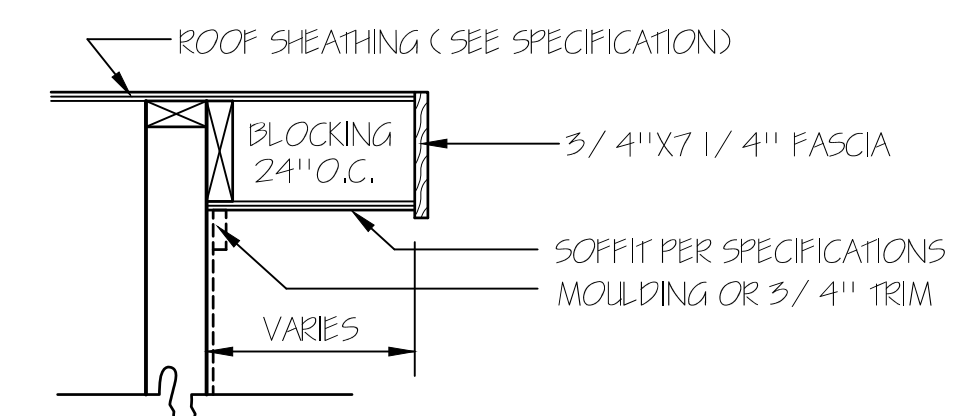


ATTIC VENTILATION CALCULATIONS

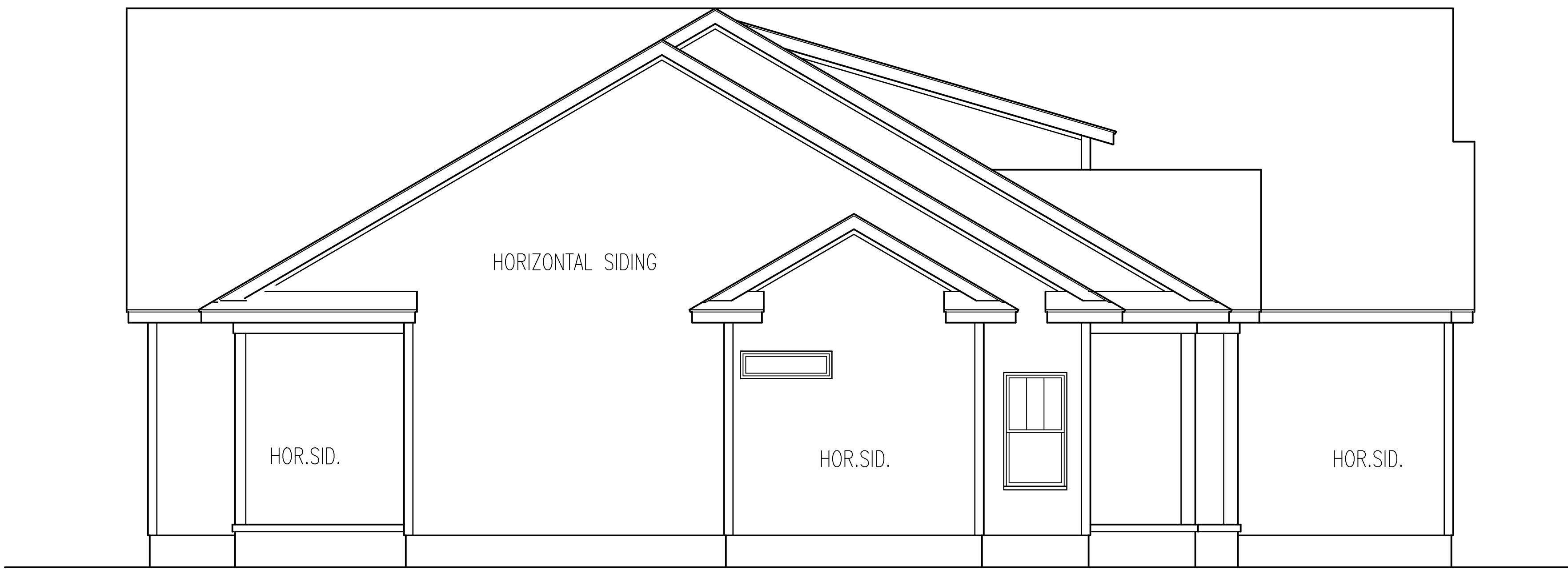
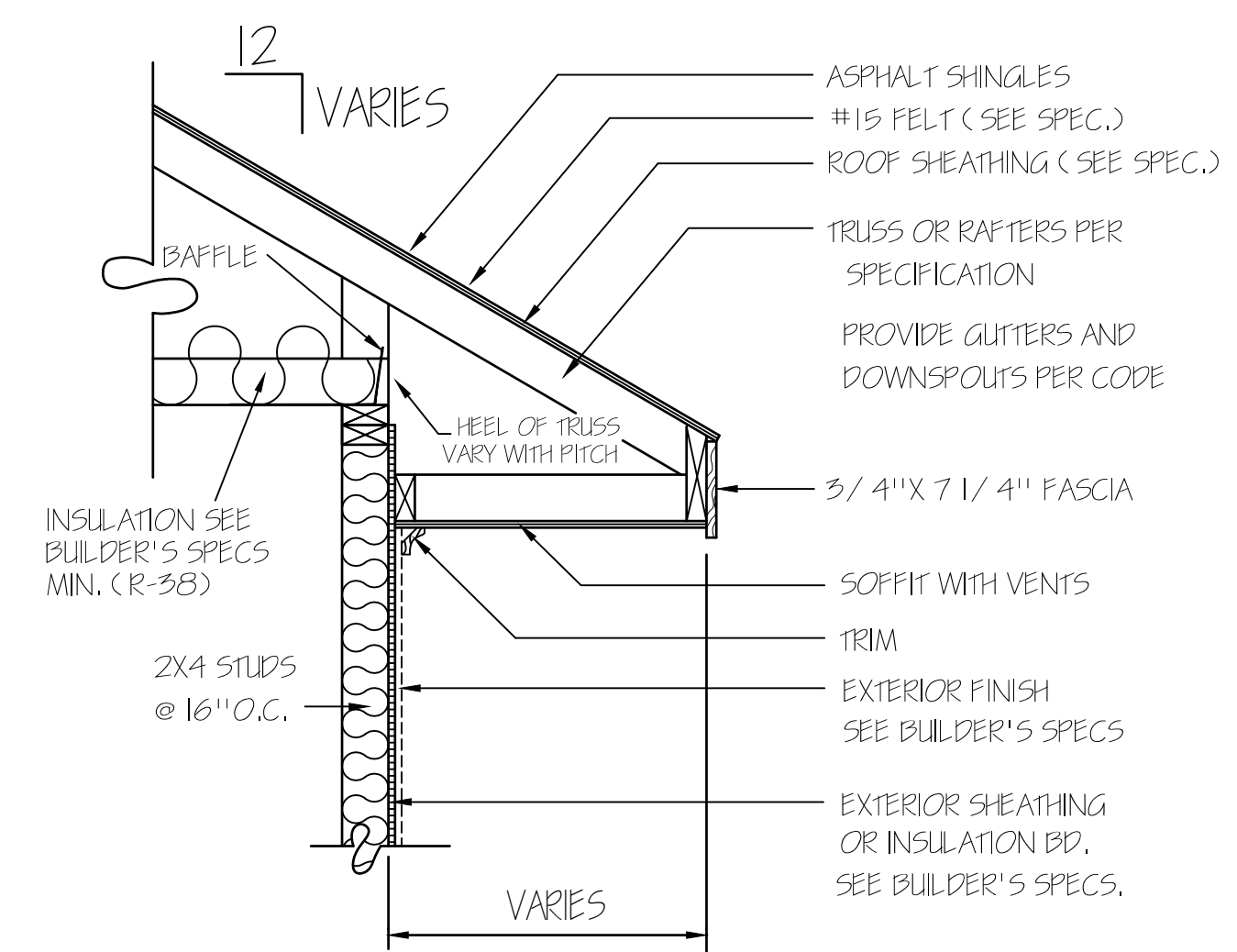
ATTIC AREA	2999 SQ.FT.	(AREA VENTILATION REQUIRED 20.9 SQ.FT.)
EACH	1 FT. BASE GABLE LOUVER @	1 SQ.FT. NET FREE AREA
EACH	1 FT. BASE GABLE LOUVER @	1 SQ.FT. NET FREE AREA
EACH	1 LOUVER @	1 SQ.FT. NET FREE AREA
38	LIN.FT. EAVE VENT @ 11 SQ.IN./FT. =	7.5 SQ.FT. NET FREE AREA
110	LIN.FT. RIDGE VENT @ 18 SQ.IN./FT. =	13.7 SQ.FT. NET FREE AREA



