

**FOUNDATION STRUCTURAL**

115 to 130 mph wind zone (1 1/2 to 2 1/2 story)

**CONTINUOUS FOOTING:** 16" wide and 8" thick minimum, 20" wide girder at brick veneer, 2" to center side of supported wall.

**PIERS:** 16" X 16" pier with 8" solid masonry cap on 30" X 30" X 10" concrete footing with maximum pier height of 6" with hollow masonry and 180# with solid masonry.

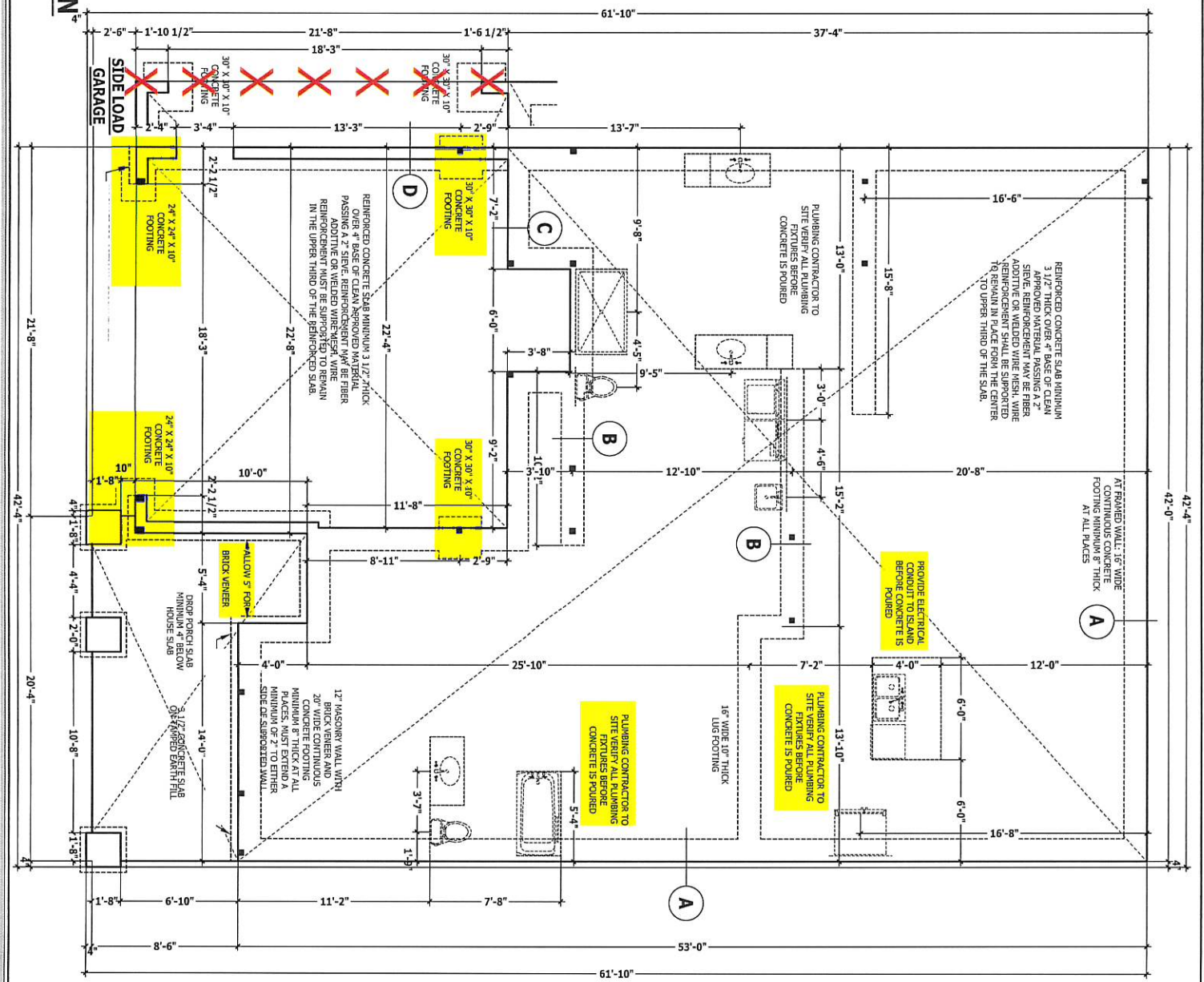
**POINT LOADS:** ■ designate significant point load and should have solid minimum two anchor bolts per plate.

**90 MPH ANCHOR BOLTS:** 1 1/2" diameter anchor bolts embedded minimum 7" maximum 6" on center, within 12" of plate ends, and 115 and 120 MPH ANCHOR BOLTS: 1 1/2" diameter anchor bolts embedded minimum 7" maximum 6" on center, within 12" of plate ends, and 90 MPH ANCHOR BOLTS: 1 1/2" diameter anchor bolts embedded minimum two anchor bolts per plate.

**CONCRETE:** Concrete shall have a minimum 28 day strength of 3000 psi and a maximum 5' slump. Air entrained per table 402.2. All concrete shall be in accordance with ACI standards. All samples for pumping shall be taken from the top of the concrete. The concrete shall be placed with adequate consolidation. The surface area of the concrete shall be finished with a steel trowel. The surface area and shall be graded so as to drain surface water away from foundation walls.

**MONOLITHIC SLAB PLAN**

SCALE 1/4" = 1'-0"



