



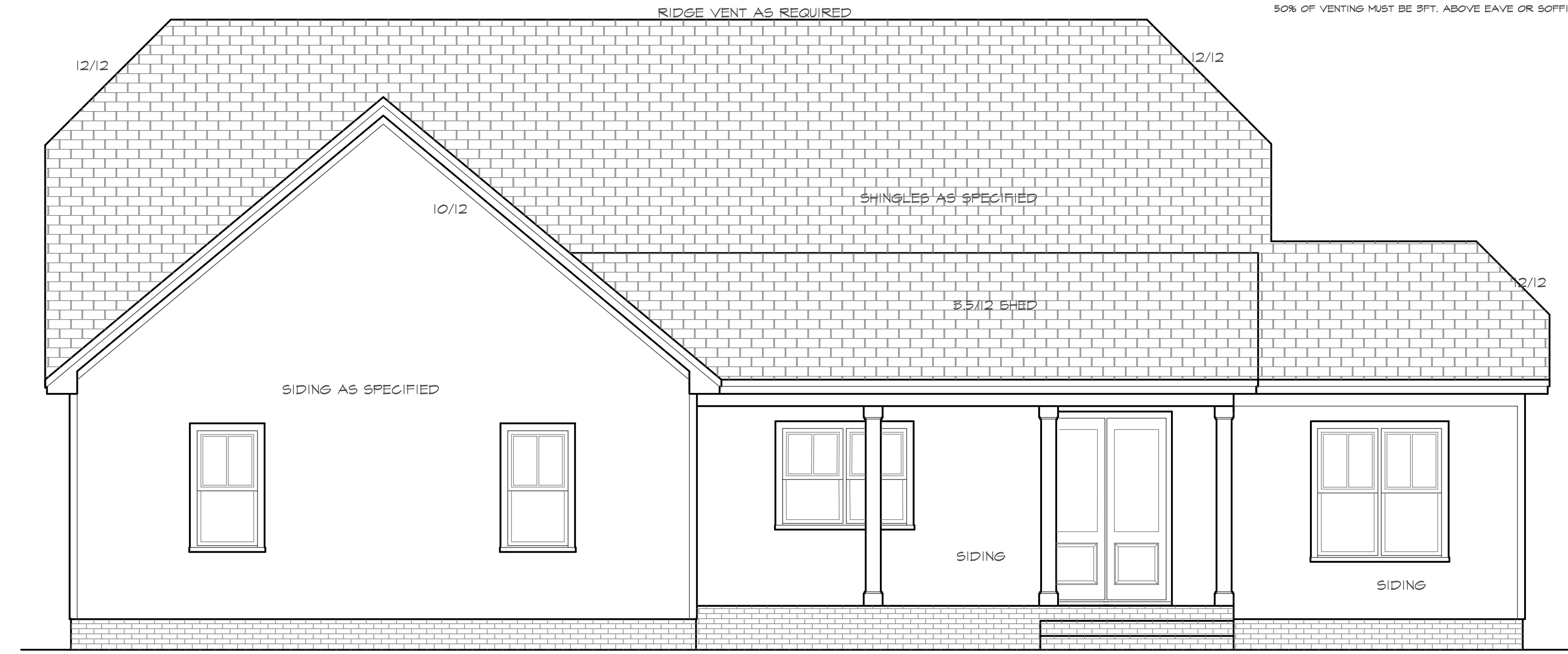
NOTICE TO CONTRACTOR:
All construction must comply with current NC Building Codes and is subject to field inspection and verification.

APPROVED
Limited building only review
Permit holder responsible for full compliance with the code

02/18/2022


FRONT ELEVATION
SCALE 1/4" = 1'0"



REAR ELEVATION

ATTIC VENTILATION:
THE NET FREE VENTILATING AREA SHALL BE NOT LESS THAN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE AREA MAY BE 1 TO 300 PROVIDED AT LEAST 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION TO BE PROVIDED BY EAVE OR CORNICE VENTS.
GROSS ATTIC AREA TO BE VENTILATED 3225 SQ.FT.
3225/300 = 10.75 SQ.FT. NET FREE AREA
50% OF VENTING MUST BE 3FT. ABOVE EAVE OR SOFFIT VENTS.



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THIS PLAN DESIGNED UNDER NORTH CAROLINA RESIDENTIAL CODE 2018 EDITION (2018 IRC)
NC (2018 NCRC) / Mod. 1 - 15 - 120 mph

Weaver Homes

DATE: 2/10/2022
PROJECT #: 210903

MidTown Designs Inc. 1529 Big Falls Dr. Wendell NC 27591 Phone: 919-783-8626 www.midtowndesigns.com



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LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION

THIS PLAN DESIGNED UNDER NORTH CAROLINA RESIDENTIAL CODE 2018 EDITION (2018 IRC)
NC (2018 NCRC) / Wind: 115 - 120 mph

Weaver Homes

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FOUNDATION STRUCTURAL NOTES:

- 1 (B) 2 x 10 SPF #2 GIRDER DROPPED, TYPICAL UNO.
- 2 CONCRETE BLOCK PIER SIZE SHALL BE:

SIZE	HOLLOW MASONRY	SOLID MASONRY
8 x 16	UP TO 32" HIGH	UP TO 5'-0" HIGH
12 x 16	UP TO 48" HIGH	UP TO 9'-0" HIGH
16 x 16	UP TO 64" HIGH	UP TO 12'-0" HIGH
24 x 24	UP TO 96" HIGH	

 WITH 30" x 30" x 10" CONCRETE FOOTING, UNO.

3 WALL FOOTINGS AS FOLLOWS:

- DEPTH: 8" - UP TO 2-1/2 STORY
 10" - 3 STORY
- WIDTH: SIDING (OR EQUAL)
 - 16" - UP TO 2-1/2 STORY
 - 18" - 3 STORY
- BRICK VENEER
 - 16" - 1 STORY
 - 20" - 2 STORY
 - 24" - 3 STORY

FOR FOUNDATION WALL HEIGHT AND BACKFILL REQUIREMENTS, REFER TO NORTH CAROLINA RESIDENTIAL CODE TABLE R404.1.1 (1) THRU (4).
 NOTE: ASSUMED SOIL BEARING CAPACITY = 2000 PSF.
 CONTRACTOR MUST VERIFY SITE CONDITIONS AND CONTACT SOILS ENGINEER IF MARGINAL OR UNSTABLE SOILS ARE ENCOUNTERED.

ATTACH SILL PLATE WITH 1/2" dia. ANCHOR BOLTS AT 6'-0" CENTERS (1" EMBEDMENT) AND 12" FROM EACH PLATE END. (SECTION R 403.1.6)

