CEDAR

DIV-COMM-LOT-UNIT				
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STREET ADDRESS			APT. NO.	
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CITY	ST	ATE	ZIP	

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	STD. DWGS.																	
SPEC SHEET	55 -l		-						+			+				-		
ROOF VENT AND VOLUME CALCULATIONS	CA-I																	
ELEVATIONS	4																	
FOUNDATION	5																	
FOUNDATION HOLD DOWNS	6																	
PLUMBING BASEMENT FLOOR PLAN	7 8																	
FIRST FLOOR PLAN	9																	
SECOND FLOOR PLAN	10																	
BUILDING SECTIONS	11/12																	
FIRST FLOOR FRAMING	19																	
SECOND FLOOR FRAMING ROOF FRAMING	20 21								-									
TRUSS BRACING	22																	
WALL BRACING	23																	
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NVR, Inc. 5285 Westview Drive, Suite 100 Frederick, MD 21703

FIRST FLOOR SQUARE F	OOTAGE
DESCRIPTION	TOTAL SQ.
IST FLOOR (BASE SF)	783 SF
	783 SF
SECOND FLOOR SQUARE	FOOTAGE
DESCRIPTION	TOTAL SQ.
2ND FLOOR (BASE SF)	II20 SF
	II20 SF
GARAGE SQUARE FOO	OTAGE TOTAL SQ.
TWO CAR FRONT ENTRY GARAGE	397 SF
	347 SF
unfinished square fo	OOTAGE
UNFINISHED SQUARE FO	DOTAGE TOTAL SQ.
·	1
DESCRIPTION	TOTAL SQ.
DESCRIPTION UNFINISHED BASEMENT	TOTAL 5Q. 578 SF
DESCRIPTION UNFINISHED BASEMENT	TOTAL 5Q. 578 SF 218 SF
DESCRIPTION UNFINISHED BASEMENT	TOTAL 5Q. 578 SF 218 SF
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DESCRIPTION UNFINISHED BASEMENT	TOTAL 5Q. 578 SF 218 SF
DESCRIPTION UNFINISHED BASEMENT	TOTAL 5Q. 578 SF 218 SF
DESCRIPTION UNFINISHED BASEMENT	TOTAL 5Q. 578 SF 218 SF 796 SF
DESCRIPTION UNFINISHED BASEMENT "FBM" (ADD. SF)	TOTAL 5Q. 578 SF 218 SF 796 SF
DESCRIPTION UNFINISHED BASEMENT "FBM" (ADD. SF) TOTAL FINISHED SQUARE	TOTAL 5Q. 578 SF 218 SF 746 SF
DESCRIPTION UNFINISHED BASEMENT "FBM" (ADD. SF) TOTAL FINISHED SQUARE DESCRIPTION	TOTAL 5Q. 578 SF 218 SF 796 SF TOTAL 5Q.

783 SF 1120 SF 1903 SF

GENERAL

- These plans and specifications are the sole property of NVR. Any unauthorized use of these plans without the written consent of NVR is prohibited.
- 2. These plans are subjected to modification as necessary to meet code requirements or to facilitate mechanical/plumbing installations or to incorporate design
- 3. These plans are not to be scaled for construction purposes. Dimension lines and notes supersede all scale references.
- 4. Single Family Attached/Detached Automatic residential fire sprinkler systems shall be installed in accordance with NCRBC P2904 or NFPA I3D where required.
- 5. This note sheet only covers major code requirements. The plans are intended to conform to all current applicable codes or engineering design in accordance with Section 301.1.3.

CODE ANALYSIS

I. This note sheet only covers major code requirements. The plans are intended to conform to all current applicable codes including, but not limited to:

NCRC 2018, NCMC 2018, NCPC 2018, NCFGC 2018, NEC 2020 w/ NC Amendments, NCEC 2018, NCFPC 2018

2. Use Group: R-3 3. Constr. Type: V-B

4. Max. Stories: 3

ENERGY AND MECHANICAL

Insulation requirements per 2018 NCRC Chapter II, Energy Efficiency, or Chapter 4 of the 2018 North Carolina Energy Conservation Code (NCECC), or Chapter 4 of the 2015 International Energy Conversation Code (IECC), Residential Energy Efficiency by the prescriptive method. See NVR "Standard Energy Package" for field procedures and details.

R-values shown below are the minimum used.

CLIMATE ZONE	FENESTRATION U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	FRAME WALL R-VALUE 2x4 / 2x6	FLOOR R-VALUE	BASEMENT WALL R-VALUE UNFIN. / FIN.	SLAB R-VALUE & DEPTH	CRAWL SPACE WALL R-VALUE
3	<i>0.3</i> 5	0.30	38	15 / 19	19	5/15	NA:	5/15
4	0.35	0.30	38	15 / 14	19	10 / 15	10	10 / 15

2. All HVAC equipment is sized based on ACCA Manual J calculations. Ductwork is sized using ÁCCA Manual D. Minimum efficiencies of equipment are as listed below. Upgrades for improved energy performance may be installed.

- Air conditioner - 14 SEER - Gas furnace - 92% / 96% - Heat Pump - 8.2 HSPF

. Winter interior design temperatures shall be 70°F and summer interior design temperatures shall be 75°F. Exterior design temperatures vary based on geographic location and are listed on the Manual J calculations.

4. Roof ventilation calculations are based on the following specifications:

Minimum 18 sq. in. of vent per linear foot Minimum 9.9 sq. in. of vent per linear foot Roof jack (box vent): Minimum 45 sq. in. of vent per unit

5. See NVR "Standard Energy Package" for field procedures and details

DESIGN LOADS

Table of Loads for House Structure, Per Table 3015

Floor Living Areas	- 40# P.S.F. (Live)	
-	- 10# P.S.F. (Dead)	unless noted otherwise by calculations
Floor Sleeping Areas	- 30# P.S.F. (Live)	unless noted otherwise by calculations
	- 10# P.S.F. (Dead)	unless noted otherwise by calculations
Garage Floors	- 50# P.S.F. (Live)	_

- 50# P.S.F. (Dead) - 20# P.S.F. (Live) Roof Areas - Top Chord

- IO# P.S.F. (Dead) - 10# P.S.F. (Live) (Attics without storage) - 20# P.S.F. (Live) (Attics with limited storage)

- IO# P.5.F. (Dead) - 30# P.S.F. (Live) Habitable Attics - Areas up to 130 mph ultimate wind speed per

Table R301.2(4) - Exposure category 'B' - Areas up to 130 mph ultimate wind speed per Walls

Table R301.2(4) Vult 115 mph 130 mph
Vasa 89 mph 101 mph

Note: Linear interpolation between contour lines permitted. - 40# P.S.F. (Live)

- IO# P.S.F. (Dead) Allowable deflection of structural members per IRC Table R301.7

<u>Design Criteria</u>

Design Codes National Design specification for Wood Construction by National Forest

2. Specification for the Design Fabrication and Erection of Structural Steel for

<u>Buildings</u> by American Institute of Steel Construction. Materials:

Headers* Southern Pine (KD-19), No. 1 Grade Spruce-Pine-Fir, Stud Grade Spruce-Pine-Fir, Stud Grade Southern Pine (KD-19), No. 1 Grade

2x10 Hem-Fir (KD-19), No. 2 Grade or better (MCLIB & WWPA) 2x8 Southern Pine (KD-19), No. 1 Grade or better

2x10 Spruce-Pine-Fir (KD-19), No. 2 Grade or better (NLGA)

Where required, Laminated Veneer Lumber may be used per Engineering

** Structural Steel - A.S.T.M. A36

FOUNDATIONS

- All plain and reinforced concrete shall comply with requirements in ACI 316.
- 2. Concrete footings shall be poured a maximum 5" slump, 5 bag mix, and 2,500 psi minimum strenath per Table R4022. Concrete walls shall be poured a maximum 5" slump, 5 1/2-bag mix, and 3,000 psi minimum strength per Foundation Wall Design table below. Special soil and or wall height conditions may require a higher psi mix.
- 3. Walls and footings designed as unreinforced unless otherwise specified on foundation plans or details. Special soil and/or site conditions may require the addition of reinforcing.
- 4. Footing frost depth to be no less than 12" per R403.1.4 and Table R301.2(1).
- 5. Minimum Soil Bearing Capacity shall be 2,000 PSF per Table R401.4.1.

6. Slab requirements:

Interior slabs on grade (excluding garage slabs) to be minimum 3-1/2" concrete (may be represented on plans as nominal 4") over 4" sub-base, with vapor barrier (6-mil polyethylene) as required per Section 506 and a minimum 2,500 PSI per Table R402.2.

Non-structural garage slabs shall be nominal 3-1/2" thick and shall be installed on compacted / undisturbed soil per Table R402.2. Slabs shall be 3,500 PSI air-entrained concrete. Structural garage slabs utilizing grade beams shall be nominal 4" thick. Slabs shall be 3,500 PSI air-entrained concrete.

Porch slab and exterior concrete work shall be nominal 4" minimum 3,500 PSI air-entrained concrete with 6x6 WI.4xWI.4 mesh or equivalent fiber mesh reinforcement.

- 7. Unconditioned crawl spaces shall have a minimum net area of ventilation not less than I square foot for each 150 square feet of area, unless the ground surface is covered by a Class 1 vapor retarder, in which case the minimum net area of ventilation shall not be less than I square foot for each 1,500 square feet of area. One such ventilating opening shall be within 3 feet (914 mm) of each corner of the building, per R408.1.2.
- 8. Foundation drains shall be located per local codes and according to local site conditions. Drain discharge by gravity or mechanical means to conform with approved site plan and installed per Section R405.1.
- 9. The top course of block of foundation walls shall be semi-solid block or open cores of hollow block shall be filled with mortar.
- 10. Block piers to be solid block or mortar-filled hollow block.
- II. A poured concrete foundation wall designed to withstand an equivalent fluid weight of 30# per cubic ft. may be substituted where masonry units (block) are shown on plans. 12. Concrete and masonry foundation walls shall be dampproofed with min. 3/8" portland cement
- parging from footing to top of finished grade. The parging shall be covered with a coat of approved bituminous material applied at the recommended rate per R406.1. 13. Where required, concrete and masonry foundation walls shall be waterproofed with an
- approved membrane extending from footing to top of finished grade. The joints in the membrane shall be lapped and sealed with an adhesive compatible with the waterproofing membrane. Waterproofing to be in accordance with R4062.
- 14. Reserved for future use
- 15. Foundation framing anchors shall be 1/2"x18" anchor bolts with 7" minimum embedment or Simpson Strong-Tie MASA / USP FA3 (16 gauge steel, galvanized) or equivalent set in concrete or grouted cell, I'-O" maximum from corners and spaced at a maximum of 6' o.c. and in the middle third of the width of the plate. For walls connecting offset braced wall panels, those 24" in length or shorter shall have min. (1) anchor strap and those 12" or shorter can be installed without anchor straps. Townhouses in seismic design category "C" shall require a .229" x 3" x 3" plate washer per R403.1.6.1 and maximum anchor bolt spacing for buildings over two stories shall be 4'
- 16. Steel columns and bases shall be given a shop coating of rust-inhibitive paint or equivalent to provide corrosion resistance per R4072.

17. For masonry veneers:

Per R703.8.4.1 - Corrugated sheet metal veneer ties shall be a minimum of No. 22 U.S. gauge by 7/8 inch. Each tie shall be spaced not more than 32" o.c. horizontally and 24" o.c. vertically and shall support not more than 2.67 square feet of wall area. For townhouses in Seismic Design Category C and in wind areas of more than 30 pounds per square foot pressure, each tie shall support not more than 2 square feet of wall area.

Additional metal ties shall be provided around all wall openings greater than 16 inches (406 mm) in either dimension. Metal ties around the perimeter of openings shall be spaced not more than 3 feet (9144 mm) on center and placed within 12 inches (305 mm) of the wall opening. Per R703.2 - One layer of No. 15 asphalt felt or other approved mater-resistive barrier shall

Per Table R703.8.4 - Provide minimum I-inch air space between brick veneer and sheathing. Per R703.6.6 - Provide minimum 3/16" diameter weep holes at 33" on center maximum, located immediately above the flashing.

Per R703.8.5 - When veneer of brick, clay tile, concrete, or natural or artificial stone are used, 6 mil plastic flashing shall be attached to the sheathing wherever necessary to prevent moisture penetration behind the veneer. See NVR Flashing Details.

18. Reserved for future use.

be provided behind brick.