FRONT ELEVATION
 SCALE: 1/4" = 1'-0"



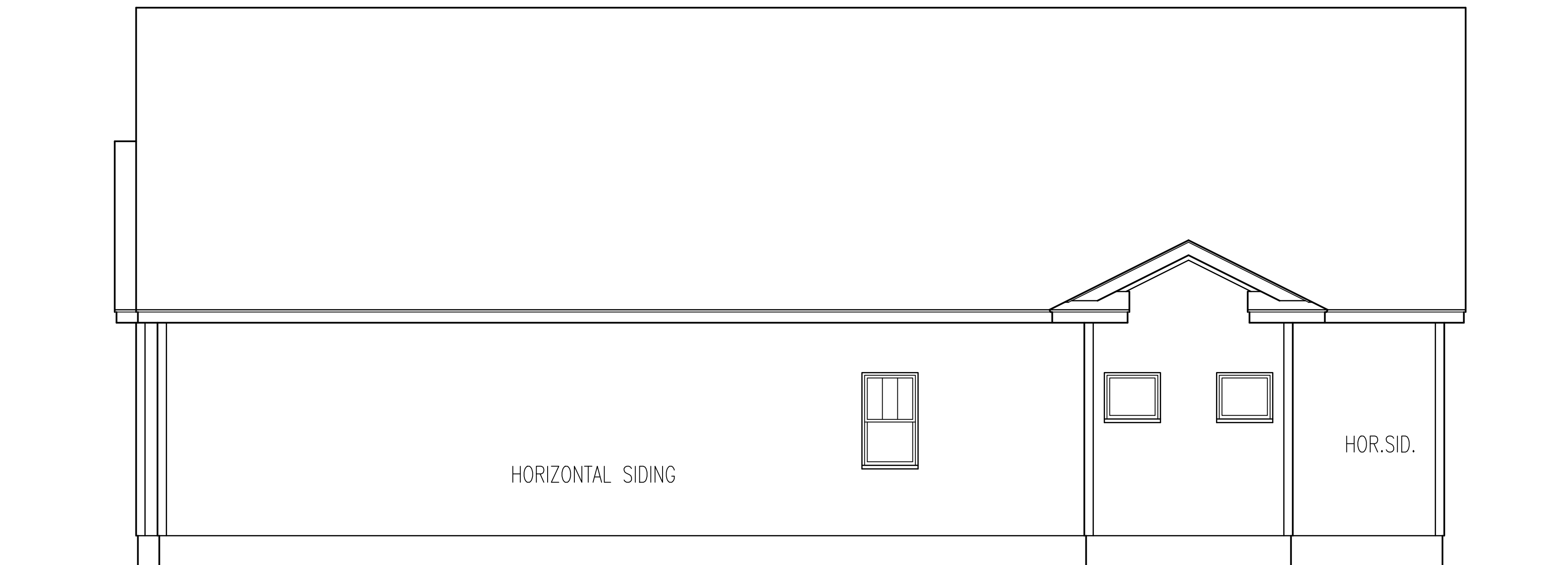
RAKE DETAIL FOR GABLE ENDS



RIGHT ELEVATION
 SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4"=1'-0"



LEFT ELEVATION
SCALE: 1/4"=1'-0"

T M DESIGNS

RESIDENTIAL PLANS BY TINA MCFADDEN
(910) 354-4736 TMDESIGNS2016@GMAIL.COM

EXCLUSIVE RESIDENCE DESIGN FOR:
WATERMARK HOMES

LOT: 25 OAK HAVEN

NAME: JASMINE

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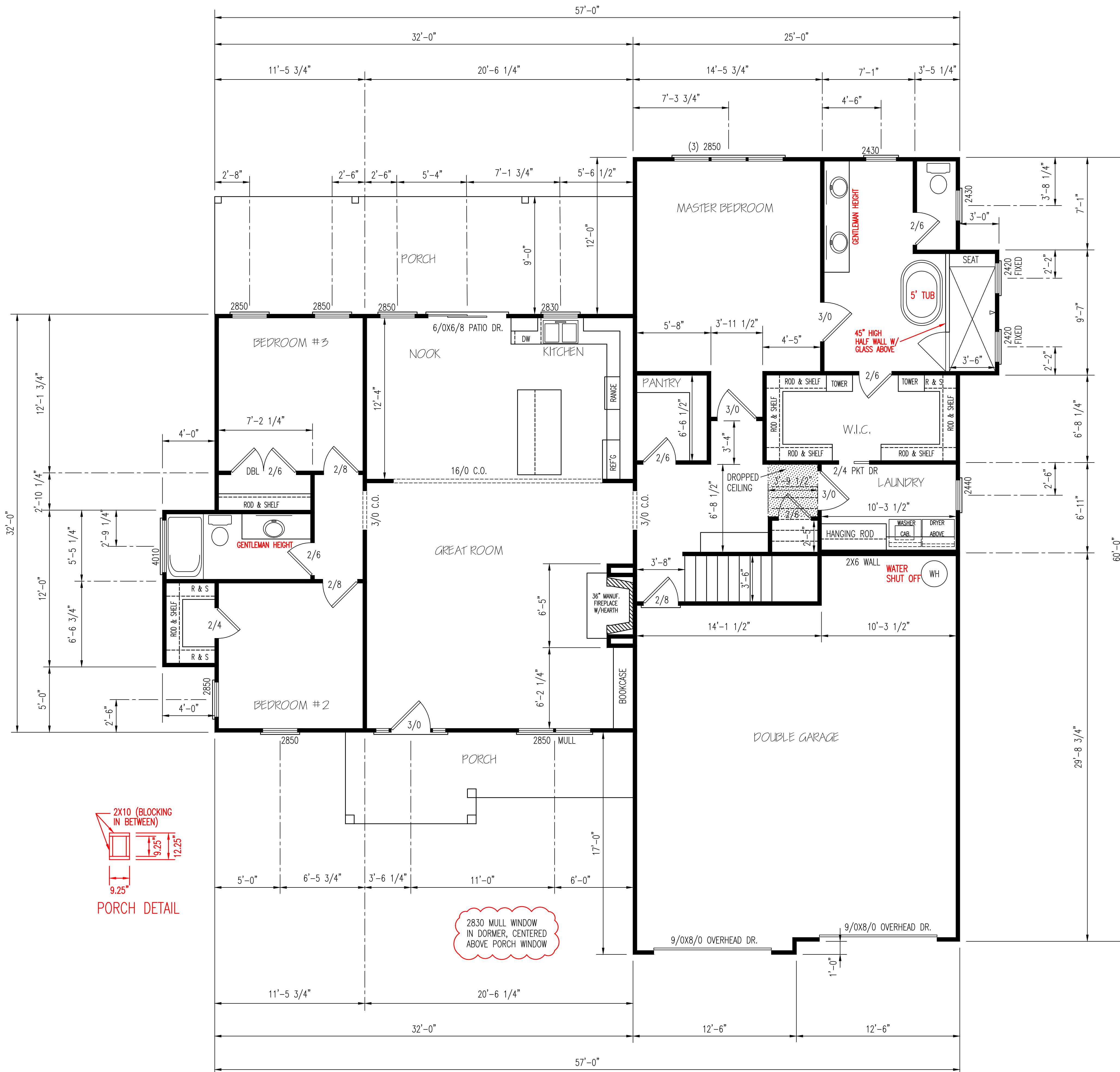
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I HEREBY CERTIFY THAT THIS DRAWING MEETS LOCAL CODES, 2018 INTERNATIONAL BUILDING CODES

