

Southeastern Soil & Environmental Associates, Inc.

P.O. Box 9321
Fayetteville, NC 28311
Phone/Fax (910) 822-4540
Email mike@southeasternsoil.com

July 7, 2021

Harnett County Health Department
307 Cornelius Harnett Blvd.
Lillington, N.C. 27546

Re: Soil evaluations and final septic recommendations, Lots 6 – 10, Westan Construction Subdivision, Josey Williams Road, Harnett County, North Carolina

To whom it may concern,

A final soils investigation has been completed for each of the above referenced lots. The property is located on Josey Williams Road as shown on the accompanying map. The purpose of the investigation was to determine the ability of the soil to support any subsurface waste disposal system for each proposed lot. All ratings and determinations were made in accordance with "Laws and Rules for Sanitary Sewage Collection, Treatment, and Disposal, 15A NCAC 18A .1900".

Each lot appears to contain at least one area that meets minimum criteria for subsurface waste disposal systems for at least a typical (60' x 60') 3 bedroom home (may include the use of conventional drainlines, gravelless drainlines, low pressure pipe, pumps, fill, large diameter pipe, French Drains, pretreatment, drip irrigation, etc.). Soil characteristics in the usable areas were dominantly provisionally suitable to at least 18 inches (fill, drip irrigation and/or pretreatment) or 24 inches (conventional or LPP) including .1940, .1941, .1942, .1943, .1944 and .1945. A soil map indicating typical soil areas that meet these criteria is enclosed. Each of the lots appears to contain sufficient available space for a repair area for at least a typical 3 bedroom home (may include the use of any of the systems mentioned above).

Any or all lots may require specific design/layout on our part prior to action by the local health department due to space and soil considerations (at separate cost to client). Alternative systems (mentioned above) could be required on any lot to compensate for shallow unsuitable soil conditions. Specific house locations, house sizes, driveway locations and/or side entry garages may be required on any individual lot. There should be no grading, logging or other site disturbance in soil areas designated as usable for subsurface waste disposal until approved by the local health department (any site disturbance could remove soil and render the area unusable).

When evaluated, the soil areas designated as usable for subsurface waste disposal were dry to at least 24 inches. During wetter time periods, subsurface water could be found in any of these soil areas at shallower depths. The local health department has the authority to deny a permit to any soil where water saturates a soil boring. SSEA cannot be certain that this will not occur on any of these lots. If this occurs (and cannot be remedied with a French drain or other drainage), any of these lots could become unsuitable due to .1942 (soil wetness).

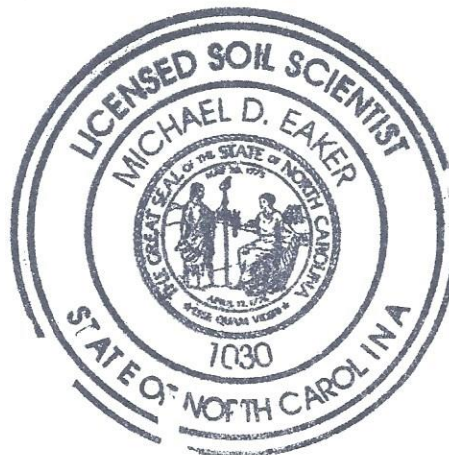
This report does not guarantee or warrant that a septic system will function for any specific length of time.

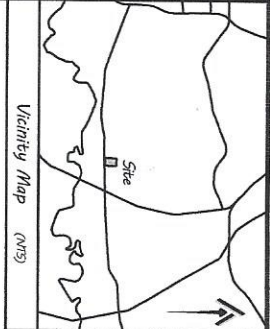
As with any property, this report does not guarantee, represent or imply approval or issuance of improvement permit as needed by the client from the local health department (as such, any potential buyers of these properties should obtain appropriate permits from the local health department prior to making and/or completing purchase obligations or financial commitments. Since professional opinions sometimes differ, an actual improvement permit issuance by the local health department is the only "guarantee" of a site's suitability for a buyer's intended use.). This report only addresses rules in force at the time of evaluation. Permits will only be granted if the local health department concurs with the findings of this report. This report only represents my professional opinion as a licensed soil scientist. I trust this is the information you require at this time. If you have any questions, please call.

