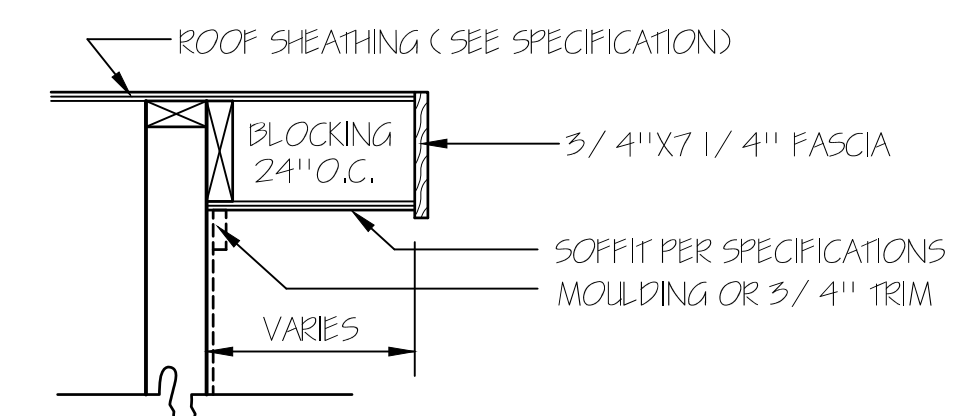


**ATTIC VENTILATION CALCULATIONS**

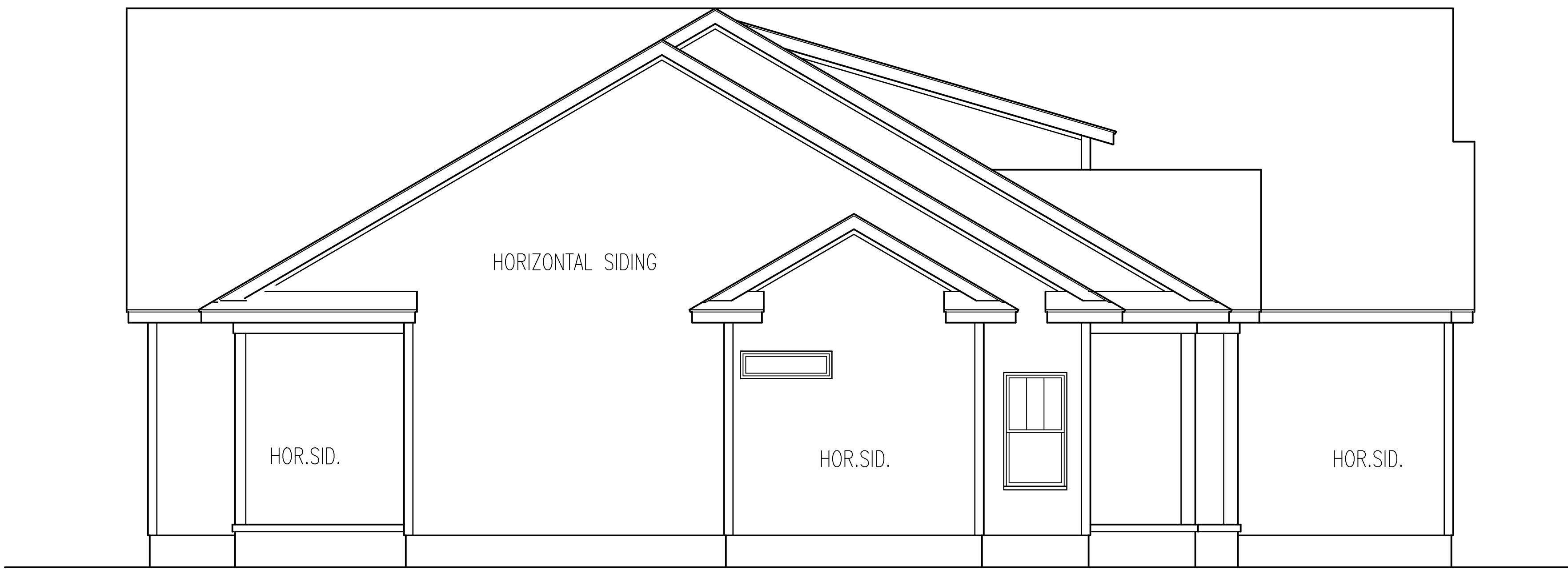
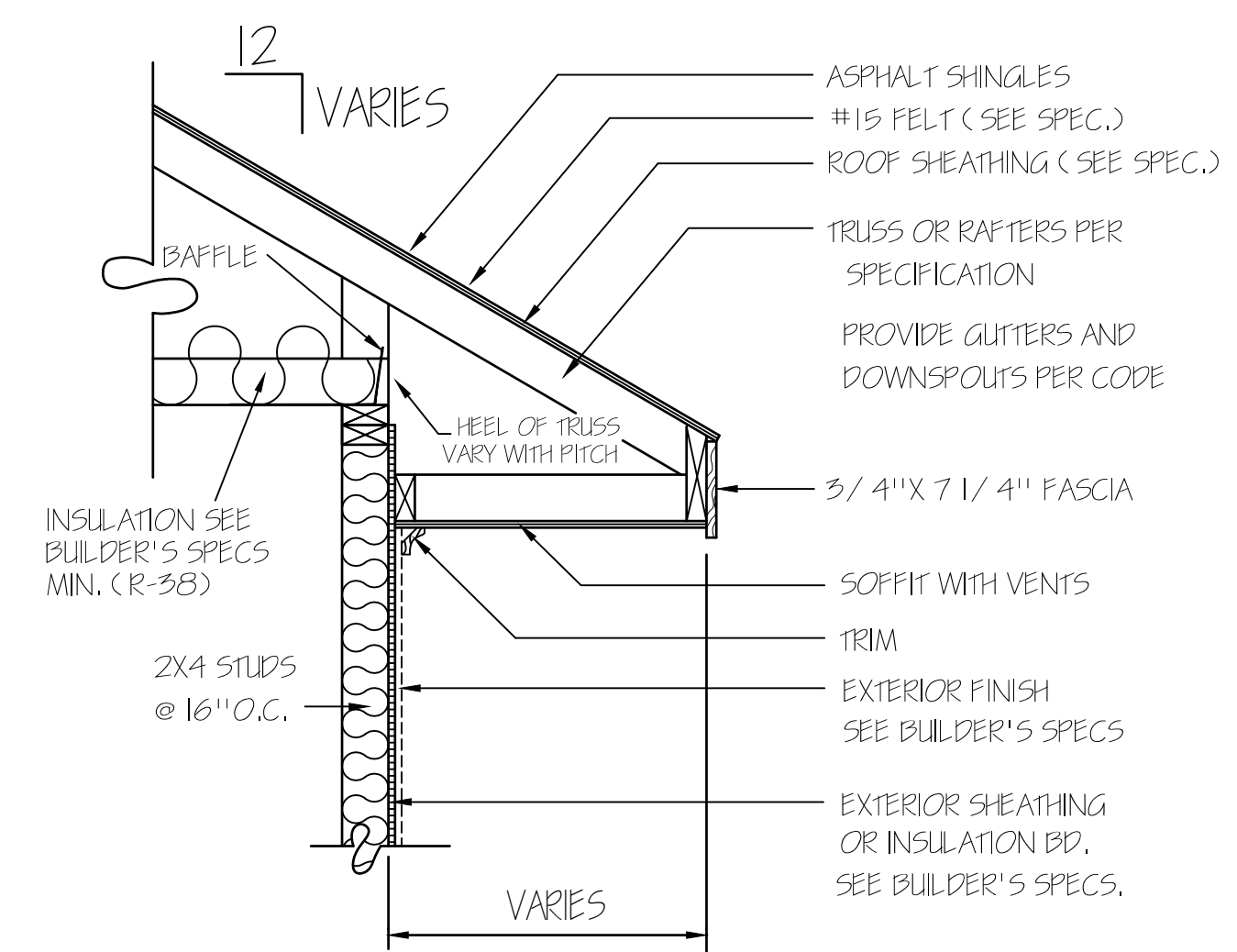
ATTIC AREA	2999 SQ.FT.	(AREA VENTILATION REQUIRED 20.9 SQ.FT.)
EACH	1 FT. BASE GABLE LOUVER @	1 SQ.FT. NET FREE AREA
EACH	1 FT. BASE GABLE LOUVER @	1 SQ.FT. NET FREE AREA
EACH	1 LOUVER @	1 SQ.FT. NET FREE AREA
38	LINEAR FT. EAVE VENT @ 11 SQ.IN./FT. =	7.5 SQ.FT. NET FREE AREA
110	LINEAR FT. RIDGE VENT @ 18 SQ.IN./FT. =	13.7 SQ.FT. NET FREE AREA