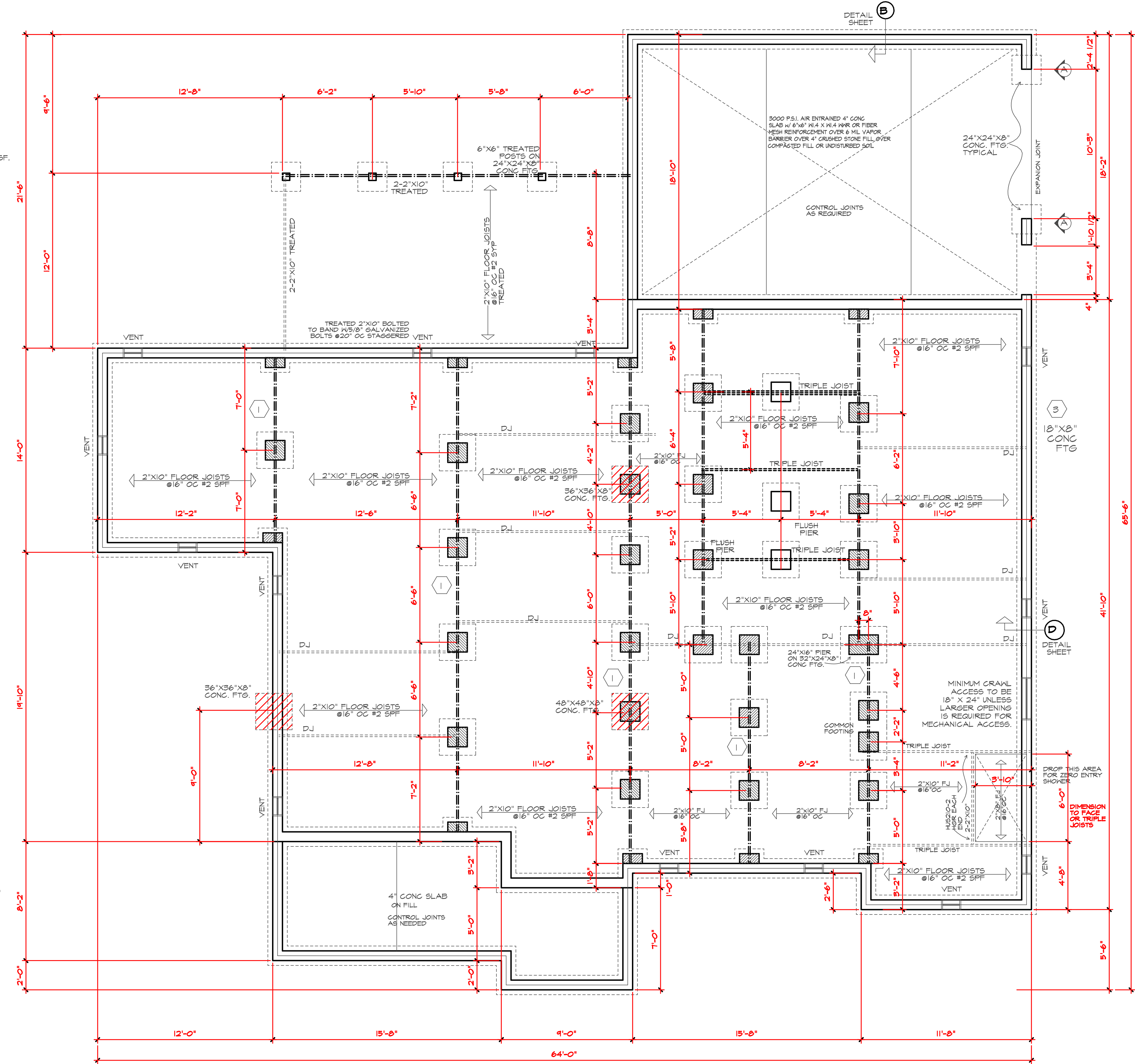
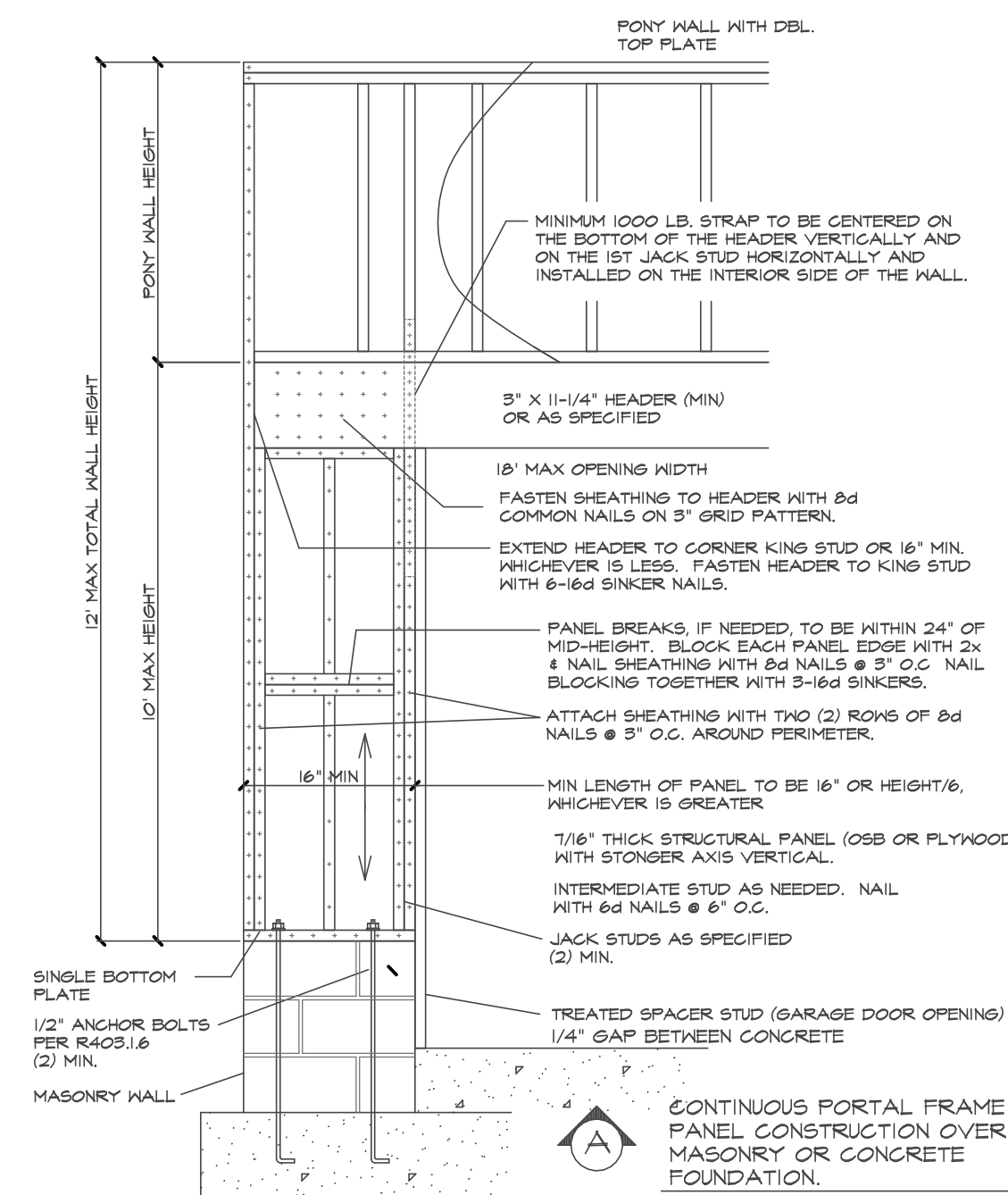
- 4 ■ DESIGNATES A SIGNIFICANT POINT LOAD TO HAVE SOLID BLOCKING TO PIER. SOLID BLOCK ALL BEAM BEARING POINTS NOTED TO HAVE THREE OR MORE STUDS TO FND, TYPICAL.

5 ABBREVIATIONS:

- "SJ" = SINGLE JOIST
- "DJ" = DOUBLE JOIST
- "TJ" = TRIPLE JOIST



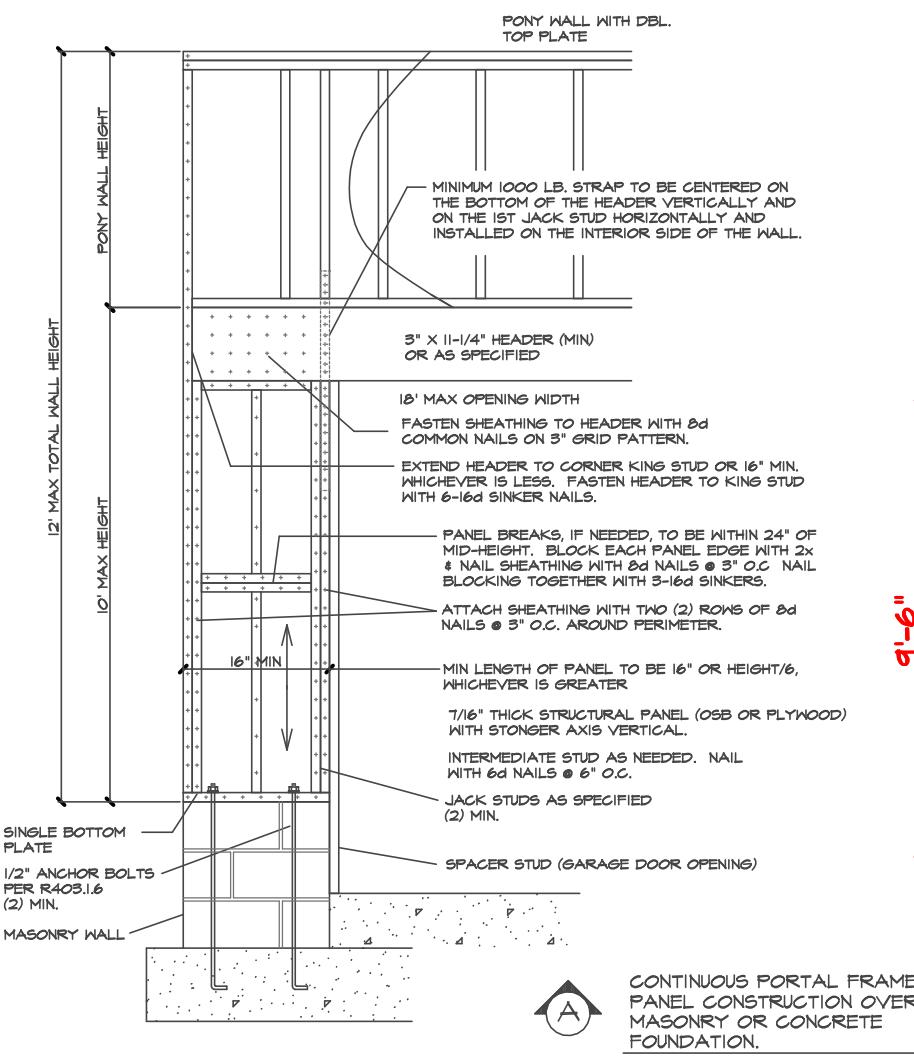
2/10/2022
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FOUNDATION PLAN
 SCALE 1/4" = 1'-0"

