

Southeastern Soil & Environmental Associates, Inc.

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July 7, 2021

Harnett County Health Department
307 Cornelius Harnett Blvd.
Lillington, N.C. 27546

Re: Soil evaluations and final septic recommendations, Lots 1 – 5, Regency Homes
Subdivision, Josey Williams Road, Harnett County, North Carolina

To whom it may concern,

A final soils investigation has been completed for each of the above referenced lots. The property is located on Josey Williams Road as shown on the accompanying map. The purpose of the investigation was to determine the ability of the soil to support any subsurface waste disposal system for each proposed lot. All ratings and determinations were made in accordance with "Laws and Rules for Sanitary Sewage Collection, Treatment, and Disposal, 15A NCAC 18A .1900".

Each lot appears to contain at least one area that meets minimum criteria for subsurface waste disposal systems for at least a typical (60' x 60') 3 bedroom home (may include the use of conventional drainlines, gravelless drainlines, low pressure pipe, pumps, fill, large diameter pipe, French Drains, pretreatment, drip irrigation, etc.). Soil characteristics in the usable areas were dominantly provisionally suitable to at least 18 inches (fill, drip irrigation and/or pretreatment) or 24 inches (conventional or LPP) including .1940, .1941, .1942, .1943, .1944 and .1945. A soil map indicating typical soil areas that meet these criteria is enclosed. Each of the lots appears to contain sufficient available space for a repair area for at least a typical 3 bedroom home (may include the use of any of the systems mentioned above).

Any or all lots may require specific design/layout on our part prior to action by the local health department due to space and soil considerations (at separate cost to client). Alternative systems (mentioned above) could be required on any lot to compensate for shallow unsuitable soil conditions. Specific house locations, house sizes, driveway locations and/or side entry garages may be required on any individual lot. There should be no grading, logging or other site disturbance in soil areas designated as usable for subsurface waste disposal until approved by the local health department (any site disturbance could remove soil and render the area unusable).

When evaluated, the soil areas designated as usable for subsurface waste disposal were dry to at least 24 inches. During wetter time periods, subsurface water could be found in any of these soil areas at shallower depths. The local health department has the authority to deny a permit to any soil where water saturates a soil boring. SSEA cannot be certain that this will not occur on any of these lots. If this occurs (and cannot be remedied with a French drain or other drainage), any of these lots could become unsuitable due to .1942 (soil wetness).

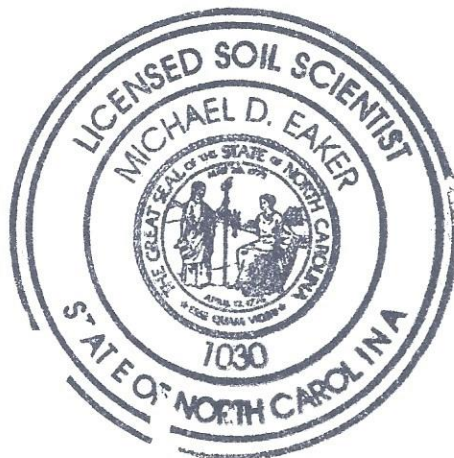
This report does not guarantee or warrant that a septic system will function for any specific length of time.

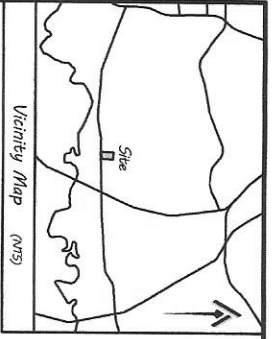
As with any property, this report does not guarantee, represent or imply approval or issuance of improvement permit as needed by the client from the local health department **(as such, any potential buyers of these properties should obtain appropriate permits from the local health department prior to making and/or completing purchase obligations or financial commitments. Since professional opinions sometimes differ, an actual improvement permit issuance by the local health department is the only "guarantee" of a site's suitability for a buyers intended use.)**. This report only addresses rules in force at the time of evaluation. Permits will only be granted if the local health department concurs with the findings of this report. This report only represents my professional opinion as a licensed soil scientist. I trust this is the information you require at this time. If you have any questions, please call.

Sincerely,



Mike Eaker
NC Licensed Soil Scientist





STATE OF NORTH CAROLINA
 COUNTY OF HARNETT

Renew Order of Heretofore
 County, certify that the map or plat to which this certification is
 attached meets all statutory requirements for recording.