- 19. Foundation wall strip footing thickness to be 8" (or 6" with a single story) unless otherwise noted as specified by engineering. Strip footing projections beyond the face of the foundation wall shall not to exceed the footing thickness. Bump out footings, pier pads, and any other footing identified as being greater than 8" in thickness shall not be reduced.
- 20. Block foundation walls may be substituted for poured foundation walls shown on foundation plans provided all requirements of Section R404 are met.
- 21. Termite treatment provided below slabs or to framing members per R318.1

FOUNDATION WALL DESIGN

NCRBC PRESCRIPTIVE CODE OR ENGINEERED DESIGN PER ACI 332										
WALL HEIGHT	WALL THICKNESS	LATERAL SOIL LOAD (a)	UNBALANCED FILL	VERTICAL REINFORCING (b)	HORIZONTAL REINFORCING (b)					
		415	6'-0"	NOT REQUIRED	2- #4 BAR5 (f)					
	& *	45	7'-0"	NOT REQUIRED (d)	3- #4 BARS (d _. e					
	8	60	6'-O"	NOT REQUIRED (d)	3- #4 BARS (de					
8'-O"			7'-0"	#4 @ 22" O.C. (d)	3- #4 BARS (d _e					
	10"	45	6'-0"	NOT REQUIRED	2- #4 BARS (f)					
		10°	10°	10"	IO*	IO*		7'-0"	NOT REQUIRED	2- #4 BARS (F)
					60	6'-0"	NOT REQUIRED	2- #4 BAR5 (f)		
			7'-0"	NOT REQUIRED	2- #4 BARS (F)					
		45	7'-0"	NOT REQUIRED (d)	4- #4 BARS (de					
	6 "	40	8'-O "	#4 @ 19" O.C. (d)	4- #4 BARS (de					
	_	40	7'-0"	#4 @ 19" O.C. (d)	4- #4 BARS (de					
q'-0"		60	8'-0"	#4 @ 15" O.C. (d)	4- #4 BARS (de					
		45	7'-0"	NOT REQUIRED	3- #4 BARS (g)					
	lo"	4 0	&'-O*	NOT REQUIRED (d)	4- #4 BAR5 (de					
	10"	60	7'-0"	NOT REQUIRED (d)	4- #4 BARS (de					
			8'-0"	#4 @ 19" O.C. (d)	4- #4 BARS (de					

NOTE: BACKFILLING OF THE FOUNDATION SHALL NOT TAKE PLACE BEFORE THE BASEMENT SLAB IS IN PLACE AND THE FLOOR FRAMING IS ERECTED OR UNLESS WALLS ARE ADEQUATELY BRACED.

- a. SOIL CLASSES GM, GC, SM, SM-SC AND ML 45 PSF
- SOIL CLASSES SC, MH, ML-CL AND CL 60 PSF
- b. SPACING SHOWN IS BASED UPON Fy = 60,000 PSI STEEL FOR Fy = 40,000 PSI STEEL, REDUCE SPACING BY 0.67
- c. CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF NOT LESS THAN 3000 PSI
- d. ENGINEERED DESIGN PER ACI 332-14, REQUIREMENTS FOR RESIDENTIAL CONCRETE CONSTRUCTION e. FOR ALL WALL HEIGHTS, ONE HORIZONTAL BAR SHALL BE LOCATED WITHIN THE
- TOP 24", ONE IN THE BOTTOM 24" WITH THE REMAINING BARS EQUALLY SPACED. MAINTAIN 2" OF CONCRETE COVER BETWEEN INSIDE FACE OF WALL AND FACE OF HORIZONTAL BARS.
- F. ONE BAR WITHIN 12" OF TOP AND AT MID-HEIGHT OF WALL PER TABLE R404.1.2(1).
- q. ONE BAR WITHIN 12" OF TOP AND ONE EACH AT THIRD POINT OF WALL HEIGHT PER TABLE 404.1.2(1).

PLANS

- Habitable attics and sleeping rooms shall have a window or door as a second means of egress that shall be minimum 5.7 sq. ft. openable area (5.0 sq. ft. if at grade level) with maximum sill height 44" above finish floor (min. hqt. 24", min. width 20") per R310.1.
- 2. All emergency escape and rescue openings shall have a minimum net clear openable area of 4 sq ft. The minimum net clear opening height shall be 22" and a minimum net clear opening width of 20". Emergency escape and rescue openings must have a minimum total glazing area of not less than 5 sq ft in the case of a ground window and not less than 5.7 sq ft in the case of an upper story window per R310.2.1. Window wells where required, shall be installed per R310.2.3 with a minimum of 9 sq ft and a minimum horizontal projection and width of 36". Wells with a greater depth of 44" shall have permanently affixed ladder or steps per **R310.2.3.**I.
- 3. Clear opening heights for exterior doors to be 6'-6" minimum per R311.2. All interior doors providing egress from habitable rooms shall have nominal minimum dimensions of 2'-6" by 6'-8" per R311.6.1. Habitable rooms with double doors less than 5'-0" in total width (less than 2'-6" per door slab) shall have a total opening width of at least 2'-6" with no slide bolts or locking devices installed on either door.
- 4. Sliding glass drs/patio drs/wdws must be safety glazed per R308.4.
- 5. Interior stairway shall have minimum head room of 6'-8" per 311.7.2 and minimum tread depth of 9" and maximum riser height of 8 1/4". Handrails are required for stairs with four or more risers and shall have minimum height of 34" and maximum height of 38" above treads and landings. Handrail to have maximum 4 1/2" projection into width of stair per Section R311.7. Enclosed accessible space under stairs shall have walls, under stair surface and any soffits protected on the enclosed side with 1/2" aupsum board per
- 6. Guard rails to have minimum height of 36" and shall not have openings from the walking surface to the required quard height which allow passage of a sphere 4 inches in diameter per R312.
- 7. The triangular openings at the open side of stair, formed by the riser, tread and bottom rail of a guard, shall not allow passage of a sphere 6 inches (153 mm) in diameter per R312.1.3.
- 6. Where exterior landings or floors serving the required egress door are not at grade, they shall be provided with access to grade by means of a a stairway in accordance with Section R311.7 (see item #5 above) or a ramp in accordance with Section R311.8.
- 9. Handrails shall be installed on exterior stairs having (4) or more risers per R311.7.8. Guards shall be installed at exterior porches / decks that are located more than 30 inches (762 mm) measured vertically to the floor or grade below at any point within 36 inches (914 mm) horizontally to the edge of the open side. Insect screening shall not be considered as a quard.
- 10. All flashing used (including at windows, doors, and with stone or masonry veneer) shall be corrosion-resistive per £703.4. See NVR Flashing Details.
- II. Wood framed walls assumed to be 2×4 stud construction unless otherwise noted on plans. Bearing walls shall have studs spaced at 16" o.c. maximum per Table R602.3(3) and Table R602.3(5).
- 12. All exterior sheathing to be structural sheathing designed in accordance with R602.10.
- 13. An approved water-resistive barrier shall be applied over sheathing of exterior walls per Section
- 14. Interior sheathing shall be 1/2" gypsum wall board unless otherwise noted. Exceptions may include, but are not limited to, special requirements for wall bracing and fire separation.
- 15. Screw fastening is typical for gypsum installation and nailing will only be permitted at the perimeter of the board. • All screws shall be corrosion-resistant Tupe W 1-1/4" drywall screws.

SCREW FASTENING SCHEDULE										
WITH ADHESIVE										
<u>Framina Spacina</u>	Cellings	Load-bra, walls	Non-load-brg. walls							
6 16 24 24										
24	16	16	24							
	MITI	HOUT ADHESIVE								
Framing Spacing	Ceilings	Load-brg. walls	Non-load-brq. walls							
16	12	16	16							
24	12	12	12							
	i	i	i							

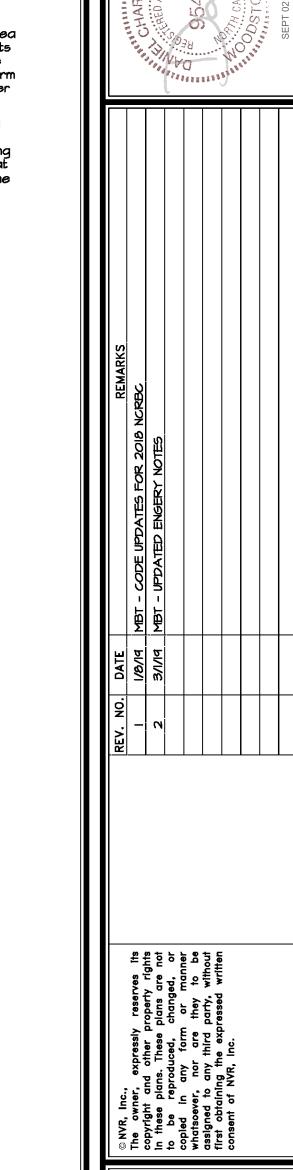
- For 1/2" wallboard, nails shall be 1-1/4" long, 1/4" head and .098 diameter shanks with annular ring or acceptable equivalent and comply with ASTM C514.
- For 5/8" wallboard, nails shall be 1-3/8" long, 1/4" head and .098 diameter shanks.
- 17. Garages shall be completely separated from the residence and attic area by not less than 1/2" gypsum board applied to the garage side. Garages beneath habitable rooms shall be separated from all habitable rooms above by not less than 5/8" type X gyp. board. Where a structure is supporting a floor-ceiling assembly due to living space above the garage, the structure shall also be protected by not less than 1/2" gypsum board per Section R302.6.. Openings and penetrations through the separation shall be protected by sealing the area around the penetration per Section R302.5. The garage door shall be a 20-minute fire-rated door and be equipped with a self-closing device installed per Section R302.5.I.
- 18. Asphalt shingles shall be installed per section R905.2. For roof slopes of 2:12 through 4:12, in lieu of two layers of underlayment, a self-adhering polymer-modified bitumen underlayment shall be used per section R905.I.I Exception #I.
- 19. Attic spaces shall be ventilated w/ ridge and soffit vents unless otherwise noted. Venting provided per R806.2.
- 20. Fireblocking shall be installed between ceiling and floor openings per R302. II. Draftstopping to be installed in accordance with R302.12.
- 21. Water closet, lavatory or bidet shall not be set closer than 15 inches from its center to any side wall, partition or vanity or closet than 30 inches center-to center- between adjacent fixtures. There shall be a clearance of not less than 21 inches in front of the water closet, lavatory or bidet to any wall, fixture or door per P2705.I
- 22. Heating and cooling equipment installation shall be in accordance with IRC Chapter 14 and the International
- 23. Mechanical fireplaces shall be installed per Section RIOO4 and IOO5.
- 24. Single family attached structures to have 2-hour dwelling unit separation wall continuous to roof deck. Roofing material to be minimum class "C" over approved fire retardant wood decking extending 4' each
- side of dwelling unit separation wall per R302.2 and R302.3.
- 25. Untreated wood shall be minimum 8" above finish grade per R317.1 Item #2. 26. Bottom plates on slabs and any wood in contact w/ concrete or masonry to be pressure treated material
- 27. Exterior egress swing doors shall open onto a landing not more than 8 1/4" below the top of the threshold when door swings in and I 1/2" below the top of the threshold when the door swings out. The landing shall extend a minimum of 36" in the direction of travel and be at least the width of the doorway served per
- 28. Air exhaust and intake openings that terminate outdoors shall be protected with corrosion-resistant screen, louvers, or grills having a min. opening size of 1/4" and maximum of 1/2" in any dimension per
- 29. Fasteners and connectors for pressure preservative-treated wood shall be hot-dipped galvanized steel. 30. Windows that have an operable opening more than 72" above finished grade or surface below, the lowest part of the clear opening of the window shall be a minimum of 24" above the finished floor of the room in which the window is located. Glazing between the floor and 24" shall be fixed or have openings through which a 4" dia. sphere cannot pass per Section R3122.
- 31. The final grade shall fall a minimum of 6 inches within the first 10 feet of the foundation per R401.3. 32. One- and two-family dwelling construction (R302.1.1):
- Vinyl or aluminum soffit material shall be securely attached to framing members and use an underlayment material of either fire retardant treated wood, 3/4-inch wood sheathing or 5/8-inch aupsum board. Venting requirements shall apply to both soffit and underlayment and shall be per Section RBO6. Where the property line is 10 feet or more from the building face, the provisions of this code section shall not
- Projections extending into the fire-separation distance shall have not less than I-hour fire-resistive construction on the underside. Vinul or aluminum soffit material shall be securely attached to framing members and use an underlayment material of either fire retardant treated wood, 3/4-inch wood sheathing or 5/8-inch gypsum board. Venting requirements shall apply to both soffit and underlayment. Vents shall be nominal 2-inch continuous or equivalent intermittent and shall not exceed the minimum net free air requirements of Section R806.2 by more than 50%. Vents in soffit are not allowed within 4 feet of fire
- walls or property lines per R302.2.5 and R302.2.6. 33. I-hour fire-rated construction required on projections within 2' to 3' of lot line per R302.I. No projections allowed within 2' of property line.
- I-hour fire-rated construction required on townhouse eaves within 3' of the property line.

Townhouse construction (R302.2.5):

- Note: Single Family Detached product will NOT be built within 3' of the property line. 34. Wall bracing is designed in compliance with Section R602.10. When wall bracing is beyond the criteria for a prescriptive approach, the structure is analyzed utilizing engineering in compliance with the North Carolina Building Code (NCBC). Refer to house-specific wall bracing detail sheets and wall bracing standard details. Adhesive attachment of wall sheathing, including Method GB, shall not be permitted in Seismic
- 35. Minimum floor sheathing shall be 5/8" tongue & groove decking underlayment grade plugged and sanded, exterior glue, glued and nalled on joists to meet. "American Plywood Association" approved glued floor

ELECTRICAL

- I. Ground-fault and arc-fault circuit interrupter protection is provided per NFPA 70 (National Electric Code). 2. Electric panel box installation to be in accordance with NFPA 70, Article 408 Section III. Location may
- 3. Approved smoke detectors shall be installed in each sleeping room; outside each separate sleeping area in the immediate vicinity of the bedrooms; and on each additional story of the dwelling, including basements and habitable attics but not including crawl spaces and uninhabitable attics. Where more than one smoke detector is required, the devices shall be interconnected in such a manner that the actuation of one alarm will activate all of the alarms in the individual unit. All smoke detectors shall receive their primary power from the building wiring and be equipped with a battery backup.
- 4. Unless listed for installation in such locations, smoke detectors shall be installed at least 10 feet from a cooking appliance, at least 3 feet from the door to a bathroom containing a tub or shower, at least 3 feet from forced air supply registers, and at least 3 feet from the tip of a celling fan blade. In sleeping rooms, smoke detectors should be located in the vicinity of the room entrance. They shall be installed at the highest portion of the ceiling (including tray or coffered ceilings) or within 12 inches vertically from the highest point in rooms with sloped ceilings.
- 5. Interior stairs shall be provided with an artificial light source in the vicinity of each landing or directly over each stair section and capable of illuminating treads and landings to a level not less than Ifc measured at the center of the tread or landing per R303.7.
- 6. Outlets within 6' of a sink must be GFI protected.
- 7. An approved carbon monoxide alarm shall be installed outside of each separate sleeping area in the immediate vicinity of the bedrooms. Where a fuel-burning appliance is located within a bedroom or its attached bathroom, a carbon monoxide alarm shall be installed within the bedroom. R315.3.
- 8. Outlets installed in laundry areas must be GFI protected.



