

# Southeastern Soil & Environmental Associates, Inc.

P.O. Box 9321  
Fayetteville, NC 28311  
Phone/Fax (910) 822-4540  
Email mike@southeasternsoil.com

July 7, 2021

Harnett County Health Department  
307 Cornelius Harnett Blvd.  
Lillington, N.C. 27546

Re: Soil evaluations and final septic recommendations, Lots 1 – 5, Regency Homes  
Subdivision, Josey Williams Road, Harnett County, North Carolina

To whom it may concern,

A final soils investigation has been completed for each of the above referenced lots. The property is located on Josey Williams Road as shown on the accompanying map. The purpose of the investigation was to determine the ability of the soil to support any subsurface waste disposal system for each proposed lot. All ratings and determinations were made in accordance with "Laws and Rules for Sanitary Sewage Collection, Treatment, and Disposal, 15A NCAC 18A .1900".

Each lot appears to contain at least one area that meets minimum criteria for subsurface waste disposal systems for at least a typical (60' x 60') 3 bedroom home (may include the use of conventional drainlines, gravelless drainlines, low pressure pipe, pumps, fill, large diameter pipe, French Drains, pretreatment, drip irrigation, etc.). Soil characteristics in the usable areas were dominantly provisionally suitable to at least 18 inches (fill, drip irrigation and/or pretreatment) or 24 inches (conventional or LPP) including .1940, .1941, .1942, .1943, .1944 and .1945. A soil map indicating typical soil areas that meet these criteria is enclosed. Each of the lots appears to contain sufficient available space for a repair area for at least a typical 3 bedroom home (may include the use of any of the systems mentioned above).

**Any or all lots may require specific design/layout on our part prior to action by the local health department due to space and soil considerations (at separate cost to client). Alternative systems (mentioned above) could be required on any lot to compensate for shallow unsuitable soil conditions. Specific house locations, house sizes, driveway locations and/or side entry garages may be required on any individual lot. There should be no grading, logging or other site disturbance in soil areas designated as usable for subsurface waste disposal until approved by the local health department (any site disturbance could remove soil and render the area unusable).**

**When evaluated, the soil areas designated as usable for subsurface waste disposal were dry to at least 24 inches. During wetter time periods, subsurface water could be found in any of these soil areas at shallower depths. The local health department has the authority to deny a permit to any soil where water saturates a soil boring. SSEA cannot be certain that this will not occur on any of these lots. If this occurs (and cannot be remedied with a French drain or other drainage), any of these lots could become unsuitable due to .1942 (soil wetness).**

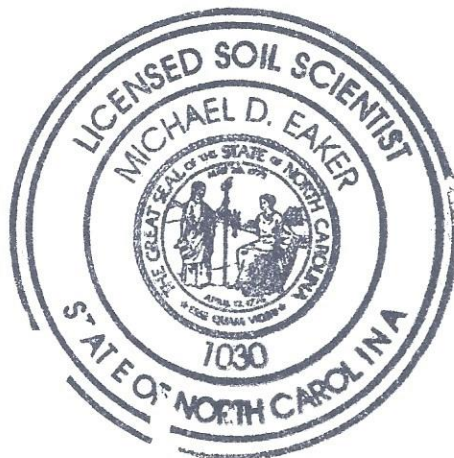
This report does not guarantee or warrant that a septic system will function for any specific length of time.

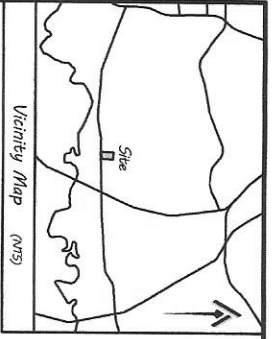
As with any property, this report does not guarantee, represent or imply approval or issuance of improvement permit as needed by the client from the local health department **(as such, any potential buyers of these properties should obtain appropriate permits from the local health department prior to making and/or completing purchase obligations or financial commitments. Since professional opinions sometimes differ, an actual improvement permit issuance by the local health department is the only “guarantee“ of a site’s suitability for a buyers intended use.)**. This report only addresses rules in force at the time of evaluation. Permits will only be granted if the local health department concurs with the findings of this report. This report only represents my professional opinion as a licensed soil scientist. I trust this is the information you require at this time. If you have any questions, please call.

Sincerely,



Mike Eaker  
NC Licensed Soil Scientist





STATE OF NORTH CAROLINA  
 COUNTY OF HARNETT

Renew Order of Heretofore  
 County, certify that the map or plat to which this certification is  
 attached meets all statutory requirements for recording.