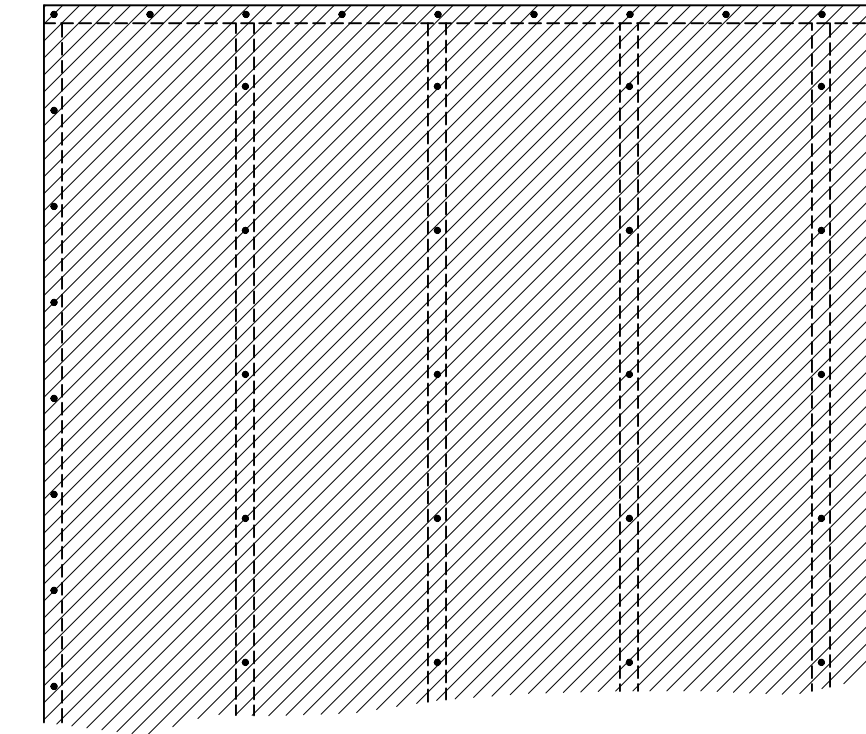
THIS IS FOR THE CONSTRUCTION OF ONE HOUSE ON A SINGLE LOT. NOT TO BE REUSED

PLAN NUMBER
BG22-A05F

1	GARAGE	F	R
	DATE:	11/6/21	

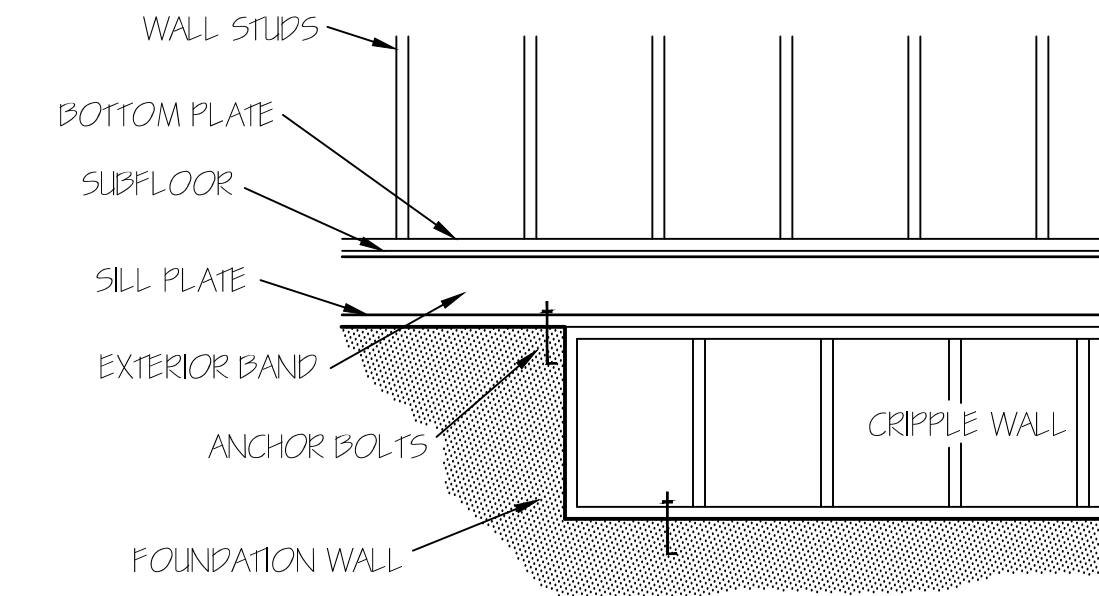


BRACING METHOD



EXTERIOR WALL TO BE FULLY SHEATHED WITH 7/16" OSB. NAILING PATTERN TO BE 8" ON ALL EDGES AND 12" IN FIELD, WITH 8d NAILS.