FRONT ELEVATION  
 SCALE: 1/4" = 1'-0"



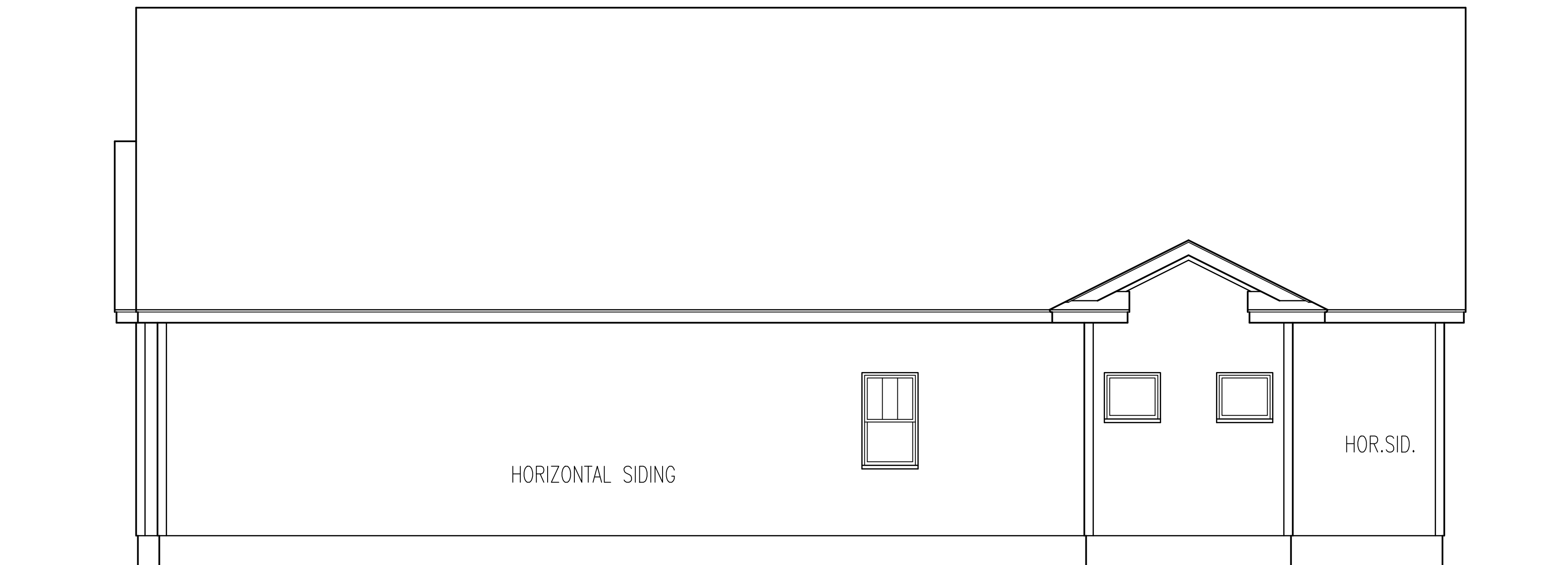
RAKE DETAIL FOR GABLE ENDS



RIGHT ELEVATION  
 SCALE: 1/4" = 1'-0"



REAR ELEVATION  
SCALE: 1/4"=1'-0"



LEFT ELEVATION  
SCALE: 1/4"=1'-0"