North Carolina  
 Harnett County  
 Presented for registration on the \_\_\_\_\_ day of \_\_\_\_\_  
 2021, at \_\_\_\_\_  
 and recorded in Plat Book 2021, Page \_\_\_\_\_  
 Matthew S. Williams - Register of Deeds

Renew Order of Heretofore  
 County, certify that the map or plat to which this certification is  
 attached meets all statutory requirements for recording.

North Carolina  
 Harnett County  
 Presented for registration on the \_\_\_\_\_ day of \_\_\_\_\_  
 2021, at \_\_\_\_\_  
 and recorded in Plat Book 2021, Page \_\_\_\_\_  
 Matthew S. Williams - Register of Deeds

Certificate of Final Approval

I hereby certify that the development depicted herein has  
 been approved by the Planning Board of Harnett County, NC. This  
 approval is subject to the conditions set forth in the  
 north Carolina Department of Transportation. This Plat is  
 for recording in the Harnett County Register of Deeds.  
 911 Addressing - \_\_\_\_\_  
 Public Utilities - \_\_\_\_\_  
 Gas for Construction - \_\_\_\_\_  
 NCOG - \_\_\_\_\_  
 Subdivision Administrator \_\_\_\_\_ Date \_\_\_\_\_

Certificate of Ownership, Dedication and  
 Jurisdiction

I, the undersigned, have in fee and the owners and  
 beneficiaries of the property shown on this Plat are  
 located in the subdivision jurisdiction of Harnett  
 County, North Carolina. I hereby certify that the  
 subdivision has no other and dedicate all streets,  
 utility easements, and other public facilities to the  
 public use of the County of Harnett, North Carolina.  
 My subdivision name is "JOSEY ROAD" and the more  
 property located within the "2007" Plat of the boundaries of  
 the property.

Agent for Williams Farm Harnett County, LLC Date \_\_\_\_\_

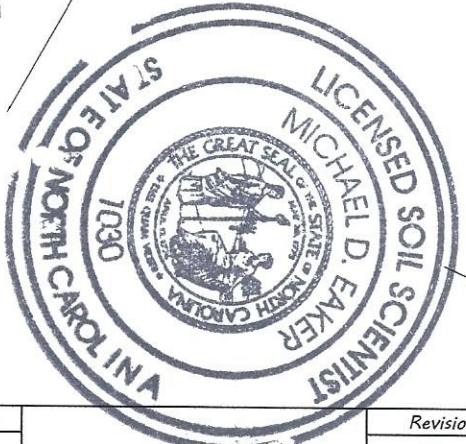
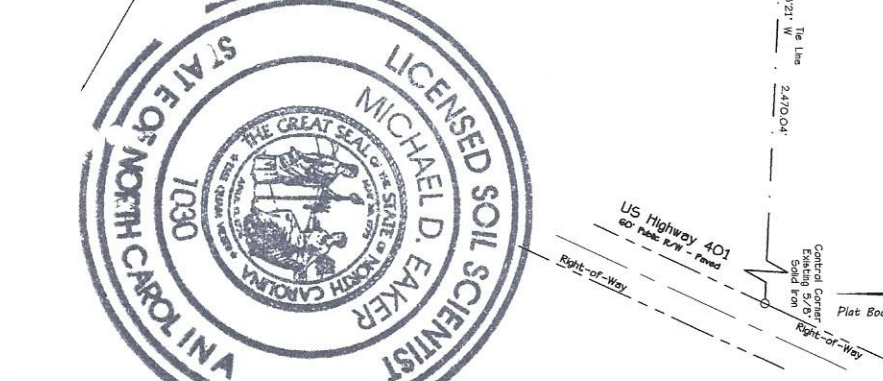
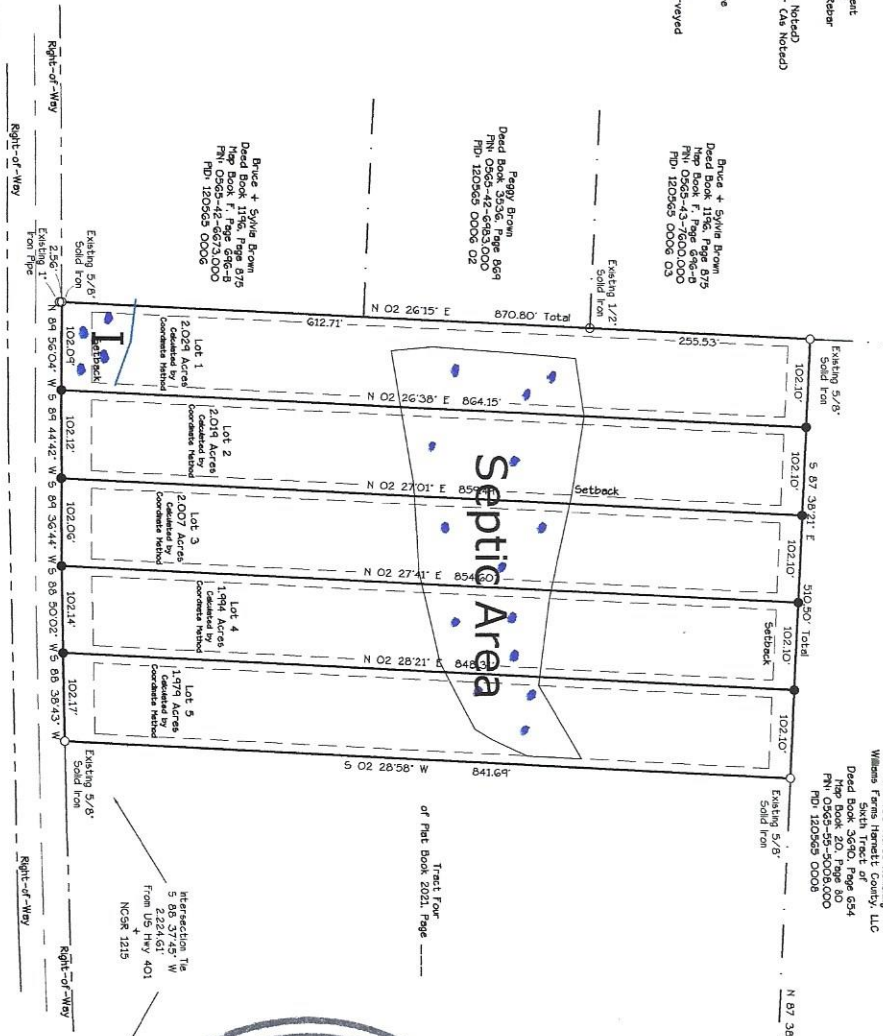
- Legend
- Existing Concrete Monument
  - Set 3/8" Solid Iron - Rebar
  - Set 3/8" Solid Iron - Stake
  - Field Located Point (As Noted)
  - Existing Boundary Marker (As Noted)
  - Fire Hydrant
  - Utility Pole Utility
  - GCP
  - RCP Reinforced Concrete Pipe
  - Right-of-Way - R/W
  - Boundary Line - Not Surveyed
  - Center Line Road - CL
  - Easement Line
  - Wetland
  - Water Course

