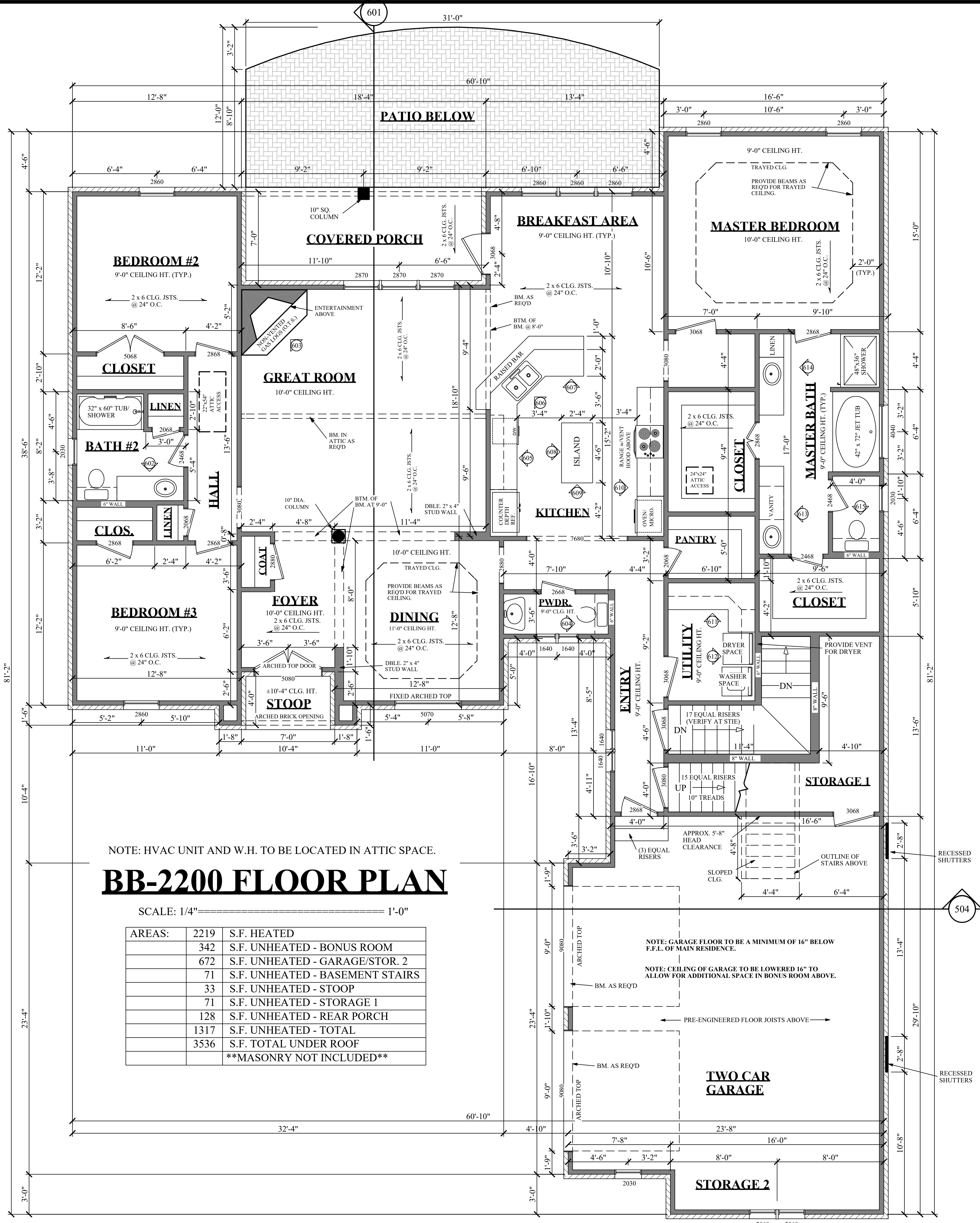
Drawn By:

SHEET NUMBER

1



- BASEMENT FOUNDATION NOTES:**
1. ALL FOOTING SIZES AND LOCATIONS TO BE VERIFIED BY A LICENSED STRUCTURAL ENGINEER.
 2. CONTRACTOR TO ADAPT PLANS AS REQUIRED TO MEET ALL APPLICABLE CODES AT SITE.
 3. CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH FLOOR PLAN PRIOR TO CONSTRUCTION AND MAKE ANY NECESSARY ADJUSTMENTS.
 4. CONTRACTOR TO PROVIDE WATERPROOFING AS REQ'D TO MEET ALL APPLICABLE CODES AND TYPICAL BUILDING PRACTICES.
 5. CONCRETE SLABS TO BE 4" (3000 psi MIN.), REINFORCED AS PER CODE OR AS DETERMINED BY LICENSED ENGINEER.
 6. CONTRACTOR TO PROVIDE ADEQUATE DRAINAGE BASED ON EXISTING SITE CONDITIONS. VERIFY w/LOCAL CODES.
 7. REFER TO FLOOR JOIST MANUFACTURER FOR JOIST SIZING AND SPACING, CROSS BRACING REQUIREMENTS, AND BEAM SIZES.
 8. PROVIDE DOUBLE JOISTS UNDER ALL WALLS RUNNING PARALLEL TO FLOOR JOISTS.



BB-2200 FLOOR PLAN

SCALE: 1/4" = 1'-0"

AREAS:	2219	S.F. HEATED
	342	S.F. UNHEATED - BONUS ROOM
	672	S.F. UNHEATED - GARAGE/STOR. 2
	71	S.F. UNHEATED - BASEMENT STAIRS
	33	S.F. UNHEATED - STOOP
	71	S.F. UNHEATED - STORAGE 1
	128	S.F. UNHEATED - REAR PORCH
	1317	S.F. UNHEATED - TOTAL
	3536	S.F. TOTAL UNDER ROOF
		MASONRY NOT INCLUDED

CODE DISCLAIMER:

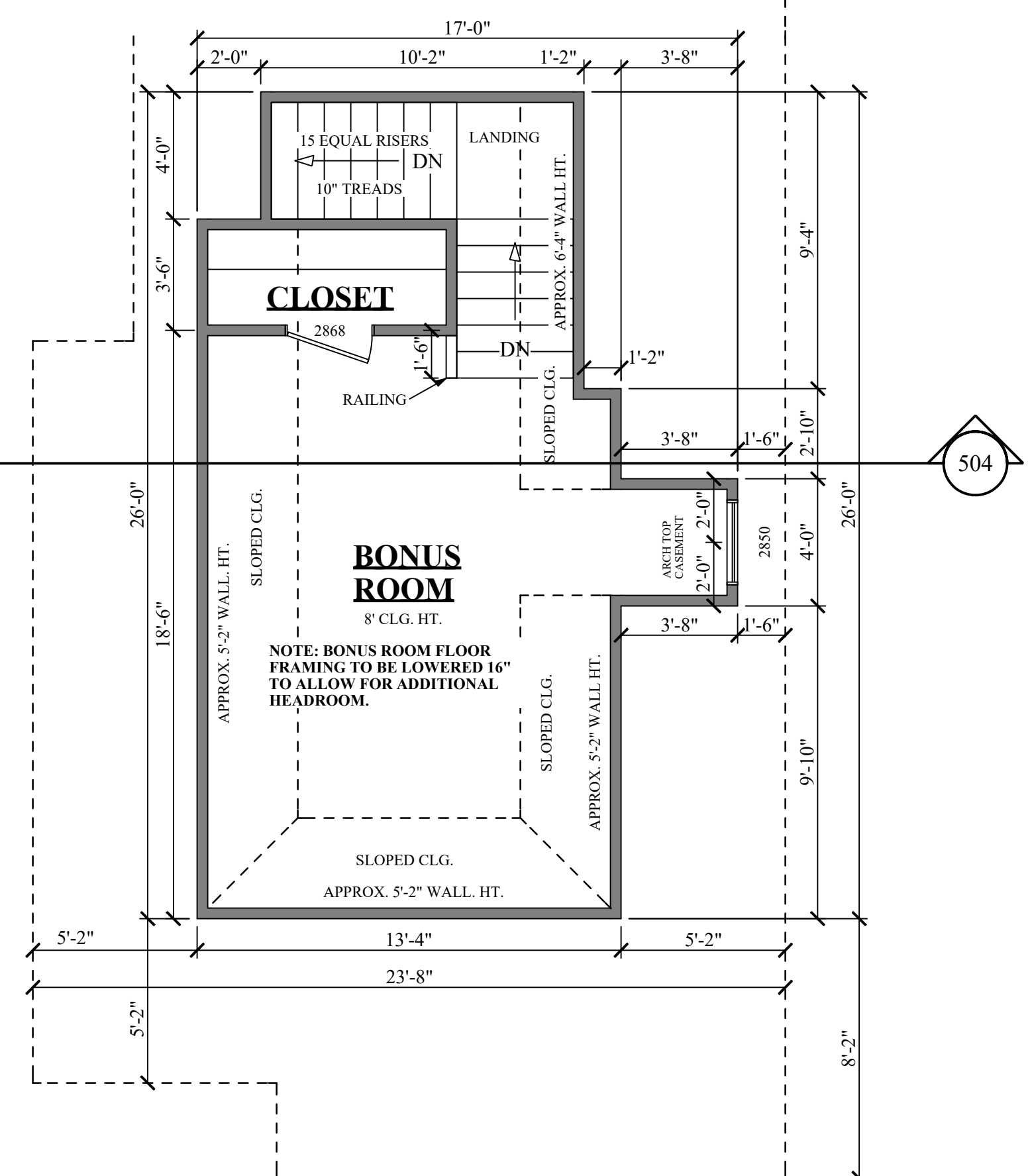
1. THESE PLANS WERE DESIGNED TO MEET IRC 2003 AT THE TIME OF THEIR CREATION AND MORE SPECIFICALLY THE MINIMAL LOCAL CODES OF THE SOUTH MISSISSIPPI AREA. IT IS HIGHLY RECOMMENDED THAT THESE PLANS BE REVIEWED BY A LOCAL STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.
2. BEAMS AND FLOOR JOISTS ARE NOT SIZED DUE TO THE MANY GEOGRAPHIC LOCATIONS THESE PLANS ARE SOLD. THESE ITEMS SHALL BE SIZED BY A LOCAL ENGINEER OR MANUFACTURER.
3. ALL CEILING & FLOOR JOISTS (IF CONVENTIONAL FRAMING) SHOULD BE SIZED USING THE LATEST VERSION OF THE IRC OR APPLICABLE CODES AT SITE TO MEET THE LOCAL REQUIREMENTS SUCH AS SNOW LOADS AND OTHER FACTORS. THE CEILING JOISTS SIZES LABELED (IF PRESENT) WERE SIZED USING THE 2003 IRC AT THE TIME OF THEIR CREATION. THEY MUST BE VERIFIED AND MODIFIED AS REQUIRED TO MEET THE LATEST EDITION OF THE (IRC) INTERNATIONAL RESIDENTIAL CODE.
4. ALL FOUNDATIONS AND FOOTING DETAILS SHALL BE REVIEWED AND APPROVED BY A LOCAL ENGINEER.
5. CONTRACTOR SHALL PROVIDE ALL HIGH WIND STRAPPING AND ANCHOR BOLTS AS REQUIRED BY THE LOCAL CODE REQUIREMENTS AND THE LATEST VERSION OF THE IRC.