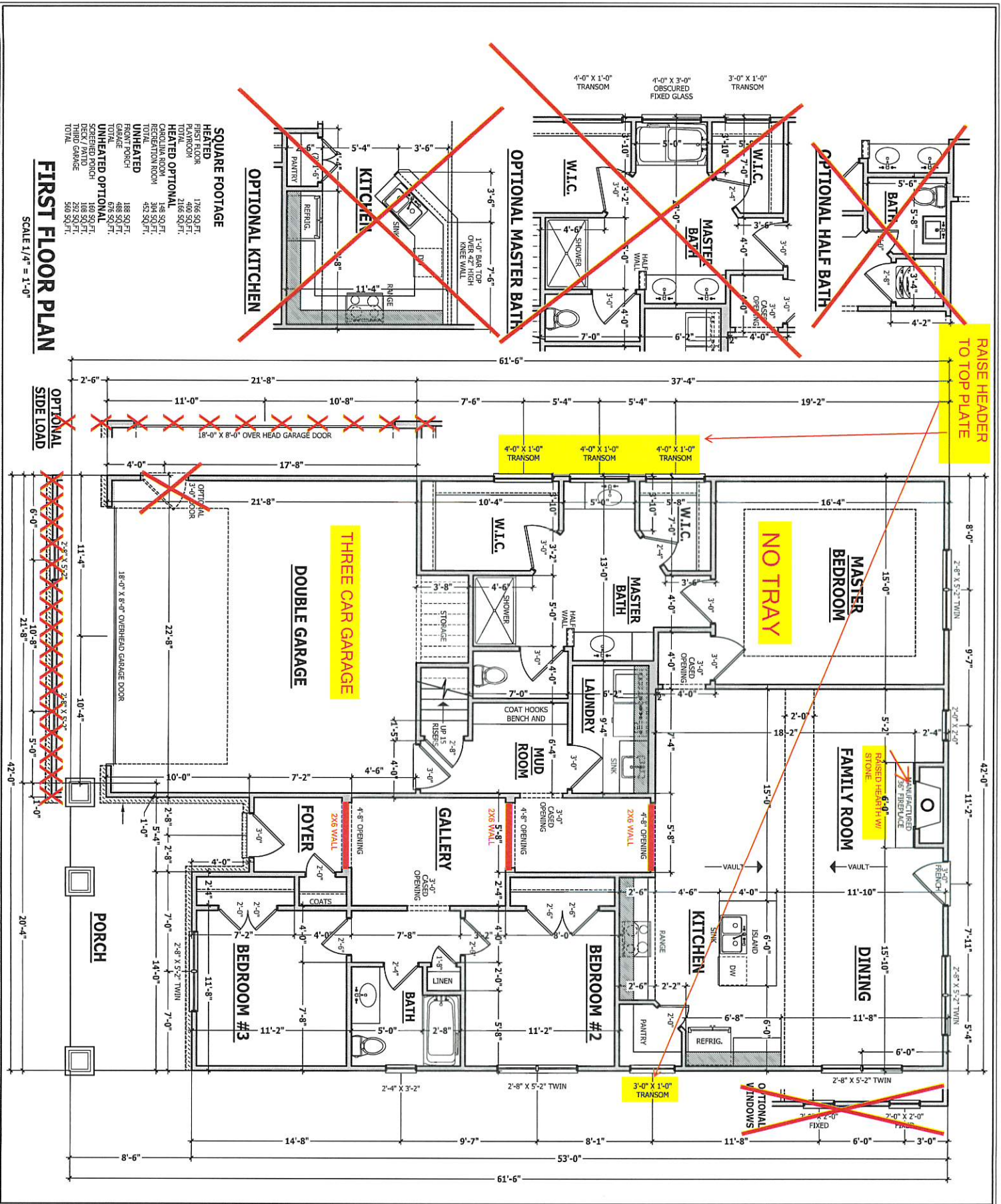
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**HAYNES WEAVER HOMES**  
HOME PLANS, INC.  
P.O. Box 702, Wake Forest, NC 27788 919-435-6180 FAX 1-866-491-0386  
410 W. Weaver Drive, Fayetteville, NC 27804

**MONOLITHIC SLAB PLAN**  
**The Lauren H**

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**SQUARE FOOTAGE**

HEATED PLAN ROOM	1766 SQ. FT.
UNHEATED GARAGE	460 SQ. FT.
<b>TOTAL</b>	<b>2166 SQ. FT.</b>
CAROLINA ROOM	186 SQ. FT.
SCREENED PORCH	186 SQ. FT.
<b>TOTAL</b>	<b>422 SQ. FT.</b>
UNHEATED GARAGE	468 SQ. FT.
SCREENED PORCH	186 SQ. FT.
DECK / PATIO	186 SQ. FT.
THIRD GARAGE	282 SQ. FT.
<b>TOTAL</b>	<b>580 SQ. FT.</b>

**FIRST FLOOR PLAN**

SCALE 1/4" = 1'-0"

**SQUARE FOOTAGE**

HEATED PLAN ROOM	1766 SQ. FT.
UNHEATED GARAGE	460 SQ. FT.
<b>TOTAL</b>	<b>2166 SQ. FT.</b>
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Haynes Weaver Homes, Inc. 2020

**FIRST FLOOR PLAN**  
**The Lauren H**

PROVIDER: HAYNES WEAVER HOMES, INC.  
DRAWINGS AND SPECIFICATIONS:  
HAYNES WEAVER HOMES, INC.  
AS SHOWN ON THESE PLANS, THE  
OWNER SHALL BE RESPONSIBLE FOR  
OBTAINING ALL NECESSARY  
PERMITS AND APPROVALS FROM  
LOCAL, STATE AND FEDERAL  
AGENCIES.  
DESIGNER: HAYNES WEAVER  
HOMES, INC.  
CONSTRUCTION: HAYNES WEAVER  
HOMES, INC.  
AS SHOWN ON THESE PLANS,  
THE OWNER SHALL BE RESPONSIBLE  
FOR OBTAINING ALL NECESSARY  
PERMITS AND APPROVALS FROM  
LOCAL, STATE AND FEDERAL  
AGENCIES.



## STRUCTURAL NOTES

All construction shall conform to the latest requirements of the 2018 North Carolina Residential Building Code, plus all amendments thereto. It is the responsibility of the contractor to be advised of the code amendments in no way shall be construed to be a waiver of the code.

**JOB SITE PRACTICES AND SAFETY:** Haynes Home Plans, Inc. assumes no liability for contractor practices and procedures or safety program. Haynes Home Plans, Inc. shall not be responsible for any accidents or injuries that occur during the construction work in accordance with the contract documents. All members shall be framed, anchored, and braced in accordance with good construction practice and the building code.

DESIGN LOADS	UBC10D	IBC10D	IBC10D PER SECTION
Dead	10	10	L10
Live	20	20	L20
Attic with limited storage	20	10	L20
Attic with full storage	40	10	L20
Belvedere and decks	40	10	L20
Fire escapes	40	10	L20
Garages and overhangs	200	—	—
General live loads	30	10	L30
Roof live loads	30	10	L30
Roof dead loads	10	10	L10
Roof snow loads	40	10	L50
Shedding loads	40	10	L50
Sheds	20	—	L20
Signs	20	—	L20

**FRAMING LUMBER:** All non treated framing lumber shall be SPF #2 (F<sub>b</sub> = 875 PSI) or SYP #2 (F<sub>b</sub> = 750 PSI) and all exterior lumber shall be SPF #2 (F<sub>b</sub> = 750 PSI) unless otherwise noted.

**ENGINEERED WOOD BEAMS:**  
 Parallel wood LVL (E<sub>x</sub> = 1,800,000 PSI, F<sub>b</sub> = 2,850 PSI, E<sub>x</sub> = 1,810,000 PSI)  
 Parallel wood LVL (E<sub>x</sub> = 1,800,000 PSI, F<sub>b</sub> = 2,850 PSI, E<sub>x</sub> = 1,810,000 PSI)  
 Laminated V-Groove LVL (E<sub>x</sub> = 1,800,000 PSI, F<sub>b</sub> = 2,850 PSI, E<sub>x</sub> = 1,810,000 PSI)  
**TUSSES AND C-POST MEMBERS:** All roof truss and I-post braced shall be prepared in accordance with the document. Trusses and I-posts shall be installed according to the manufacturer's instructions. All members shall be installed in accordance with the manufacturer's instructions. All members shall be installed in accordance with the manufacturer's instructions.