THIS PLAN DESIGNED UNDER NORTH CAROLINA RESIDENTIAL CODE 2018 EDITION (2018 IRC)

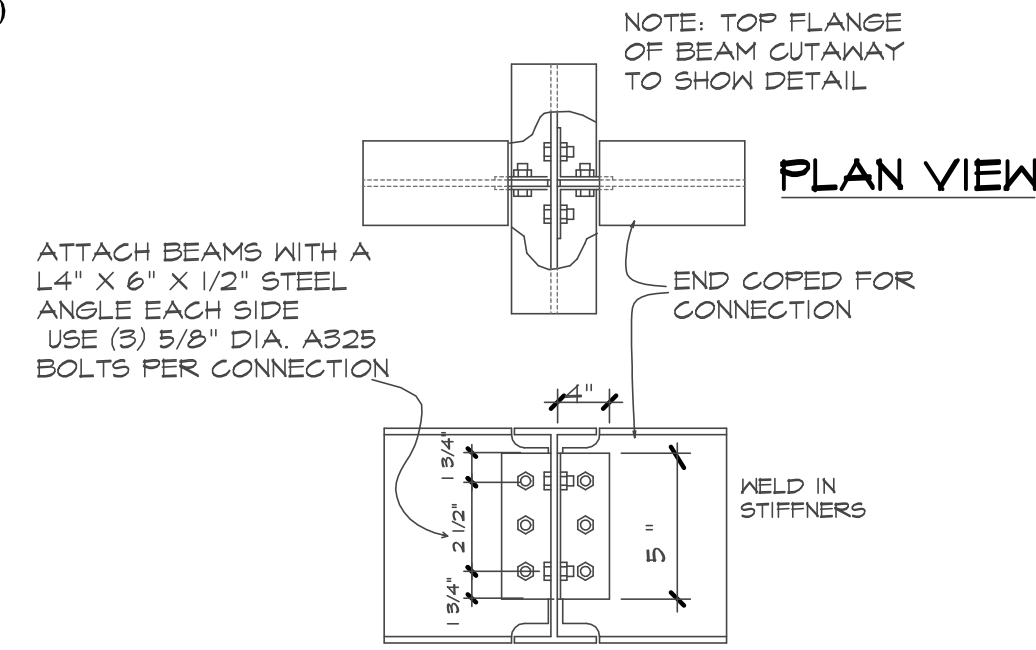
Weaver Homes



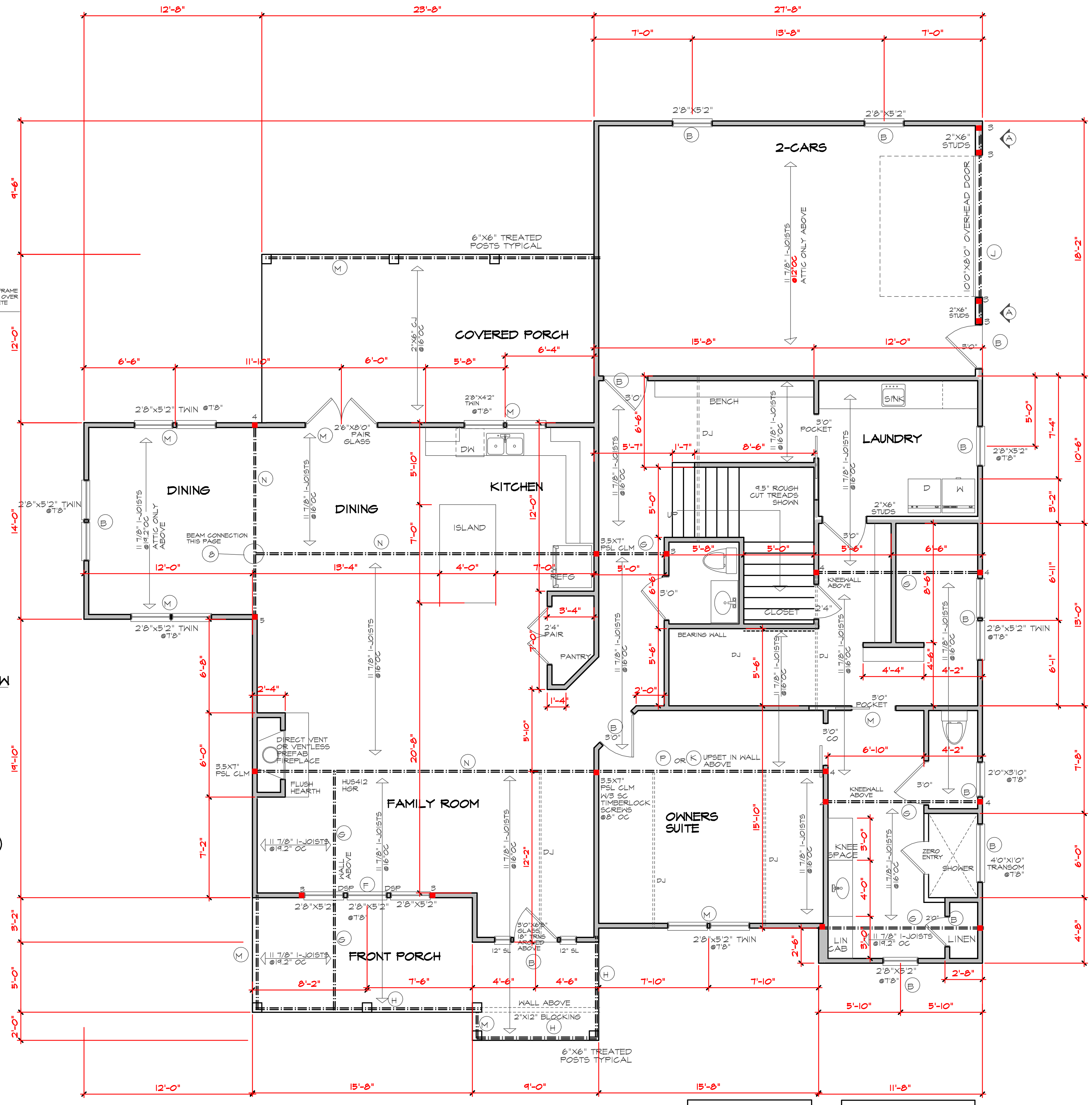
- BEAM SCHEDULE**
- (A) 2-2"X10" FLUSH
 - (B) 2-2"X10" DROPPED
 - (C) 2-2"X8 FLUSH
 - (D) 2-2"X8 DROPPED
 - (E) 2-1.75"X9.25" LVL FLUSH
 - (F) 2-1.75"X9.25" DROPPED
 - (G) 2-1.75"X 11 7/8" LVL FLUSH
 - (H) 2-1.75"X 11 7/8" LVL DROPPED
 - (J) 2-1.75"X14" LVL DROPPED
 - (K) 2-1.75"X16" LVL BTM. FLUSH
 - (L) 3-1.75"X18" LVL DROPPED
 - (M) 2-2"X12" DROPPED
 - (N) W 10X54 STEEL BEAM FLUSH
 - (P) W 10X19 STEEL BEAM FLUSH



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- WALL BRACING NOTES:**
- WALL BRACING SHALL BE IN ACCORDANCE WITH SECTION R602.16.3 CONTINUOUS BRACING, BRACING METHOD OR SPACING SHALL BE USED IN ACCORDANCE WITH TABLE R602.16.1.
- THE REQUIRED LENGTH OF BRACING FOR EACH SIDE OF A RECTANGLE CIRCUMSCRIBED AROUND THE PLAN OF A PORTION OF THE PLAN AT EACH STORY LEVEL SHALL BE IN ACCORDANCE WITH TABLE R602.16.3 AND FIGURE R602.16.3(i), UNLESS NOTED OTHERWISE. THE ENTIRE STRUCTURE IS ASSUMED TO BE CIRCUMSCRIBED WITHIN A SINGLE RECTANGLE.
 - MINIMUM PANEL WIDTH IS 24". SEE SECTION R602.16.3 FOR ADDITIONAL INFORMATION. CONNECTION CRITERIA SHALL BE IN ACCORDANCE WITH TABLE R602.16.1.
 - PORTAL FRAME CONSTRUCTION SHALL BE IN ACCORDANCE WITH FIGURE R602.16.1.
 - HOLD DOWN DEVICE SHALL BE AS FOLLOWS: SIMPSON L54X STRAP (OR EQUIVALENT) BETWEEN FLOORS EXTENDING FROM BOTTOM OF FLOOR BAND AND UP THE STUDS PER SITE PER BUILDER SIMPSON HOSS (HOLD DOWN OR EQUIVALENT) WHERE REQUIRED TO CONNECT DIRECTLY TO FOUNDATION.



I-JOIST OPTIONS

- TJI 230 SERIES
- BLULINX BLI 80
- BCI 60 SERIES
- GPI 65 SERIES
- LPI 42 PLUS

SQUARE FOOTAGE

FIRST FLOOR	2136 SQ.FT.
SECOND FLR.	1029 SQ.FT.
TOTAL	3161 SQ.FT.
GARAGE	502 SQ.FT.
PORCHES	475 SQ.FT.