NOTES:

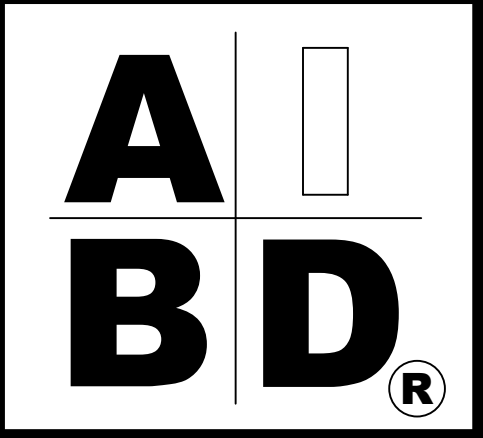
1. ALL DIMENSIONS & SITE CONDITIONS TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.
2. ALL FINISHES (INTERIOR & EXTERIOR) TO BE VERIFIED WITH OWNER PRIOR TO CONSTRUCTION.
3. VERIFY ALL DOOR AND WINDOW STYLES AND SIZES WITH OWNER PRIOR TO CONSTRUCTION. MANUFACTURER TO SUPPLY ALL ROUGH OPENING SIZES.
4. CONTRACTOR TO VERIFY ALL CLEARANCES OF ALL DOORS, WINDOWS AND OTHER ITEMS THAT ARE CRITICAL, PRIOR TO CONSTRUCTION.
5. THESE PLANS WERE DESIGNED TO MEET NATIONAL CODES AT THE TIME THEY WERE DRAWN. CONTRACTOR MUST ADAPT PLANS AS REQUIRED TO MEET ALL APPLICABLE CODES AT SITE AT THE CURRENT TIME.
6. ALL BEAMS TO BE SIZED BY A LICENSED STRUCTURAL ENGINEER.
7. PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 36 INCHES IN HEIGHT. OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 34 INCHES IN HEIGHT MEASURED VERTICALLY FROM THE NOSING OF THE TREADS. IRC 2003, R312.1
8. PORCHES AND DECKS WHICH ARE ENCLOSED WITH INSECT SCREENING SHALL BE PROVIDED WITH GUARDS WHERE THE WALKING SURFACE IS LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW. IRC 2003, R312.1
9. APPLIANCES IN ATTICS. ATTICS CONTAINING APPLIANCES REQUIRING ACCESS SHALL BE PROVIDED WITH AN OPENING AND A CLEAR AND UNOBSTRUCTED PASSAGEWAY LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE, BUT NOT LESS THAN 30 INCHES LONG AND 22 INCHES WIDE AND NOT MORE THAN 20 FEET IN LENGTH WHEN MEASURED ALONG THE CENTERLINE OF THE PASSAGEWAY FROM THE OPENING TO THE APPLIANCE. THE PASSAGEWAY SHALL HAVE CONTINUOUS SOLID FLOORING IN ACCORDANCE WITH IRC 2003 CHAPTER 5 NOT LESS THAN 24 INCHES WIDE. A LEVEL SERVICE SPACE AT LEAST 30 INCHES DEEP AND 30 INCHES WIDE SHALL BE PRESENT ALONG ALL SIDES OF THE APPLIANCE WHERE ACCESS IS REQUIRED. THE CLEAR ACCESS OPENING DIMENSIONS SHALL BE A MINIMUM OF 20 INCHES BY 30 INCHES, WHERE SUCH DIMENSIONS ARE LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE. EXCEPTION: THE PASSAGEWAY AND LEVEL SERVICE SPACE ARE NOT REQUIRED WHERE THE APPLIANCE IS CAPABLE OF BEING SERVICED AND REMOVED THROUGH THE REQUIRED OPENING. IRC 2003, M1305.1.3
10. ALL SLEEPING ROOMS TO HAVE AN EXTERIOR ACCESS THROUGH A DOOR OR WINDOW WITH A MINIMUM OF 5.7 SQUARE FEET NET CLEAR OPENING AS PER IRC 2003 R310.1.1.
11. ALL RETURN AIR GRILLS ARE NOT TO BE LOCATED WITHIN 10 FEET OF ANY COMBUSTIBLE APPLIANCES.
12. ALL SQUARE FOOTAGE MEASUREMENTS ARE APPROXIMATE AND MAY DIFFER FROM ACTUAL CONSTRUCTED RESIDENCE OR BUILDING.

BB-2200 BONUS FLOOR PLAN

SCALE: 1/4" = 1'-0"



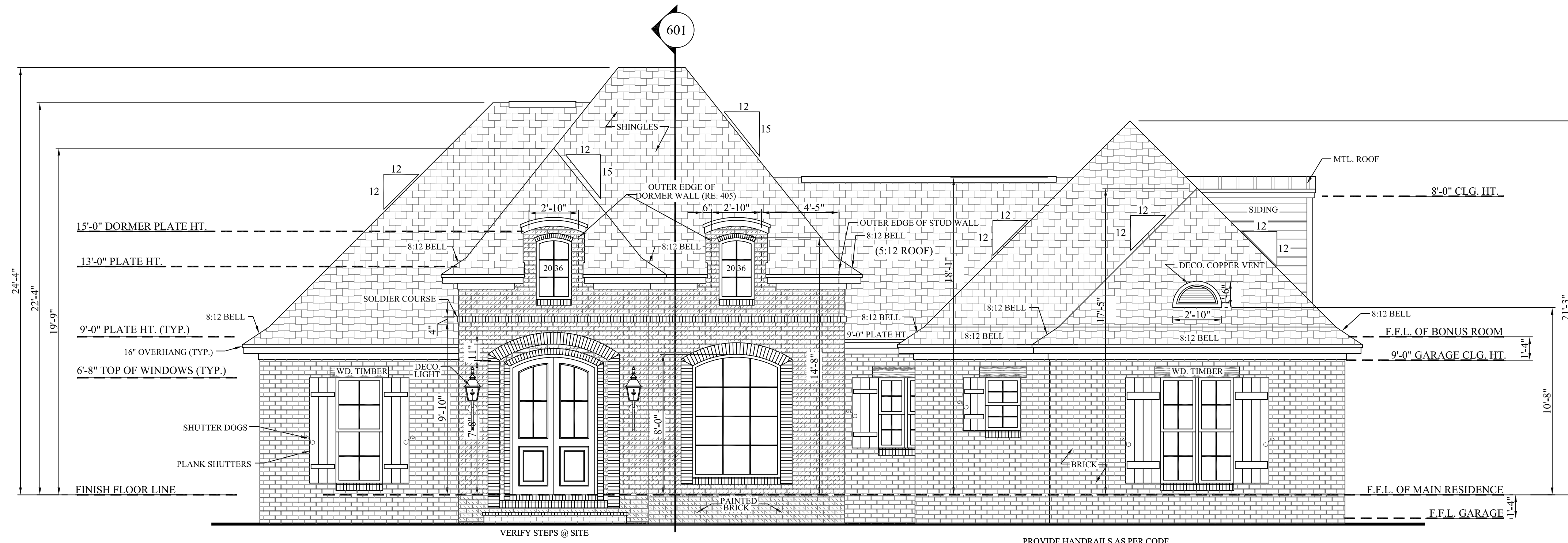
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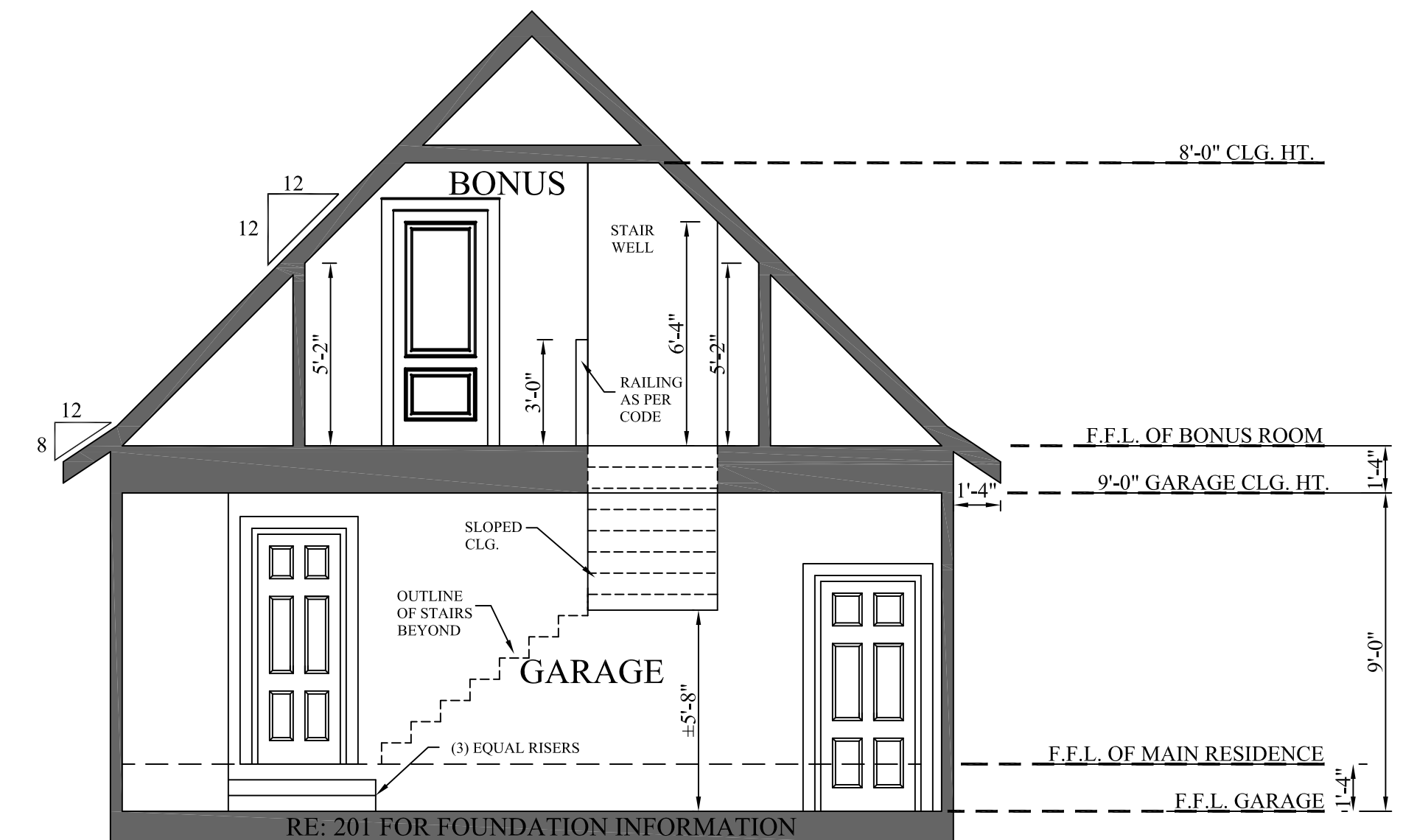
Plan ID:
BB-2200

Date: 05/02/07
 Drawn By: J.L.B.

