

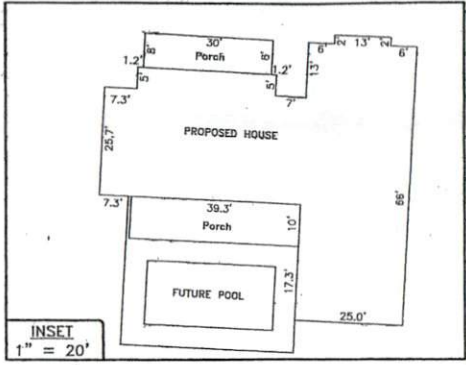
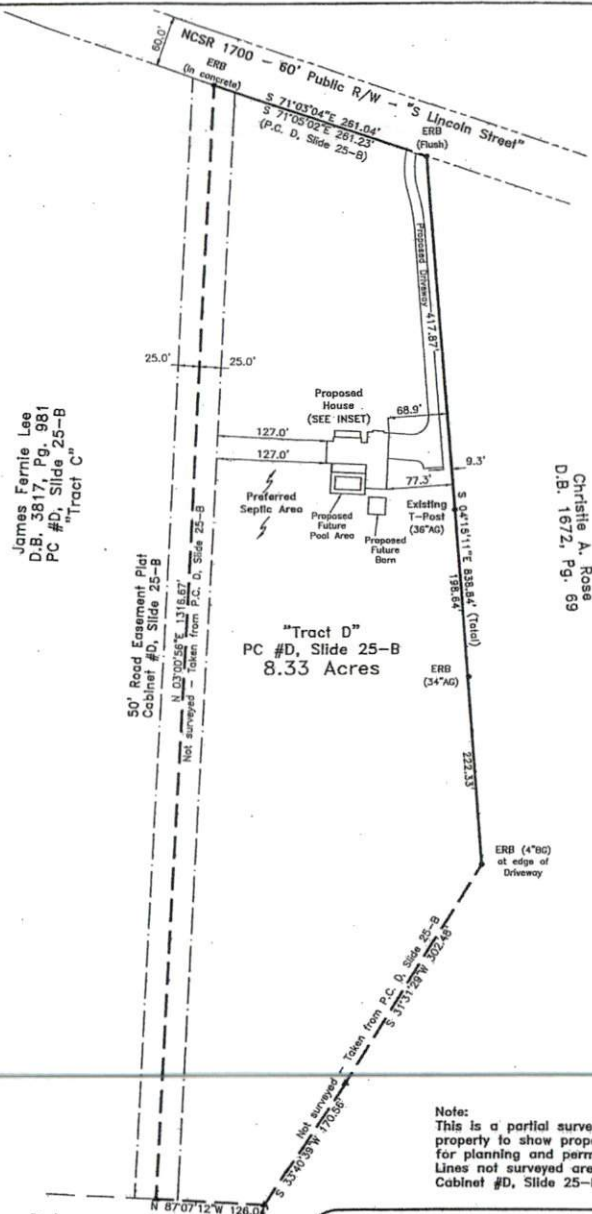
LINE LEGEND:

- Subject Boundary Surveyed
- - - Subject Boundary Not Surveyed
- Adjacent Property Lines
- Abandoned Property Lines
- Right of Way Lines
- Center of Right-of-Way
- Easement Lines
- Survey Tie Lines
- - - Minimum Building Setback
- Overhead Electric Lines
- Water Line

- SYMBOLS & ABBREVIATIONS:**
- EIP/EIS... Existing Iron Pipe or Stake
 - ERB... Existing Rebar Stake
 - ERRS... Existing Rail Road Spike
 - EPK... Existing Parker-Kayton Nail
 - EMN... Existing Magnetic Nail
 - ECS... Existing Cotton Picker Spindle
 - ECM... Existing Concrete Monument
 - ▲/▽/□... Above/Below Ground Surface
 - △/▽... Calculated Point (not set)
 - CNTRL... Control Point - Grid Coordinates
 - ISS... Iron Stake Set (#4 rebar)
 - MNS... Magnetic Nail Set
 - CSS... Cotton Spindle Set
 - FH... Fire Hydrant
 - PP... Power Pole
 - OHE... Overhead Electric Lines
 - Land Hook (Property combined)
 - C/L... Centerline of Road or Easement
 - R/W... Right-of-Way
 - D.B... Deed Book
 - P.B/P.C... Plot Book / Plot Cabinet
 - M.B... Map Book
 - NC_BIN... Parcel Identifier Number
 - AC... Acres (Area of property)
 - SF... Square Feet
 - [123]... House Address