DATE

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PROJECT #

210903



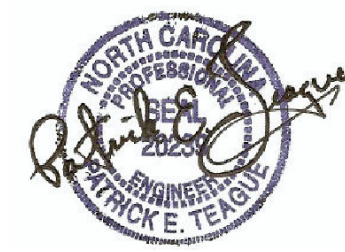
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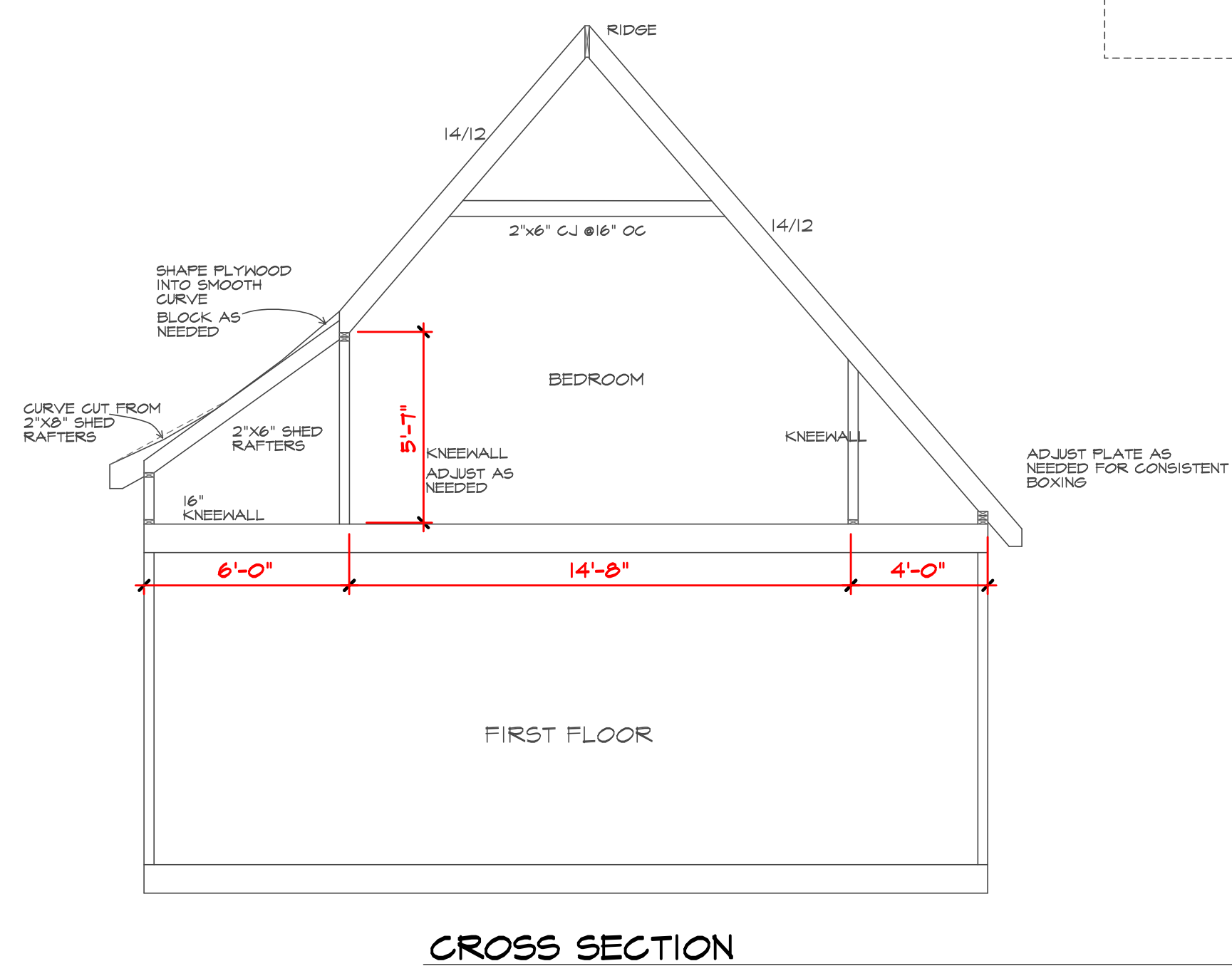
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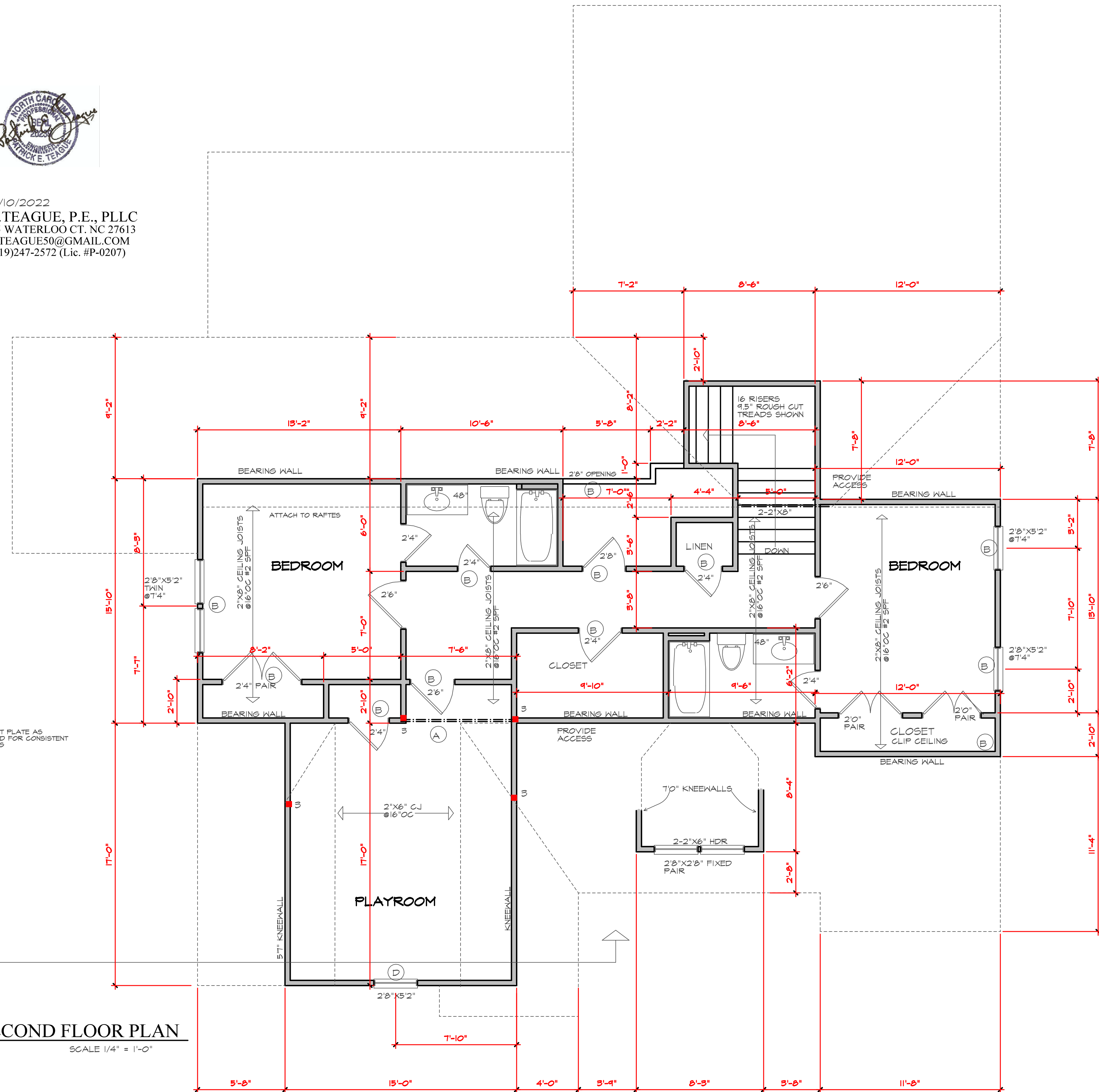


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CROSS SECTION

SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"