ENERGY TABLE
 UFACTOR OF WINDOWS .30
 CLIMATE ZONE 3
 INSULATION: WALLS 15
 CEILING 38
 FLOORS 19



FOUNDATION CRIPPLE WALLS SHALL BE FRAMED OF STUDS NOT SMALLER THAN THE STUDGING ABOVE. WHEN EXCEEDING 4 FT. IN HEIGHT, SUCH WALLS SHALL BE FRAMED OF STUDS HAVING THE SIZE REQUIRED FOR AN ADDITIONAL STORY. CRIPPLE WALLS WITH A STUD HEIGHT LESS THAN 14 INCHES SHALL BE CONTINUOUSLY SHEATHED ON ONE SIDE WITH WOOD STRUCTURAL PANELS FASTENED TO BOTH THE TOP AND BOTTOM PLATES IN ACCORDANCE WITH TABLE R602.5(1), OR CRIPPLE WALLS SHALL BE CONSTRUCTED OF SOLID BLOCKING.

NOTE:
 CEILINGS ARE 9'-0"
 UNLESS NOTED.

FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

HEATED AREA

1ST FL	1906	SQ FT
2ND FL	369	SQ FT
TOTAL	2275	SQ FT

OTHER AREAS

GARAGE	707	SQ FT
F.PORCH	130	SQ FT
R.PORCH	256	SQ FT
STORAGE	340	SQ FT

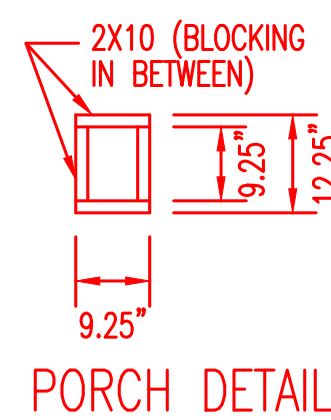
EXTERIOR WALLS
 (2) 2X10 HEADERS

CLEAR SPAN FOR HEADER	NUMBER OF STUDS	
	JACKS	KINGS
ALL DOOR & C.O. BELOW 4'	1	1
ALL DOOR & C.O. 4' TO 7'-11"	2	2
ALL DOOR & C.O. 8' AND ABOVE	SIZED BY ENGINEER	

UNLESS NOTED OTHER WISE

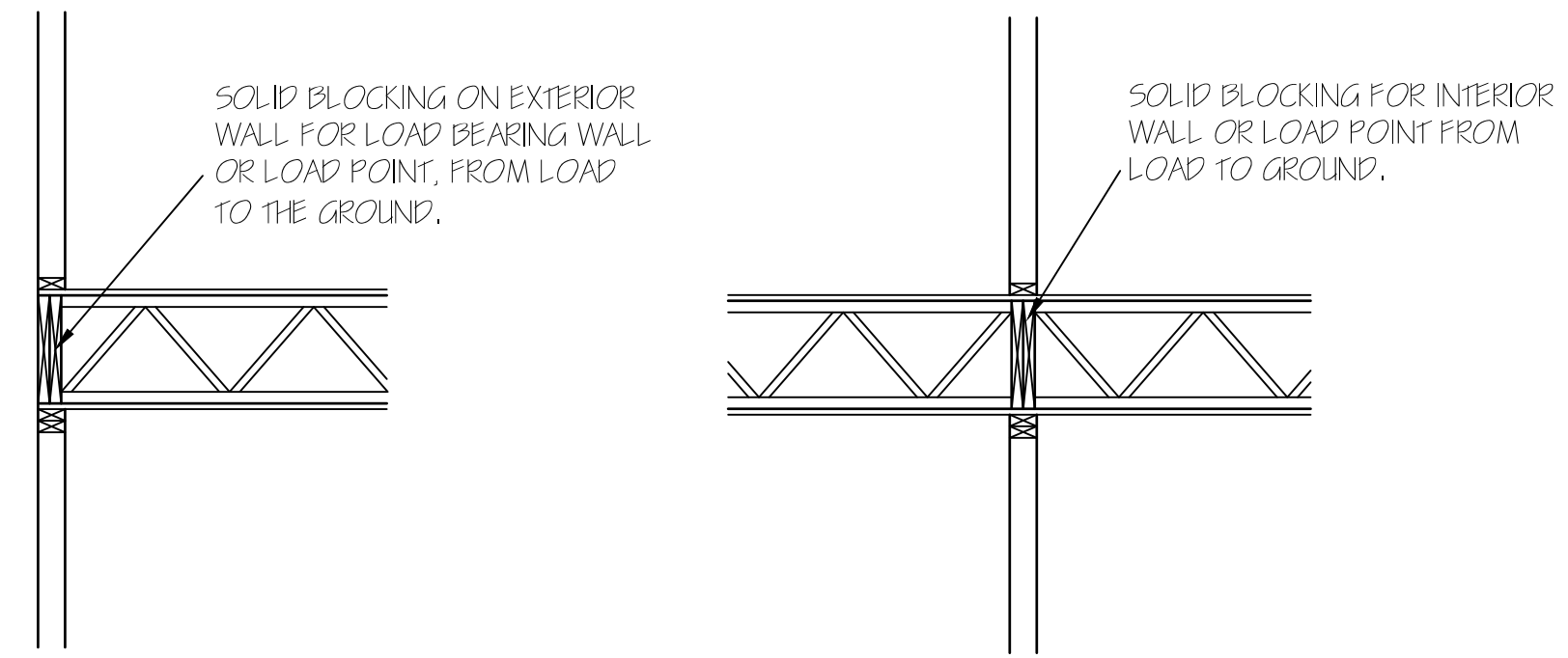
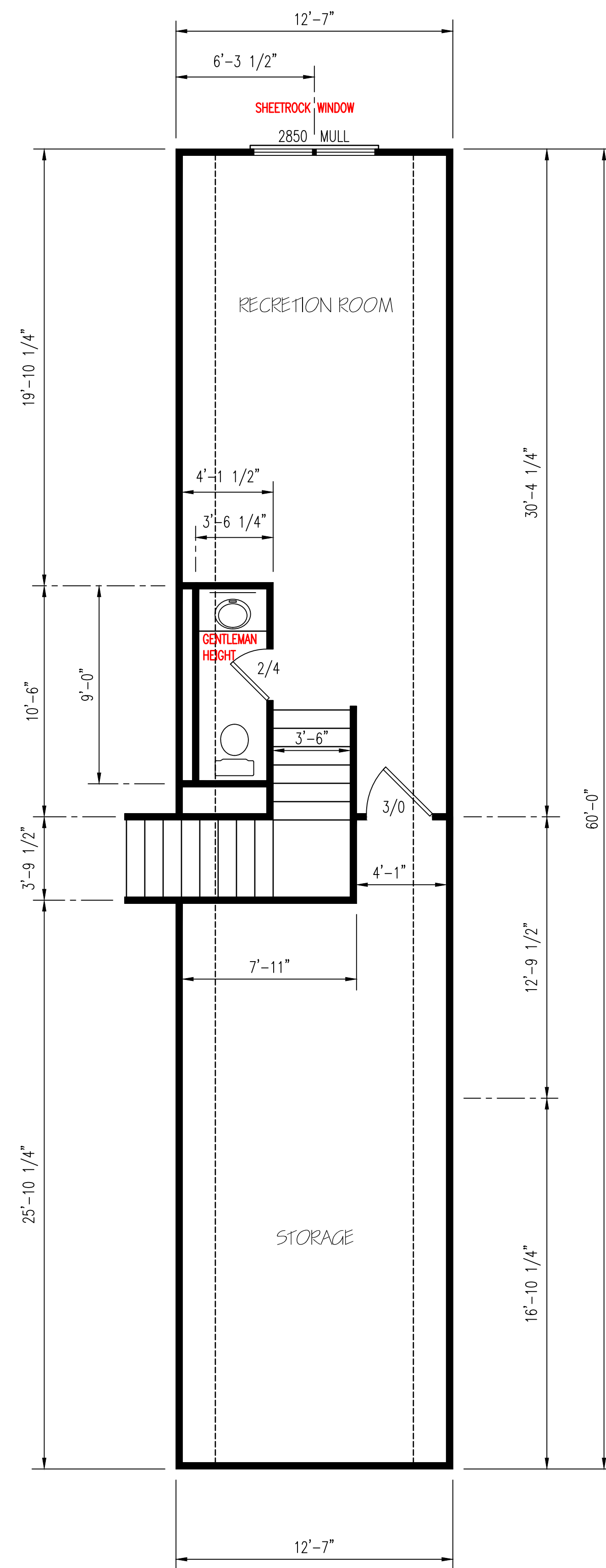
GARAGE PANEL WALL