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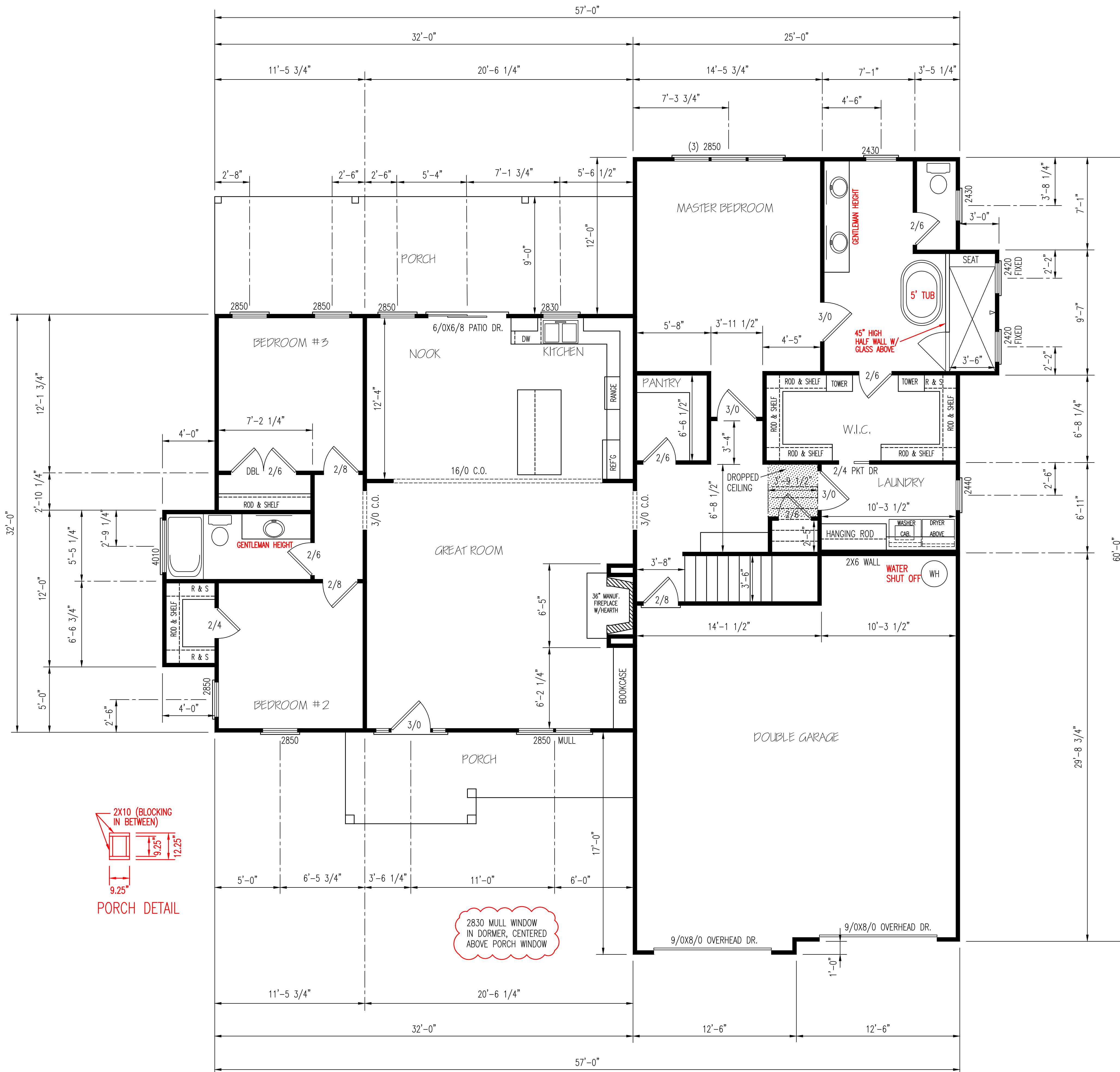
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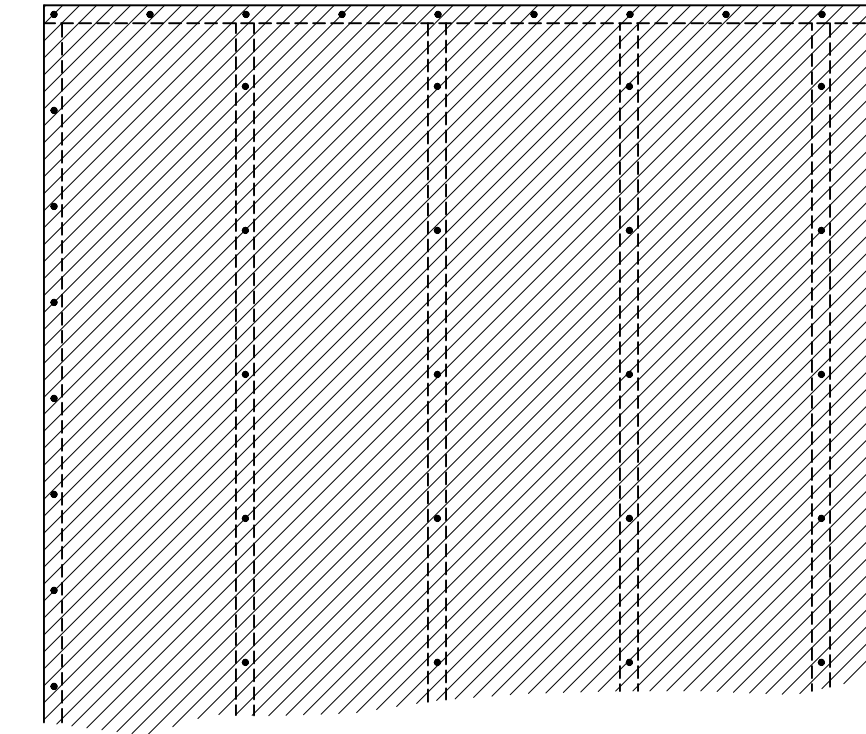
THIS IS FOR THE CONSTRUCTION OF ONE HOUSE ON A SINGLE LOT. NOT TO BE REUSED