SPE 7

NVR - Business Use Only

ROOF VENTILATION CALCULATIONS

HOUSE NAME
HOUSE VERSION
PRODUCT LINE

VENTILATION VALUES

ROOSE
ROOF SERVENT OF VENT DESTITE

ROOF VENTILATION CALCULATIONS

CEDAR
CDR00_01
RYANHOMES

SOFFIT: 9.9 sg to of vent Destit
ROOF SERVENT OF SERVENT DESTITE
ROOF GABILE VENT. 45 sq to of vent per unit

	YES fand	fainvì VENT OK	
	nasanasanasanasinasinasanasanasanasanasa	anamanandan manamanan katalah da k	
I been because from a discharging	NO YES	IOW FAIL	ino action in eq. a.
	I control of the second se		France Control of the
		procession procession and the All	
	NO NO	ушуу рак	finctease total seut

ELEVATION "A or F or K"															
	Area (A)	Required: A/150	Requirest: A/300	Soffit	Soffit Vent	Ridge	Ridge Vent	Upper Box / Gable Vent	Lower Box Vent	TOTAL	OK A/150	OK A/388	A/300 % vent at	A/300 40%-50%	
Location / Options	(sq in)	(sq in)	(ng in)	(lf)	(sq in)	(lf)	(ad iu)	(qty)	(qty)	(sq in)	Owigin	OW 10 200	ridge	OK?	Notes
Main House Roof	161.280			60		17	2.15.00			810.00	NO				
Garage Roof	11880	79.20	39.60	27.5	272.25		0.00			272.25	YES	N/A	N/ZA	N/A	
ELEVATION "B or L"															
			,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,				ELEVA							·	
		Requirent;	Requirests				ELEVA	Upper Box /	If L ^a Lower Box				A/300	A/300	
	Area (A)	Requires: A/150	Required: A/300	Soffit	Soffit Vent	Ridge	ELEVA Ridge Vent			TOTAL	OK A/150	OK A/300	A/300 % vent at	A/300 40%-50%	
Location / Options	Area (A) (sq in)	*	1 × 1	Soffit (#)	Soffit Vent	Ridge (f)		Upper Box /	Leaver Box	TOTAL (sq in)	OK A/150	OK A/300		1 1	Notes
Location / Options Main House Roof		A/150 (sq in)	A/300 (sq in)		(sq in)		Ridge Vent	Upper Box / Gable Vent	Lower Box Vent	1	OK A/150 NG	ì	% vent at ridge	40%-50% OK?	Notes

NVR - Business Use Only



Location / Area of house

Main section of the house

Porch on front of house

Garage bump out from main house

Version 2.0 (Last Revised 04/26/19)

HOUSE V	OLUME CALCULATIONS	
HOUSE NAME	CEDAR	
HOUSE VERSION	CDR00-01	
PRODUCT LINE	RYANHOMES	

Note: The volume of the structure has been computed in acordance with "Title 5. of the Community Affairs, Chapter 23. Uniform Construction Code, Subchapter 2. Administration and enforcement: Process." (5;23-2.28. Volume computation)

ELEVATION "X"

Floor Area (sq. ft.) Mean height (ft.) Total volume (cu. Ft.)

Total House Volume 0

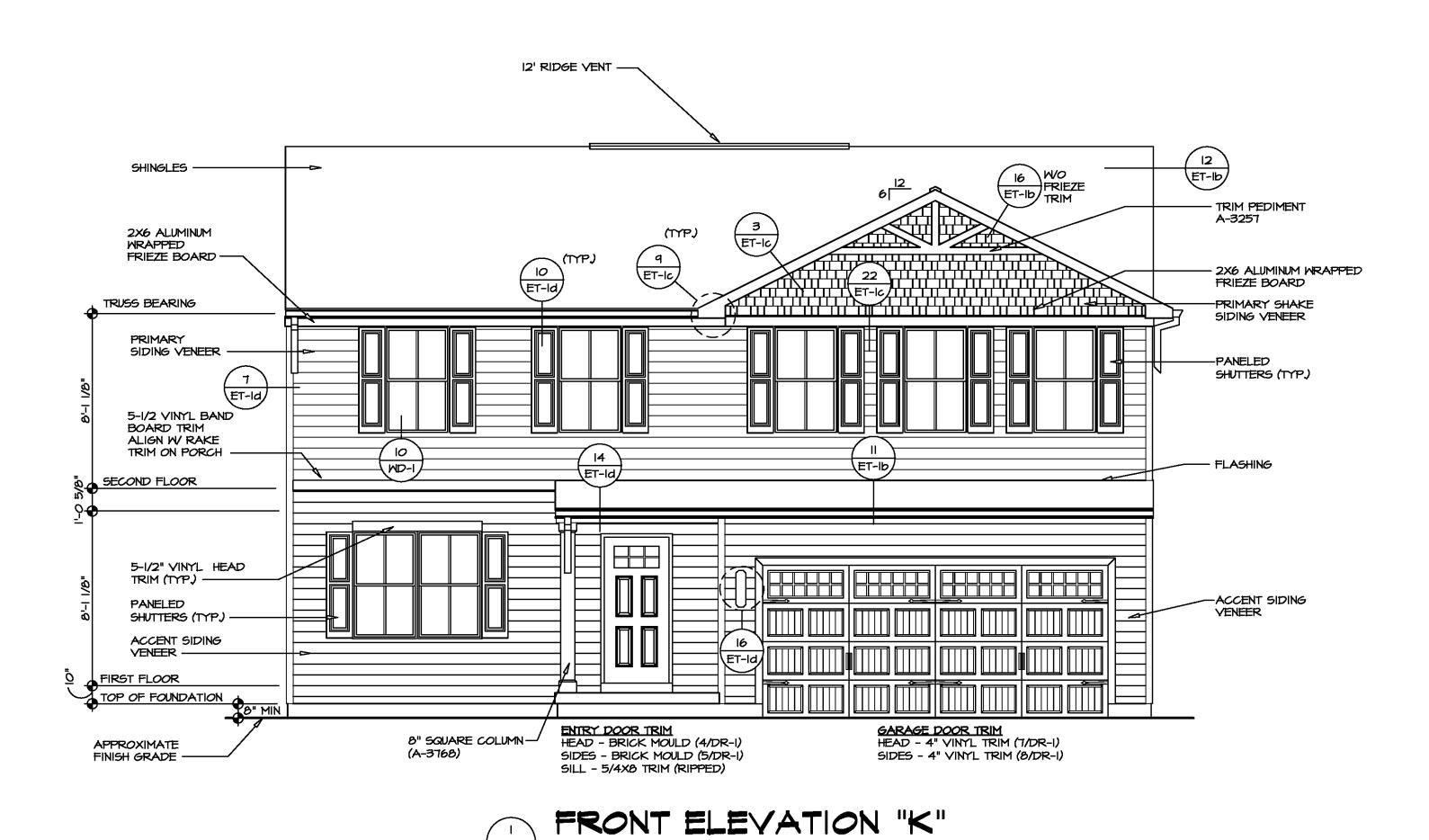
ment man and a first minut man a command man			
Main section of the house			0
Garage bump out from main house			0
Porch on front of house			0
		Total House Volume	0
	ELEVATION '	'X"	
Location / Area of house	Floor Area (sq. ft.)	Mean height (ft.)	Total volume (cu. Ft.)
Main section of the house			0
Garage bump out from main house			0
Porch on front of house			0
		Total House Volume	0
	ELEVATION '	'X"	
Location / Area of house	Floor Area (sq. ft.)	Mean height (ft.)	Total volume (cu. Ft.)
Main section of the house			0
Garage bump out from main house			0
Porch on front of house			0
		Total House Volume	0
			A
	ELEVATION '	'X"	
Location / Area of house	Floor Area (sq. ft.)	Mean height (ft.)	Total volume (cu. Ft.)

Additional areas of volu	ıme to be added t	o total house volu	me as needed
Location / Area of house / option	Floor Area (sq. ft.)	Mean height (ft.)	Total volume (cu. Ft.)
			0

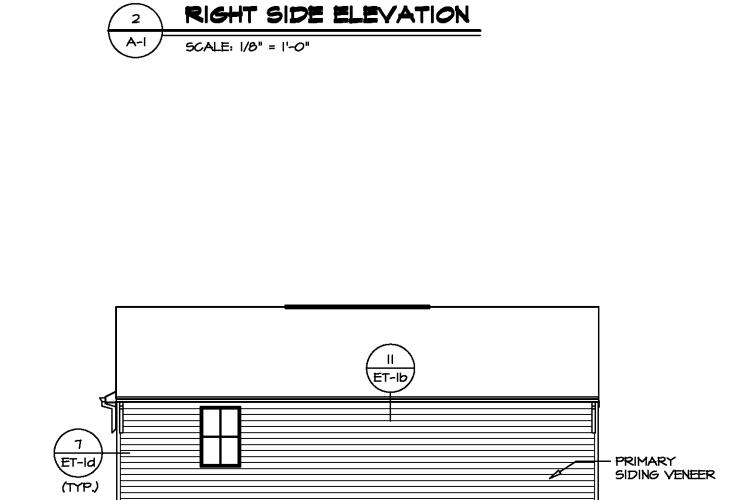


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			NO.		
			APT. NO.		7
	UNIT				TT#ID
	DIV-COMM-LOT-UNIT	COMM-LOT	STREET ADDRESS		VT/S
	ssly reserves its ir property rights	tse plans are not d, changed, or orm or manner are they to be	ird party, without expressed written	i	
	©NVR, Inc., The owner, expressly reserves its copyright and other property rights	in these plans. These plans are not to be reproduced, changed, or copied in any form or manner whatsoever, nor are they to be	assigned to any third party, without first obtaining the expressed written		
			NVR, Inc. 5285 Westview Drive, Suite 100	Frederick, MD 21703	
	5000 				

DRAWN BY	DATE:	OPTION
		NOIL



5CALE: 1/4" = 1'-0"

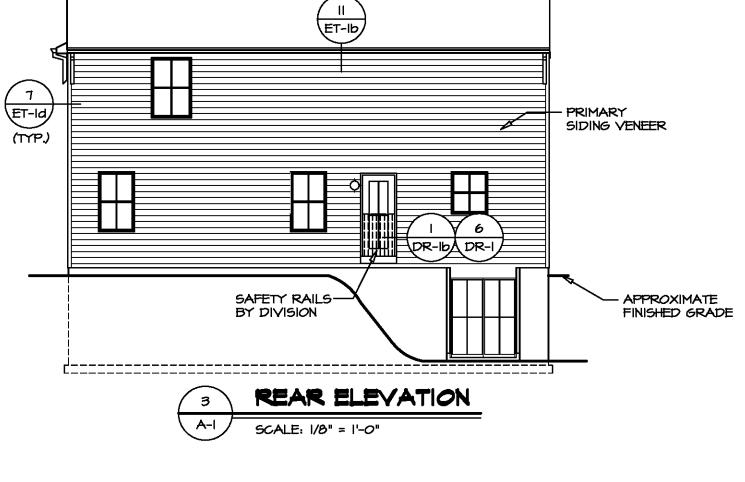


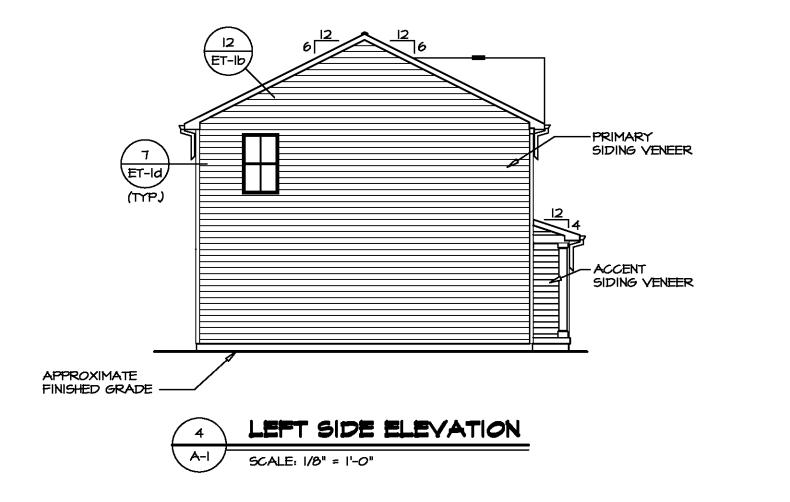
T ET-Id (TYP)