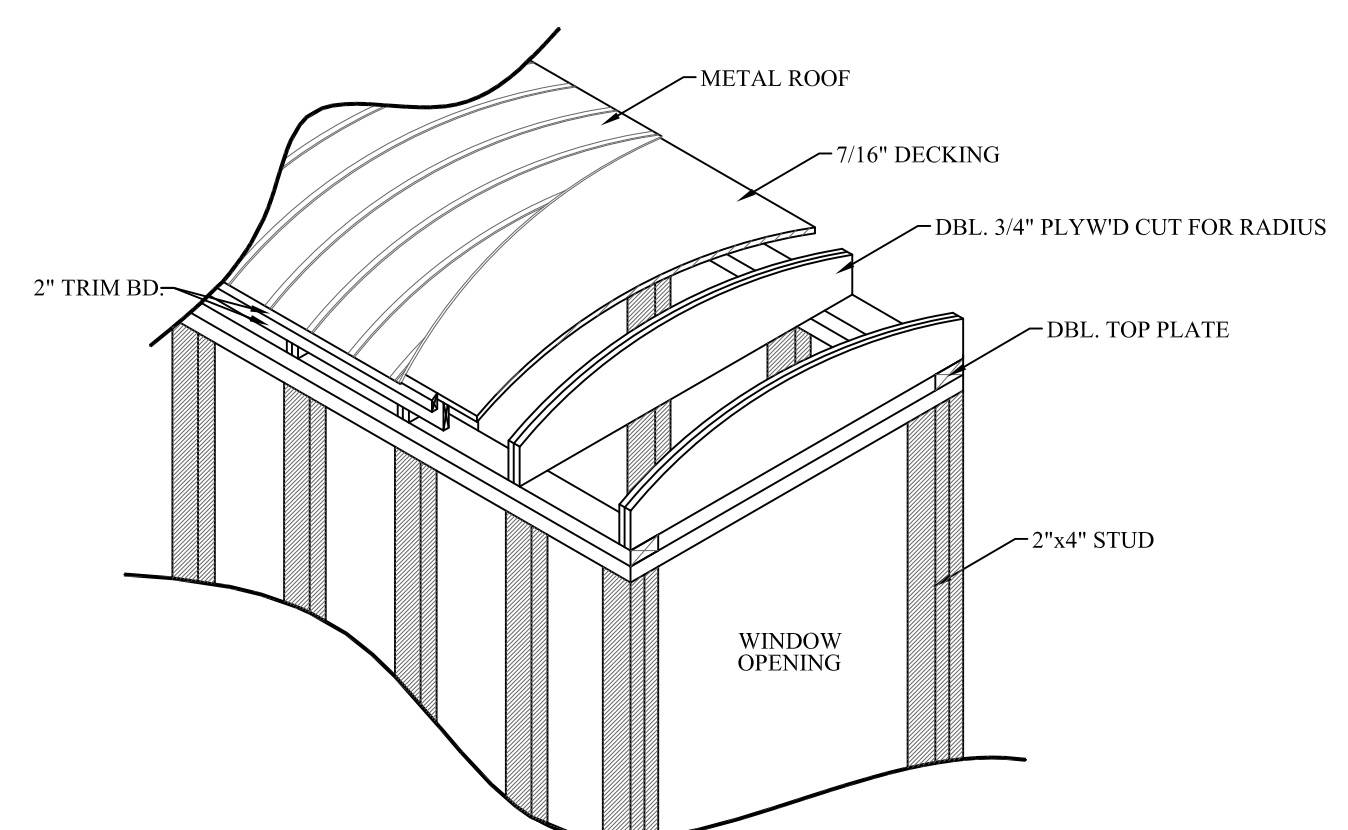
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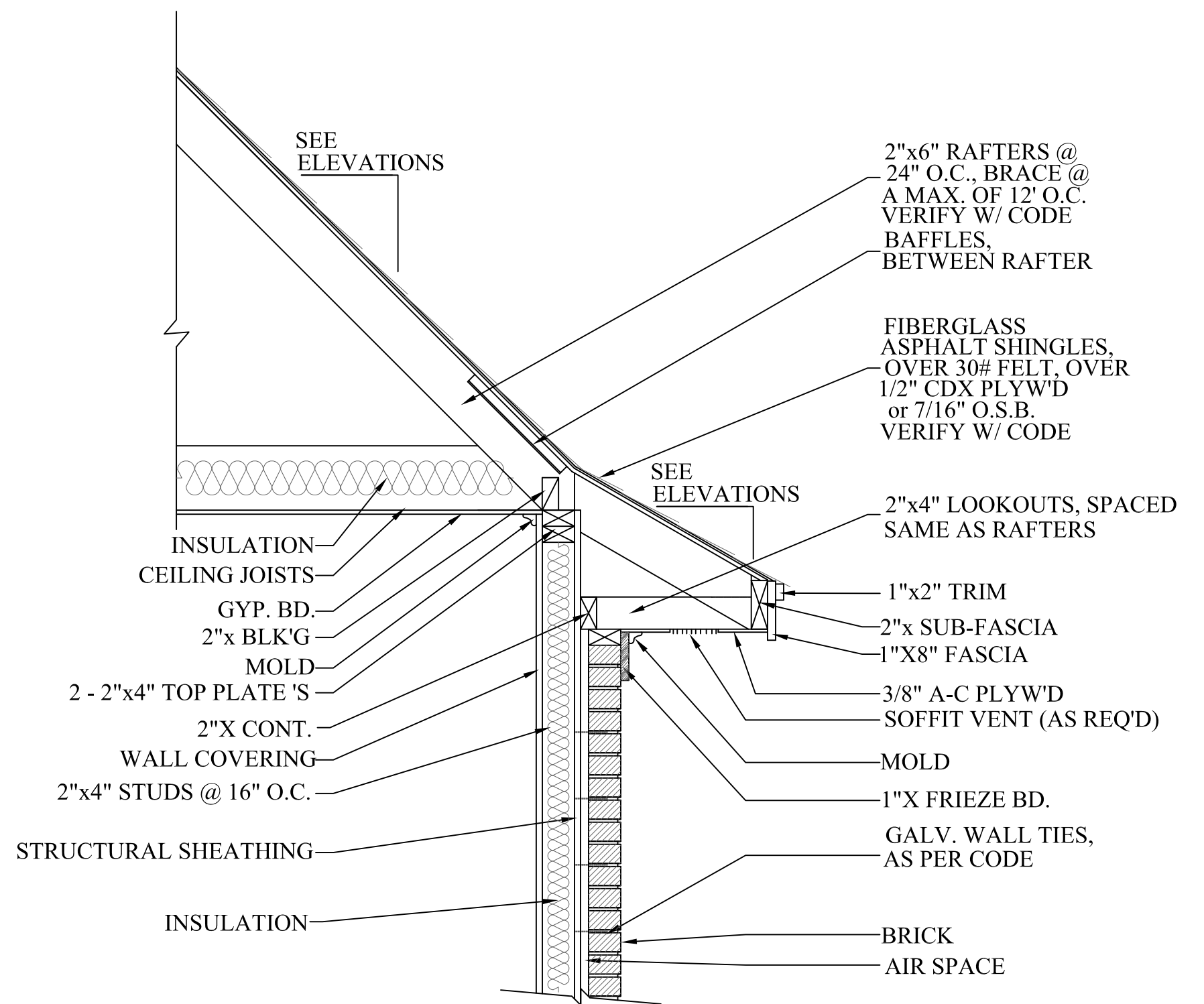
401 FRONT ELEVATION
 SCALE----- 1/4" = 1'-0"



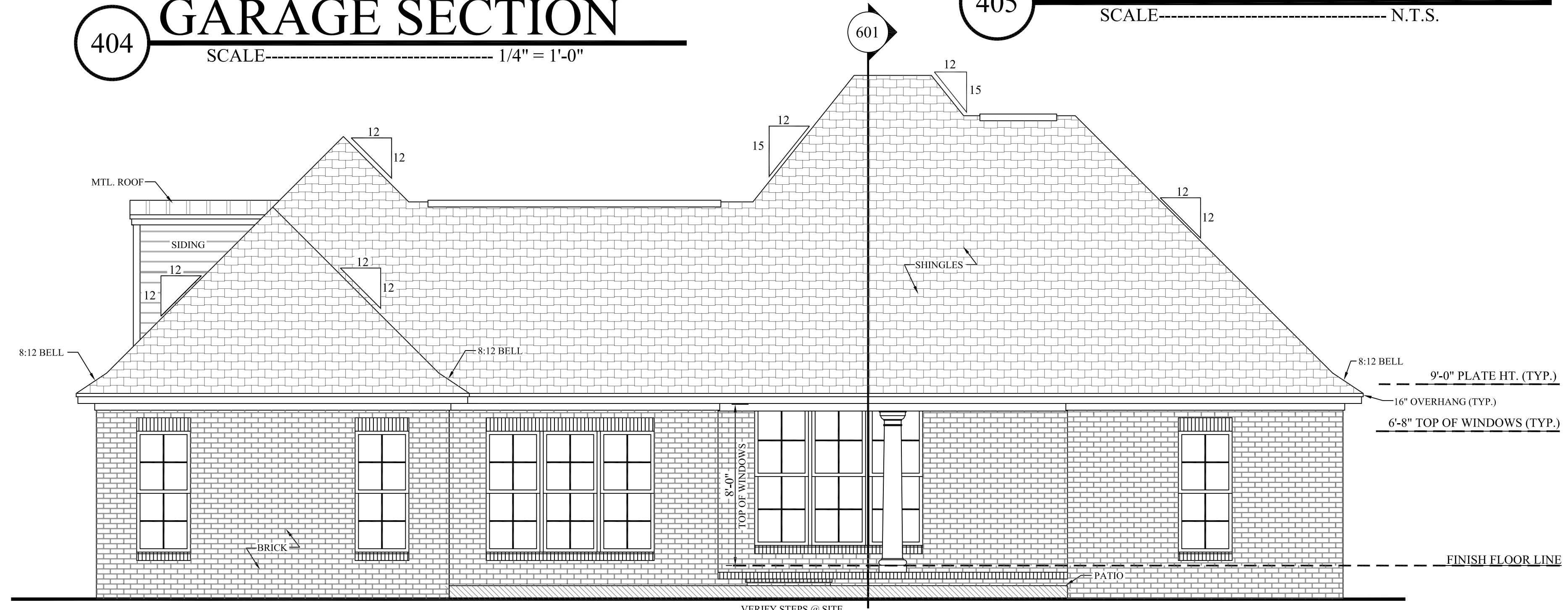
404 GARAGE SECTION
 SCALE----- 1/4" = 1'-0"



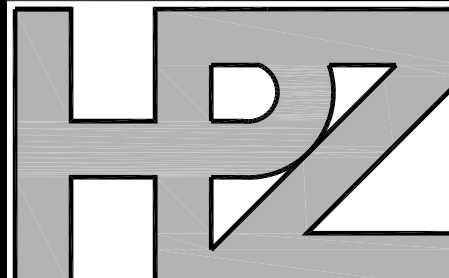
405 DORMER SECTION
 SCALE----- N.T.S.