Sincerely,



Mike Eaker
NC Licensed Soil Scientist





STATE OF NORTH CAROLINA
 COUNTY OF HARNETT

Review Officer of Harnett County certifies that the map or plat to which this certification is affixed meets all statutory requirements for recording.

North Carolina
 Harnett County
 Presented for registration on the _____ day of _____, 2021, and recorded in Plat Book 2021, Page _____

Register Office
 Matthew S. Wain - Register of Deeds

Certificate of Final Approval

I hereby certify that the development depicted herein has been granted final approval from Harnett County (L-411) and that the applicant has satisfied all requirements for the development. The applicant has provided the necessary information and documentation to support the application. The development is subject to any and all conditions stipulated herein and is eligible for recording in the Harnett County Register of Deeds within 30 days of the date of this order.

City Addressing -
 Park Utilities -
 One (for construction)
 NCOOT -
 Seachman Administrator

Certificate of Ownership, Dedication and Jurisdiction

I (we) hereby certify that I am (we are) the owner(s) or owner(s) of the property shown and described herein, which is located in Harnett County, North Carolina, and that I (we) desire this plat of subdivision to be recorded in the Harnett County Register of Deeds. I (we) hereby dedicate to the public use of the State of North Carolina all rights-of-way and easements to public or private use as shown on this plat. I (we) warrant that I (we) am (we are) the owner(s) of the property and that I (we) have the right to convey the property. I (we) warrant that I (we) am (we are) the owner(s) of the property and that I (we) have the right to convey the property. I (we) warrant that I (we) am (we are) the owner(s) of the property and that I (we) have the right to convey the property.

Agent for Williams Farms Harnett County, LLC
 Date

47-1/2 Acres Remaining
 Williams Farms Harnett County, LLC
 Plat Book 3620, Page 654
 Plat Book 20, Page 80
 PIN: 0565-55-4008000
 PIN: 120593 0008