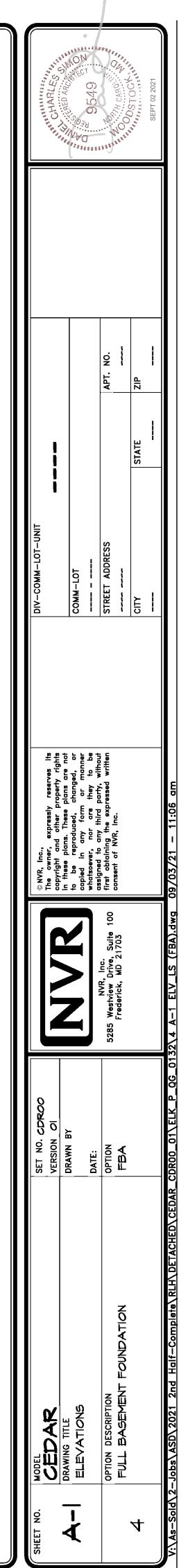
I'-0" RIDGE -----VENT

PRIMARY SIDING VENEER—

APPROXIMATE FINISHED GRADE -







SHOP DRAWING GENERAL INFORMATION PAGE

CODES & STANDARDS

Building Code: 2012/2015/2018/2019 IRC, 2012 IBC

ESR Report number: ESR-1662 August 2018
3rd Party Inspection Agency: PFS Corporation, Madison WI

Quality Assurance Manual: Superior Walls of America 2005 Edition

Site Preparation Guide: Superior Walls Builder Guideline Booklet Rev. June 2018

Fire Test Standards: ASTM E119 ANSI/UL 1715

WALL MATERIALS

Concrete Compressive Strength: Min. 5,000 PSI

water/cement Ratio: <0.40

Reinforcing Steel: No. 4 and larger - 60,000 PSI No. 3 and smaller - 40,000 PSI

Secondary Reinforcement: Polypropylene Fiber
Embedded Wood Blocking Preservatively Pressure Treated

EPS Foam Insulation: Flame Spread: 20

Smoke Development: 240

XPS Foam Insulation: Flame Spread: 5

Smoke Development: 165

SITE/WALL CONDITIONS

Frost Depth: Min. 12 inches assumed Soil Bearing Capacity: 2,000 PSF Seismisc Category: A, B, C

Basic Wind Speed: 155 maximum PSF

Wall Loading: 7,500 Pounds/LF (uniform) Maximum

Brickledge Loading: 2,900 Pounds/LF Maximum

Crushed Stone Footing Depth: Min. 6 Inches thick or more (see table in Builder Guideline Booklet

Table R403.4)

Crushed Stone Size: \$\frac{3}{8} \text{ Inch and smaller (cleaned)}\$

Backfill Material: 100 LB/CF Equivalent Fluid Pressure Max (see Builder Guideline

booklet for more information)

Beam Pocket(s) & Point Load(s): 38,000 Pound Maximum - Data supplied by Customer/Builder

(see plan for location and sizes)

GENERAL NOTES

- Jobsite shall be prepared by the builder in accordance with the Superior Walls of America builder Guideline Booklet - Site Preparation and Framing Attachment Requirements (Rev. January 2016).
- 2. Auxiliary drain pipe must be four (4) inch diameter perforated, covered with filter fabric and directed to a sump pit or daylight.
- 3. Builder shall establish the elevation benchmark (if necessary)
- 4. Builder shall insure proper site access for trucks and crane.

INSTALLATION NOTES

- Installation shall be supervised by a Superior Walls certified installer.
 Certification is obtained through Superior Walls of America, Ltd.
- 2. Installation shall comply with Superior Walls of America's Installation Manual (Rev. July 2011).

DRAWING NOTES

- 1. All measurements for brick, stone, or support ledges are from Top Of Wall (TOW).
- 2. Drawings are not to scale.

DAMP PROOFING

Superior Walls are recognized by the ICC-ES as an alternative method of providing foundation wall damp proofing. No additional damp proofing is required. (See ESR-1662 & ICC-ES Legacy Report 21-72)

PLEASE NOTE

To comply with building code requirements, the framing/decking connections at the top of the Superior Walls and floor slab at the bottom of the Superior Wall MUST be completed PRIOR to backfilling.

CUSTOMER RELEASE

The attached drawing was created from information and dimensions provided by the customer/builder. Superior Walls of North Carolina, Inc. is not responsible for deviations from the Blue Print or information provided by the customer/builder.

I have reviewed the attached drawing & all of the dimensions and objects therein; I understand the the Superior Walls will be custom manufactured per this drawing specifically for my project. By signing below I am certifying that I have reviewed the attached drawing and all of its listed dimensions and I accept FULL RESPONSIBILITY of any and all measurements and information provided by me/my associates/my company.

CUSTOMER MUST SIGN & DATE BELOW

Customer/Builder Signature & Date

PROJECT:

Job Number: -

Job Name: Ryan Lot 132 QG

Job Address: Lot 130

Lot #: 132

BUILDER:

Company: RYAN HOMES

Contact:

Phone/Email:

MUNICIPALITY:

Harnett County

ANGIER, NC



3570 S. Main Street Salisbury, NC 28147 Phone: 704-636-6200 Toll-Free: 877-896-9255 www.superiorwallsnc.com

DRAWING DATA:

Job Number: Sales Rep:

-

R MUSSO

Drawn By:

JG

Date Created: Date Modified: Sep. 22, 2021 Sep. 22, 2021

Revision:

Pages:

5

Superior Walls® FOUNDATION DRAWING

5'-10" WALLS - TOTAL LENGTH: 4' 6' WALLS - TOTAL LENGTH: 4'

8'-2" WALLS - TOTAL LENGTH: 135'-7"

1/2" DIA. x 6" BOLTS FOR SILL PLATE

#	DESCRIPTION
8	BRICK LEDGE TOTALING 39'-9 1/2"
1	SOLID CORNER
19	SLAB CONNECTOR
1	SEWER PENETRATION
1	WATER PENETRATION
28	L.F. OF SHOE BLOCK TOP (12" H x 5" D)

ID	#	OBJECT	1	DESCRIPTIO	N	WIDTH	HEIGHT	FROM TOP OF WALL	FROM BOT OF WALL	MAX HDR CAPACITY
Α	2	CUTOUT		GARAGE CU	Т	12"	12"			
ID	#	OBJECT	1	DESCRIPTIO	N	# STUDS	HEIGHT			
В	1	EXTRA STUD				1	92"			
ID	#	OBJECT	l	DESCRIPTIO	N	WIDTH	HEIGHT	DEPTH		
С	1	BEAM POCKET				4"	8"	6"		
D	2	BEAM POCKET				18"	28"	6"		
ID	#	OBJECT	LENGTH	WIDTH	THICKNESS		DESCRIPTION	N		
E	4	FOOTER PAD	24"	24"	4 1/2"					
F	4	FOOTER PAD	36"	36"	6"					

BUILDER CHECK LIST:

- -RO's/DIMS/WALL HEIGHT CORRECT?
- -OBJECT OPENINGS CORRECT?
- -WOOD BUTTS IND./REQ'D?
- -SUPPORT/BRICK LEDGES CORRECT?
- -EXTRA SUPPORT IND. FOR PT. LOAD?

SIGNATURE	Ξ:	Chris	Cushenette
DATE:	9/22	2/21	

OWNER/BUILDER NOTIFICATION:

BY SIGNING THESE DRAWINGS YOU ARE ACKNOWLEDGING THAT THE WALLS WILL BE BUILT TO THE DIMENSIONS INDICATED ON THESE PLANS, AND THAT YOU ARE ASSUMING ANY AND ALL LIABILITY THAT MAY RESULT FROM THE WALLS BEING MANUFACTURED AS SHOWN

PLEASE NOTE:

Adjustments made after sign-offs may incur an additional \$200 service charge

THESE DRAWINGS ARE APPROVED FOR FINAL	PRODUCTION AS ILLUSTRATED	AND NOT SUBJECT TO CHANGE
THESE DIVAVINGS AIVE AFFINOVED FOR FINAL	FINODOCTION AS ILLUSTRATED	AND NOT SUBJECT TO CHANGE.

CUSTOMER SIGNATURE: Chris Cushenette 9/22/21 DATE:

$\overline{ bigcup}$	
JG	09-22-21
ВУ	DATE

\checkmark CEDAR *AYAN HOME* QG 132 LOT

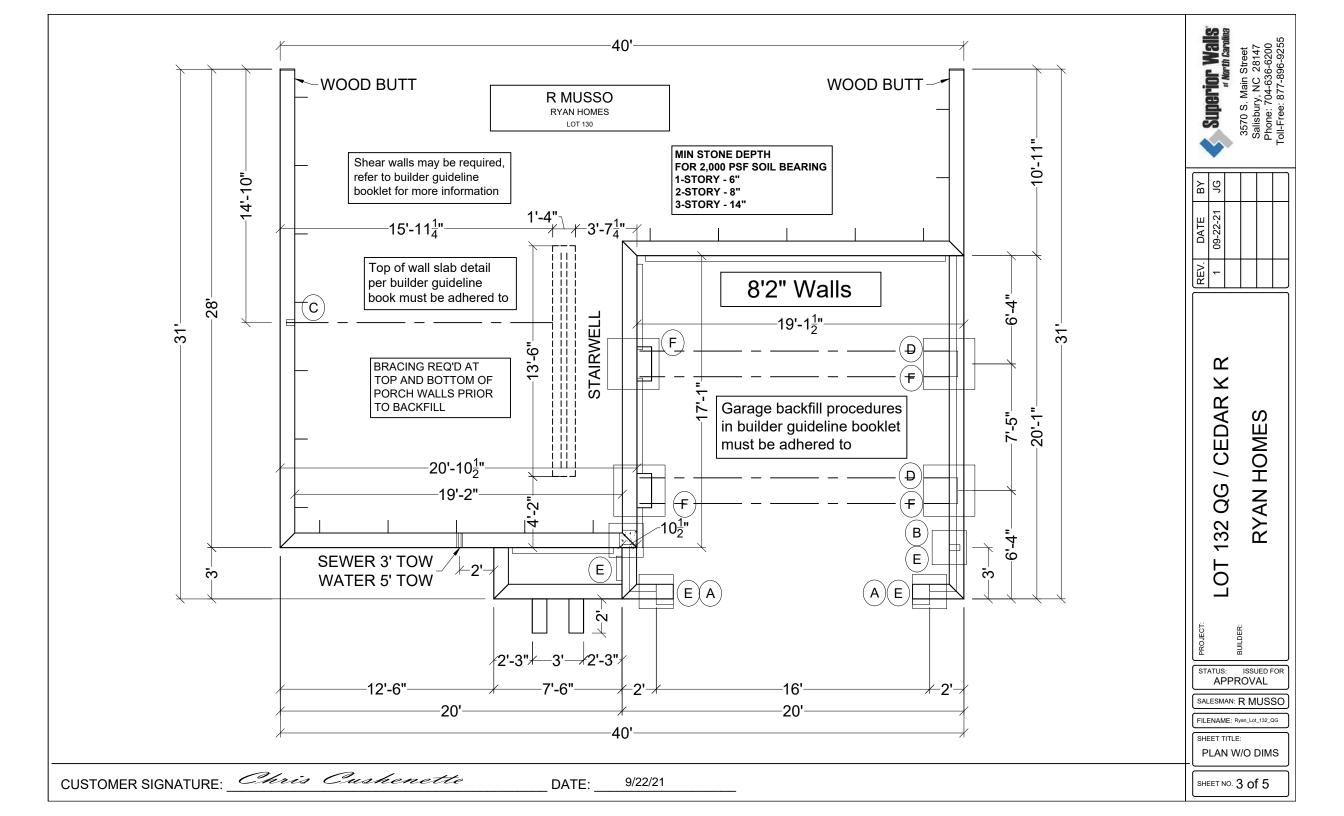
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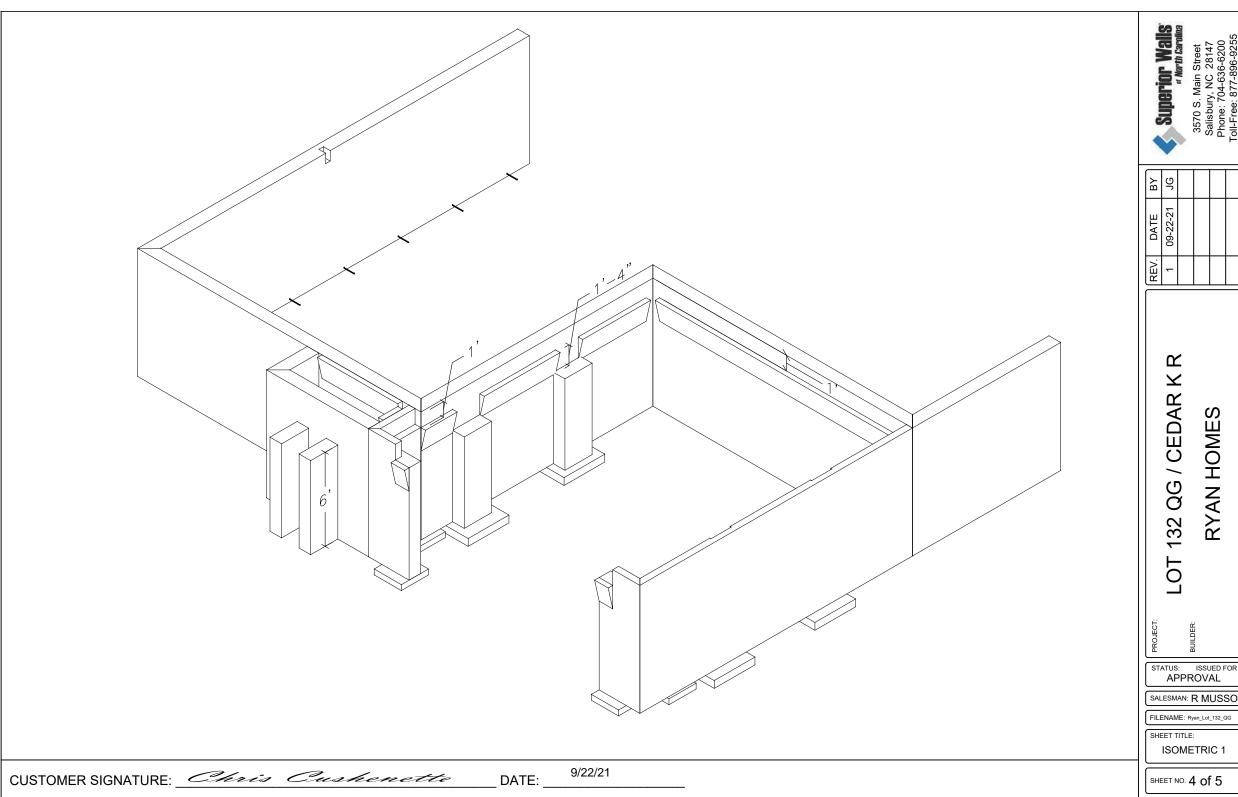
APPROVAL SALESMAN: R MUSSO