403 DUAL PITCH CORNICE DETAIL
 SCALE----- 3/4" = 1'-0"

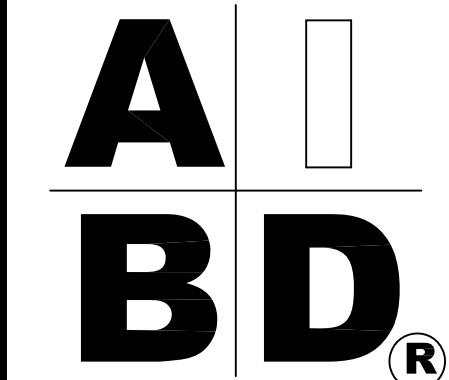


402 REAR ELEVATION
 SCALE----- 1/4" = 1'-0"



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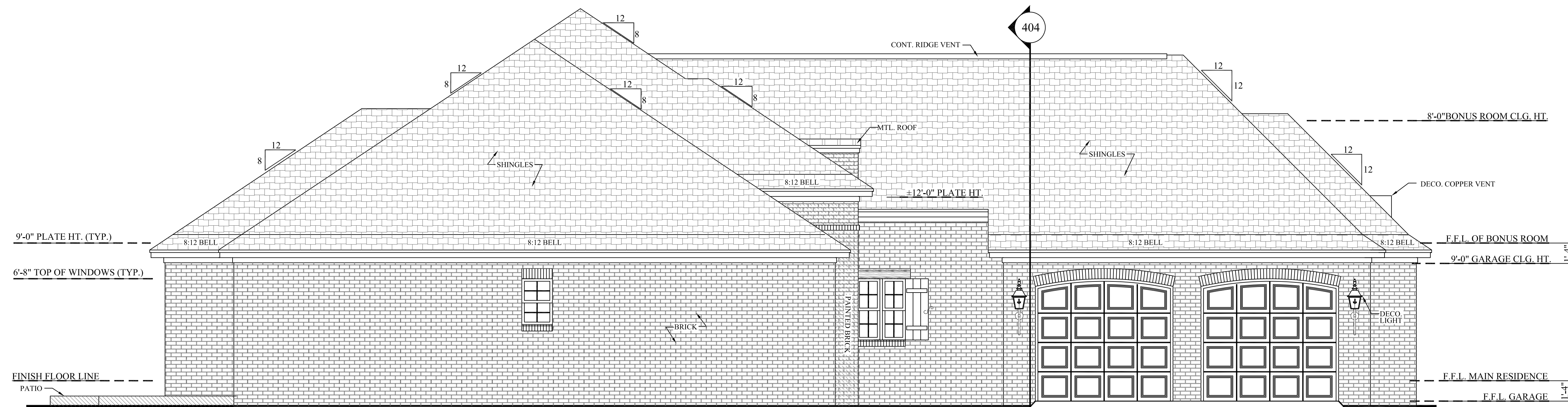


Plan ID:
BB-2200

Date: 05/02/07
Drawn By: C.T.B.

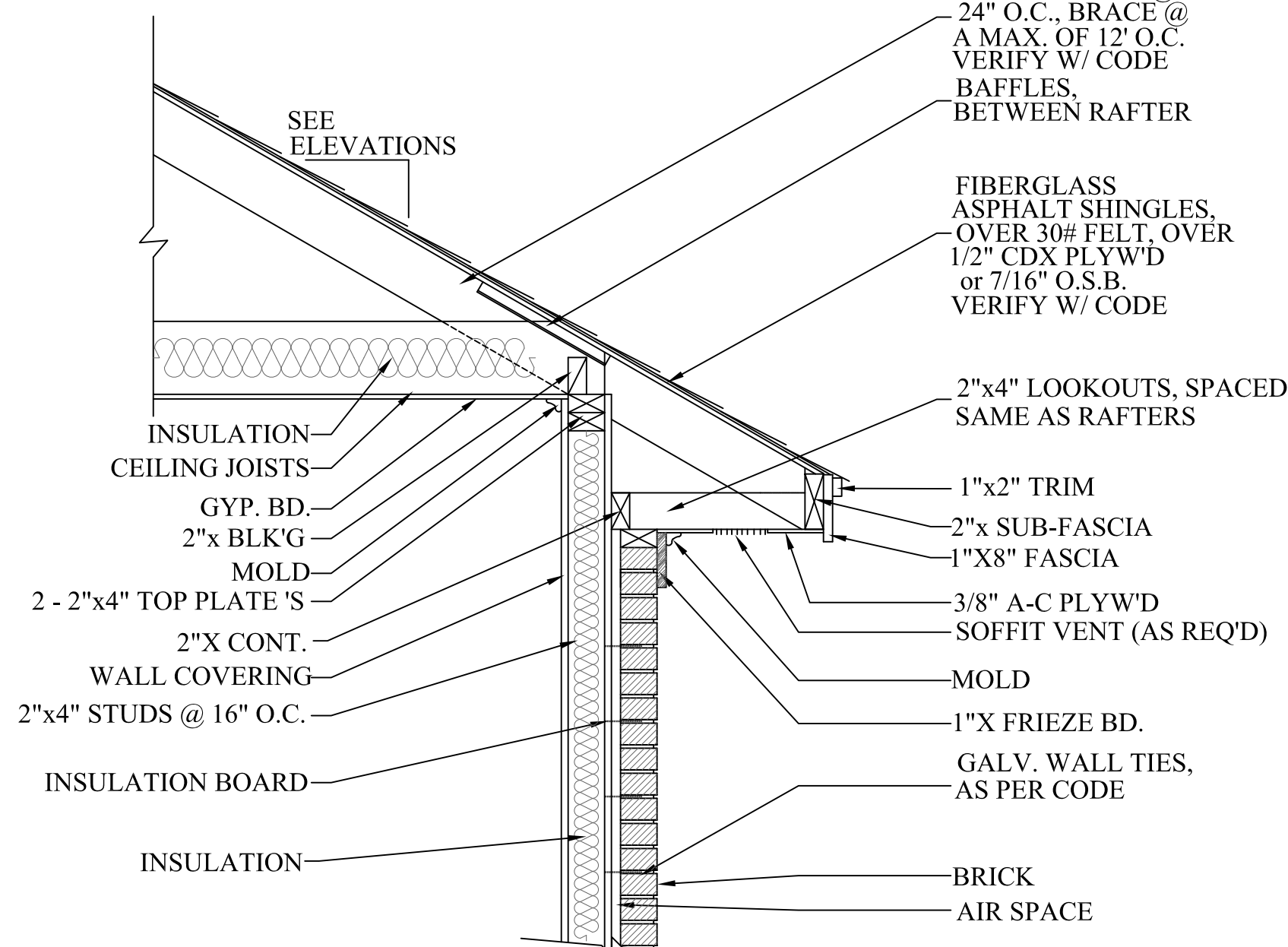
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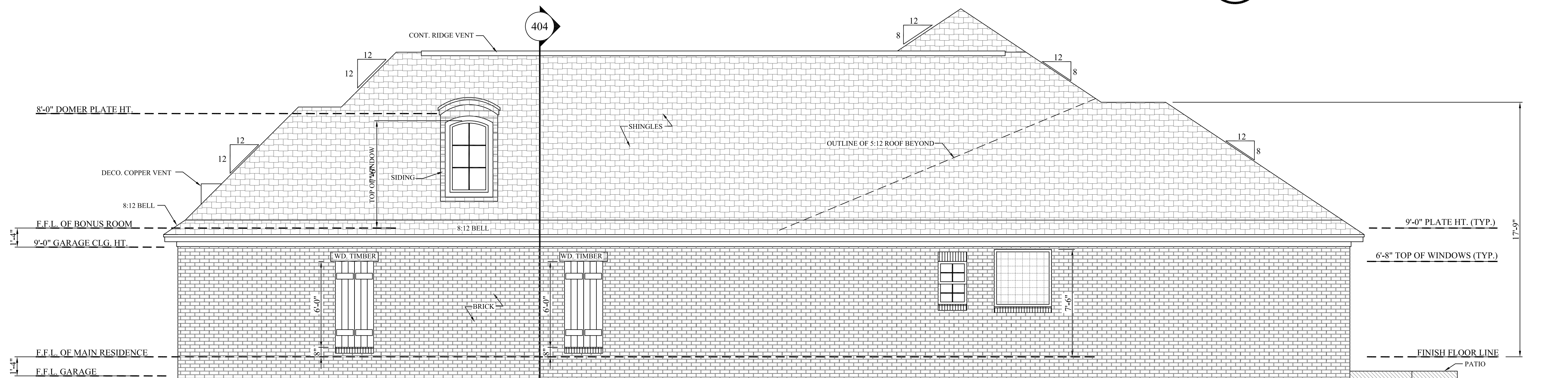


501 LEFT ELEVATION
SCALE-----1/4" = 1'-0"

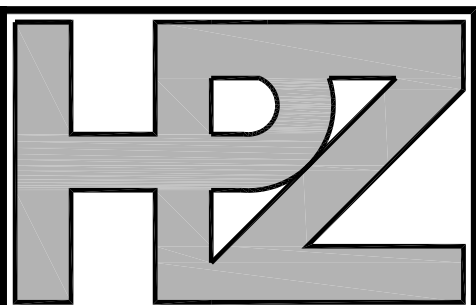
EXTERIOR ELEVATION NOTES:
1. CONTRACTOR TO VERIFY ALL WINDOW AND DOOR STYLES AND SIZES WITH OWNER PRIOR TO CONSTRUCTION.
2. PROVIDE STEPS AND GUARD RAILS AS PER CODE BASED ON SITE CONDITIONS.
3. GROUND LINES SHOWN FOR REFERENCE ONLY AND VARY DEPENDING ON SITE CONDITIONS.
4. ALL FINISH MATERIALS TO BE VERIFIED WITH OWNER PRIOR TO CONSTRUCTION.
5. REFER TO TYPICAL WALL DETAIL FOR FRAMING METHODS AND OTHER MISC. INFORMATION.