PLAN NUMBER  
BG22-A05F

1	GARAGE	F	R
	DATE:	11/6/21	

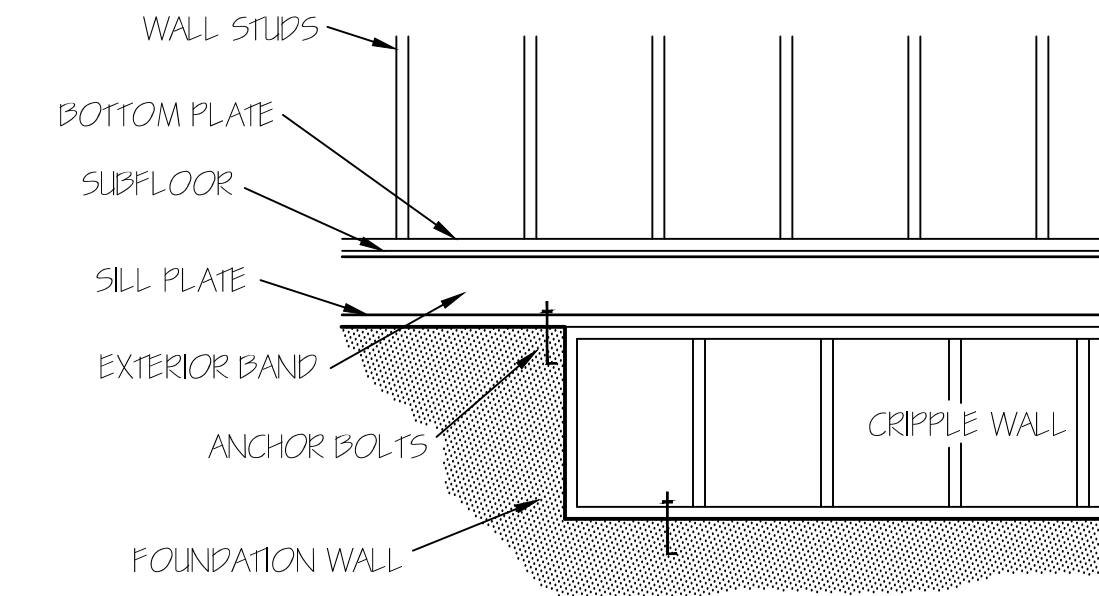


BRACING METHOD



EXTERIOR WALL TO BE FULLY SHEATHED WITH 7/16" OSB. NAILING PATTERN TO BE 8" ON ALL EDGES AND 12" IN FIELD, WITH 8d NAILS.

ENERGY TABLE  
 UFACTOR OF WINDOWS .30  
 CLIMATE ZONE 3  
 INSULATION: WALLS 15  
 CEILING 38  
 FLOORS 19



FOUNDATION CRIPPLE WALLS SHALL BE FRAMED OF STUDS NOT SMALLER THAN THE STUDGING ABOVE. WHEN EXCEEDING 4 FT. IN HEIGHT, SUCH WALLS SHALL BE FRAMED OF STUDS HAVING THE SIZE REQUIRED FOR AN ADDITIONAL STORY. CRIPPLE WALLS WITH A STUD HEIGHT LESS THAN 14 INCHES SHALL BE CONTINUOUSLY SHEATHED ON ONE SIDE WITH WOOD STRUCTURAL PANELS FASTENED TO BOTH THE TOP AND BOTTOM PLATES IN ACCORDANCE WITH TABLE R602.5(1), OR CRIPPLE WALLS SHALL BE CONSTRUCTED OF SOLID BLOCKING.