FILENAME: Ryan_Lot_132_QG

SUMMARY

SHEET NO. 2 of 5





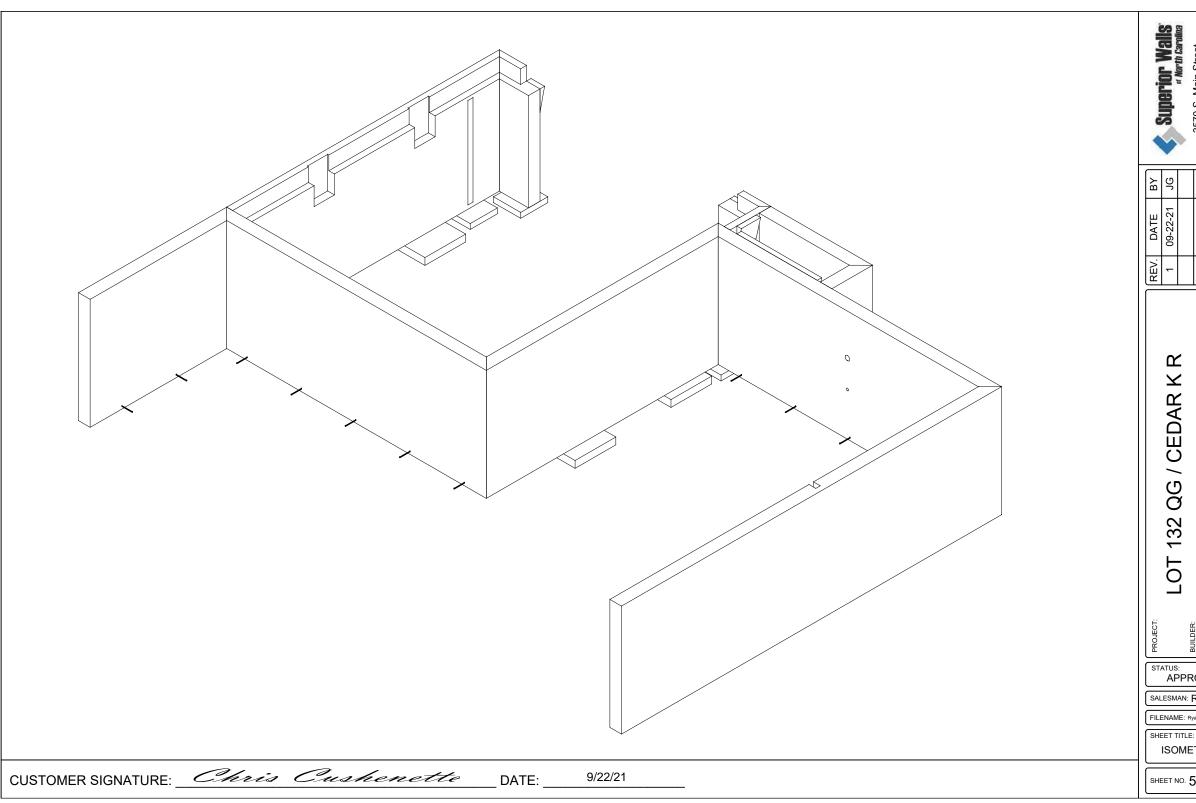
SALESMAN: R MUSSO

RYAN HOMES

FILENAME: Ryan_Lot_132_QG

SHEET TITLE: ISOMETRIC 1

SHEET NO. 4 of 5





LOT 132 QG / CEDAR K R RYAN HOMES

STATUS: ISSUED FOR APPROVAL

SALESMAN: R MUSSO

FILENAME: Ryan_Lot_132_QG

ISOMETRIC 2

SHEET NO. 5 of 5

	FOUNDATION BEAI	M/HEADER S	SCHEDUL	E
IDENTIFIER	DESCRIPTION	LENGTH	ENG. NUM.	REMARKS
B 001	BEAM STEEL - WOXIO W 2X6 SILL	l6'-5 "	B0001	

		PAD FOO	OTING SCH	IE DULE	
IDENTIFIER	LENGTH	HTCIM	HEIGHT	ENG. NUM.	REMARKS
FOOI	2'-0"	2'-0"	l'- 0"	B0009	
F002	3'- 6"	'-4 "	O'-B"	B0009	
F002	&' - O "	'-4"	O'-8"	B0009	
F005	2'-6"	2'-6"	l' -0"		FROST DEPTH < 36"
F006	2'-6"	2'-6"	I'-O*		FROST DEPTH < 36"
F001	I9'-4 3/4 "	1'-6"	l' -4 "		
FOOB	19'-4 3/4"	1'-6"	'-4"		
F009	2'-0"	2'-0"	1'-0"	1016	

FOUNDATION DIAGONALS				
A			В	
Α	0"	A 40'-1 3/8"		
В	40'-l 3/8"	В 0"		
C	48'-9 15/16"	C	31'-0"	
D	28'-0"	D	50'-7 1/4"	

FOUNDATION NOTES - BASEMENT

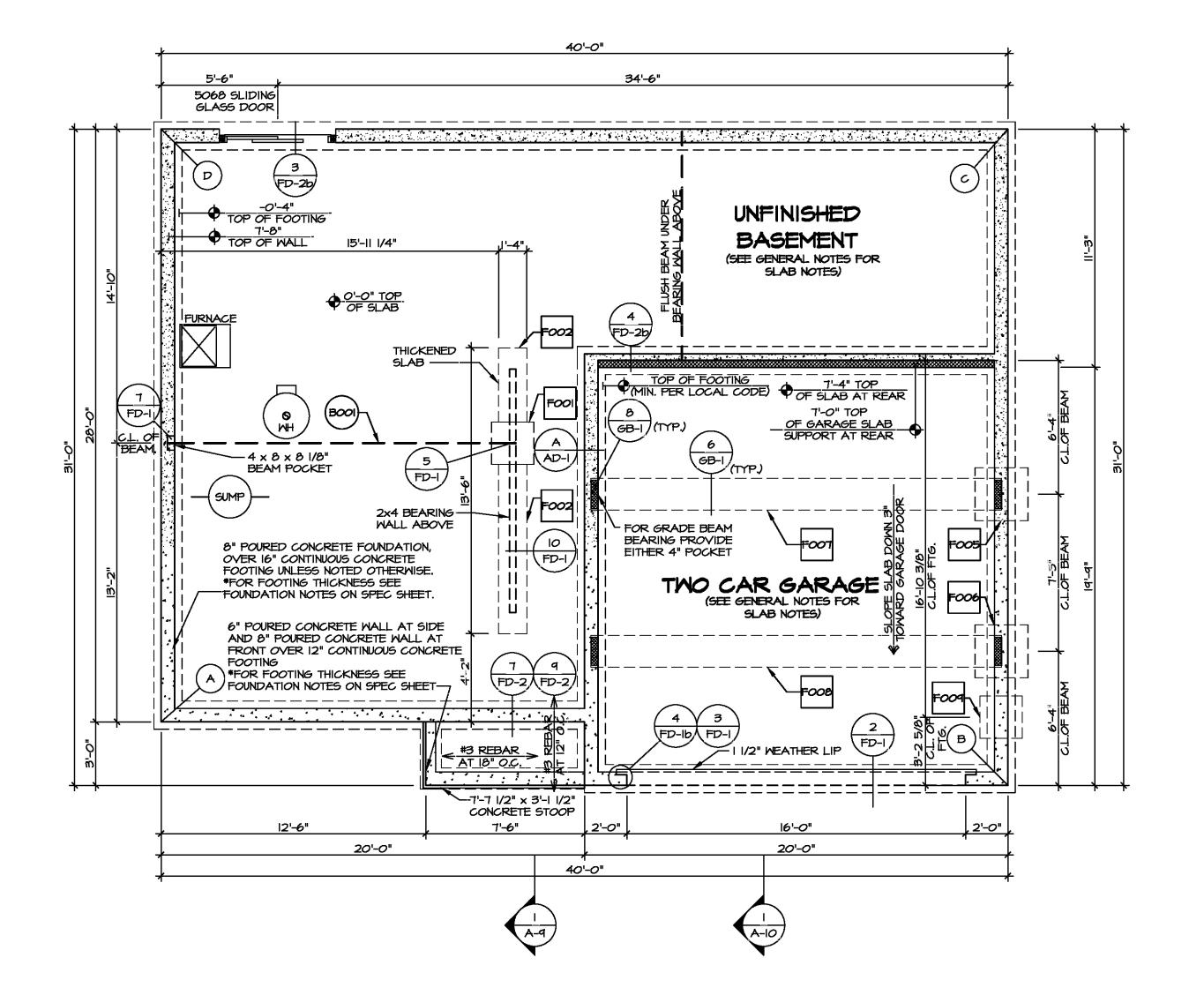
- I. FOUNDATION UNDER HABITABLE SPACE:
 I.I. CONCRETE SLAB ON 6 MIL VAPOR BARRIER OVER
 SUB-BASE (SEE SPEC SHEET FOR SLAB NOTES) 2. SLAB UNDER GARAGE:
- 2.I. UNEXCAVATED WITH CONCRETE SLAB ON VAPOR BARRIER OVER SUB-BASE (SEE SPEC SHEET FOR SLAB NOTES) OR
- 2.2. STRUCTURAL CONCRETE SLAB ON VAPOR BARRIER
 OVER SUB-BASE (SEE SPEC SHEET FOR SLAB NOTES)
 3. SEE FOUNDATION HOLD DOWN SHEET FOR CONNECTION
- INFORMATION. 5. SLAB LEDGE LOCATIONS VARY W GRADE BEAM(S)
 ORIENTATION. SEE GB-I FOR DETAILS.
 5. THE DIRECTION OF

- REBAR, AS REQUIRED.