North Carolina
 Harnett County
 Presented for registration on the _____ day of _____, 2021, at _____
 and recorded in Plat Book 2021, Page _____
 Matthew S. Williams - Register of Deeds

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North Carolina
 Harnett County
 Presented for registration on the _____ day of _____, 2021, at _____
 and recorded in Plat Book 2021, Page _____
 Matthew S. Williams - Register of Deeds

Certificate of Final Approval

I hereby certify that the development depicted herein has
 been approved by the Harnett County Planning Board. This
 approval is subject to the conditions set forth in the
 north Carolina Department of Transportation. This Plat is
 for recording in the Harnett County Register of Deeds.
 911 Addressing - _____
 Public Utilities - _____
 Gas for Construction - _____
 NCOB - _____

Subdivision Administrator _____ Date _____

Certificate of Ownership, Dedication and
 Jurisdiction

I, the undersigned, have in fee and the owners and
 beneficiaries of the property shown on this Plat are
 located in the subdivision jurisdiction of Harnett
 County, North Carolina. I hereby certify that the
 subdivision has no other and dedicate all streets,
 utility setbacks, easements and other interests
 shown hereon. I shall further acknowledge that I, and
 my associate, cannot claim any other interest in
 the property located within the boundaries of
 this property.

Agent for Williams Farm Harnett County, LLC _____ Date _____

1/4 - 400 Acres Remaining
 Williams Farm Harnett County, LLC
 Dead Book 170, Page 654
 Plat Book 20, Page 80
 PIN: 0565-55-5008-000
 PD: 120969 0006

Tract For
 of Plat Book 2021, Page _____

US Highway 401
 60' Right-of-Way - Road

Plat Book 2018, Page 84

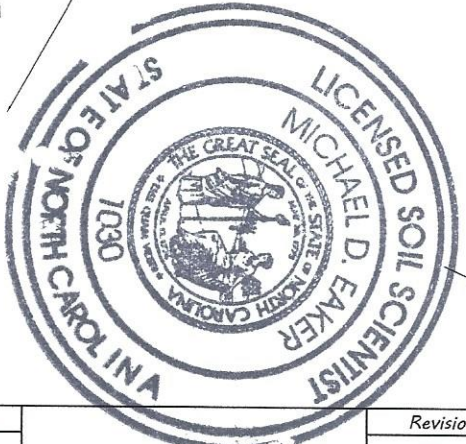
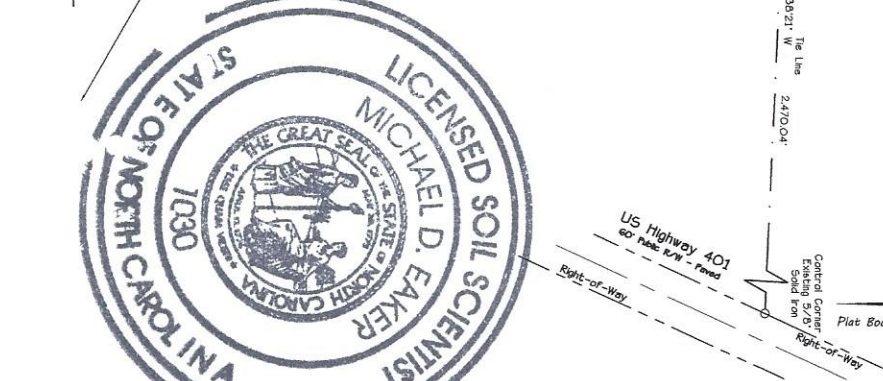
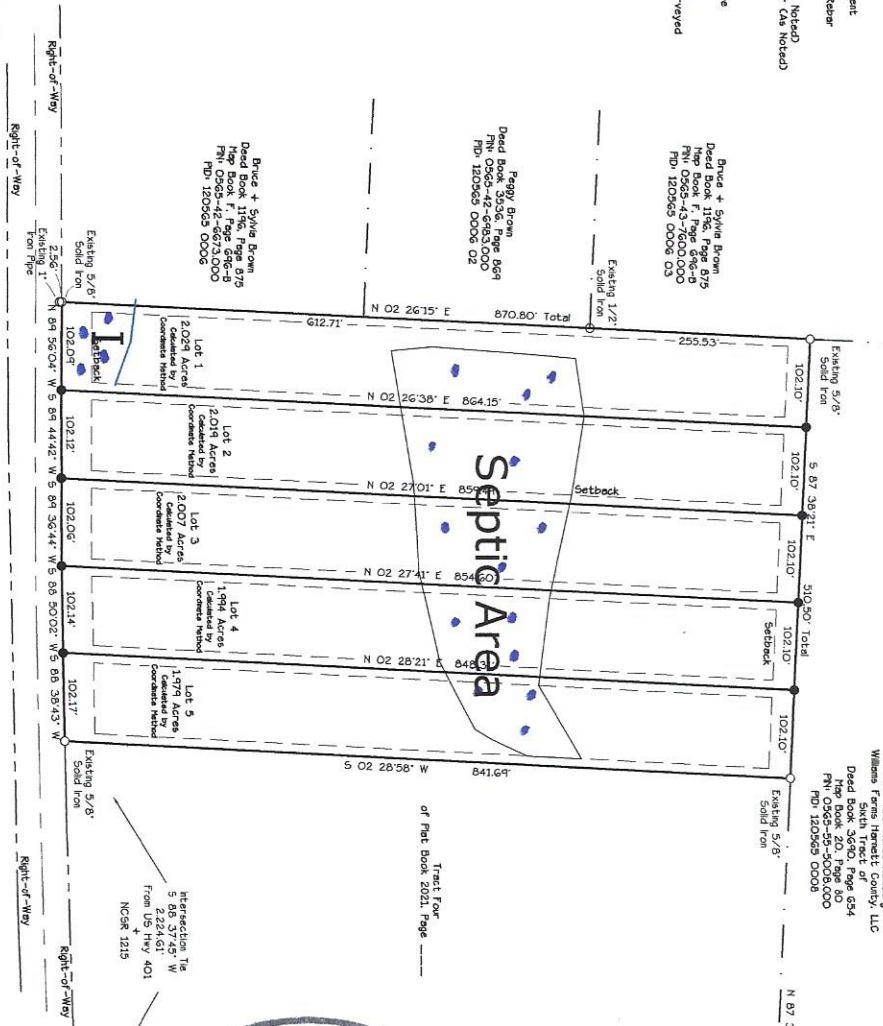
- Legend
- Existing Concrete Monument
 - Set 3/8" Concrete Monument
 - Set 3/8" Solid Iron - Rebar
 - Set 3/8" Solid Iron - 200'
 - Field Located Point (As Noted)
 - Existing Boundary Marker (As Noted)
 - Fire Hydrant
 - Utility Pole Utility
 - GCP
 - RCP Reinforced Concrete Pipe
 - NTS Not to Scale
 - Right-of-Way - R/W
 - Boundary Line - Not Surveyed
 - Center Line - Not Surveyed
 - Easement Line
 - Wetland Line
 - Water Course