NOTE:  
 CEILINGS ARE 9'-0"  
 UNLESS NOTED.

FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

HEATED AREA

1ST FL 1906 SQ FT  
 2ND FL 369 SQ FT  
 TOTAL 2275 SQ FT

OTHER AREAS

GARAGE 707 SQ FT  
 F.PORCH 130 SQ FT  
 R.PORCH 256 SQ FT  
 STORAGE 340 SQ FT

GARAGE PANEL WALL

GARAGE PANEL WALLS UNDER 24" WIDE SHOULD BE EITHER PORTAL FRAMED OR 7/16" OSB ON BOTH SIDES WITH A NAILING PATTERN OF 3" ON ALL PANEL EDGES AND 6" IN THE FIELD.

EXTERIOR WALLS (2) 2X10 HEADERS		
CLEAR SPAN FOR HEADER	NUMBER OF STUDS	
	JACKS	KINGS
ALL DOOR & C.O. BELOW 4'	1	1
ALL DOOR & C.O. 4' TO 7'-11"	2	2
ALL DOOR & C.O. 8' AND ABOVE	SIZED BY ENGINEER	

\*\*UNLESS NOTED OTHER WISE\*\*

EXCLUSIVE RESIDENCE DESIGN FOR:  
**WATERMARK HOMES**

**TM DESIGNS**  
 RESIDENTIAL PLANS BY TINA MCFADDEN  
 (910) 354-4736 TMDDESIGNS2016@GMAIL.COM

LOT: 25 OAK HAVEN

NAME: JASMINE

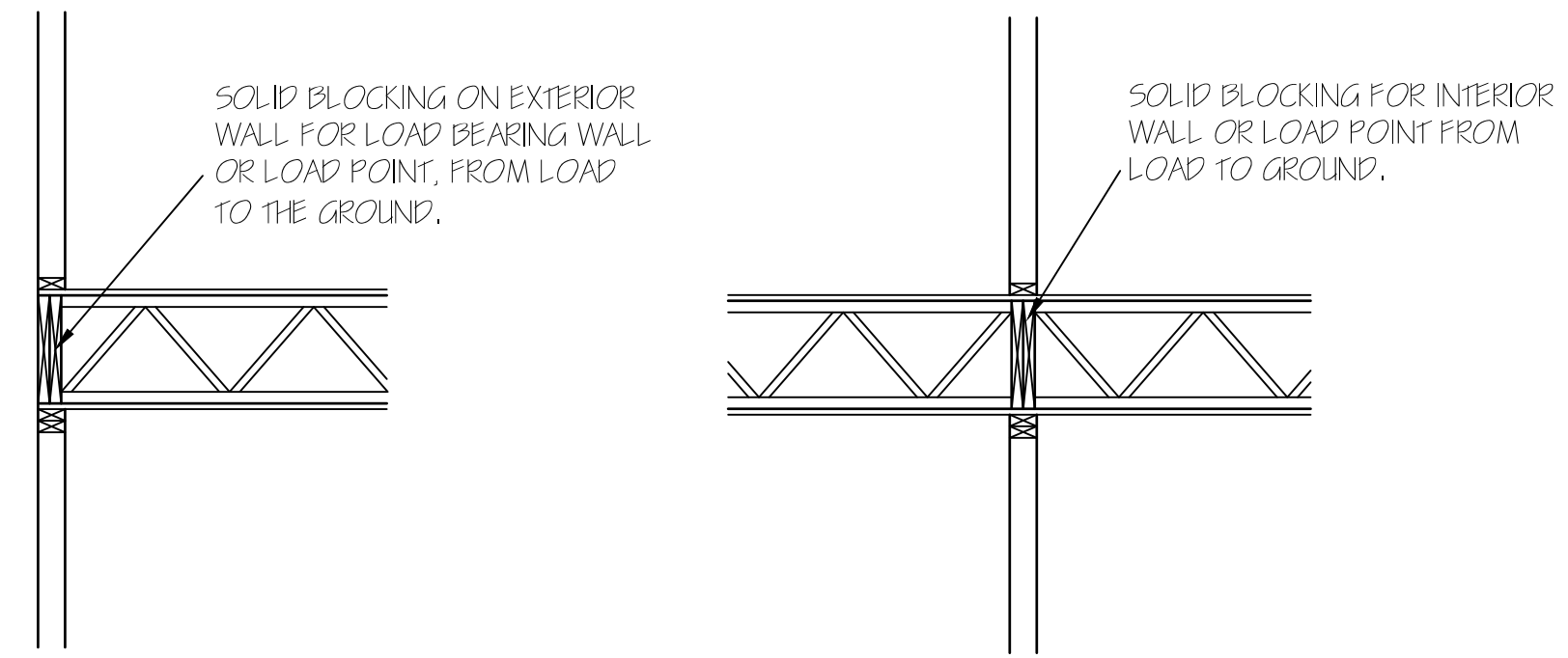
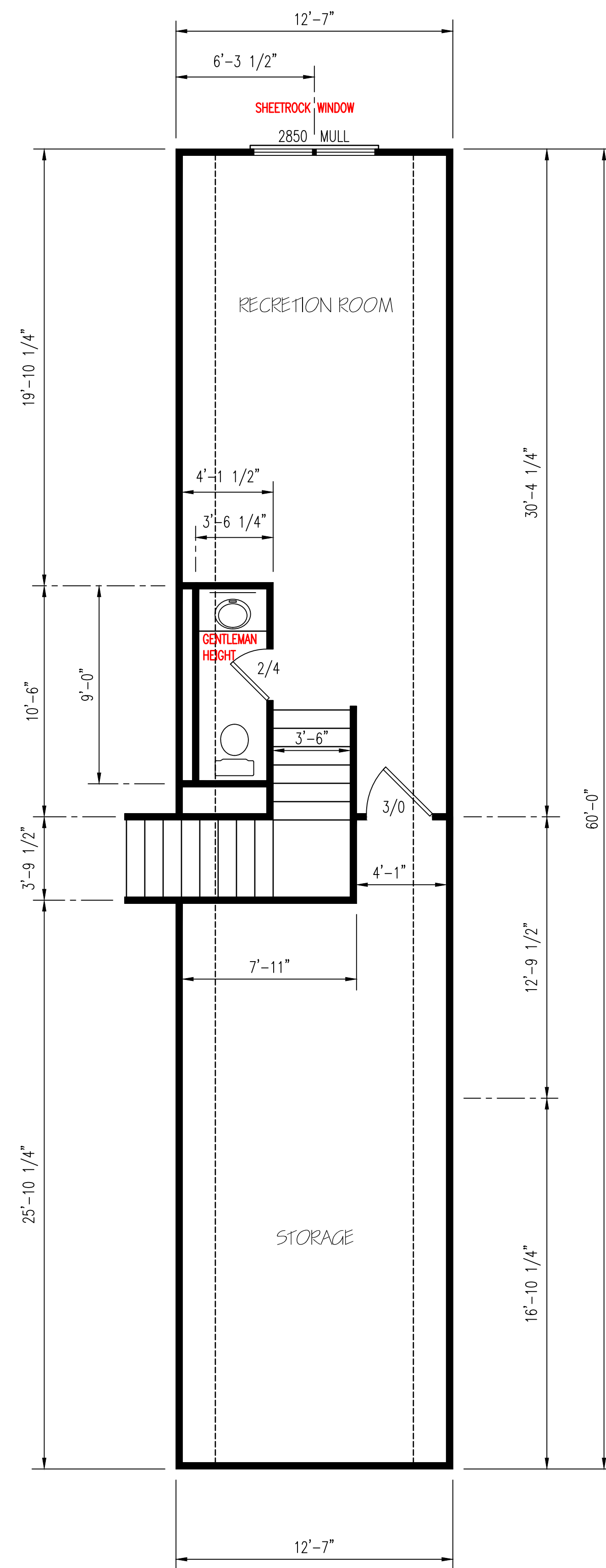
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PLAN NUMBER  
 RG22-A05