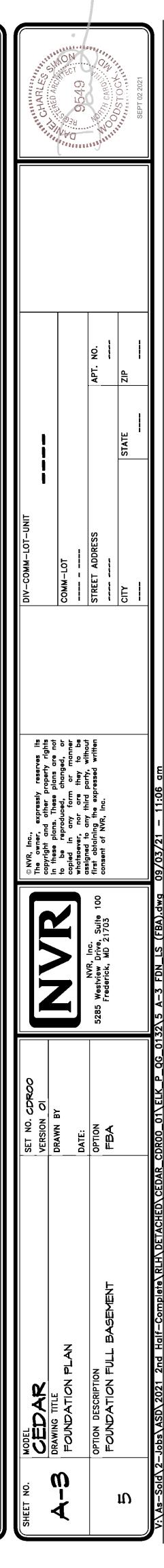
 1. ALL FOOTINGS ARE PLAIN, UNREINFORCED CONCRETE

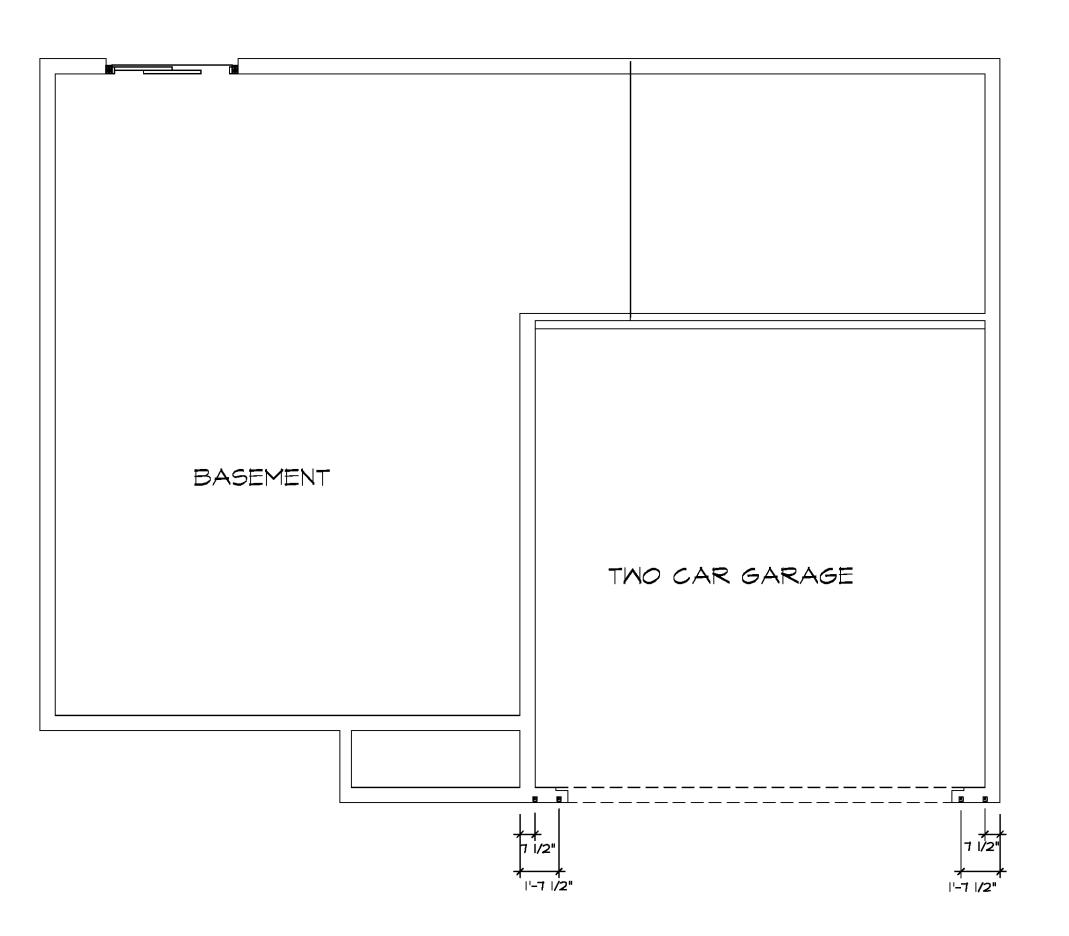
 INTERCONTROL OF THE PROJECT OF THE PROJE

LEGE	END
	BEARING WALL
	NON BEARING WALL
8	INDICATES BEARING FROM POINT-LOAD ABOVE
1	JACKS
B _	BEAM/HEADER
F_	PAD FOOTING
⟨c_>	STEEL COLUMN
\bigotimes	TRUSS TIE DOWN
<u>x</u> _	PORTAL FRAME
X	JOIST/TRUSS
L	LVL
$\stackrel{\times}{}$	ENGINEERING PAGE NUMBER
	DETAILS FOR CONNECTORS











	TO AND		dIZ	WO WO	
			STATE	-	
DIV-COMM-LOT-UNIT	COMM-LOT	STREET ADDRESS	CITY		
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on N The The Copy	7	NVK, Inc. 5285 Westview Drive, Suite 100 first fons Frederick, MD 21703			
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					THE ST UNINC

	HOLD DOWN NOTES
	ETAIL (9/FD-I) FOR HOLD DOWN OFFSET DIMENSIONS. DETAIL (12/FD-I) FOR HOLD DOWNS ON CMU BLOCK.
≤ 2" 	I. ALL PANELS GREATER THAN 24" SHALL HAVE AN ANCHOR WITHIN 12" OF THE PANEL BREAKS / ENDS. (SEE DETAIL SHEET FF-I FOR MORE INFORMATION ON ANCHOR DETAILS)
STRAP	I. STRAP: a. ON FOUNDATION USE (STHDI4) b. ON FLOOR SYSTEM USE (STHDI4RJ) 2. ALL OTHER HOLD DOWN SEE DETAIL (NB-2) FOR MORE INFORMATION. 3. STRAP LOCATION ON PLANS SHOWN BY DASHED DIMENSION TO CENTER OF STUDS
	OR
BOLT Mo e	 5/8"¢ THREADED ROD ALL OTHER HOLD DOWN SEE DETAIL (WB-2) FOR MORE INFORMATION. BOLT LOCATION ON PLANS SHOWN BY SOLID DIMENSION TO CENTER OF BOLT

NOTE RADON REMEDIATION

- RADON REMEDIATION
 RADON LOOP:

 (4") PERFORATED HDPE "LOOP"

 MUST BE PLACED IN STONE BED SLIGHTLY HIGHER THAN ANY INTERIOR DRAINTILE

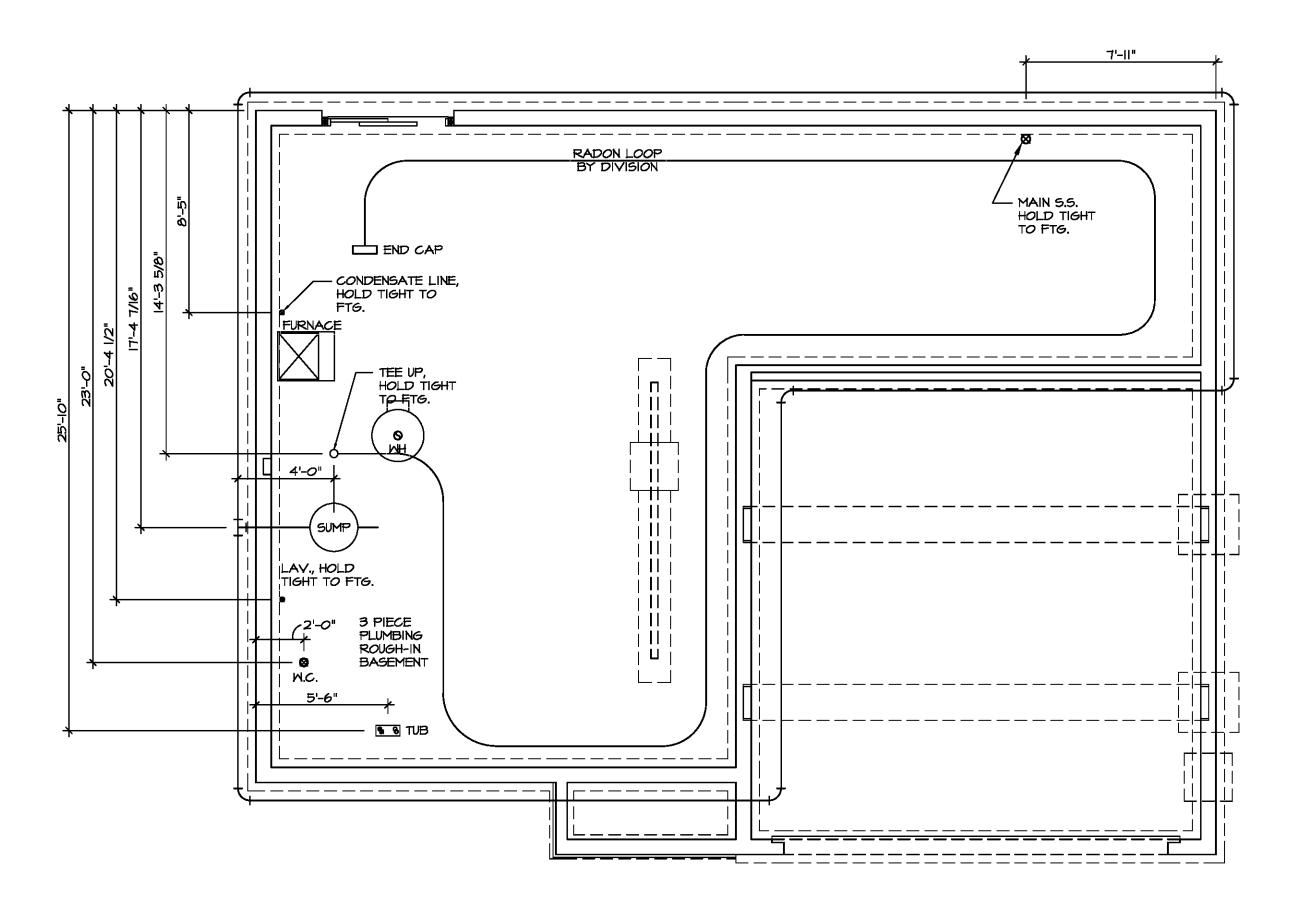
 LOOP TO BE SEPARATE FROM ANY DRAINTILE ELEMENTS

 TO BE CORRUGATED HDPE PIPE

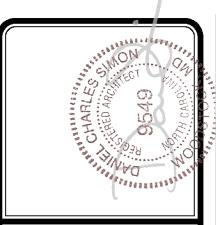
 SCREWS TO BE INSTALLED THROUGH LOOP AT TEE UP INTO STACK
 STACK REQUIREMENTS:

 3" PVC STACK (4" IF BASEMENT IS GREATER THAN 2200 SOFT)
- 3" PVC STACK (4" IF BASEMENT IS GREATER THAN 2200 SQFT.)
- NO PART OF STACK IS TO BE HORIZONTAL (45° ELBOWS PERMITTED AS REQUIRED)
 PIPE TO BE PHYSICALLY LABELED IN THE FIELD AS "RADON VENT" OR OTHER JURISDICTIONALLY REQUIRED LANGUAGE (ON EVERY LEVEL OF HOUSE)
- ROOF TERMINATION TO BE IN TOP 1/3 OF ROOF
 SCREEN OR VENT CAP INSTALLED TO KEEP PESTS OUT OF RADON VENT AT ROOF TERMINATION.

INSTALLATION OF RADON STACK AND LOOP TO BE DETERMINED BY DIVISION







		APT. NO.	ZIP	!
			STATE	
DIV-COMM-LOT-UNIT	COMM-LOT	STREET ADDRESS	 CITY	-
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		nc. ive, Suite 100		

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	z	

	BASEMENT JACK SO	CHEDULE	
IDENTIFIER	DESCRIPTION	ENG. NUM.	REMARKS
1001	B5MT - solved\$0\$JACK - (4) 2X4 SPF STUD GRADE	B0009	

FLOOR PLAN NOTES

- ALL HEADERS ARE (2) 2x6 w/ 2x4 WALLS OR (3) 2x6 w/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
 ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK AND KING STUD EACH END, UNLESS OTHERWISE NOTED.
 MILTI-OPENING HEADERS TO HAVE (2) JACKS AT
- MULTI-OPENING HEADERS TO HAVE (2) JACKS AT INTERMEDIATE BEARING, UNLESS OTHERWISE NOTED. NO ADDITIONAL FLOOR SYSTEM BLOCKING OR CONTINUOUS LOAD PATH JACKS ARE REQUIRED UNLESS OTHERWISE NOTED.
- 3. ALL EXTERIOR WALLS TO BE 4" W/ OSB OR 3 1/2"
 W/ LAMINATED FIBROUS STRUCTURAL SHEATHING, ALL
 INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED.
- HATCHED AREAS INDICATE DROPPED CEILINGS. ALL DROPPED CEILINGS ARE 12" UNLESS OTHERWISE NOTED.
 SEE "BRACED WALL PANEL DETAIL SHEET" FOR SPECIAL
- WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.

 6. SEE STANDARD DETAIL CATEGORY "IT" SHEET(S) FOR
- INTERIOR TRIM DETAILS.

 7. SEE ARCHITECTURAL DETAIL SHEET "AD" FOR HOUSE
- SPECIFIC INTERIOR TRIM OPTION TABLE.

 8. ALL WINDOWS HAVE 7'-0 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
- 9. ALL HEADERS IN NON-BEARING WALLS SHALL BE A SINGLE FLAT 2X4 OR 2X6 ATTACHED TO CRIPPLES ABOVE, UNLESS OTHERWISE NOTED.

 10. TANKED WATER HEATER SHOWN AS BASE CONDITION.
- IO. TANKED WATER HEATER SHOWN AS BASE CONDITION,
 OPTIONAL TANKLESS WATER HEATER IS AVAILABLE IN
 LIEU OF TANKED WATER HEATER.