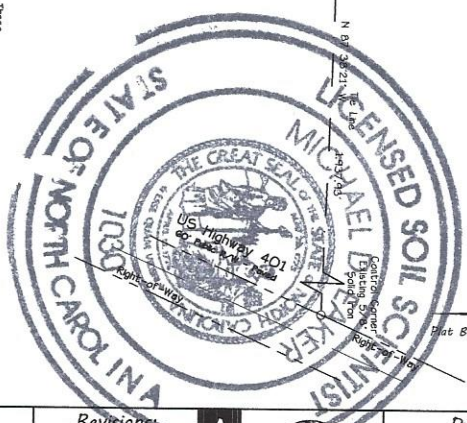
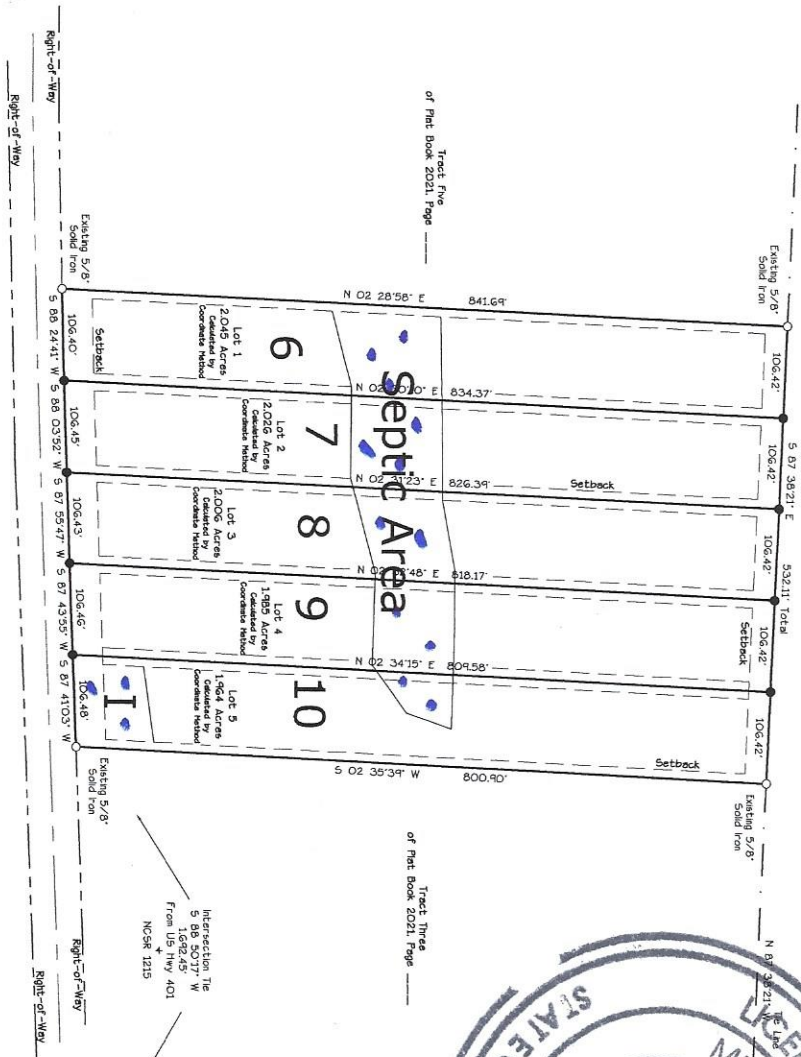
- Legend
- Existing Concrete Footprint
 - Set 5/28' Solid Iron
 - Set 5/28' Solid Iron - Rebar
 - Set Nail C/A (Noted)
 - Field Located Point C/A (Noted)
 - Existing Boundary Marker C/A (Noted)
 - ✕ Fire Hydrant
 - Utility Pole
 - C/U Over Head Utility
 - N/C Not To Scale
 - Right-of-Way - R/W
 - Center Line Road - C/L
 - Easement Line
 - Water Course

Existing Improvements
 Located On 29 May 2021
 Property Surveyed By
 Mike Walker
 Private Septic

Road Right-of-Ways
 Dashed Lines Indicate Location
 Of The Approximate Center Line
 Road As Well As Recovered Property
 Corners, Deeds and Plats Of Record

Easements Of Record
 Subject To All Easements,
 Right-of-Ways and Access Ways As
 They May Appear Of Record Or
 Acquired By Respective Use

Dashed Boundary Lines
 Lines Not Surveyed, Information
 Obtained By Deeds and/or Plats of
 Record As Noted



Plat Book 2018, Page 84

Book 3620, Page 654, Plat Book 20, Page 80 that the boundaries not surveyed are clearly indicated as drawn from information prepared in accordance with G.S. 47-30 as amended. Witness my official signature, license number and seal this 29th day of May 2021 A.D.

Preliminary
 Steven W. Phillips PLS
 L-4740



Property Currently Zoned:
 Residential Agricultural - RA-20K
 Minimum Building Setbacks
 Front = 35'
 Side = 20'
 Street Side = 20'

Total Area Surveyed
 10.026 Acres



Purpose of Survey
 Creation of Lots 6 Through 10

Approx. PLATTABLE Soil

Exempt Subdivision of Property Owned By Williams Farms Harnett County, LLC		Revisions:		Professionally Surveyed By: ATLAS Surveying & Mapping 1503 Old Caranton Road Sanford, NC 27330 (919) 721-9618 AtlasSurveyingAndMapping@gmail.com	
City Limits: None		County: Harnett		Drawn By: SWM*1	
State: North Carolina		Township: Stewart's Creek		Checked By: SWM*2	
PIN: 0565-55-5008-000		Date: 28 May 2021		Scale: 1" = 200'	
Joseph Williams Subdivision		ATLAS Surveying & Mapping		ATLAS Project: 20-035	