2  
 GARAGE ? ?  
 DATE: 11/6/21



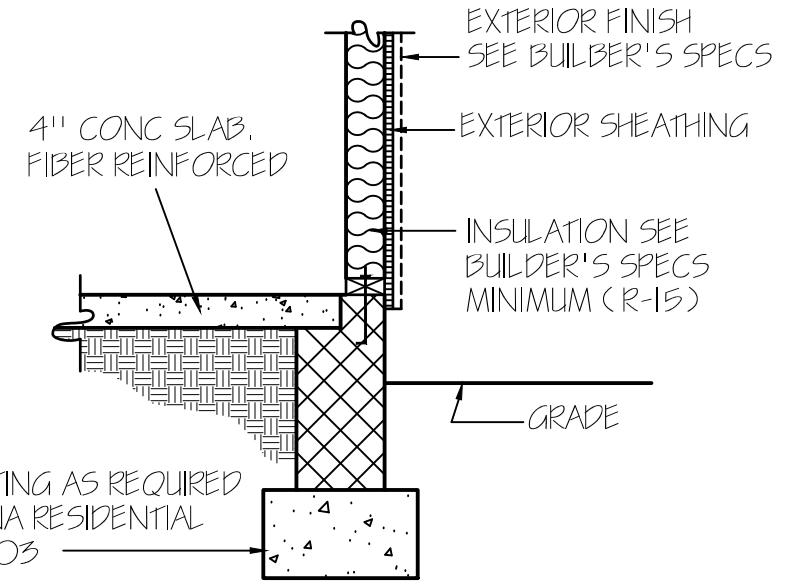
EXTERIOR WALLS (2) 2X10 HEADERS		
CLEAR SPAN FOR HEADER	NUMBER OF STUDS	
	JACKS	KINGS
ALL DOOR & C.O. BELOW 4'	1	1
ALL DOOR & C.O. 4' TO 7'-11"	2	2
ALL DOOR & C.O. 8' AND ABOVE	SIZED BY ENGINEER	

\*\*UNLESS NOTED OTHER WISE\*\*

SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"

WALL ANCHOR OPTIONS  
 USE ANCHOR BOLTS  
 ANCHOR BOLTS: 1/2" DIA. BOLTS AT 6'-0" O.C.  
 AND NOT MORE THAN 12" FROM CORNERS, EMBEDDED  
 MIN. 7" INTO FOUNDATION. USE A MIN. OF 2 BOLTS  
 PER EACH STUD WALL