**FLOOR SHEATHING:** OSB or CDX floor sheathing minimum 1/2" thick for 16" on center joist spacing, minimum 5/8" thick for 18" on center joist spacing, and minimum 3/4" thick for 16" on center joists and 7/16" for 24" on center joists. See foundation notes.

## EXTERIOR HEADERS

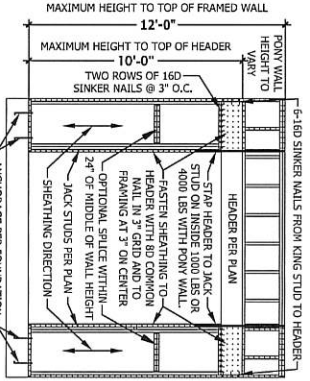
(2) 2 X 6 WITH 1 JACK STUD EACH END UNLESS NOTED OTHERWISE  
 - KING STUDS EACH END PER TABLE BELOW  
 HEADERS SHALL BE 3" 3" 4" 4" 8" 8" 12" 12" 16" KING STUDS 1 2 3 5 6

## INTERIOR HEADERS

- LOAD BEARING HEADERS (2) 2 X 6 WITH 1 JACK STUD AND 1 KING STUD EACH END UNLESS NOTED OTHERWISE  
 - NON BEARING HEADERS TO BE LADDER FRAMED

## BRACE WALL PANEL NOTES

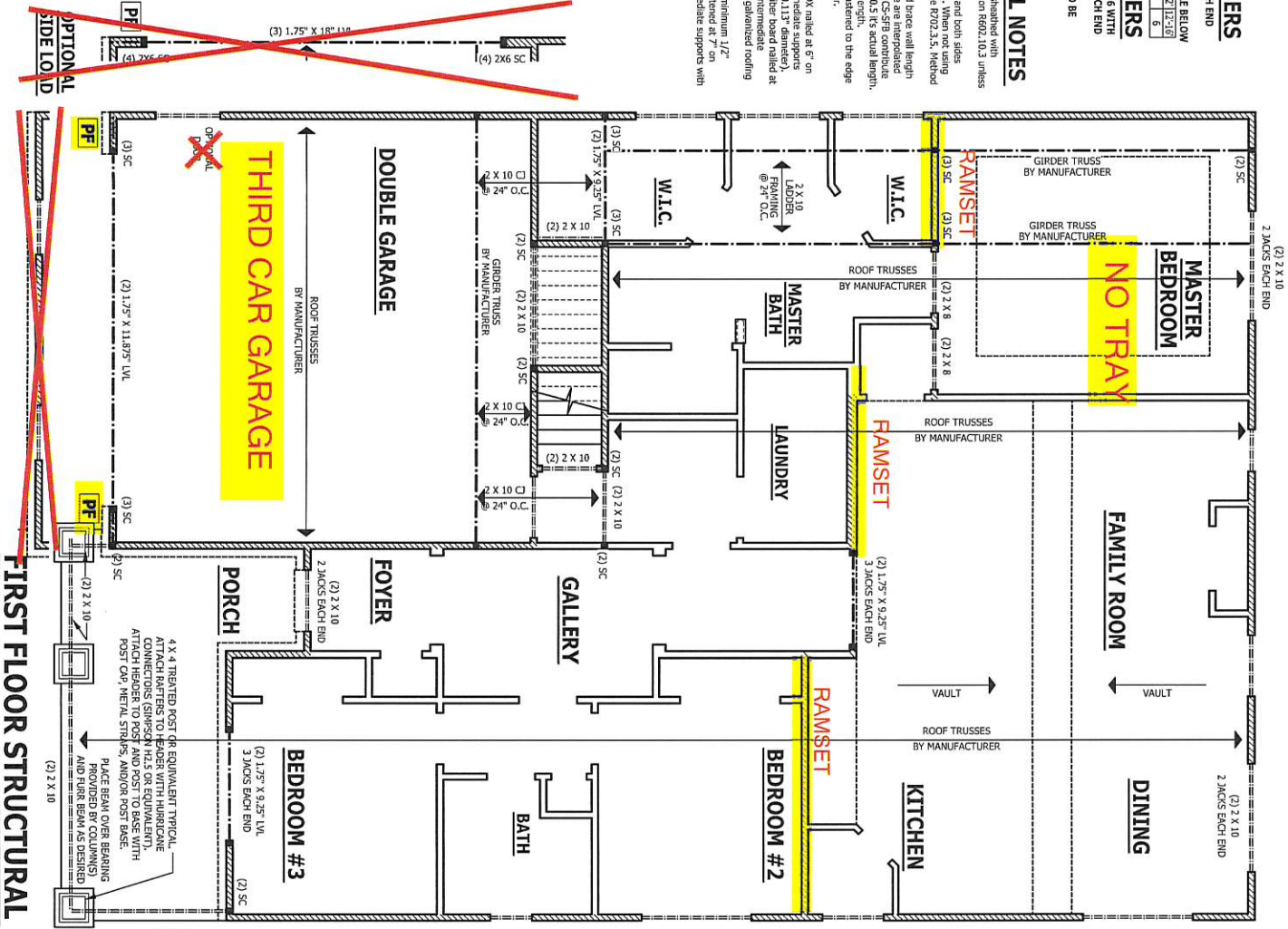
**EXTERIOR WALLS:** All exterior walls to be sheathed with OSB or CS-589 in accordance with section R602.10.3 unless otherwise noted. All interior walls and both sides interior walls to have 1/2" gypsum installed. When not using method GB gypsum to be fastened per table R702.3.5, Method GB to be fastened per table R602.10.1.  
**REQUIRED LENGTH OF BRACING:** Required brace wall length shall be determined by the manufacturer's instructions. The actual length of the brace wall shall be the actual length. Method GB to be fastened 1.5 times its actual length. Method GB to be fastened 1.5 times its actual length.  
**METHODS:** Per table R602.10.1  
**CS-589:** Shall be minimum 3/8" OSB or CDX nailed at 6" on center at edges and 3" on center at intermediate supports with 1 1/2" long x 0.12" diameter galvanized roofing nails. Interior walls shall be fastened to a minimum 1 1/2" gypsum board on both sides of the wall fastened at 7" on center at edges and 7" on center at intermediate supports with minimum 5/8" coach nails or #6 screws.  
**PF:** Portal frame per figure R602.10.1



