

JAMES D. ROBERTSON AND WIFE  
 BETTY NELL ROBERTSON  
 DB 2471, P. 733  
 MAP #2001-926, TRACT 1



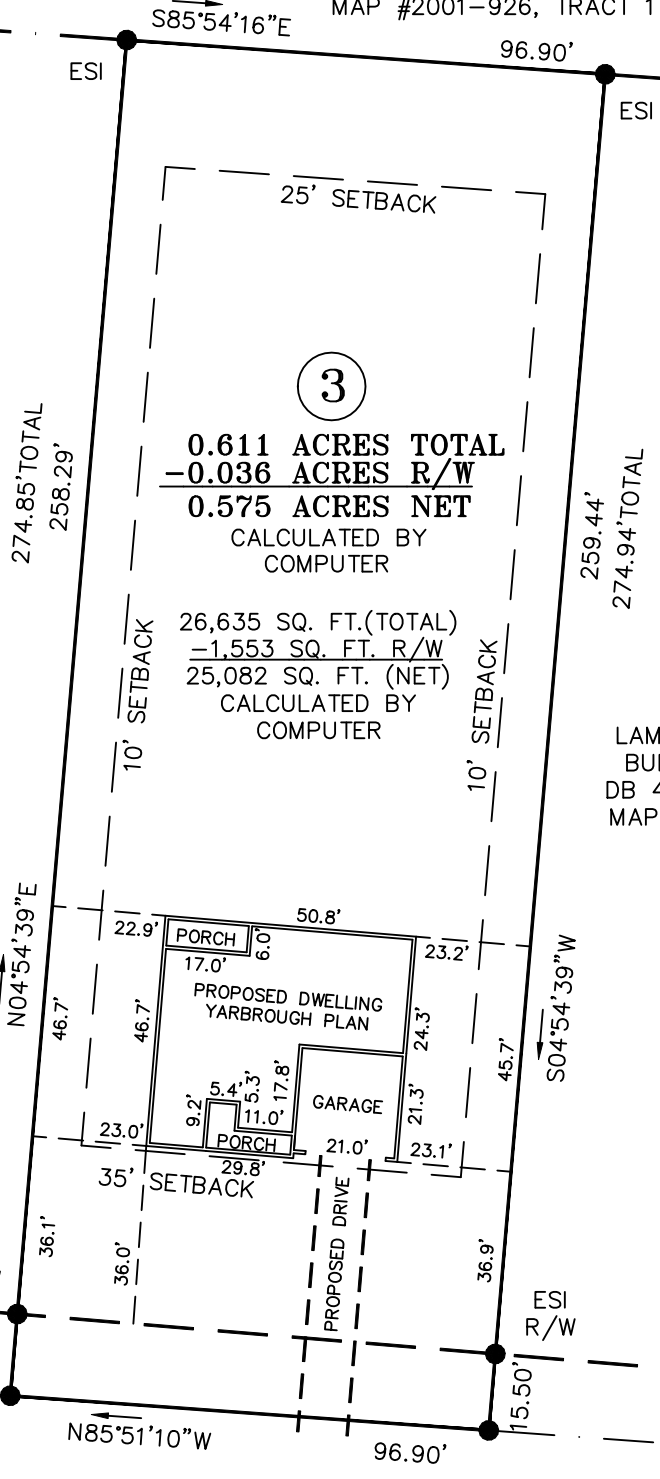
MAP #2021-492

- LEGEND**  
 CL - CENTERLINE  
 PB - POWER BOX  
 EIP - EXISTING IRON PIPE  
 ● - EXISTING PROPERTY CORNER  
 ESI - EXISTING SOLID IRON  
 SIS - SOLID IRON SET  
 SRRS - SET RAILROAD SPIKE  
 T.D. TOTAL DISTANCE  
 ERRS - EXISTING RAILROAD SPIKE  
 ECM - EXISTING CONCRETE MONUMENT

LAMCO CUSTOM BUILDERS LLC  
 DB 4080, P. 551  
 MAP 2021 #492  
 LOT 2

LAMCO CUSTOM BUILDERS LLC  
 DB 4080, P. 551  
 MAP 2021 #492  
 LOT 4

**NOTE:**  
 AC. CAL. BY COMPUTER  
 WATER.....PUBLIC  
 SEWER.....SEPTIC TANK  
 ZONING.....RA-20R  
 MIN. BUILDING SETBACK  
 35' FRONT  
 10' SIDE  
 20' CORNER LOT  
 25' REAR

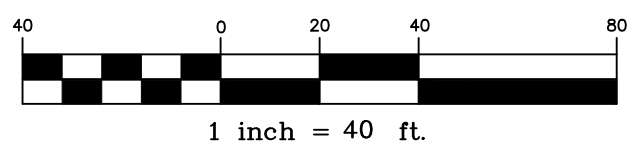


TO TINGEN ROAD  
 SR 1139  
 413' + \ -

**D L PHILLIPS LANE**  
 SR 2138, PAVED ROAD 60' R/W

TO DEAD END  
 3155' + \ -

**NOTE:**  
 THIS IS A PHYSICAL SURVEY ONLY:  
 DOES NOT MEET GS47-30, NOT FOR RECORDATION.



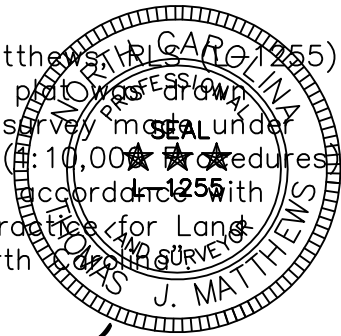
**NOTE:**  
 THIS SURVEY IS OF AN EXISTING PARCEL OR PARCELS.

**NOTE:**  
 THIS PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS,  
 RIGHT OF WAYS, AND AGREEMENTS OF RECORD PRIOR TO  
 THIS PLAT.

**OWNER:**  
 LAMCO CUSTOM BUILDERS, LLC  
 7424 CHAPEL HILL ROAD  
 SUITE 203  
 RALEIGH, NC 27607

**REFERENCE:**  
 LAMCO CUSTOM BUILDERS, LLC  
 DB 4080, P. 551  
 MAP # 2021-492  
 LOT 3

I, Thomas J. Matthews (1255) certify that this plat was prepared from an actual survey made under my supervision. (3:10,000) Plat prepared in accordance with standards of "Practice for Land Surveying in North Carolina".



*Thomas J. Matthews*  
 Thomas J. Matthews Date 12-30-2021

SITE PLAN SURVEY FOR: <b>LAMCO CUSTOM BUILDERS, LLC.</b> LOT 3 D L PHILLIPS LANE	TOWNSHIP: BARBECUE	COUNTY: HARNETT	
	STATE: NORTH CAROLINA	DATE COMPLETED: 12-30-2021	
THOMAS J. MATTHEWS PROFESSIONAL LAND SURVEYOR 226 E. TRADE STREET SUITE 2 SANFORD, N.C. 27332 (919) 776-3400 matthewssurveying@yahoo.com	SCALE: 1" = 40'	REVISIONS:	JOB # 4070A LOT 3
PARCEL: PID 039596 0038 27 PIN 9596-14-4017	ZONE: RA-20R	TAX MAP: 0611	