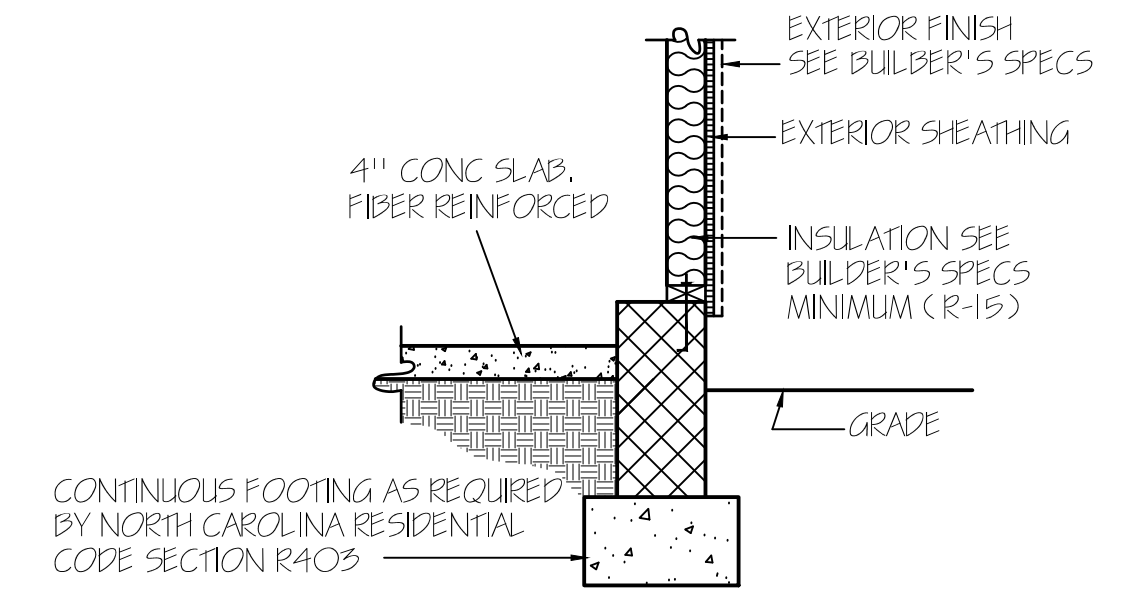
ALL FOUNDATION WALLS HAVE  
 A 16" X 8" FOOTING UNLESS  
 NOTED OTHERWISE.



CONTINUOUS FOOTING AS REQUIRED  
 BY NORTH CAROLINA RESIDENTIAL  
 CODE SECTION R403

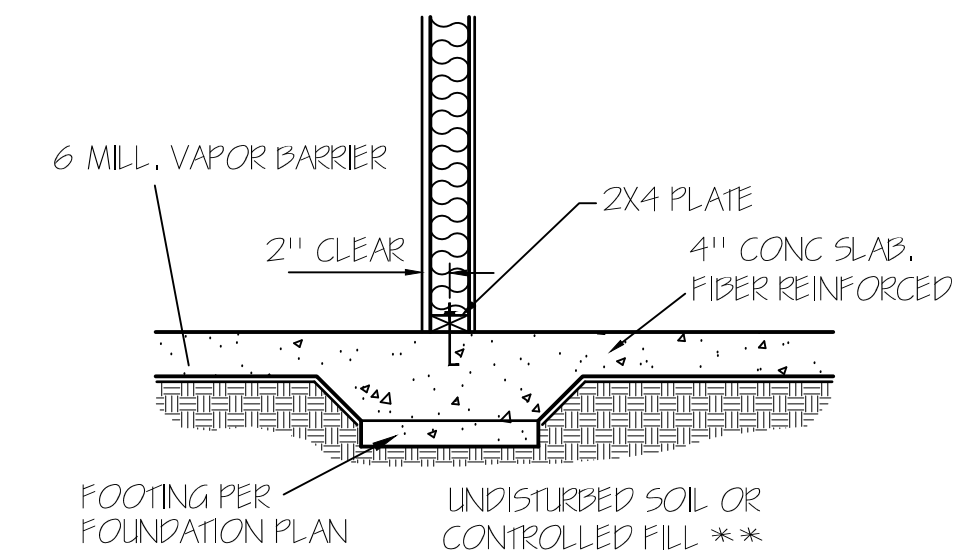
NOTE:  
 PERIMETER INSL. MAY EXTEND HORIZ. UNDER SLAB  
 24" OR VERTICAL 24" BELOW SLAB FLOOR

CONCRETE SLAB FLOOR — (A)