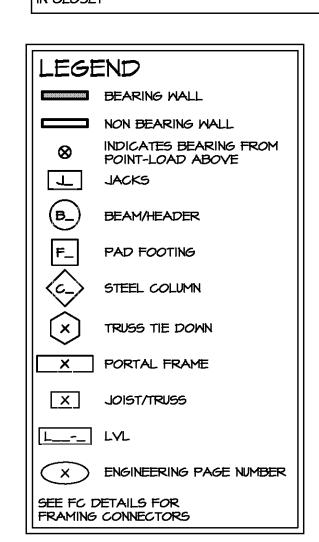
GYPSUM NOTES

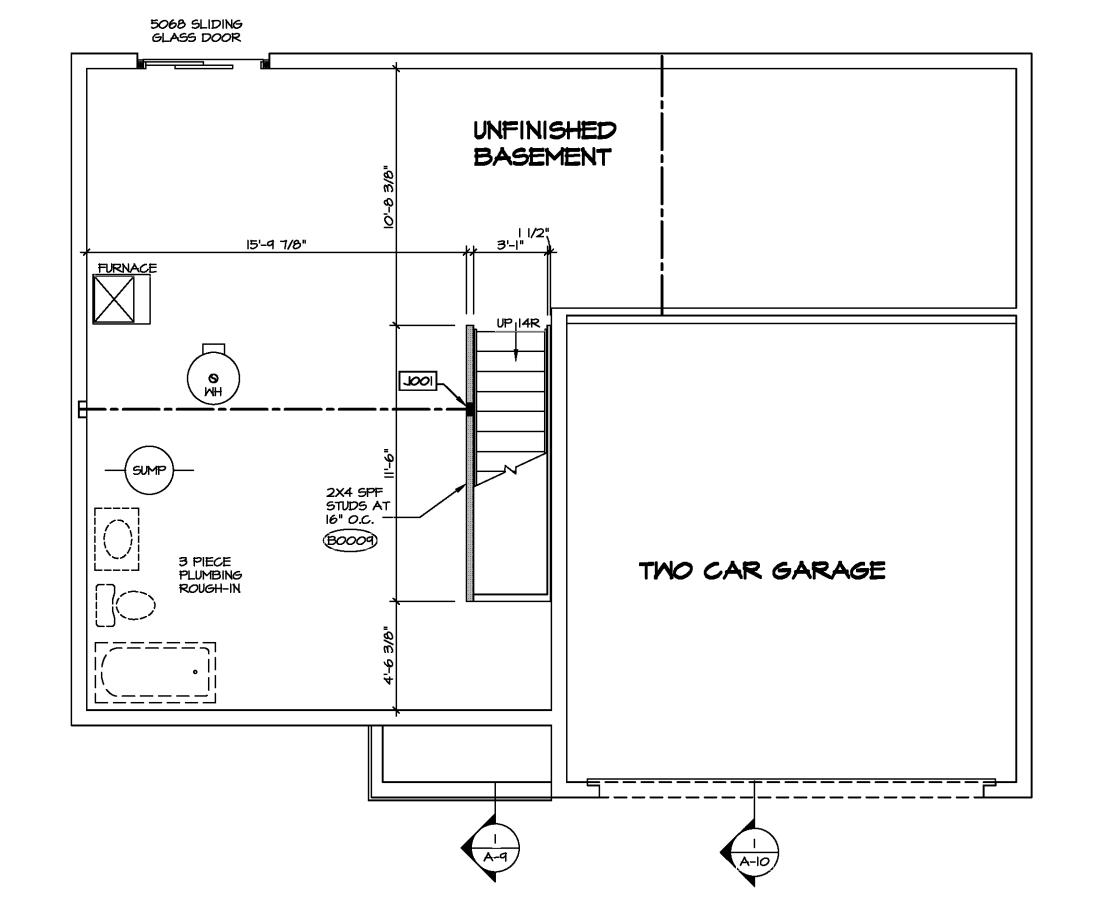
AT GARAGE:

GYPSUM BOARD AT COMMON WALLS, CEILINGS, BEAM WRAPS AND SUPPORTS PER STANDARD DETAIL FA-I(b) FIRE ASSEMBLIES OR AS REQUIRED BY LOCAL CODE.

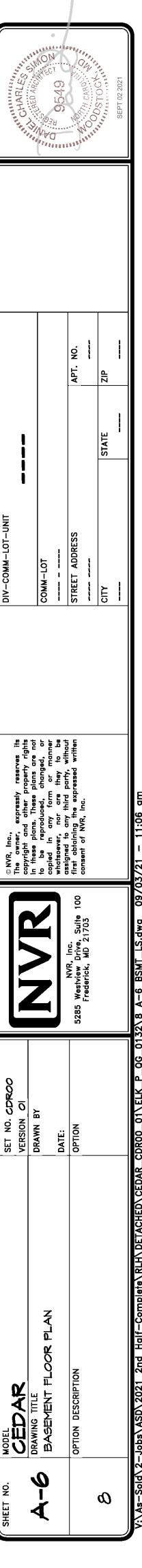
AT STAIRS:

1/2" GYPSUM BOARD AT UNDERSIDE OF STAIRS AND WALLS IN CLOSET









	FIRST FLOOR JACK S	SCHEDUL	E
IDENTIFIER	DESCRIPTION	ENG. NUM.	REMARKS
JIOI	JACK - (3) 2X4 SPF STUD GRADE	1019	
JI02	JACK - (2) 2X4 SPF STUD GRADE	1019	
SOIL	JACK - (2) 2X4 SPF STUD GRADE	1014	
JIO4	JACK - (2) 2X4 SPF STUD GRADE	1014	
JI05	JACK - (2) 2X4 SPF STUD GRADE	1012	
JI06	JACK - (4) 2X4 5P#I	1025	
TOIL	JACK - (4) 2X4 SP#I	1025	
SOIL	JACK - (2) 2X4 SPF STUD GRADE	1008	
POIL	JACK - (2) 2X4 SPF STUD GRADE	1008	
OIL	JACK - (2) 2X4 SPF STUD GRADE	1010	
	JACK - (2) 2X4 SPF STUD GRADE	1010	
JII2	JACK - (4) 2X4 SPF STUD GRADE	1006	
SIIL	JACK - (4) 2X4 SPF STUD GRADE	1006	
JII4	JACK - (4) 2X4 SPF STUD GRADE	1006	
JII5	JACK - (4) 2X4 SPF STUD GRADE	1006	

FIELD	INSTALLED FIRST FL	OOR BEAM	HEADER	SCHEDULE
IDENTIFIER	DESCRIPTION	LENGTH	ENG. NUM.	REMARKS
BIOI	INT HEADER - 2X8 - 2 PLY	4'- "	1019	

FLOOR PLAN NOTES

- ALL HEADERS ARE (2) 2x6 w/ 2x4 WALLS OR (3) 2x6 w/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
 ALL HEADERS TO HAVE (I) 2x4 OR 2x6 JACK AND KING STUD EACH END, UNLESS OTHERWISE NOTED.
 MULTI-OPENING HEADERS TO HAVE (2) JACKS AT INTERMEDIATE BEARING, UNLESS OTHERWISE NOTED. NO ADDITIONAL FLOOR SYSTEM BLOCKING OR CONTINUOUS LOAD PATH JACKS ARE REQUIRED UNLESS OTHERWISE
- 3. ALL EXTERIOR WALLS TO BE 4" W/ OSB OR 3 1/2"
 W/ LAMINATED FIBROUS STRUCTURAL SHEATHING, ALL
 INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED.
 4. HATCHED AREAS INDICATE DROPPED CEILINGS. ALL
 DROPPED CEILINGS ARE 12" UNLESS OTHERWISE NOTED.
- DROPPED CEILINGS ARE 12" UNLESS OTHERWISE NOTED.

 5. SEE "BRACED WALL PANEL DETAIL SHEET" FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
- 6. SEE STANDARD DETAIL CATEGORY "IT" SHEET(S) FOR INTERIOR TRIM DETAILS.
 7. SEE ARCHITECTURAL DETAIL SHEET "AD" FOR HOUSE
- SPECIFIC INTERIOR TRIM OPTION TABLE.

 8. ALL WINDOWS HAVE 7'-0 1/2" HEADER HEIGHT UNLESS
- OTHERWISE NOTED.

 9. ALL HEADERS IN NON-BEARING WALLS SHALL BE A SINGLE FLAT 2X4 OR 2X6 ATTACHED TO CRIPPLES ABOVE, UNLESS OTHERWISE NOTED.
- IO. TANKED WATER HEATER SHOWN AS BASE CONDITION,
 OPTIONAL TANKLESS WATER HEATER IS AVAILABLE IN
 LIEU OF TANKED WATER HEATER.

GYPSUM NOTES

AT GARAGE:

GYPSUM BOARD AT COMMON WALLS, CEILINGS, BEAM WRAPS AND SUPPORTS PER STANDARD DETAIL FA-I(b) FIRE ASSEMBLIES OR AS REQUIRED BY LOCAL CODE.

AT STAIRS:

1/2" GYPSUM BOARD AT UNDERSIDE OF STAIRS AND WALLS IN CLOSET

BEARING WALL NON BEARING WALL NO BEARING WALL NON BEARING WALL NO BE

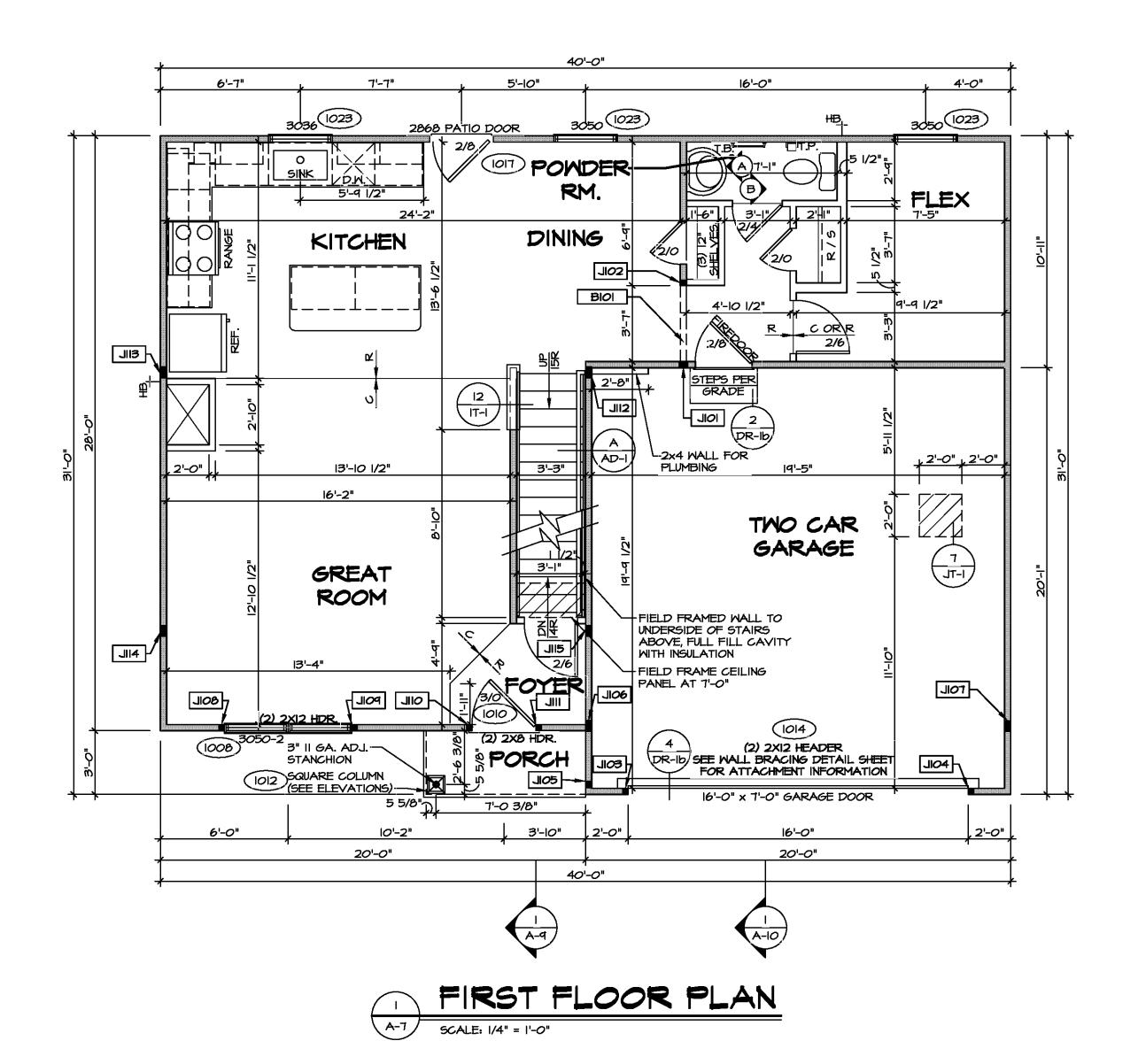
X PORTAL FRAME

X JOIST/TRUSS

_____ LVL

X ENGINEERING PAGE NUMBER

SEE FC DETAILS FOR FRAMING CONNECTORS



FLOOR PLAN NOTES

- ALL HEADERS ARE (2) 2x6 w/ 2x4 WALLS OR (3) 2x6 w/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
- ALL HEADERS TO HAVE (I) 2x4 OR 2x6 JACK AND KING STUD EACH END, UNLESS OTHERWISE NOTED. MULTI-OPENING HEADERS TO HAVE (2) JACKS AT
- INTERMEDIATE BEARING, UNLESS OTHERWISE NOTED. NO ADDITIONAL FLOOR SYSTEM BLOCKING OR CONTINUOUS LOAD PATH JACKS ARE REQUIRED UNLESS OTHERWISE
- . ALL EXTERIOR WALLS TO BE 4" W/ OSB OR 3 1/2" W/ LAMINATED FIBROUS STRUCTURAL SHEATHING, ALL
- INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED.
- HATCHED AREAS INDICATE DROPPED CEILINGS, ALL DROPPED CEILINGS ARE 12" UNLESS OTHERWISE NOTED. SEE "BRACED WALL PANEL DETAIL SHEET" FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF
- APPLICABLE. SEE STANDARD DETAIL CATEGORY "IT" SHEET(5) FOR INTERIOR TRIM DETAILS.
- SEE ARCHITECTURAL DETAIL SHEET "AD" FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
- . ALL WINDOWS HAVE 7'-0 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
- ALL HEADERS IN NON-BEARING WALLS SHALL BE A SINGLE FLAT 2X4 OR 2X6 ATTACHED TO CRIPPLES ABOVE, UNLESS OTHERWISE NOTED.
- . TANKED WATER HEATER SHOWN AS BASE CONDITION, OPTIONAL TANKLESS WATER HEATER IS AVAILABLE IN LIEU OF TANKED WATER HEATER.