**PF PORTAL FRAME AT OPENING**  
 (METHOD PF PER FIGURE AND SECTION R602.10.1)  
 SCALE 1/4" = 1'-0"

## ROOF TRUSS REQUIREMENTS

**TRUSS DESIGN:** Trusses to be designed and engineered in accordance with these drawings. Any variation with these drawings must be brought to Haynes Home Plans, Inc. attention before construction begins.  
**ROOF WALL AND CEILING HEIGHTS:** All roofed knee wall heights and ceiling heights shall be as shown on these drawings. If for any reason the truss manufacturer fails to meet or exceed designated heights, indicated knee wall heights, or finished ceiling heights shown on these drawings the finished square footage may vary. Any discrepancy must be brought to Haynes Home Plans, Inc. attention before construction begins. Any variation due to these conditions not being met is the responsibility of the truss manufacturer.  
**ANCHORAGE:** All required anchors for trusses due to uplift or bearing shall be installed in accordance with the manufacturer's instructions. All required anchors for trusses due to uplift or bearing shall be installed in accordance with the manufacturer's instructions.  
**BRACING:** All required bracing for trusses due to uplift or bearing shall be installed in accordance with the manufacturer's instructions. All required bracing for trusses due to uplift or bearing shall be installed in accordance with the manufacturer's instructions.  
**Plates, Hangers & Floor Systems:** See elevation paper(s) for plate heights and floor system thicknesses.



## FIRST FLOOR STRUCTURAL

### The Lauren H

MANUFACTURED BY HAYNES HOME PLANS, INC. ALL INFORMATION AND CONSTRUCTION DETAILS ARE SUBJECT TO CHANGE WITHOUT NOTICE. HAYNES HOME PLANS, INC. 109 WILSON BLVD., WAKE FOREST, NC 27888. P.O. BOX 702, WAKE FOREST, NC 27888. 919-435-6180 FAX 1-866-491-0396

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 910.630.2100 • 919.666.4696  
 109 Wilson Blvd., Wake Forest, NC 27888



### ROOF TRUSS REQUIREMENTS

TRUSS DESIGN: Trusses to be designed and engineered in accordance with these drawings. Any variation with these drawings must be brought to the attention of the architect before construction begins. Trusses shall be designed for a minimum snow load of 20 lbs/sq ft and ceiling heights are shown turned down 10" from roof of ceiling for insulation. If for any reason the truss manufacturer fails to meet or exceed designated heel heights, finished wall heights, or finished ceiling heights shown on these drawings, the architect shall require the manufacturer to provide a written explanation of the reasons for the variation, so a suitable solution can be reached before construction begins. Any variation due to these conditions not being met is the responsibility of the truss manufacturer. Trusses shall be designed in accordance with the applicable building code and all applicable codes and regulations. Trusses shall meet the requirements as specified on the truss schematics. **BEARING:** All trusses shall be designed for bearing on SFR #2 plates or ledger unless noted otherwise. **Pile Heights & Floor Systems:** See elevation page(s) for pile heights and floor system indications.

### STRUCTURAL NOTES

All construction shall conform to the latest requirements of the 2018 North Carolina Residential Building Code, plus all local codes and regulations. This document is to be used in conjunction with the applicable building code. The contractor shall be responsible for obtaining all necessary permits and liability for contractors practices and procedures or safety program. Haynes Home Plans, Inc. takes no responsibility for the contractor's failure to carry out the construction work in accordance with the contract documents. All members shall be framed, anchored, and braced in accordance with good construction practices and the applicable building code. See foundation notes.

USE	LINE LOAD (PSF)	HEAD LOAD (PSF)	DEFLECTION (LL)
Attics without storage	10	20	L/240
Attics with limited storage	20	10	L/360
Attics with fixed stairs	40	10	L/360
Balconies and decks	40	10	L/360
Fire escapes	40	10	L/360
Garage	20	10	L/360
General in-fill components	50	10	L/360
Passenger vehicle garages	50	10	L/360
Rooms other than sleeping	40	10	L/360
Sleeping rooms	30	10	L/360
Stairs	40	20	L/360

**BEARING LOADS:** All roof truss framing lumber shall be SPF #2 (20' x 6" x 2" PSF) or 2x6 (20' x 6" x 2" PSF) unless noted otherwise. All truss hangers shall be 5/8" x 2" (FR = 750 PSF) unless noted otherwise.

**ENGINEERED WOOD BEAMS:** Laminated Veneer Lumber (LVL) - FR=5000 PSF, FR=265 PSF, E=1.94x10<sup>6</sup> PSI Parallel Strand Lumber (PSL) - FR=2300 PSF, FR=400 PSF, E=1.94x10<sup>6</sup> PSI Laminated Strand Lumber (LSL) - FR=2300 PSF, FR=400 PSF, E=1.94x10<sup>6</sup> PSI Install all connections per manufacturer's instructions.

**TRUSS AND JOIST MEMBERS:** All roof truss and joist layouts shall be prepared in accordance with this document. Trusses and joists shall be installed in accordance with the applicable building code and all applicable codes and regulations. Trusses and joists shall be installed in accordance with the applicable building code and all applicable codes and regulations. Trusses and joists shall be installed in accordance with the applicable building code and all applicable codes and regulations.

**FLOOR SHEATHING:** OSB or CDX floor sheathing minimum 1/2" thick for 16" on center joist spacing, minimum 5/8" thick for 19.2" on center joist spacing, and minimum 3/4" thick for 24" on center joist spacing.

**ROOF SHEATHING:** OSB or CDX roof sheathing minimum 5/8" thick for 16" on center joist spacing, minimum 3/4" thick for 19.2" on center joist spacing, and minimum 1/2" thick for 24" on center joist spacing.

**CONCRETE AND SOILS:** See foundation notes.

### ATTIC ACCESS

**SECTION R807**  
Access to the attic shall be provided by a door or other means. An attic access opening shall be provided to attic areas that exceed 400 square feet (27.15 m<sup>2</sup>) and have a vertical height of 60 inches (1524 mm) or greater. The net clear opening shall not be less than 20 inches by 30 inches (508 mm by 762 mm) and shall be braced in a hallway or other unobstructed interior space. The door shall be self-closing and unlatched in the open position. The door shall be provided at some point above the access opening. See Section M1305.1.3 for access requirements where mechanical equipment is located.

**Examples:**  
1. Concealed areas not located over the main structure including porches, areas behind knee walls, dormers, bay windows, etc. are not required to have access. Handrails and hardware may be provided into the net clear opening.