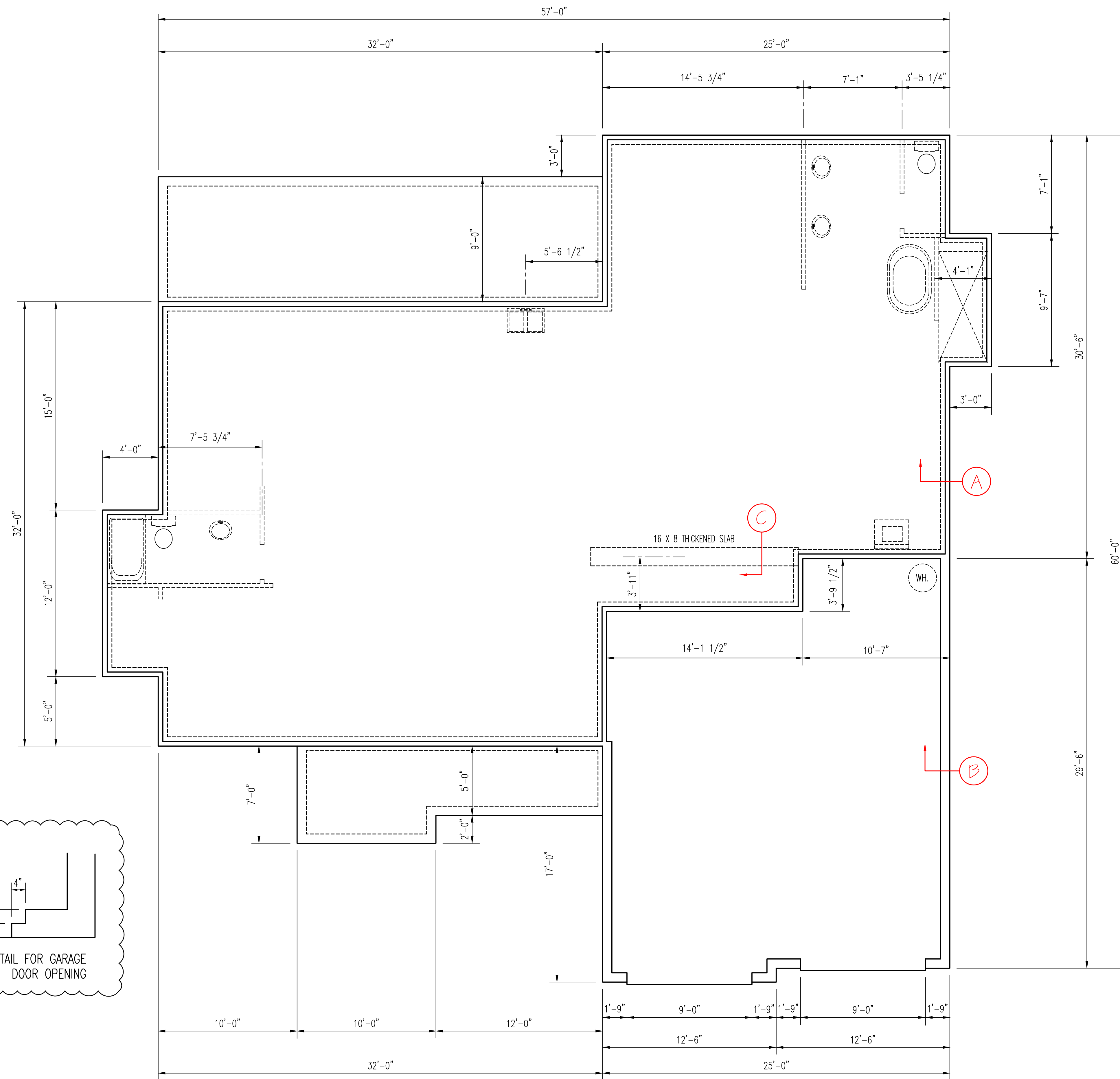
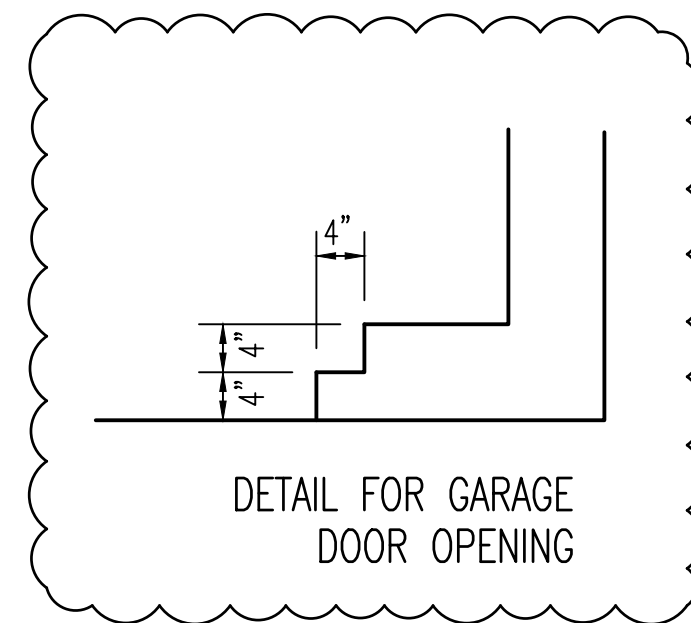
NOTE:  
 PERIMETER INSL. MAY EXTEND HORIZ. UNDER SLAB  
 24" OR VERTICAL 24" BELOW SLAB FLOOR

GARAGE WALL — (B)



LOAD BEARING WALL THICKENED SLAB — (C)

FOUNDATION PLAN  
 SCALE: 1/4"=1'-0"



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 RESIDENTIAL PLANS BY TINA MCFADDEN  
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EXCLUSIVE RESIDENCE DESIGN FOR:  
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 NAME: JASMINE  
 LOT: 25 OAK HAVEN

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PLAN NUMBER  
 RG22-A05  
 3 GARAGE ? ?  
 DATE: 11/6/21