503 TYP. CORNICE DETAIL
SCALE-----3/4" = 1'-0"



502 RIGHT ELEVATION
SCALE-----1/4" = 1'-0"

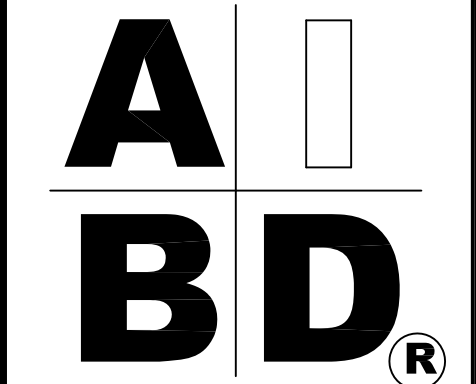


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House Plan Zone, LLC has exercised great care and effort in the development of these plans and the completion of these construction documents. However, the user assumes all responsibility for any damages, including structural failures resulting from errors, omissions or deficiencies in the design. House Plan Zone, LLC highly recommends that these plans be reviewed by a licensed structural engineer in the area of construction, other special conditions required by local building codes. All dimensions to be verified on site prior to construction. Foundation plan shall be verified by a licensed engineer prior to construction.



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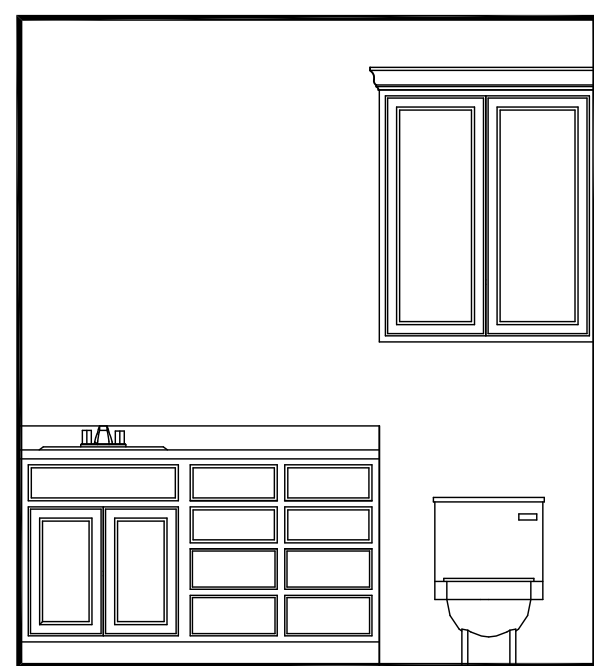
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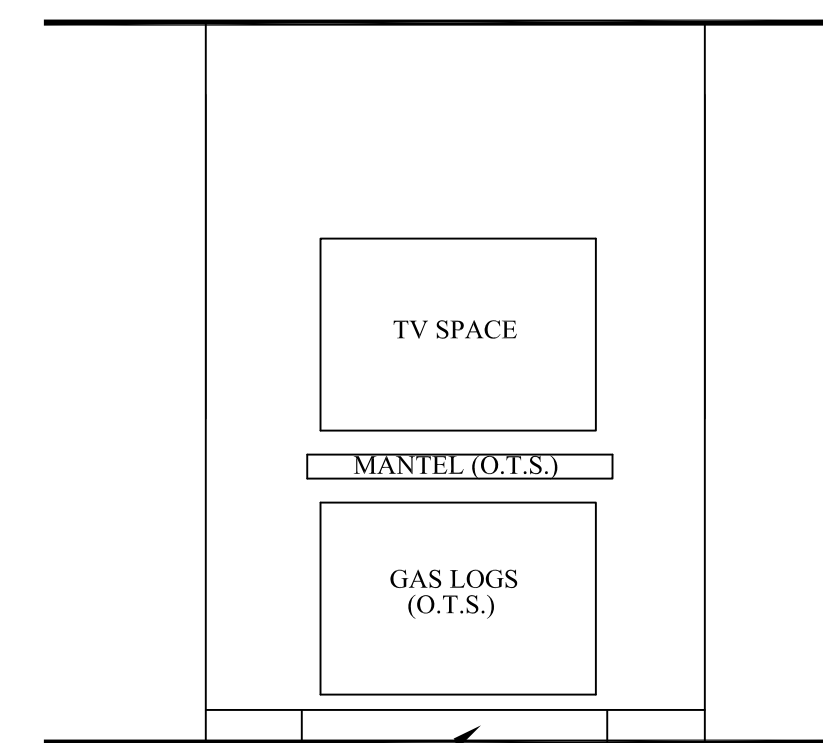
Drawn By: C.T.B.

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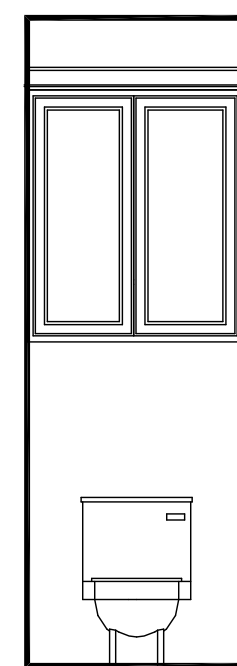
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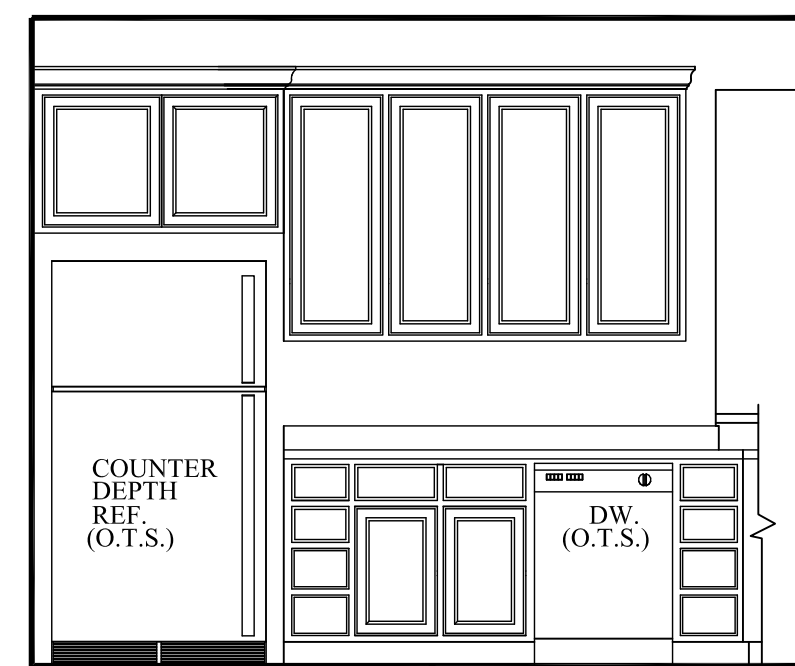
602 BATH 2
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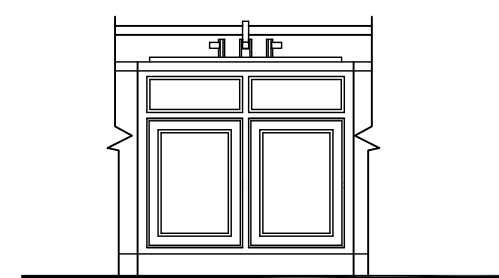
603 GREAT ROOM
SCALE: 3/8" = 1'-0"



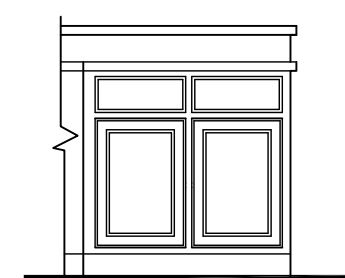
604 POWDER
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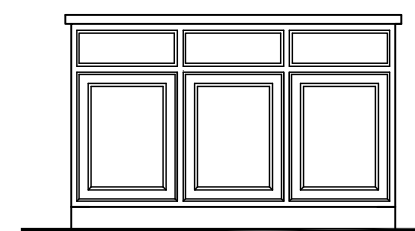
605 KITCHEN
SCALE: 3/8" = 1'-0"