GARAGE PANEL WALLS UNDER 24" WIDE SHOULD BE EITHER PORTAL FRAMED OR 7/16" OSB ON BOTH SIDES WITH A NAILING PATTERN OF 3" ON ALL PANEL EDGES AND 6" IN THE FIELD.



2830 MULL WINDOW IN DORMER, CENTERED ABOVE PORCH WINDOW

EXCLUSIVE RESIDENCE DESIGN FOR:
WATERMARK HOMES
 NAME: JASMINE
 LOT: 25 OAK HAVEN
 TM DESIGNS
 RESIDENTIAL PLANS BY TINA MCFADDEN
 (910) 354-4736 TMDDESIGNS2016@GMAIL.COM
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 THIS IS FOR THE CONSTRUCTION OF ONE HOUSE ON A SINGLE LOT, NOT TO BE REUSED.
 PLAN NUMBER
RG22-A05
 2 A GARAGE DATE: 11/6/21



EXTERIOR WALLS (2) 2X10 HEADERS		
CLEAR SPAN FOR HEADER	NUMBER OF STUDS	
	JACKS	KINGS
ALL DOOR & C.O. BELOW 4'	1	1
ALL DOOR & C.O. 4' TO 7'-11"	2	2
ALL DOOR & C.O. 8' AND ABOVE	SIZED BY ENGINEER	
UNLESS NOTED OTHER WISE		

SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

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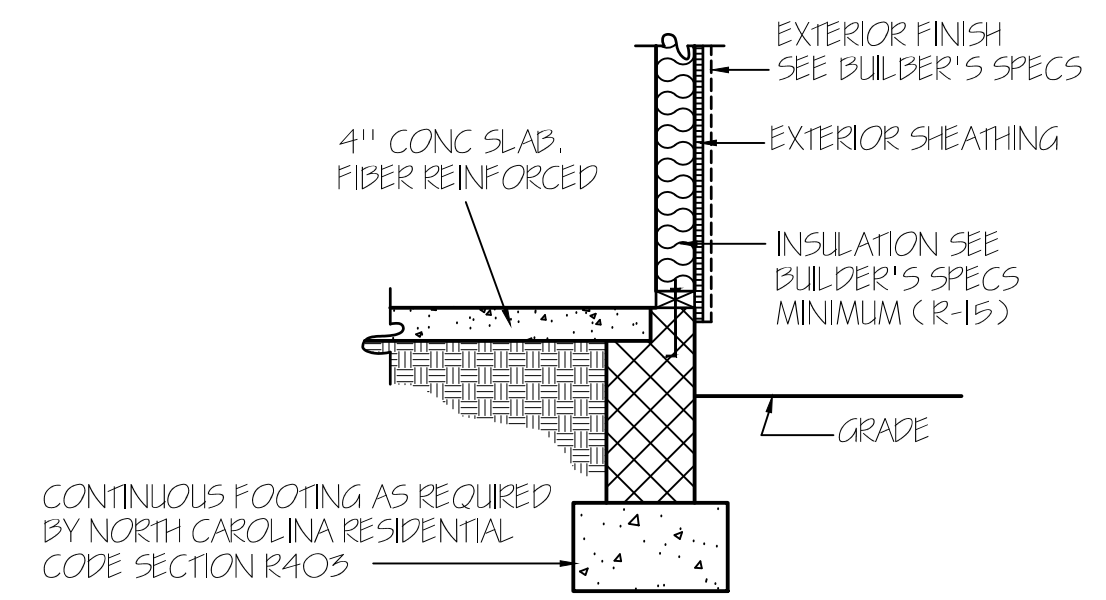
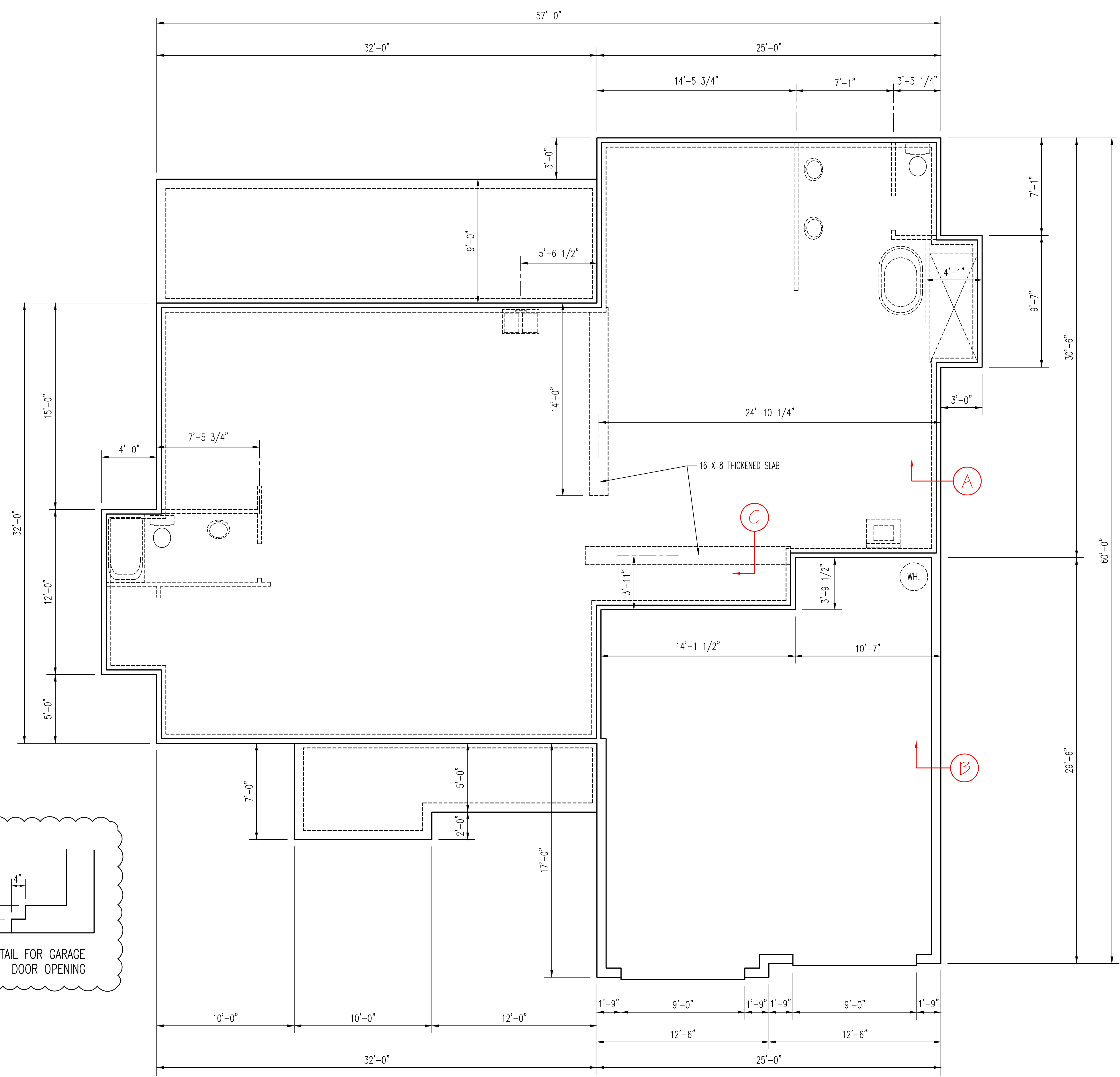
THIS IS FOR THE CONSTRUCTION OF ONE HOUSE ON A SINGLE LOT, NOT TO BE REUSED