- SURVEY NOTES:**
- Iron Stakes (1/2" Re-bar) set at all new property corners unless labeled otherwise.
 - Magnetic Nails set at all points in paved road surfaces, unless otherwise indicated.
 - Areas determined by coordinate method.
 - All distances & dimensions are horizontal ground distances unless otherwise indicated.
 - No NC Geodetic Survey monuments or other such control monuments were found within 2,000 feet of the subject property unless otherwise shown herein.
 - This survey is based upon the references shown as taken from County GIS records. No Hts search was provided for this survey. A complete title search by a licensed attorney may reveal other easements, restrictions, and title issues not made available to the surveyor.
 - No underground utilities were marked by providers prior to this survey. Call NC 811 prior to any excavation to locate any underground utilities.
 - Wetlands, soil conditions, or other environmental features were not delineated for this survey.

Town of Coats ~ RA
Minimum Building
Setback Requirements
FRONT: 40' from R/W
REAR: 30'
SIDE: 15'
MAXIMUM HEIGHT: 35'



North Carolina
Harnett County

I, Robert E. Godwin, Jr., hereby certify that this plot was drawn under my supervision from an actual survey made under my supervision per deed description recorded in Book 3262, Page 532. That the boundaries not surveyed are shown as broken lines plotted from references as shown herein; That the ratio of precision meets or exceeds Class B standards; That there were no encroachments across surveyed property lines unless otherwise shown herein; And that this survey was conducted in accord with the Standards of Practice for Land Surveying in North Carolina (21 NCAC 56.1000) and this map may not meet all statutory mapping requirements for recordation. Witness my original signature, license number, and seal this 22nd day of Nov., A.D. 2021



Robert E. Godwin, Jr. P.L.S.
License Number: L-3780

FEMA FLOOD HAZARD STATEMENT
The subject property shown on this plot is located within the FEMA "Zone X" (Minimal Flood Risk) Area as shown on FIRM Number: 3720100000
Effective date: 10/3/2006

References:
- Deed Book 3865, Pg. 538
- Plat Cabinet #D, Slide 25-B (Tract D)

Revisions:

11/22/21: Add future Barn, Pool & preferred Septic Area

50' 0 100'
Horizontal Scale

"Existing Parcel ~ Plot Plan"
Survey For:
John Kevin Frazee and Patricia Katherine Griffin
Care of: Barefoot Building Company

S Lincoln Street, Coats ZONE: Town of Coats RA

GROVE TOWNSHIP - HARNETT COUNTY - NORTH CAROLINA

PIN: 1600-10-0906.000 ~ PID: 071600 0122 04

STREAMLINE LAND SURVEYING, Inc.
NC FIRM C-1898
870 NC 55 W, Coats, N.C. 27521
Phone: 910-897-7715

SURVEYED DATE: OCTOBER 6, 2021

SCALE: 1" = 100' SURVEYED BY: REG DRAWN BY: MGG

DATA\1600\200527FR.dwg (ExParPlotPlan)

Note:
This is a partial survey of the subject property to show proposed improvements for planning and permitting purposes. Lines not surveyed are plotted from Plat Cabinet #D, Slide 25-B.

James F. Lee
D.B. 3238, Pg. 234
PC #D, Slide 25-B
"Tract E"

Christie A. Ross
D.B. 1672, Pg. 69

James Fernie Lee
D.B. 3817, Pg. 981
PC #D, Slide 25-B
"Tract C"

50' Road Easement Plat
Cabinet #D, Slide 25-B