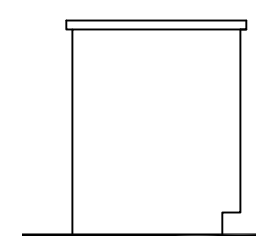
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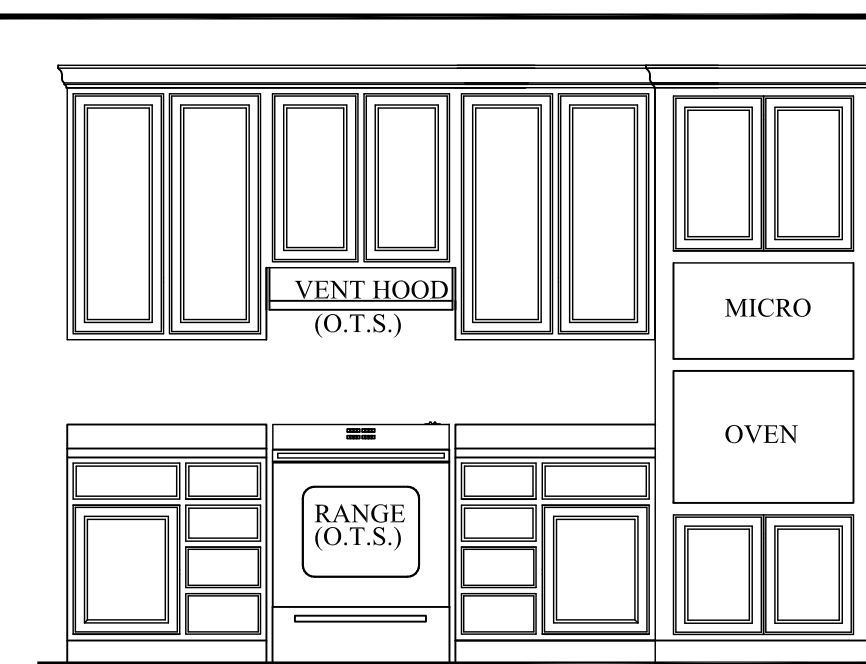
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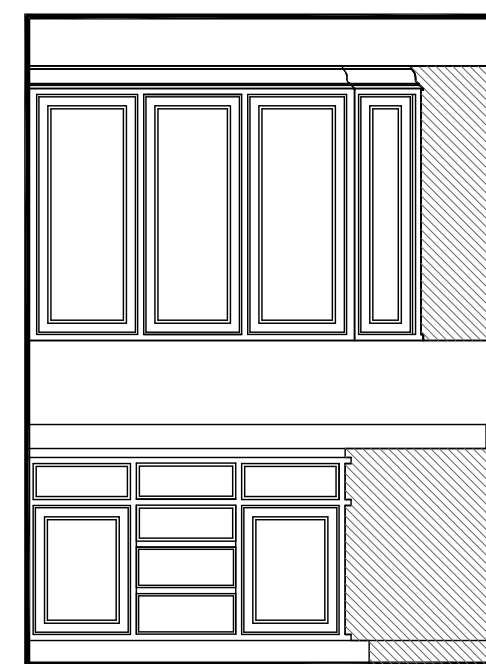
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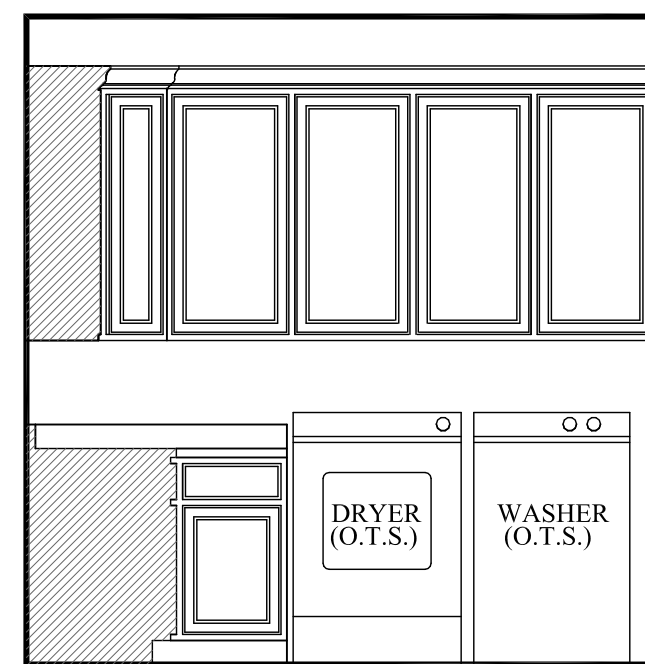
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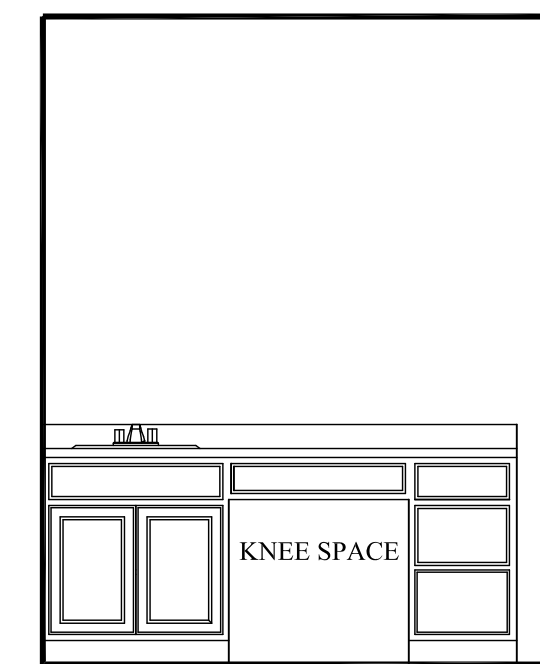
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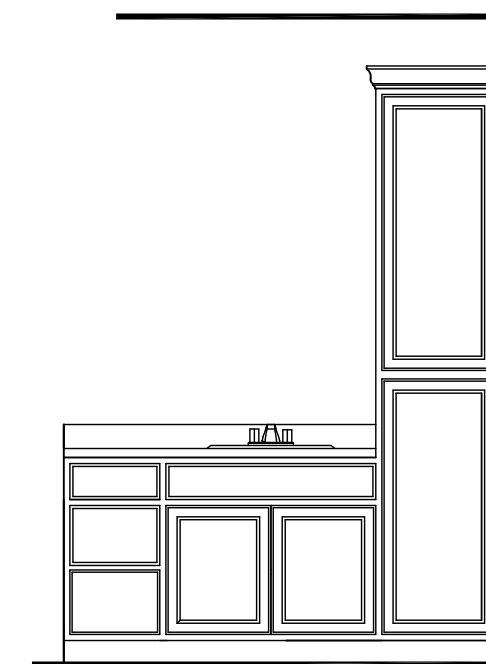
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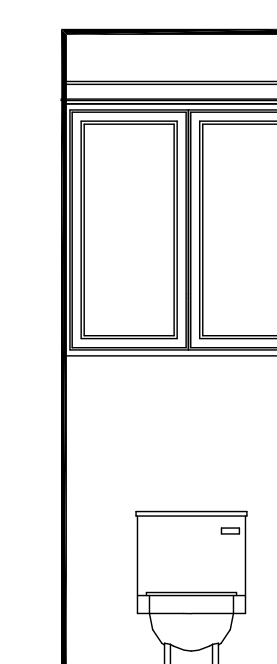
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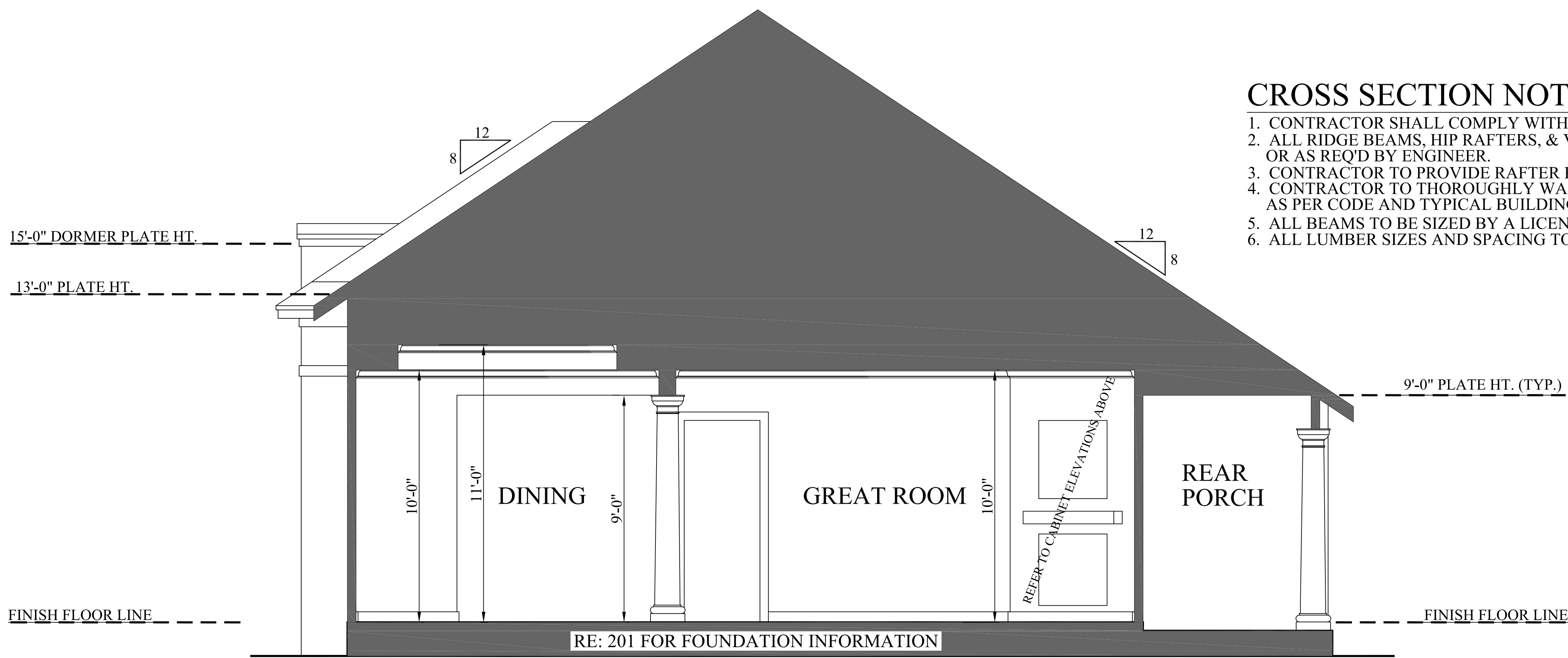
613 MASTER BATH
SCALE: 3/8" = 1'-0"



614 MASTER BATH
SCALE: 3/8" = 1'-0"



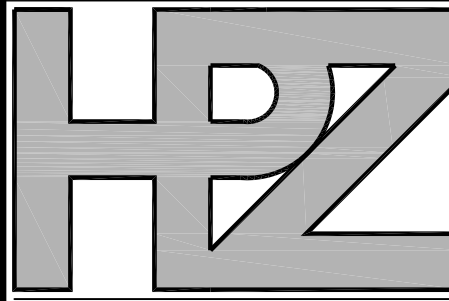
615 MASTER BATH
SCALE: 3/8" = 1'-0"



CROSS SECTION NOTES:

- 1. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AT SITE.
2. ALL RIDGE BEAMS, HIP RAFTERS, & VALLEY RAFTERS TO BE 2" x 10", OR AS REQ'D BY ENGINEER.
3. CONTRACTOR TO PROVIDE RAFTER BRACING TO MEET APPLICABLE CODES.
4. CONTRACTOR TO THOROUGHLY WATERPROOF ALL EXTERIOR INTERSECTIONS AS PER CODE AND TYPICAL BUILDING PRACTICES.
5. ALL BEAMS TO BE SIZED BY A LICENSED STRUCTURAL ENGINEER.
6. ALL LUMBER SIZES AND SPACING TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.

601 CROSS SECTION
SCALE: 3/8" = 1'-0"



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Plan ID:

BB-2200

Date: 05/02/07

Drawn By: C.T.B.