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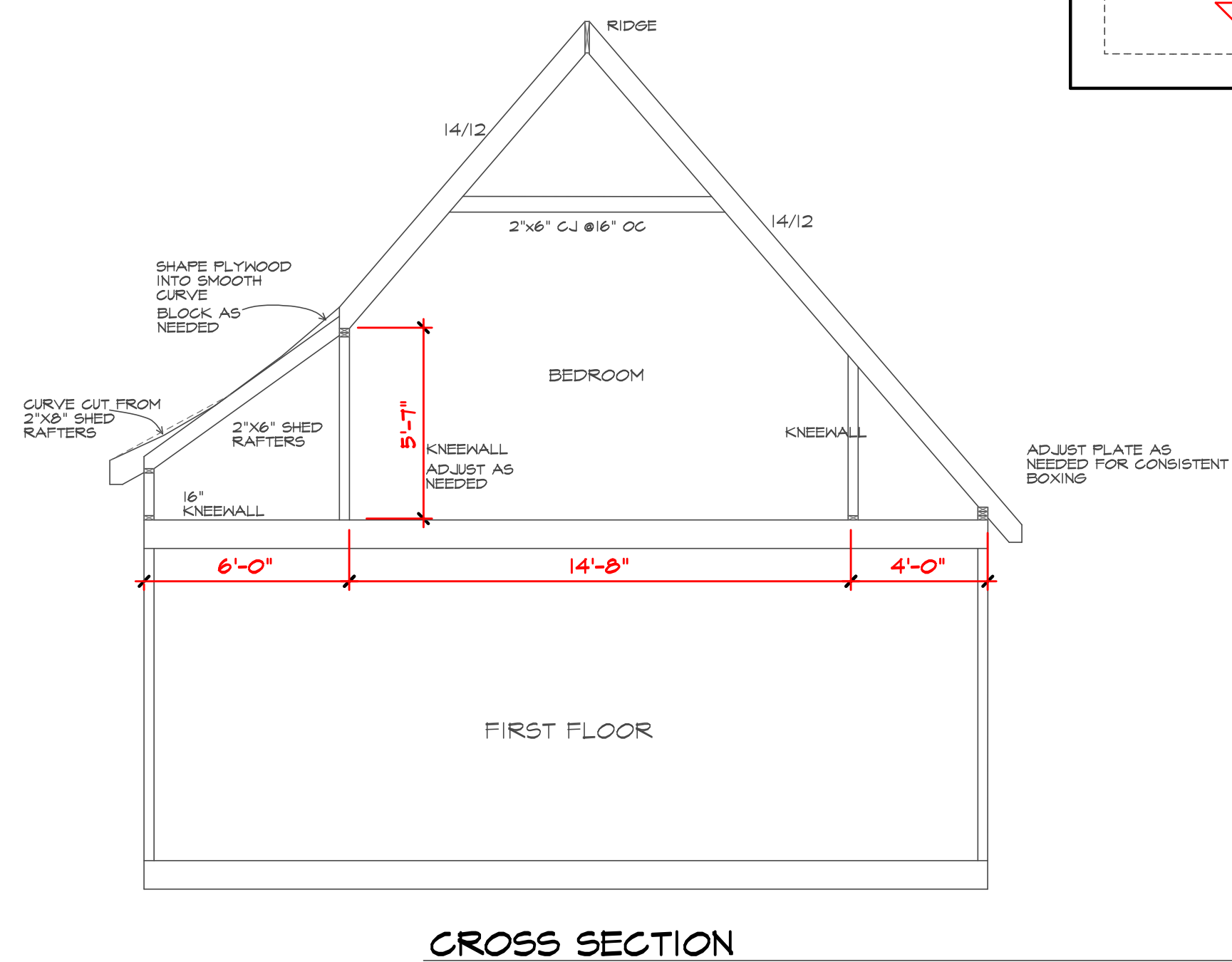
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ROOF FRAMING NOTES:

- (115-120) MPH WIND ZONE
- ALL RAFTERS TO BE 2x8 @ 16" O.C. WITH 2 X 12 RIDGE, UNO.
 - (2)2x10 OR (1) 1.75" X 11 7/8" LVL HIP. (2)2x10 HIPs MAY BE SPLICED WITH A MINIMUM 6'-0" OVERLAP AT CENTER.
 - (2)2x10 OR (1) 1.75" X 9.25" LVL VALLEY. DO NOT SPLICE VALLEYS
 - 2-1.75x11 7/8" LVL VALLEY
 - FALSE FRAME VALLEY ON 2x10 FLAT PLATE
 - 2"x6" RAFTERS @16" O.C. W/ 2x8 RIDGE
 - 2"x10" RAFTERS @16" O.C. W/ 2x12 RIDGE
 - "SR" = SINGLE RAFTER
 - "DR" = DOUBLE RAFTER
 - "TR" = TRIPLE RAFTER
 - "RS" = ROOF SUPPORT FOR RAFTER SPLICE
 - "■" = (3) STUD OR 4x4 POST FOR ROOF SUPPORT
 - FIR DOWN 2x8 RAFTERS OR USE 2x10 AT CATHEDRAL CEILINGS
 - ATTACH VAULTED RAFTERS WITH HURRICANE CLIPS; SIMPSON "H-5" OR EQUIVALENT
 - 2"x6" COLLAR TIES @32" TYPICAL