PLAN NUMBER
RG22-A05

2
B GARAGE ? ?
DATE: 11/6/21

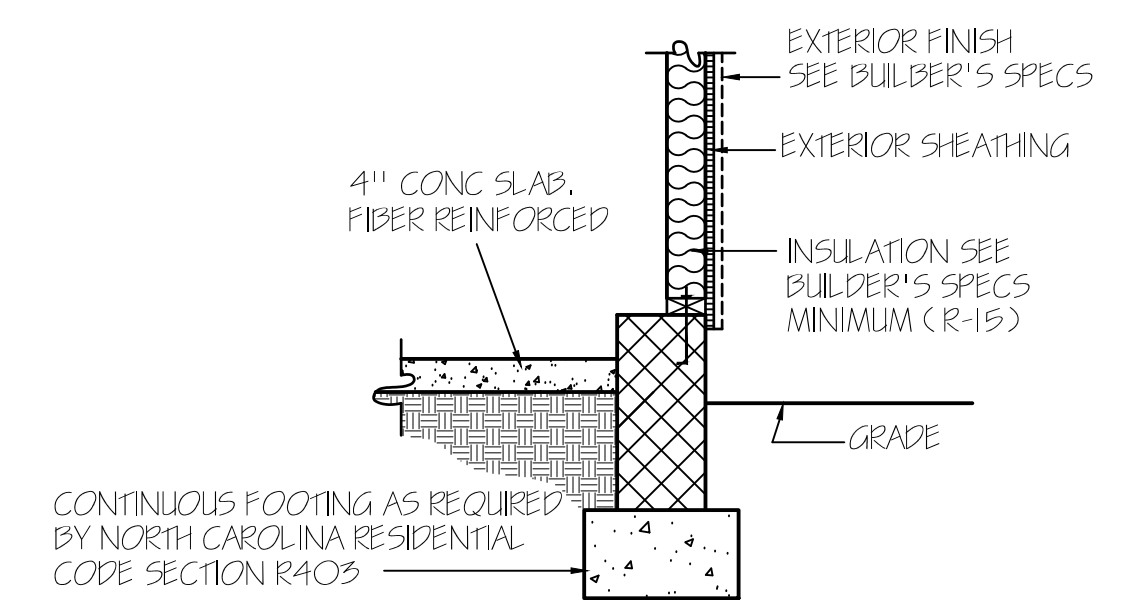
WALL ANCHOR OPTIONS
 USE ANCHOR BOLTS
 ANCHOR BOLTS: 1/2" DIA. BOLTS AT 6'-0" O.C.
 AND NOT MORE THAN 12" FROM CORNERS, EMBEDDED
 MIN. 7" INTO FOUNDATION. USE A MIN. OF 2 BOLTS
 PER EACH STUD WALL

ALL FOUNDATION WALLS HAVE
 A 16" X 8" FOOTING UNLESS
 NOTED OTHERWISE.



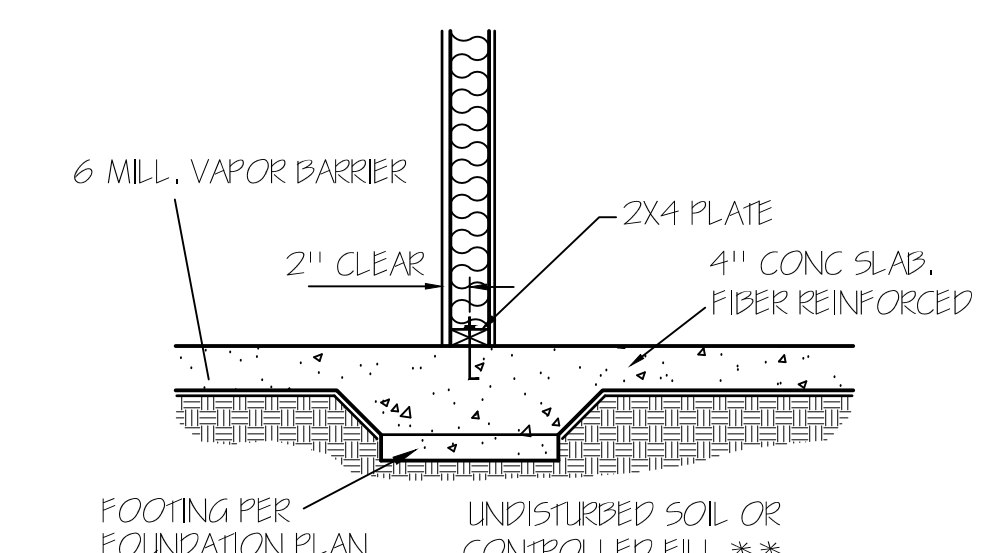
NOTE:
 PERIMETER INSL. MAY EXTEND HORIZ. UNDER SLAB
 24\"/>

CONCRETE SLAB FLOOR — (A)



NOTE:
 PERIMETER INSL. MAY EXTEND HORIZ. UNDER SLAB
 24\"/>

GARAGE WALL — (B)



LOAD BEARING WALL THICKENED SLAB — (C)

FOUNDATION PLAN
 SCALE: 1/4"=1'-0"

EXCLUSIVE RESIDENCE DESIGN FOR:

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PLAN NUMBER
 RG22-A05

3	GARAGE	? ?
	DATE:	11/6/21