SHEET NUMBER

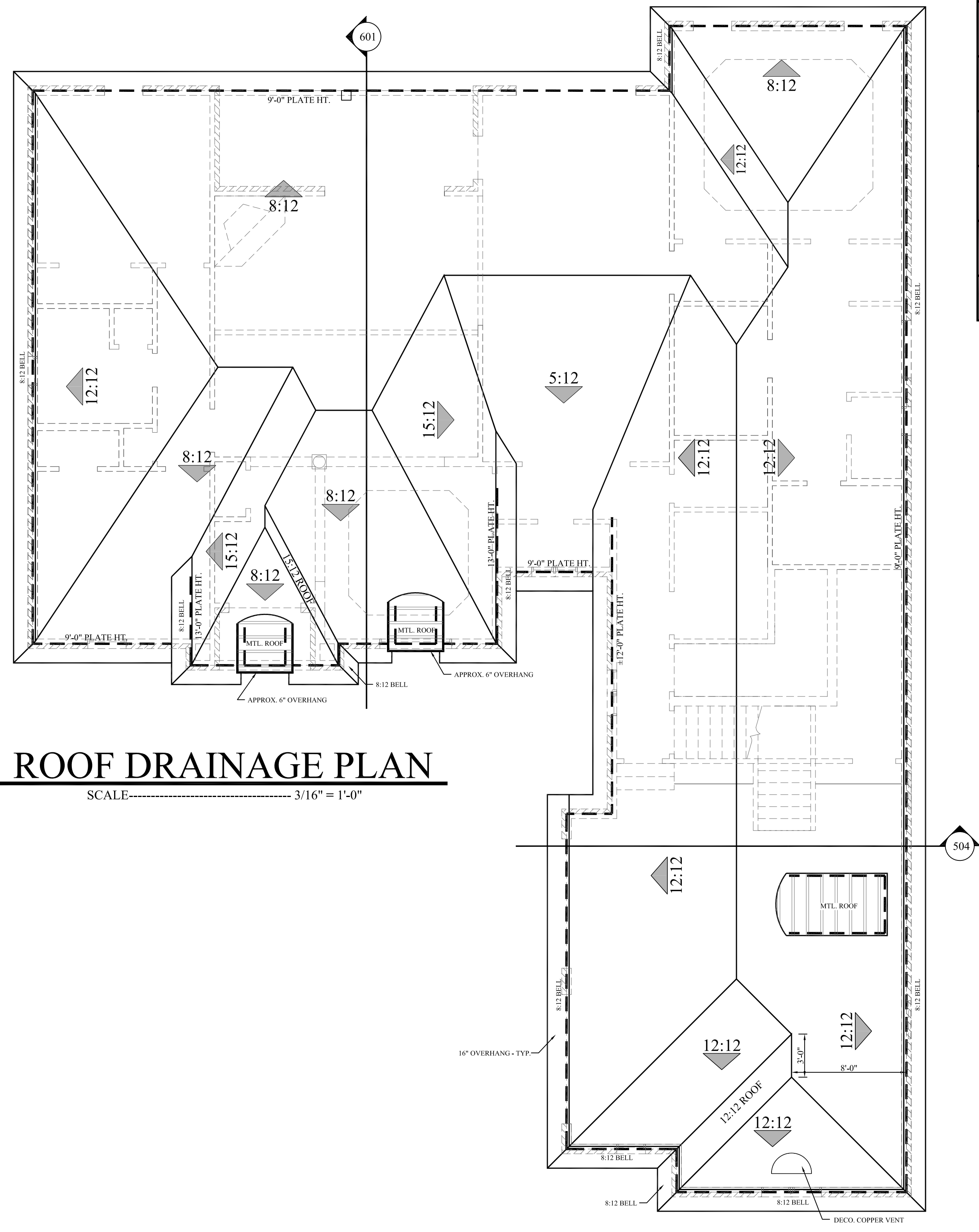
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RAFTER SPANS
TABLE R802.5.1(5) IRC 2003

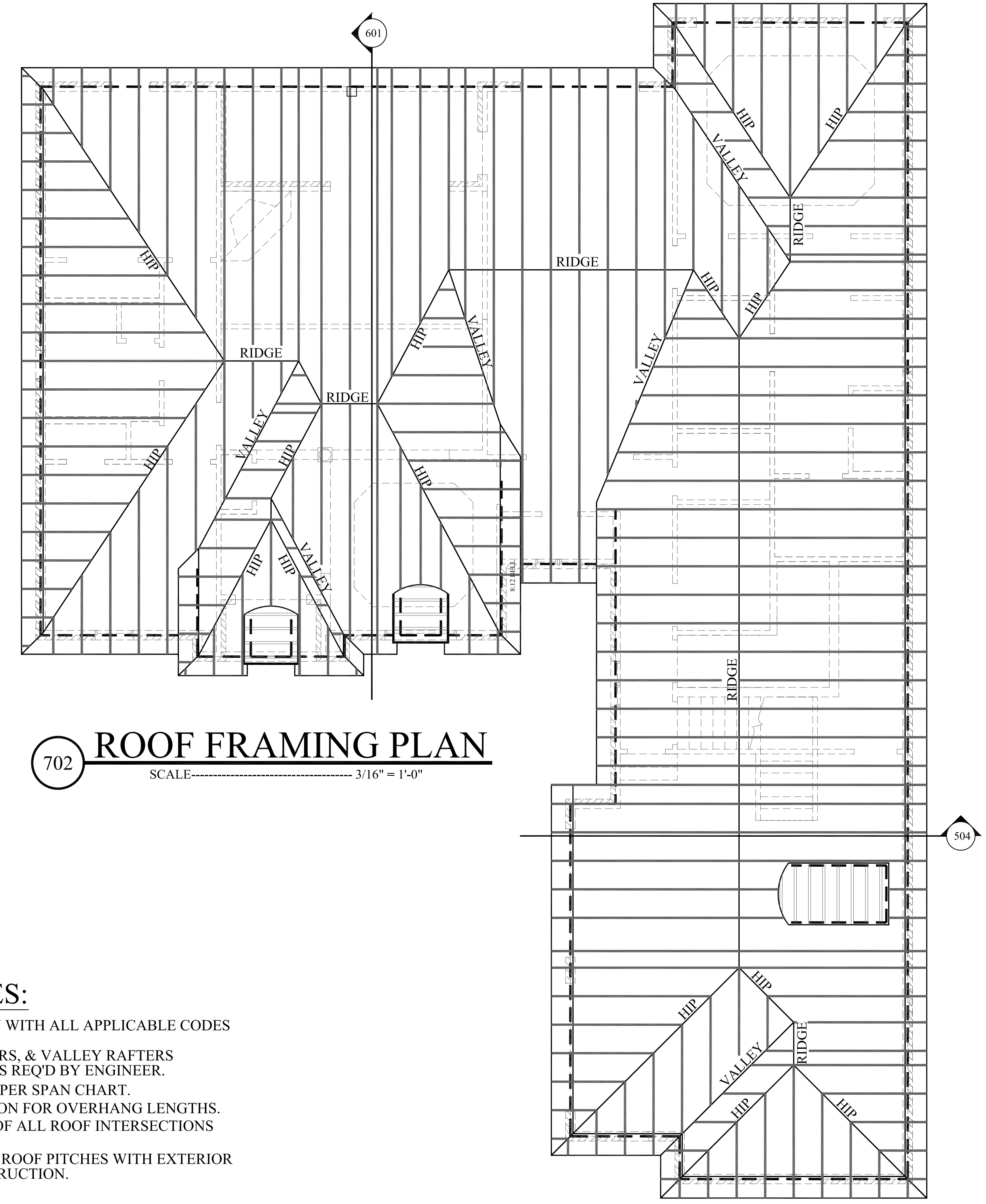
RAFTER SPANS FOR SOUTHERN PINE SPECIES
(GROUND SNOW LOAD=50psf, CEILING ATTACHED TO RAFTERS, L₂=240) DEAD LOAD = 10psf

SIZE	SPACING (INCHES)	SPANS (MAXIMUM RAFTER SPANS BETWEEN BRACING) (FT.-IN)
2 x 4	12.0	8-7
	16.0	7-10
	19.2	7-4
	24.0	6-10
2 x 6	12.0	13-6
	16.0	12-3
	19.2	11-5
	24.0	10-2
2 x 8	12.0	17-10
	16.0	16-2
	19.2	14-9
	24.0	13-2
2 x 10	12.0	22-3
	16.0	19-3
	19.2	17-7
	24.0	15-9
2 x 12	12.0	XXXXX
	16.0	22-7
	19.2	20-7
	24.0	18-5

REFER TO IRC 2003 OR APPLICABLE CODE FOR ADDITIONAL INFORMATION.



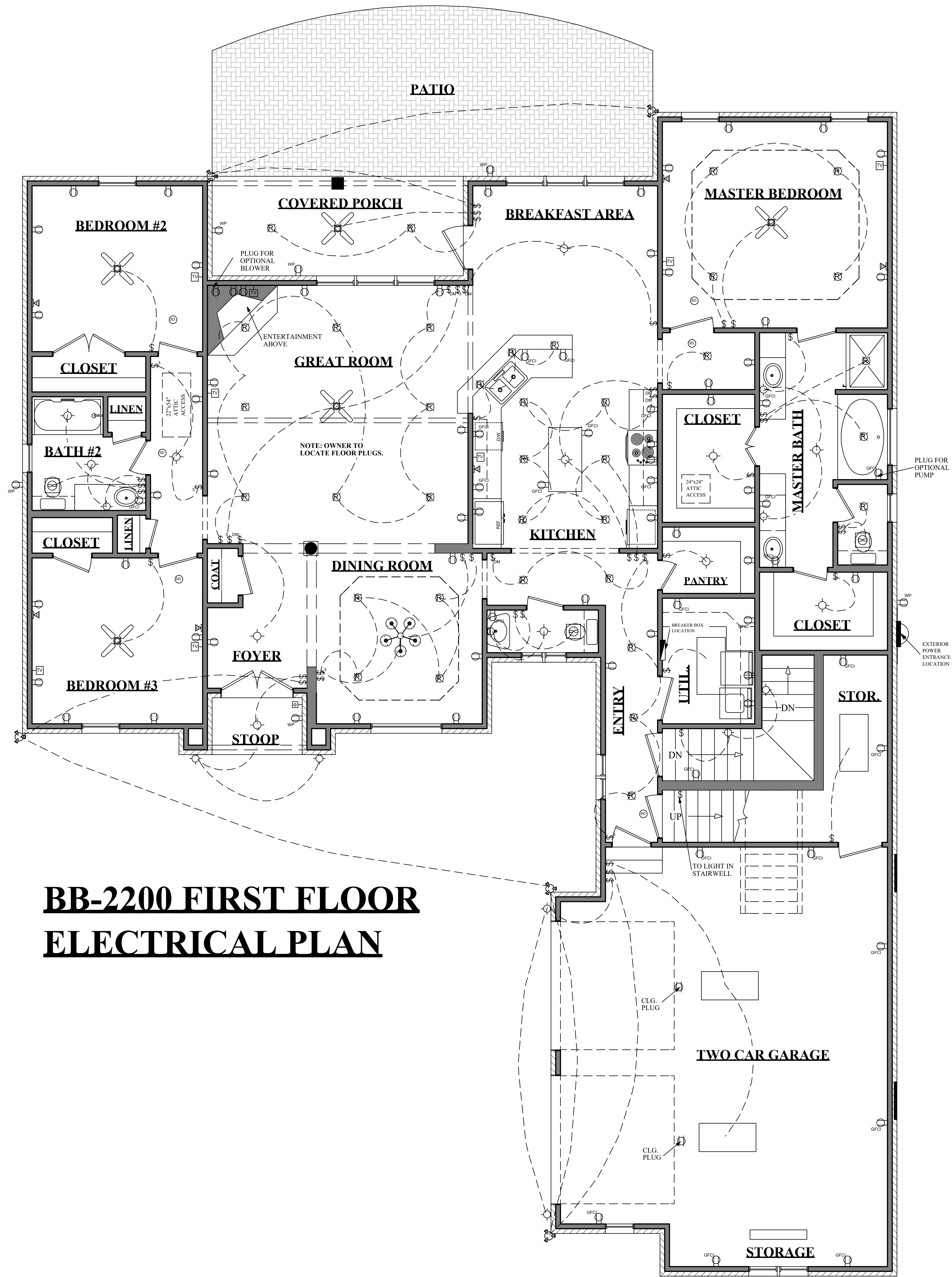
701 ROOF DRAINAGE PLAN
SCALE: 3/16" = 1'-0"