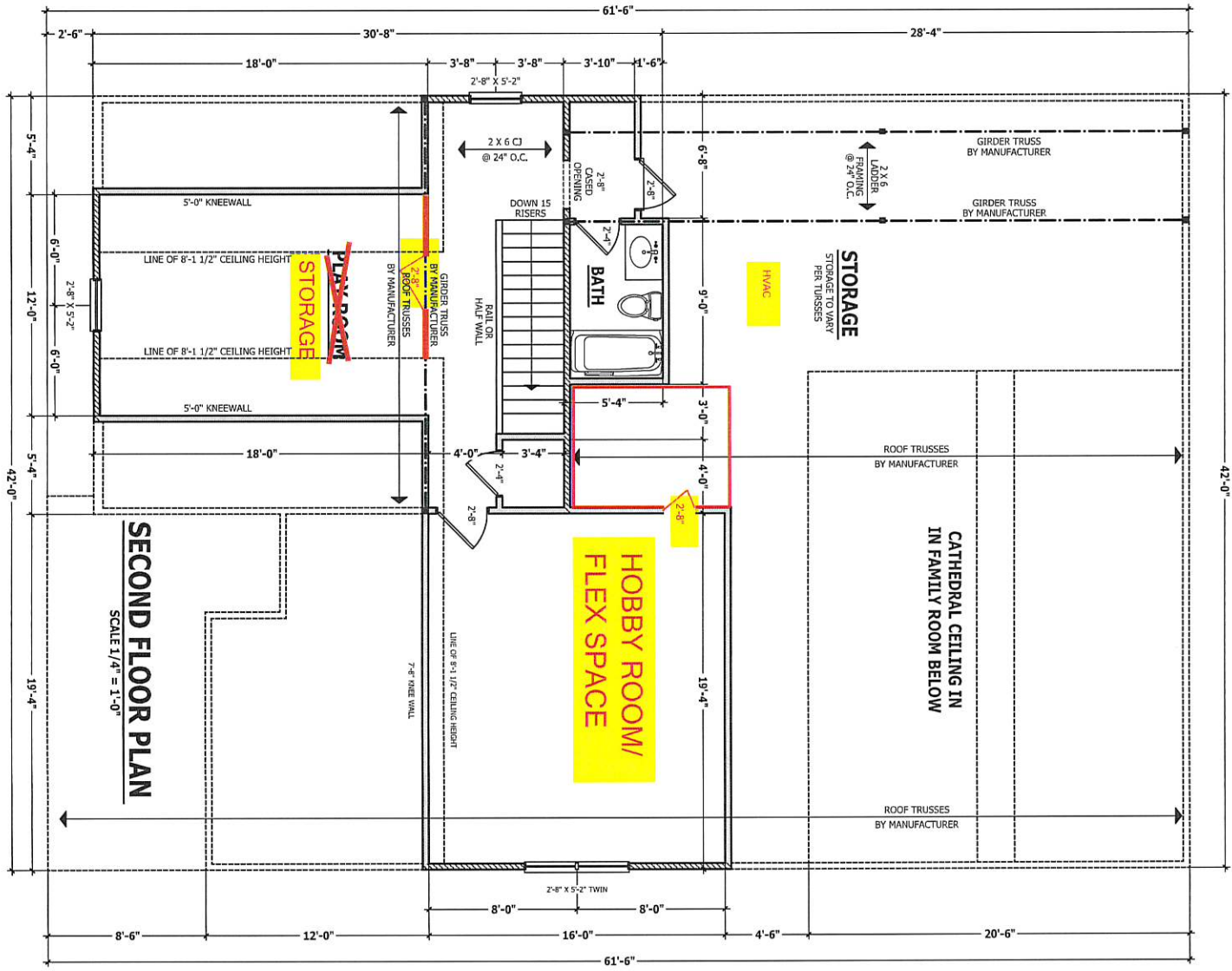
### EXTERIOR HEADERS

(2) 2 X 6 WITH 1 JACK STUD EACH END  
UNLESS NOTED OTHERWISE  
- KING STUDS EACH END PER TABLE BELOW

HEADS SPAN <	1	2	3	3	3	6
KING STUDS	1	2	3	3	3	6

### INTERIOR HEADERS

- LOAD BEARING HEADERS (2) 2X 6 WITH JACK STUD AND 1 KING STUD EACH END  
- NON-LOAD BEARING HEADERS TO BE LADDER FRAMED



**SECOND FLOOR PLAN**  
**The Lauren H**

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14th Weaver Drive, Fayetteville, NC 27804

**SQUARE FOOTAGE**  
TOTAL: 1,800  
LIVING: 1,200  
KITCHEN: 300  
BATH: 100  
HALL: 100  
STAIRS: 100  
PORCH: 100  
GARAGE: 100  
TOTAL: 1,800

**ROOF TRUSS REQUIREMENTS**

TRUSS DESIGN: Trusses to be designed and engineered in accordance with these drawings. Any variation with these drawings must be brought to Haynes Home Plans, Inc. attention before construction begins.

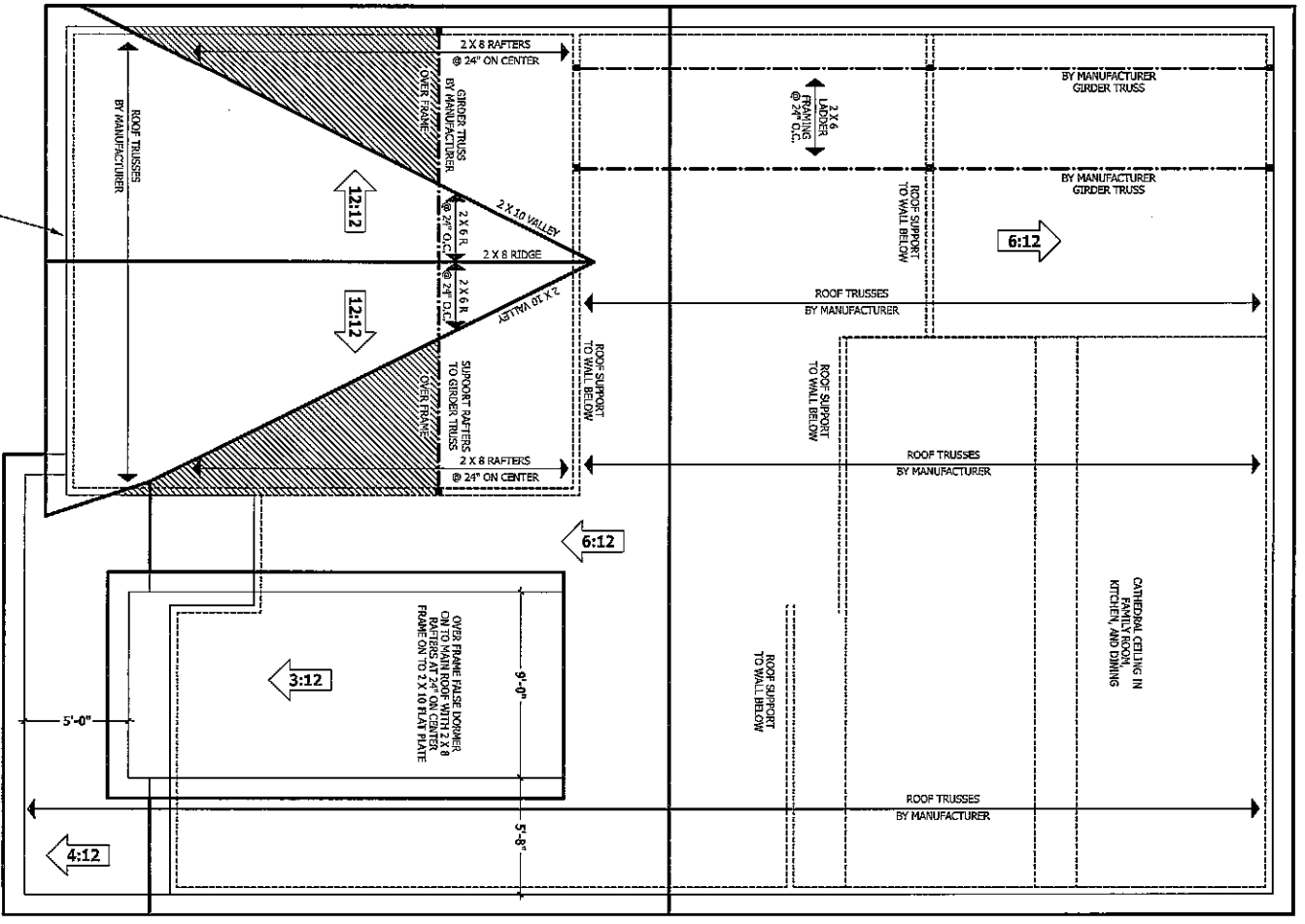
ROOF WALL AND CEILING HEIGHTS: All finished knee wall heights and ceiling heights shall be shown and shown 12" from roof eaves for exterior walls. For interior walls, show finished ceiling heights or second designated knee height. Finished knee wall heights, or finished ceiling heights shown on these drawings for finished square footage may vary. Any discrepancy must be brought to Haynes Home Plans, Inc. attention before construction begins.