Existing Improvements  
 Located On 23 May 2021  
 Property Serviced By  
 Private Water

Round Right-of-Ways  
 Determined By The Physical Location  
 Of The Apparent Center Line of  
 Road, As Well as Recovered Property  
 Corners, Posts and Signs Of Record

Easements Of Record  
 Subject To All Easements,  
 Right-of-Ways and Access Ways As  
 Acquired By Prescriptive Use

Dashed Boundary Lines  
 Indicate The Proposed Lines of  
 Record As Noted



Book 3650, Page 634; Map Book 20, Page 80 that the  
 boundaries of the property shown on this Plat were  
 found in Book \_\_\_\_\_ of the Harnett County Register of Deeds  
 or Plat Book \_\_\_\_\_ of the Harnett County Register of Deeds  
 prepared in accordance with G.S. 20-20 as amended. Witness my  
 official signature and seal this 28th day of May 2021, A.D.

Preliminary  
 Steven W. Mullins, PLS  
 L-4740



Property Currently Zoned:  
 Residential Agricultural - RA-20K  
 Minimum Building Setbacks  
 Front = 10'  
 Side = 10'  
 Rear = 25'  
 Street Side = 20'

Total Area Surveyed  
 10,029 Acres



Purpose of Survey  
 Creation of Lots 1 Through 5

APPROXIMATE PSUBDIVISION SOIL

Exempt Subdivision of Property Owned By Williams Farm Harnett County, LLC 1001 Main Drive Farmville, NC 27825		Revisions:		Professionally Surveyed By: <b>ATLAS Surveying &amp; Mapping</b> 1503 Old Carbondon Road Sanford, NC 27330 (919) 721-9618 AtlasSurveyingAndMapping@gmail.com	
City Limits: None		County: Harnett		Drawn By: SWM/M Checked By: SWM/M	
State: North Carolina		Township: Stewart's Creek		Scale: 1" = 200' ATLAS Project: 20-035	
PIN: 0565-55-5008-000		Date: 28 May 2021			