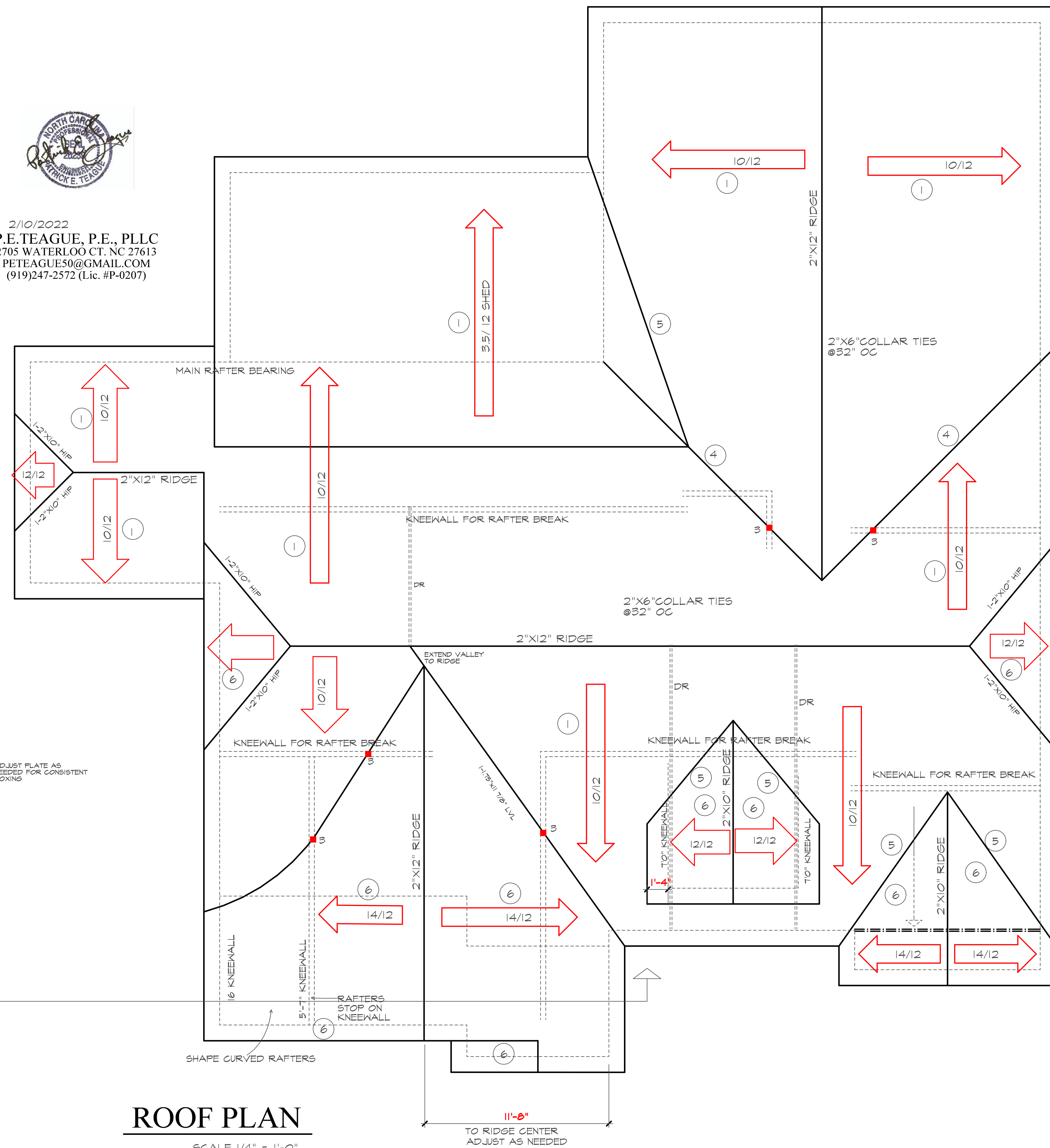


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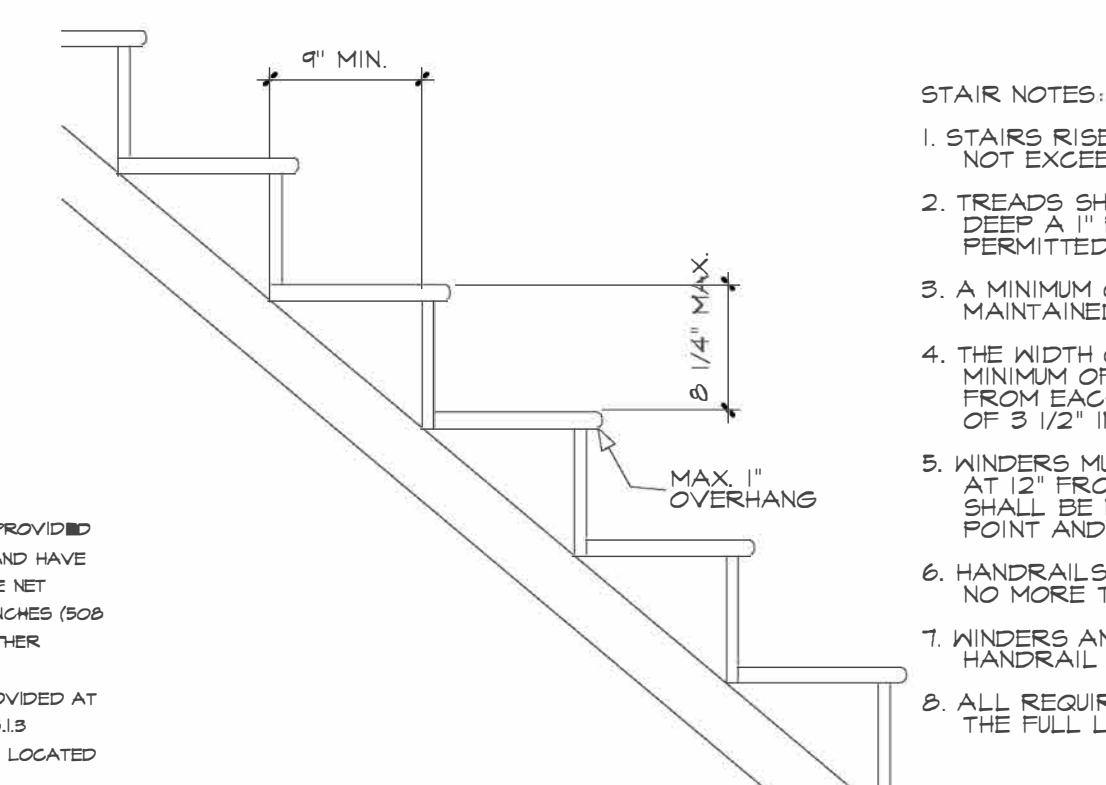
ROOF PLAN

SCALE 1/4" = 1'-0"



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- STAIR NOTES:**
1. STAIRS RISERS MUST BE UNIFORM AND NOT EXCEED 6 1/4\"/>
 2. TREADS SHALL NOT BE LESS THAN 10\"/>
 3. A MINIMUM OF 6'6\"/>
 4. THE WIDTH OF THE STAIR SHALL BE A MINIMUM OF 8'0\"/>
 5. HANDRAILS SHALL BE NO LESS THAN 34\"/>
 6. HANDRAILS SHALL BE NO LESS THAN 34\"/>
 7. HANDRAILS AND SPIRAL STAIRS SHALL HAVE THE HANDRAIL LOCATED ON THE OUTSIDE RADIUS.
 8. ALL REQUIRED HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS.

STAIR DETAIL
NO SCALE

ATTIC ACCESS

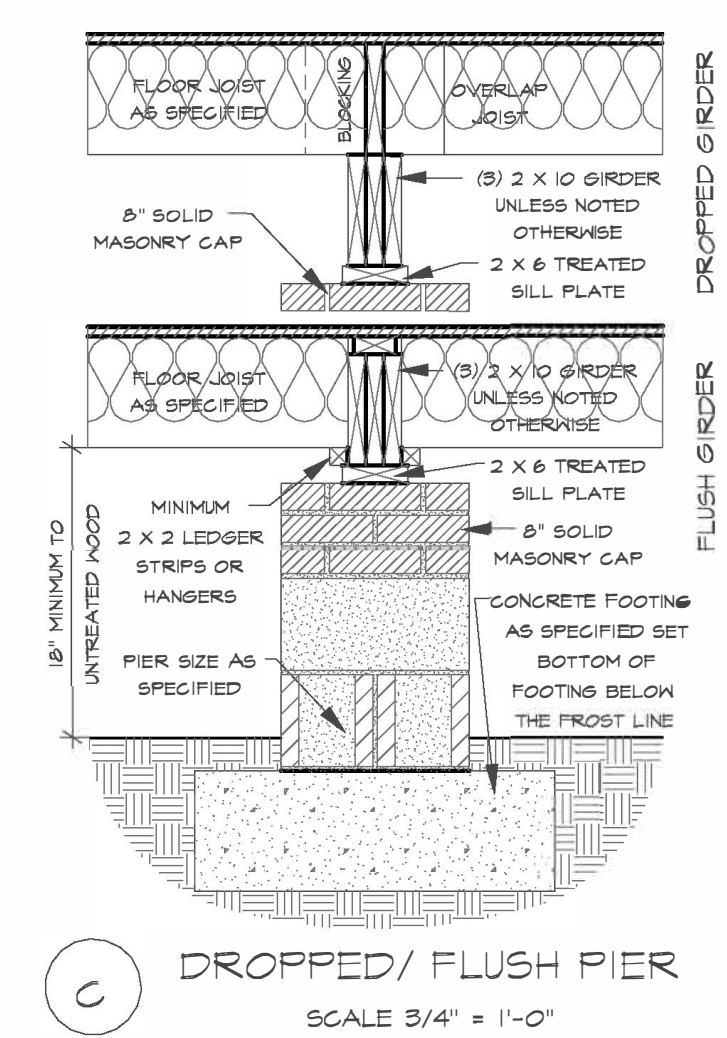
SECTION R807
 R807: ATTIC ACCESS/ATTIC OPENING SHALL BE PROVIDED TO ATTIC AREAS THAT EXCEED 400 SQUARE FEET (316 M²) AND HAVE A VERTICAL HEIGHT OF 60 INCHES (524 MM) OR GREATER. THE NET CLEAR OPENING SHALL NOT BE LESS THAN 20 INCHES (508 MM) BY 762 MM AND SHALL BE LOCATED IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION. A 30-INCH (762 MM) MINIMUM UNOBSTRUCTED HEADROOM IN THE ATTIC SPACE SHALL BE PROVIDED AT SOME POINT ABOVE THE ACCESS OPENING. SEE SECTION M503.13 FOR ACCESS REQUIREMENTS WHERE MECHANICAL EQUIPMENT IS LOCATED IN ATTICS.
 EXCEPTIONS:
 1. CONCEALED AREAS NOT LOCATED OVER THE MAIN STRUCTURE INCLUDING PORCHES, AREAS BEHIND KNEE WALLS, BARNERS, BAY WINDOWS, ETC. ARE NOT REQUIRED TO HAVE ACCESS.
 2. FULL DOWN STAIR TREADS, STRINGERS, HANDRAILS, AND HARDWARE MAY PROTRUDE INTO THE NET CLEAR OPENING.

STRUCTURAL NOTES

- 1) ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REQUIREMENTS OF THE NORTH CAROLINA STATE RESIDENTIAL CODE - 2018 EDITION (2015 IRC), PLUS ALL LOCAL CODES AND REGULATIONS.
 ALL MEMBERS SHALL BE FRAMED, ANCHORED, TIED AND BRACED IN ACCORDANCE WITH GOOD CONSTRUCTION PRACTICE AND THE BUILDING CODE.
- 2) DESIGN LOADS SEE TABLE R301.3
- WIND SPEED, REFER TO TABLE R301.2.4
 VERIFY ZONE BEFORE CONSTRUCTION.
- 3) WALL BRACING: WALLS SHALL BE BRACED ALONG BRACED WALL LINES ACCORDING TO SECTION R602.10. THE AMOUNT, LOCATION AND CONSTRUCTION OF BRACING SHALL COMPLY WITH R602.10. NOTE THAT THE BRACING SHOWN ON THE PLANS IS BASED ON THE PRESCRIPTIVE BRACING REQUIREMENTS OF THE CODE AND SHALL BE VERIFIED AND/OR APPROVED BY THE CODE OFFICIAL.
- 4) CONCRETE SHALL HAVE A MINIMUM 28 DAY STRENGTH OF 3000 PSI AND A MAXIMUM SLUMP OF 5 INCHES UNLESS NOTED OTHERWISE (NO). ALL ENTRAINED AIR SHALL BE VERIFIED AND/OR APPROVED BY THE CODE OFFICIAL.
 HANDED, SAMPLED, TESTED AND PLACED IN ACCORDANCE WITH ACI STANDARDS. ALL SAMPLES FOR PUMPING SHALL BE TAKEN FROM THE EXIT END OF THE PUMP.
- 5) ALLOWABLE SOIL BEARING CAPACITY ASSUMED TO BE 2000 PSF. THE CONTRACTOR MUST CONTACT A GEOTECHNICAL ENGINEER AND THE STRUCTURAL ENGINEER IF UNSATISFACTORY SUBSURFACE CONDITIONS ARE ENCOUNTERED. THE SURFACE AREA ADJACENT TO THE FOUNDATION WALL SHALL BE PROVIDED WITH ADEQUATE DRAINAGE, AND SHALL BE GRADED SO AS TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS.
- 6) ALL FRAMING LUMBER SHALL BE SPF #2 (FB = 875 PSI) UNLESS NOTED OTHERWISE (NO). ALL TREATED LUMBER SHALL BE SYP #2 (FB=475 PSI). PLATE MATERIAL MAY BE SPF #3 OR SYP #3 (FC/PERP) = 425 PSI - MIN.
- 7) ALL WOODEN BEAMS AND HEADERS SHALL HAVE THE FOLLOWING END SUPPORTS: (1) 2X4 STUD COLUMN FOR 6'-0\"/>
- 8) L.V.L. SHALL BE LAMINATED VENEER LUMBER: FB=2600 PSI, FV=255 PSI, E=1,400,000 PSI, P.S.L. SHALL BE PARALLEL STRAND LUMBER: FB=2400 PSI, FV=250 PSI, E=2,000,000 PSI. L.S.L. SHALL BE LAMINATED STRAND LUMBER: FB=2250 PSI, FV=400 PSI, E=1,500,000 PSI. INSTALL ALL CONNECTIONS PER MANUFACTURER'S INSTRUCTIONS.
- 9) ALL ROOF TRUSSES AND JOIST LAYOUTS SHALL BE PREPARED IN ACCORDANCE WITH THE SEALED STRUCTURAL DRAWINGS. TRUSSES AND JOISTS SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS.
- 10) ALL STRUCTURAL STEEL SHALL BE ASTM A-36. STEEL BEAMS SHALL BE SUPPORTED AT EACH END WITH A MINIMUM BEARING LENGTH OF 3 1/2\"/>
- 11) REBAR SHALL BE DEFORMED STEEL, ASTM#65, GRADE 60.
- 12) FLITCH BEAMS SHALL BE BOLTED TOGETHER USING (2) ROWS OF 1/2\"/>
- 13) BRICK LINTELS SHALL BE 3 1/2\"/>
- 14) THE POSITIVE AND NEGATIVE DESIGN PRESSURE FOR DOORS AND WINDOWS SEE R301.2(6)