702 ROOF FRAMING PLAN
SCALE: 3/16" = 1'-0"

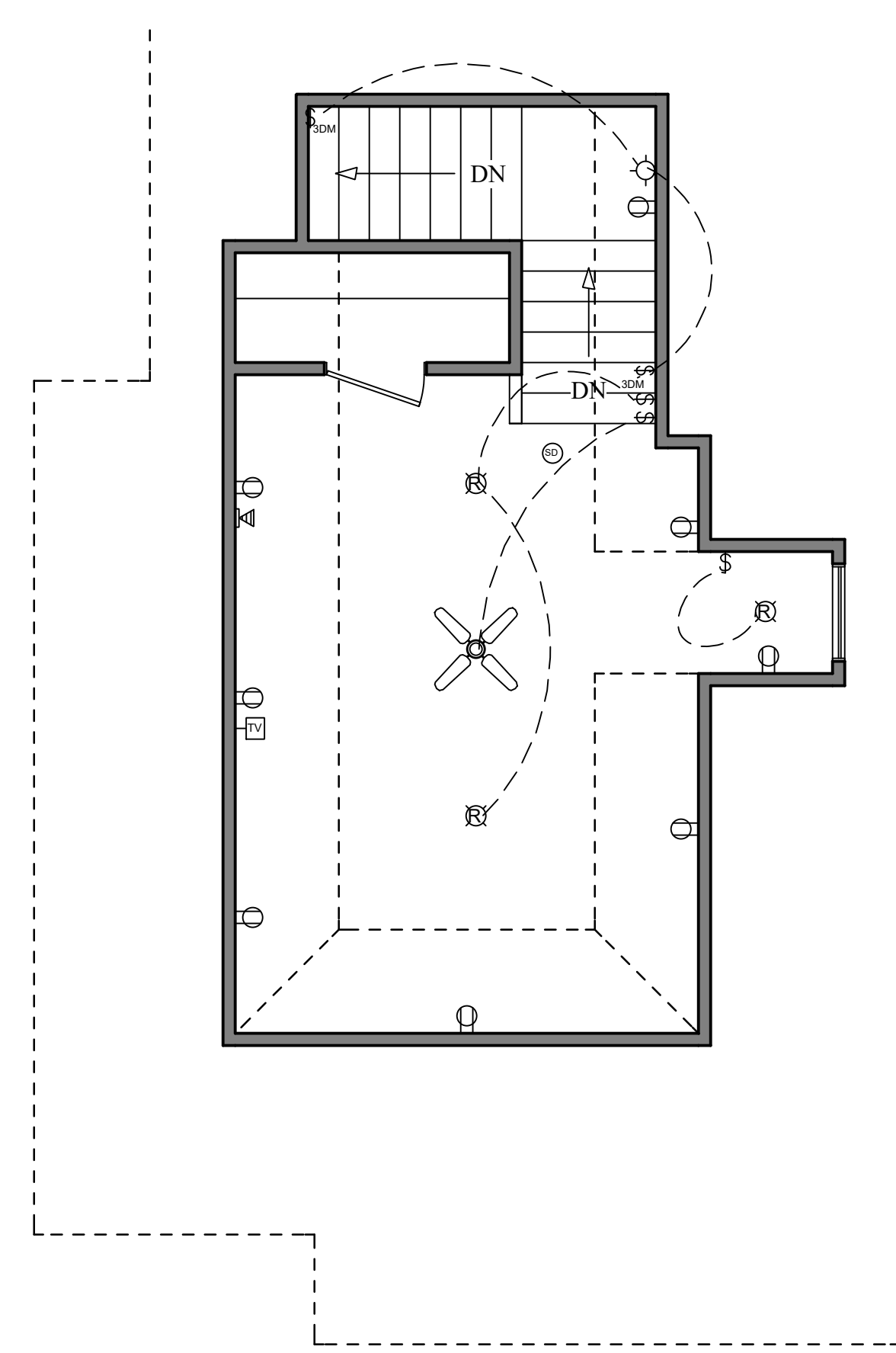
ROOF PLAN NOTES:

1. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AT SITE.
2. ALL RIDGE BEAMS, HIP RAFTERS, & VALLEY RAFTERS TO BE 2" X 10", No.2 S.Y.P. OR AS REQ'D BY ENGINEER.
3. ALL RAFTERS TO BE SIZED AS PER SPAN CHART.
4. REFER TO EXTERIOR ELEVATION FOR OVERHANG LENGTHS.
5. CONTRACTOR TO WATERPROOF ALL ROOF INTERSECTIONS AS PER CODE.
6. CONTRACTOR TO VERIFY ALL ROOF PITCHES WITH EXTERIOR ELEVATIONS PRIOR TO CONSTRUCTION.



**BB-2200 FIRST FLOOR
ELECTRICAL PLAN**

**BB-2200 BONUS
ELECTRICAL PLAN**



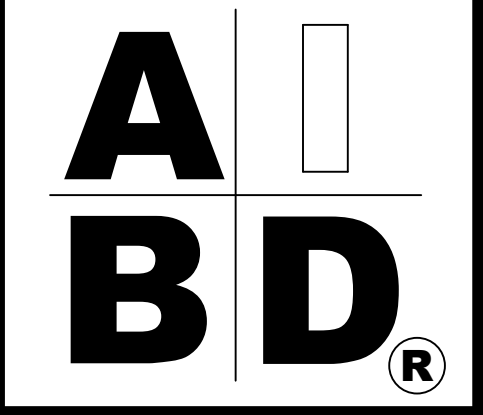
ELECTRICAL SYMBOLS LEGEND	
SYMBOL	DESCRIPTION
[Symbol]	110 VOLT OUTLET
[Symbol]	GROUND FAULT PROTECTED OUTLET
[Symbol]	WEATHERPROOF OUTLET
[Symbol]	220 VOLT RECEPTACLE
[Symbol]	FLOOR OUTLET (OWNER TO LOCATE)
[Symbol]	CEILING HUNG FIXTURE
[Symbol]	OVERHANG MOUNTED FLOODLIGHTS
[Symbol]	WALL MOUNTED FLOODLIGHTS
[Symbol]	RECESSED CEILING FIXTURE
[Symbol]	FLUORESCENT LIGHT
[Symbol]	CARBON MONOXIDE DETECTOR
[Symbol]	SMOKE DETECTOR
[Symbol]	SWITCH
[Symbol]	THREE WAY SWITCH
[Symbol]	FOUR WAY SWITCH
[Symbol]	DIMMER SWITCH (OWNER TO LOCATE)
[Symbol]	DOOR ACTIVATED SWITCH
[Symbol]	CATS NETWORKING JACK (OWNER TO LOCATE)
[Symbol]	TELEPHONE OUTLET (OWNER TO LOCATE)
[Symbol]	TELEVISION OUTLET (OWNER TO LOCATE)
[Symbol]	DOORBELL BUTTON (CONTRACTOR TO LOCATE)
[Symbol]	THERMOSTAT (CONTRACTOR TO LOCATE)
[Symbol]	CEILING EXHAUST FAN, VENT TO EXTERIOR
[Symbol]	CEILING EXHAUST FAN w/LIGHT, VENT TO EXT.
[Symbol]	AUDIO SPEAKERS
[Symbol]	CEILING FAN w/LIGHT
[Symbol]	TRACK LIGHTING (OWNER TO LOCATE)
[Symbol]	WALL SCOSNE (OWNER TO LOCATE)
[Symbol]	CHANDELIER
[Symbol]	UNDER COUNTER LIGHTING
[Symbol]	EMERGENCY LIGHTING/ EXIT SIGN

ELECTRICAL NOTES:
 1. ALL WORK SHALL COMPLY WITH ALL CODES APPLICABLE AT SITE.
 2. SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: EACH SLEEPING ROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS. WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN A DWELLING THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE UNIT. SMOKE ALARMS SHALL BE HARD WIRED WITH A BATTERY BACK UP.
 3. CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN DWELLING UNITS WITHIN WHICH FUEL-FIRED APPLIANCES ARE INSTALLED AND IN DWELLING UNITS WITH ATTACHED GARAGES.
 4. A 125 VOLT, SINGLE PHASE, 15-20 AMPERE RATED RECEPTACLE OUTLET SHALL BE INSTALLED AT AN ACCESSIBLE LOCATION FOR THE SERVICING OF HEATING, AIR CONDITIONING AND REFRIGERATION EQUIPMENT. THE RECEPTACLE SHALL BE LOCATED ON THE SAME LEVEL AND WITHIN 25 FEET OF THE EQUIPMENT. THE RECEPTACLE OUTLET SHALL NOT BE CONNECTED TO THE LOAD SIDE OF THE HVAC EQUIPMENT DISCONNECTING MEANS.



House Plan Zone, LLC

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Plan ID:
BB-2200

Date: 05/02/07

Drawn By: J.L.B.

SHEET NUMBER

8

House Plan Zone, LLC has exercised great care and effort in the development of these plans and the completion of these construction documents. However, the user of these plans shall be responsible for any damages, including structural failures resulting from errors, omissions or deficiencies in the design. House Plan Zone, LLC highly recommends that these plans be reviewed by a licensed structural engineer in the area of construction, and other special conditions required by local building codes. All dimensions to be verified on site prior to construction. Foundation plan shall be verified by a licensed engineer prior to construction.