ANCHORAGE: All required anchors for trusses shall be installed in accordance with the manufacturer's specifications for the truss system. Details shall be provided for detailing on SH 2 plates or ledgers unless noted otherwise.

Plate Heights & Floor Systems: See elevation profile for plate heights and floor system thicknesses.

HEEL HEIGHT ABOVE FIRST FLOOR PLANE

HEEL HEIGHT ABOVE SECOND FLOOR PLANE



**ROOF PLAN**  
SCALE 1/4" = 1'-0"

SQUARE FOOTAGE	
1st FLOOR	1,800
2nd FLOOR	1,800
3rd FLOOR	1,800
4th FLOOR	1,800
5th FLOOR	1,800
6th FLOOR	1,800
7th FLOOR	1,800
8th FLOOR	1,800
9th FLOOR	1,800
10th FLOOR	1,800
11th FLOOR	1,800
12th FLOOR	1,800
13th FLOOR	1,800
14th FLOOR	1,800
15th FLOOR	1,800
16th FLOOR	1,800
17th FLOOR	1,800
18th FLOOR	1,800
19th FLOOR	1,800
20th FLOOR	1,800
21st FLOOR	1,800
22nd FLOOR	1,800
23rd FLOOR	1,800
24th FLOOR	1,800
25th FLOOR	1,800
26th FLOOR	1,800
27th FLOOR	1,800
28th FLOOR	1,800
29th FLOOR	1,800
30th FLOOR	1,800
31st FLOOR	1,800
32nd FLOOR	1,800
33rd FLOOR	1,800
34th FLOOR	1,800
35th FLOOR	1,800
36th FLOOR	1,800
37th FLOOR	1,800
38th FLOOR	1,800
39th FLOOR	1,800
40th FLOOR	1,800
41st FLOOR	1,800
42nd FLOOR	1,800
43rd FLOOR	1,800
44th FLOOR	1,800
45th FLOOR	1,800
46th FLOOR	1,800
47th FLOOR	1,800
48th FLOOR	1,800
49th FLOOR	1,800
50th FLOOR	1,800

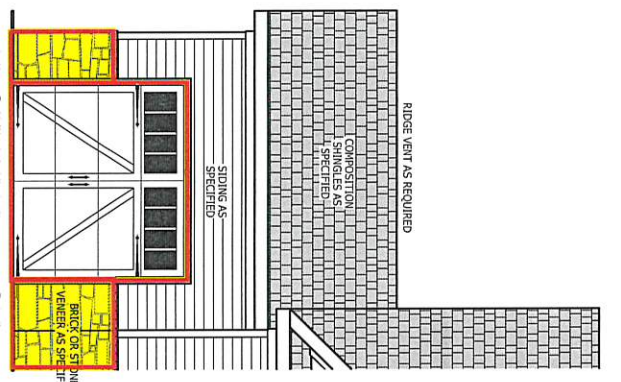
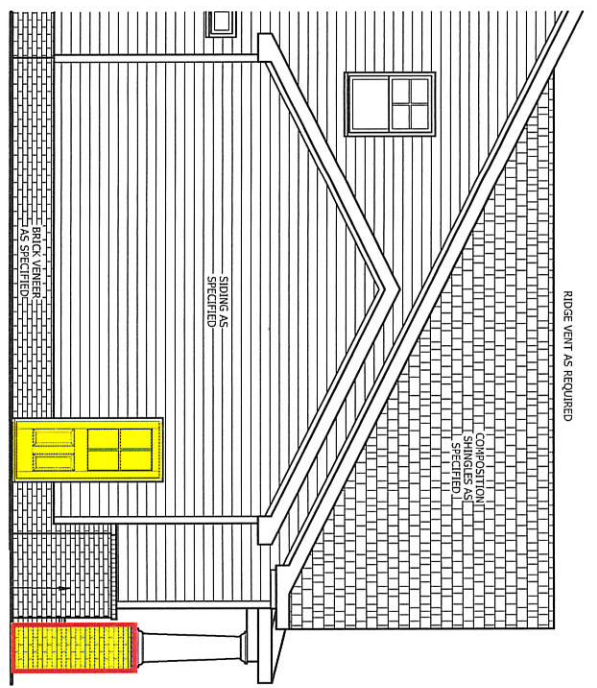
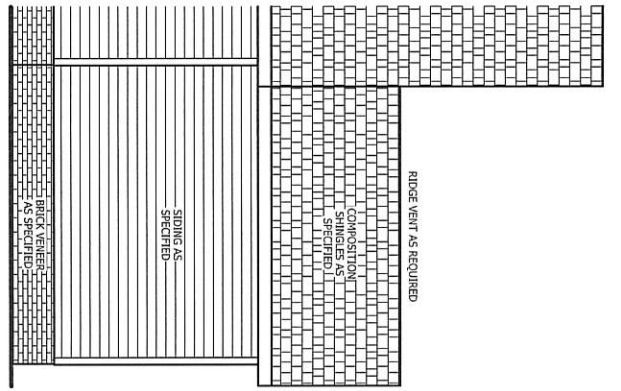
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**ROOF PLAN**  
**The Lauren H**