Existing Improvements
 Located On 23 May 2021
 Property Served By
 Private Water

Round Right-of-Ways
 Determined By The Physical Location
 Of The Apparent Center Line of
 Road, As Well as Recovered Property
 Corners, Posts and Tests Of Record

Easements Of Record
 Subject To All Easements,
 Right-of-Ways and Access Ways As
 Acquired By Prescriptive Use

Dashed Boundary Lines
 Indicate The Proposed Lines of
 Record As Noted



Book 3690, Page 634; Map Book 20, Page 80 that the
 boundaries of the property shown hereon were
 found in Book _____ of the Harnett County
 or Plat Book _____ as certified in 1940001 that this plat was
 prepared in accordance with G.S. 170-20 as amended, which may, original
 copies of which are on file in the office of the Register of Deeds and that the date hereof is May 2021 AD.

Preliminary
 Steven W. Mullins, PLS
 L-4740

Property Currently Zoned:
 Residential Agricultural - RA-20K
 Minimum Building Setbacks
 Front = 35'
 Side = 10'
 Rear = 25'
 Street Side = 20'

Total Area Surveyed
 10.029 Acres

7 in. = 100 ft

Purpose of Survey
 Creation of Lots 1 Through 5

Approximate Setback Soil

Exempt Subdivision of Property Owned By		Revisions:		Professionally Surveyed By:	
Williams Farm Harnett County, LLC				ATLAS Surveying & Mapping	
City Limits: None		Drawn By: SWM/M		1503 Old Carabontan Road	
County: Harnett		Checked By: SWM/M		Sanford, NC 27330	
State: North Carolina		Scale: 1" = 200'		(919) 721-9618	
Township: Stewart's Creek		ATLAS Project: 20-035		AtlasSurveyingAndMapping@gmail.com	
Date: 28 May 2021					