DWELLING / GARAGE SEPARATION

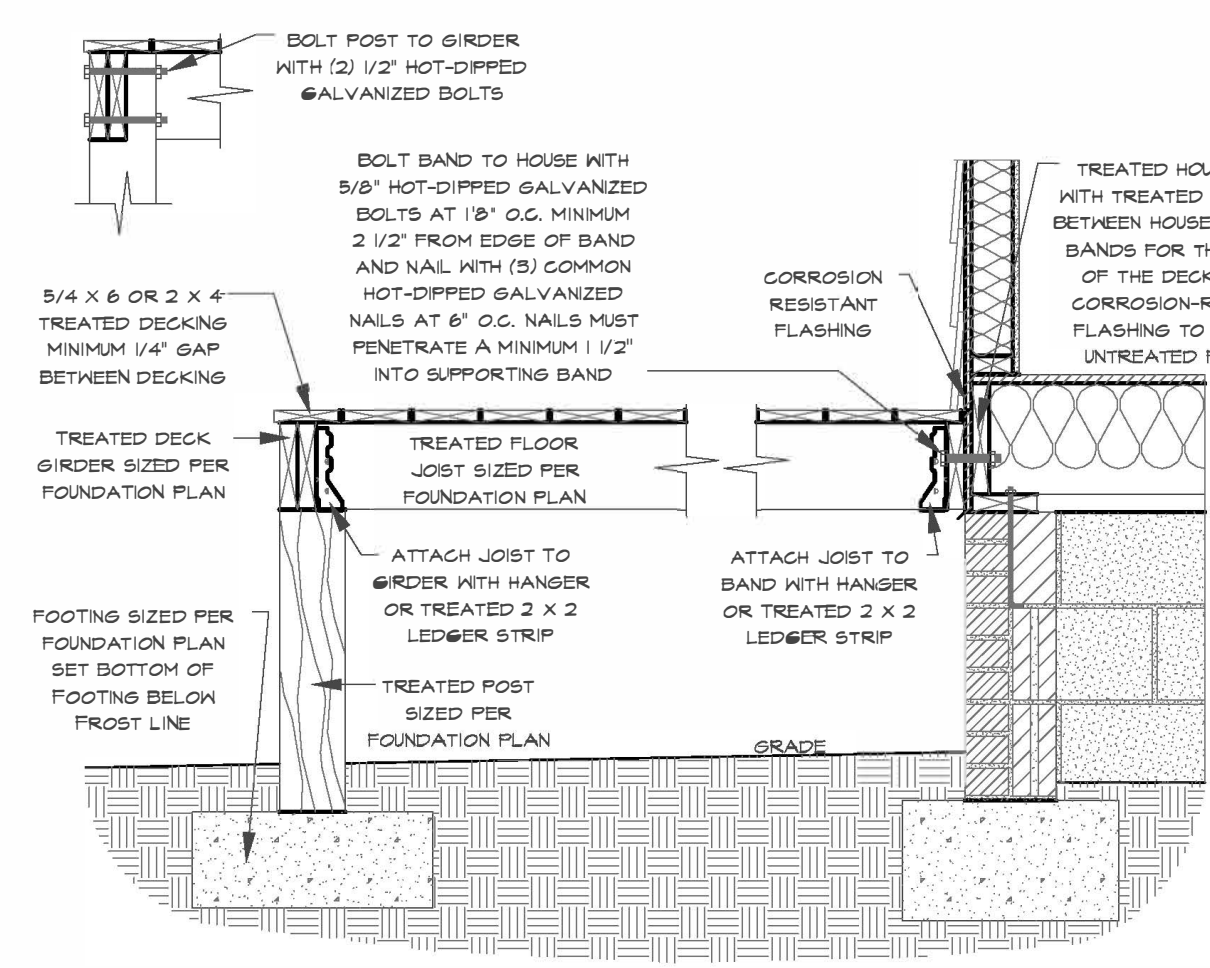
REFER TO SECTIONS R302.8, R302.9, AND R302.7
 WALLS: A MINIMUM 1/2\"/>



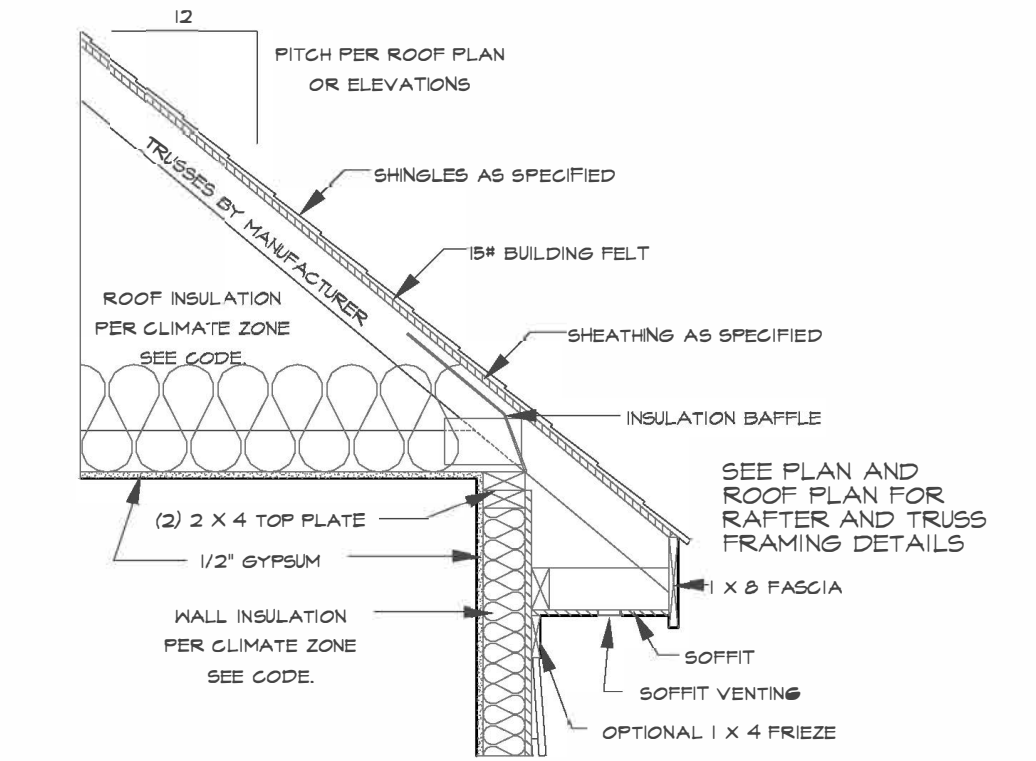
DROPPED / FLUSH PIER
SCALE 3/4\"/>

DECK BRACING

SECTION AM04
 AM04.1 DECK BRACING: DECKS SHALL BE BRACED TO PROVIDE LATERAL STABILITY. THE FOLLOWING ARE ACCEPTABLE MEANS TO PROVIDE LATERAL STABILITY.
 AM04.1.1. WHEN THE DECK FLOOR HEIGHT IS LESS THAN 4'-0\"/>