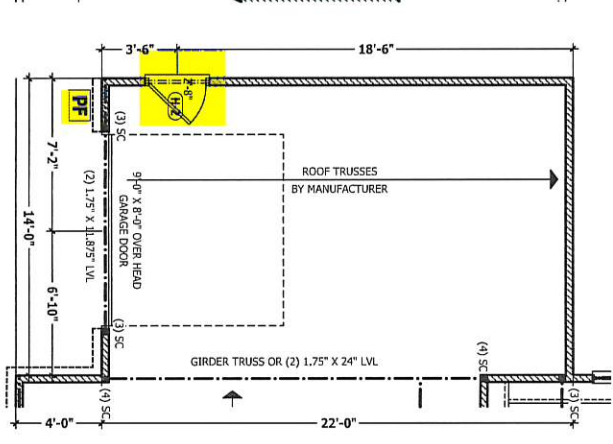
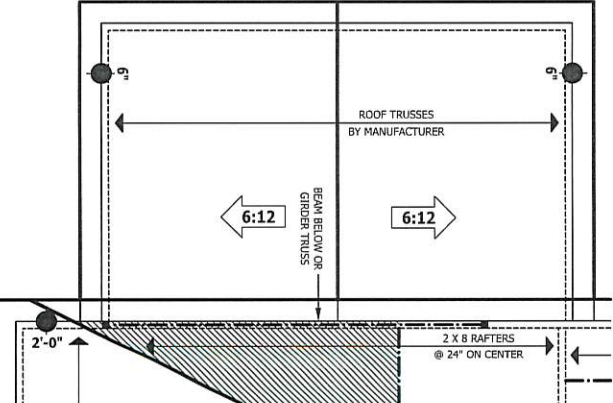
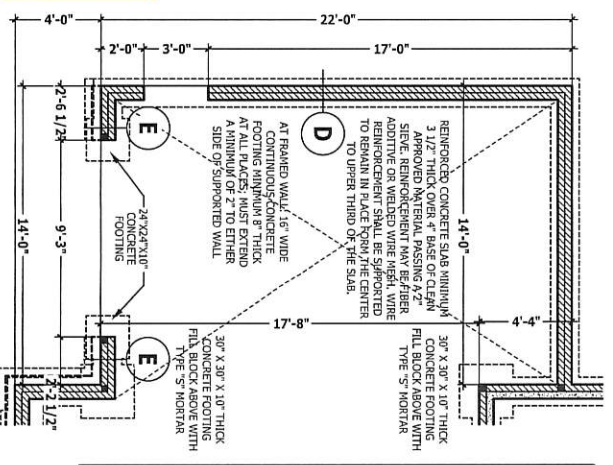
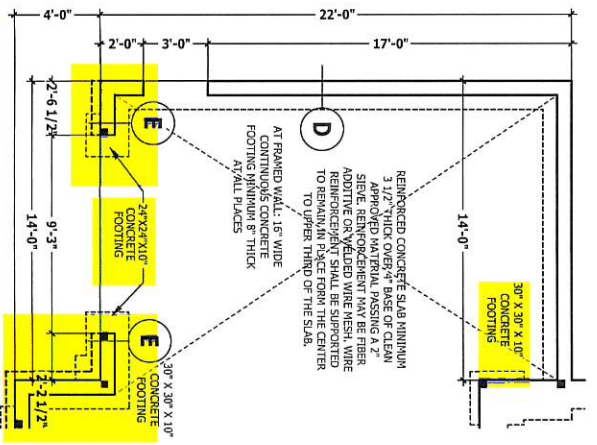
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SEE BASE PLAN FOR NOTES AND DETAILS



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ADDENDUM

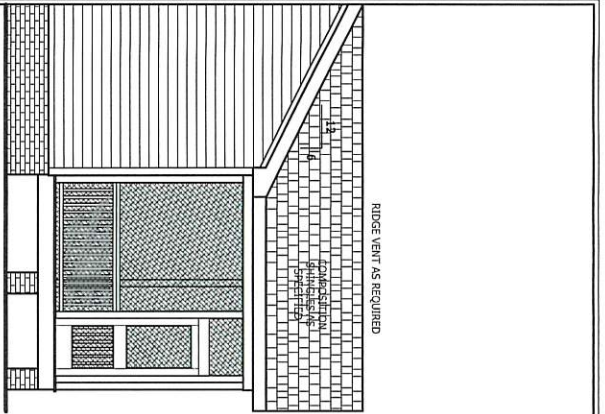
SQUARE FOOTAGE	
HEATED	1,100
UNHEATED	100
HEATED OPTIONAL	100
UNHEATED OPTIONAL	100
FINISHED ATTIC	100
UNFINISHED ATTIC	100
SCREENED PORCH	100
COVERED PORCH	100
PAVED PATIO	100
PAVED DRIVEWAY	100
PAVED WALKWAY	100

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THIRD GARAGE ADDENDUM  
**The Lauren H**

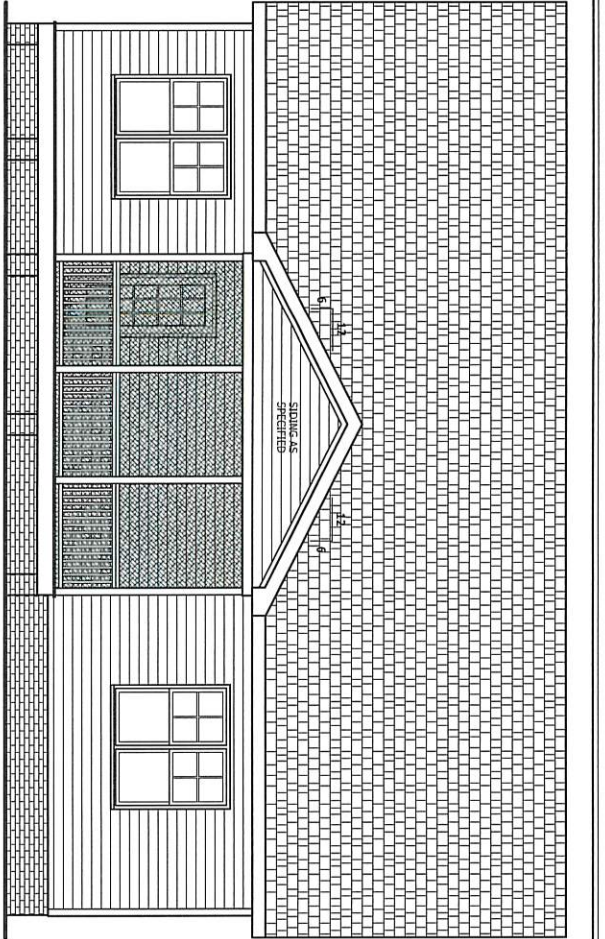
FORWARDER NOT NEARBY ALL INFORMATION IS SUBJECT TO THE TERMS AND CONDITIONS OF THE ORIGINAL CONTRACT. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.