DECK ATTACHMENT DETAIL TO FRAMED WALL
SCALE 3/4\"/>



TYPICAL WALL SECTION
SCALE 3/4\"/>

THIS PLAN DESIGNED UNDER NORTH CAROLINA RESIDENTIAL CODE 2018 EDITION (2015 IRC)

HOUSE DESIGNED FOR 115 or 120 MPH EXPOSURE B
 ANCHOR BOLTS SHALL BE MINIMUM 1/2\"/>

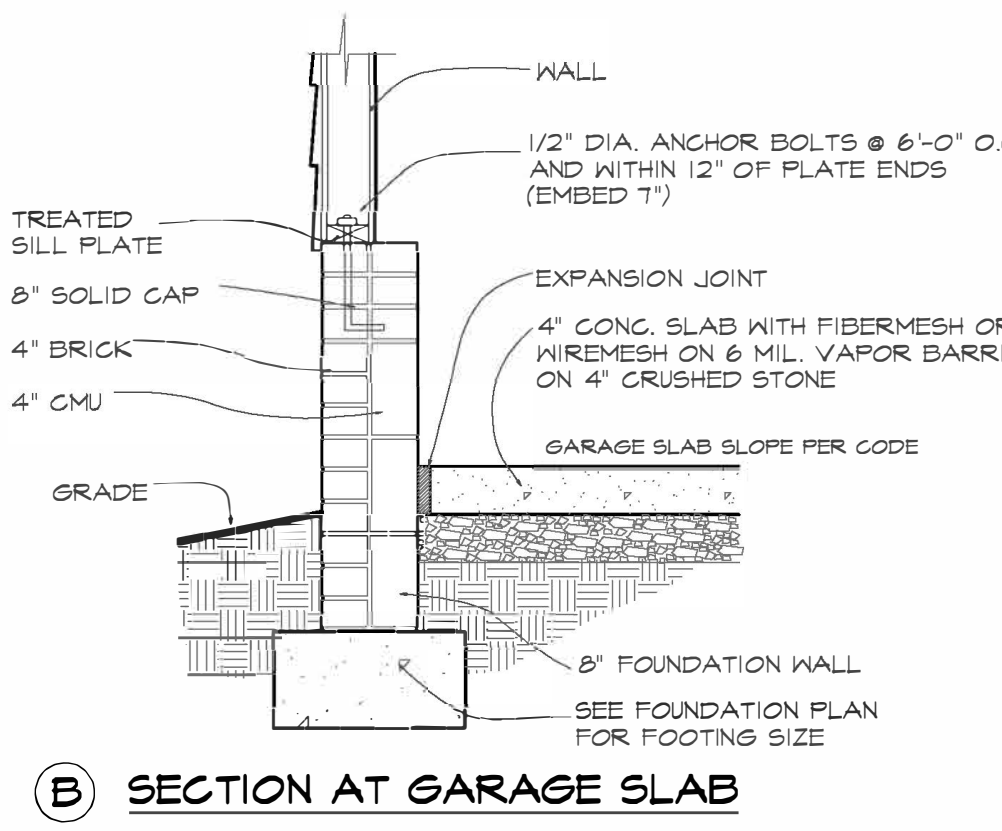
TABLE R602.1.2 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT*

CLIMATE ZONE	FENESTRATION U-FACTOR ¹	SKYLIGHT U-FACTOR	CEILING U-FACTOR	FRAME WALL U-FACTOR	MASS WALL U-FACTOR ²	FLOOR U-FACTOR	BASEMENT WALL U-FACTOR	SLAB U-FACTOR & DEPTH	CRAWL SPACE WALL U-FACTOR
3	0.35	0.55	0.30	38 or 30 ²	15or 13+2.5 ³ or 21/3	19	5/16"	0	5/13
4	0.35	0.55	0.30	38 or 30 ²	15or 13+2.5 ³ or 21/3	19	10/16	0	10/15
5	0.35	0.55	NR	38 or 30 ²	18 ⁴ or 13+2.5 ³ or 21/3	13/17 or 13/21	3/8"	10/15	10

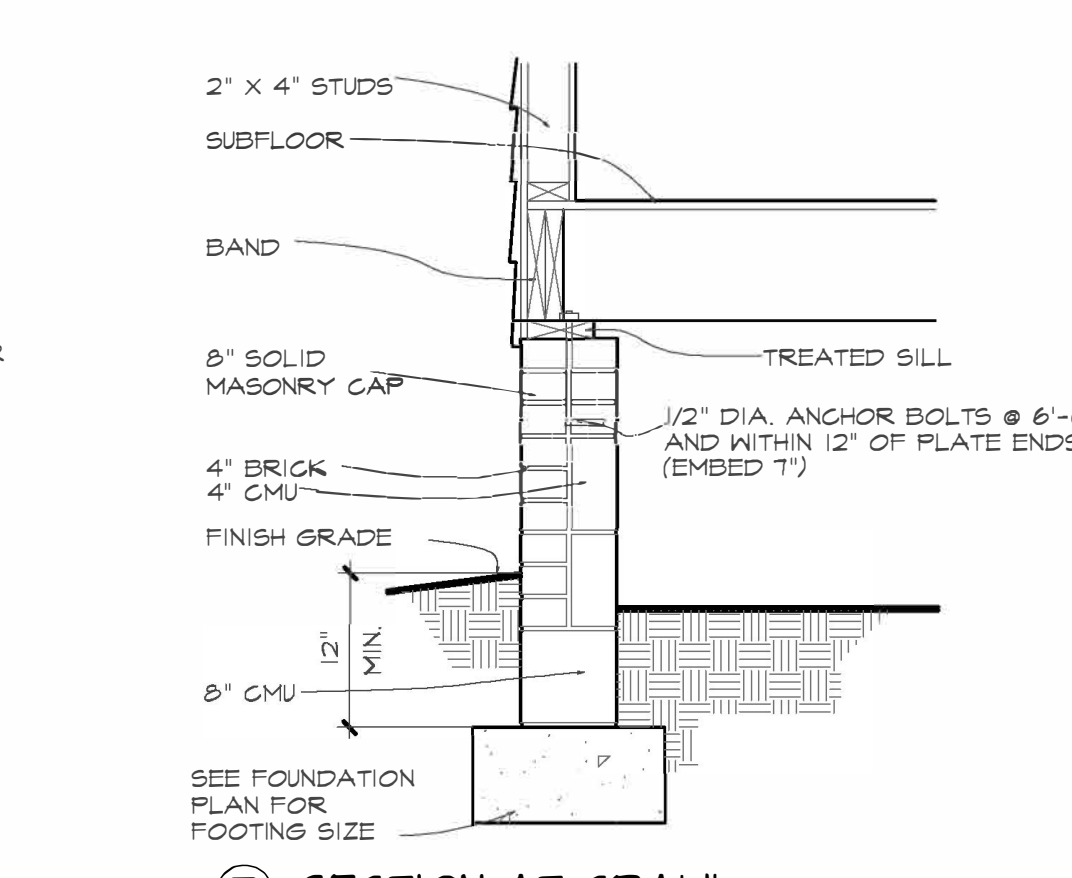
TABLE R602.1.4 EQUIVALENT U-FACTORS*

CLIMATE ZONE	FENESTRATION U-FACTOR ¹	SKYLIGHT U-FACTOR	CEILING U-FACTOR	FRAME WALL U-FACTOR	MASS WALL U-FACTOR ²	FLOOR U-FACTOR	BASEMENT WALL U-FACTOR	CRAWL SPACE WALL U-FACTOR
3	0.35	0.55	0.030	0.072	0.141	0.047	0.091 ¹	0.136
4	0.35	0.55	0.030	0.072	0.141	0.047	0.059	0.065
5	0.35	0.55	0.030	0.061	0.082	0.033	0.059	0.065

* Nonfenestration U-factors shall be obtained from measurement, calculation or an approved source.
 b. When more than half the insulation is on the interior, the mass wall U-factors shall be a maximum of 0.07 in Climate Zone 3, 0.07 in Climate Zone 4 and 0.054 in Climate Zone 5.
 c. Basement wall U-factor of 0.360 in warm-humid locations as defined by Figure R301.1 and Table R301.1.
 d. A maximum of two placed fenestration product assemblies having a U-factor no greater than 0.55 and a SHGC no greater than 0.70 shall be permitted to be substituted for minimum code fenestration product assemblies without penalty. When using this note and using the R3-Sub-11A Trade-off compliance method to allow continued use of the software, the applicable fenestration products shall be modeled as meeting the U-factor of 0.35 and the SHGC of 0.40, as applicable, but the fenestration products actual U-factor and actual SHGC shall be noted in the comments section of the software for documentation of application of this note to the applicable products. Compliance for these substitute products shall be verified compared to the allowed substituted maximum U-value requirement and maximum SHGC requirement, as applicable.



SECTION AT GARAGE SLAB



SECTION AT CRAWL

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RESIDENCE FOR: [Redacted]

DATE REV DATE REV

DATE	REV	DATE	REV

Detail Sheet