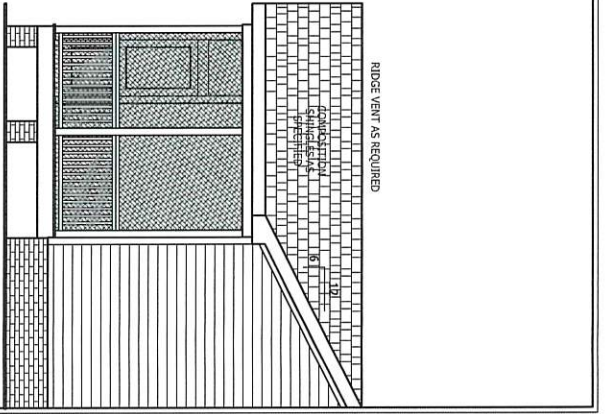
**RIGHT SIDE ELEVATION**

SCALE 1/4" = 1'-0"



**REAR ELEVATION**

SCALE 1/4" = 1'-0"



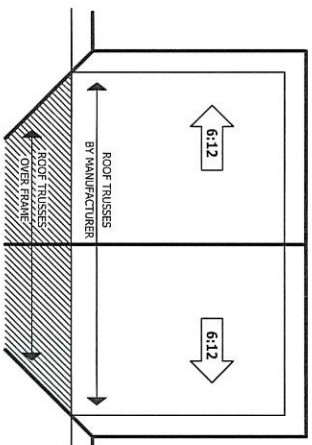
**LEFT SIDE ELEVATION**

SCALE 1/4" = 1'-0"

RAILS NEEDED PER CODE

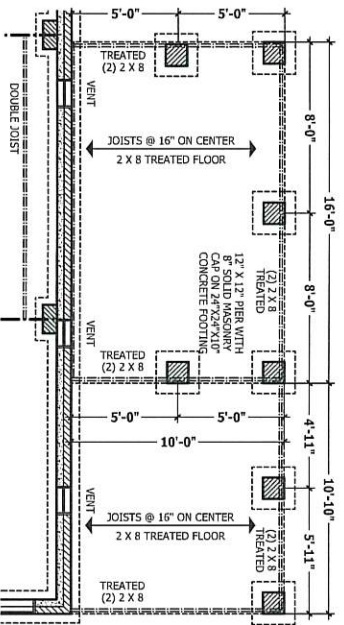
4" X 4" TREATED POST OR EQUIVALENT TYPICAL ATTACH PATTERNS TO HEADER WITH HURRICANE CONNECTORS (SIMPSON H2.5 OR EQUIVALENT). SEE DETAIL FOR CONNECTION TO CONCRETE. ALL POSTS WITH POST CAP, METAL STRAPS, AND/OR POST BASE.

SEE BASE PLAN FOR NOTES AND DETAILS



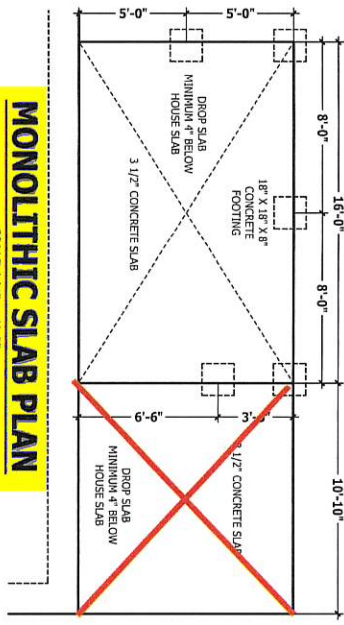
**ROOF PLAN**

SCALE 1/8" = 1'-0"



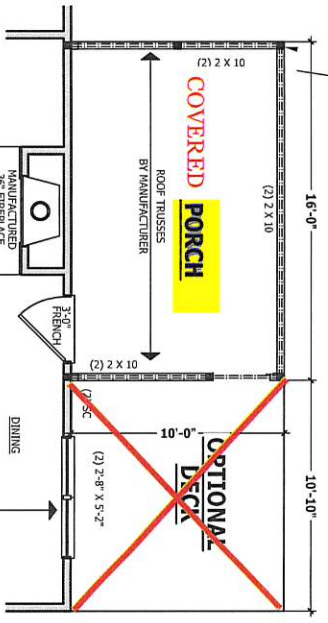
**CRAWL SPACE PLAN**

SCALE 1/4" = 1'-0"



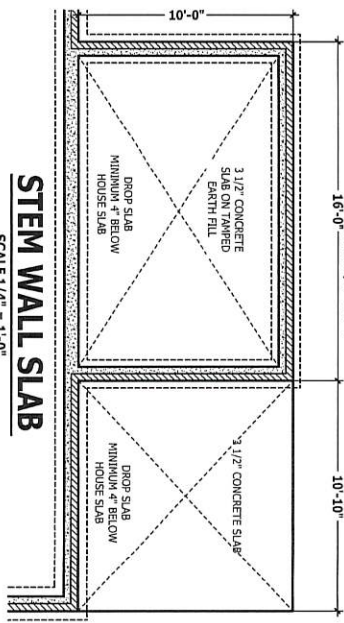
**MONOLITHIC SLAB PLAN**

SCALE 1/4" = 1'-0"



**FIRST FLOOR PLAN**

SCALE 1/4" = 1'-0"



**STEM WALL SLAB**

SCALE 1/4" = 1'-0"

**SCREENED PORCH ADDENDUM**

**The Lauren H**

DISCLAIMER: THESE PLANS ARE FOR INFORMATION ONLY. THE HOMEOWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING ALL LOCAL CODES AND REGULATIONS. THE HOMEOWNER IS RESPONSIBLE FOR VERIFYING ALL LOCAL CODES AND REGULATIONS. THE HOMEOWNER IS RESPONSIBLE FOR VERIFYING ALL LOCAL CODES AND REGULATIONS.

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**SQUARE FOOTAGE**

1st Floor	1,100 sq. ft.
2nd Floor	1,100 sq. ft.
Basement	1,100 sq. ft.
Porch	100 sq. ft.
Deck	100 sq. ft.
Total	4,500 sq. ft.

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 ADDENDUM