GYPSUM NOTES

AT GARAGE:

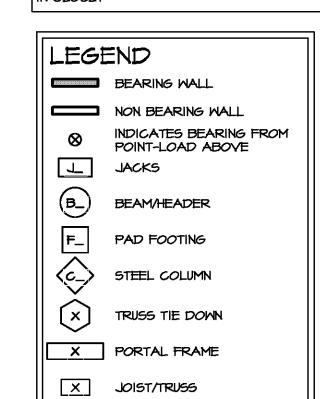
GYPSUM BOARD AT COMMON WALLS, CEILINGS, BEAM WRAPS AND SUPPORTS PER STANDARD DETAIL FA-I(b) FIRE ASSEMBLIES OR AS REQUIRED BY LOCAL CODE.

AT STAIRS:

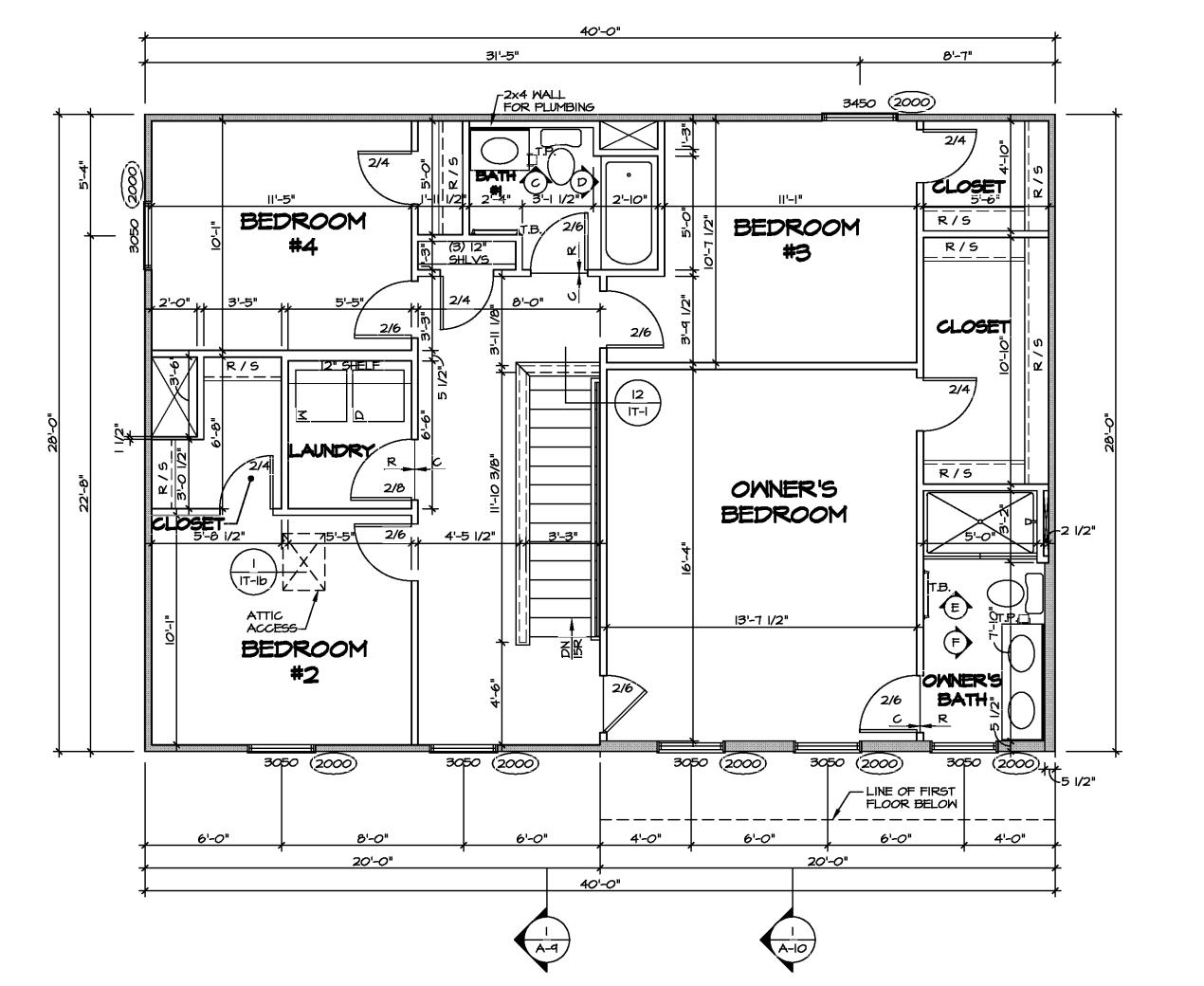
L____ LVL

SEE FC DETAILS FOR FRAMING CONNECTORS

1/2" GYPSUM BOARD AT UNDERSIDE OF STAIRS AND WALLS IN CLOSET

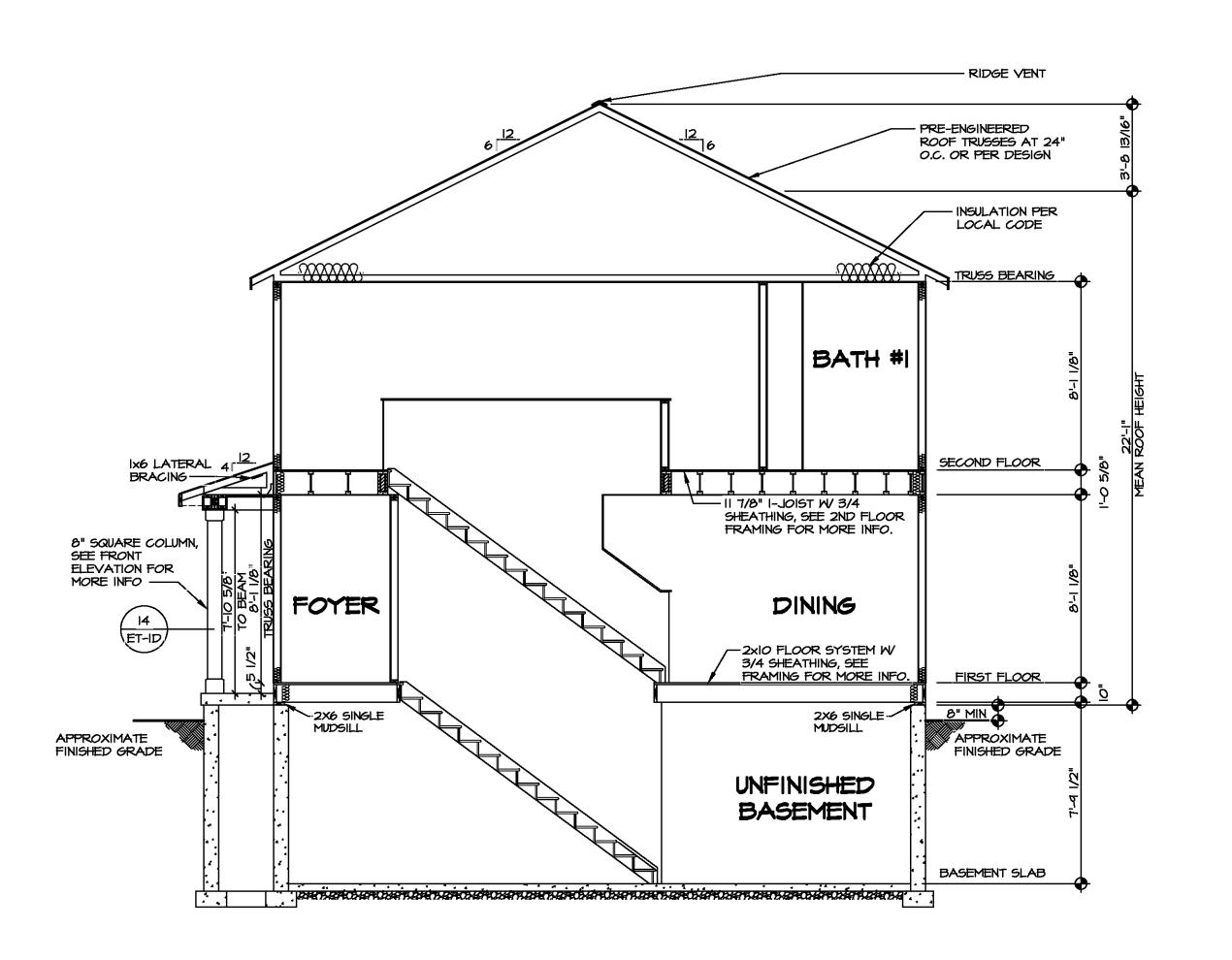


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SECOND FLOOR PLAN SCALE: 1/4" = 1'-0"

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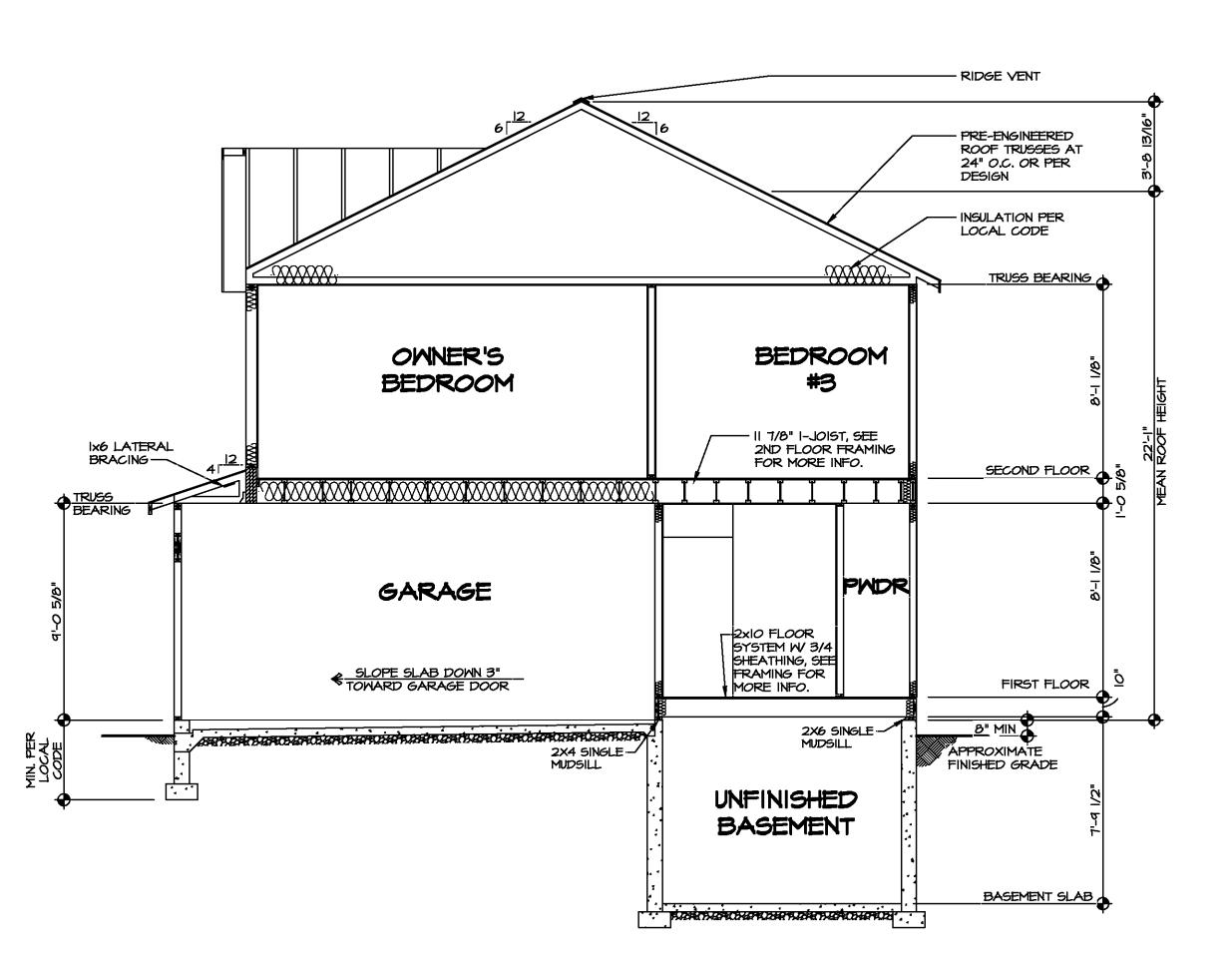


BUILDING SECTION - FOYER

SCALE: 1/4" = 1'-0"

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BUILDING SECTION - GARAGE

A-10 SCALE: 1/4" = 1'-0"

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FIR	FIRST FLOOR FRAMING LENGTH SCHEDULE						
IDENTIFIER	DESCRIPTION	LENGTH	ENG. NUM.	REMARKS			
IAA	JST - 2xl0	13'-0 3/4"					
IAB	JST - 2xl0	13'-2"					
IAC	JST - 2xl0	5'-0 1/2"					
IAD	JST - (2) 2x10 SPF#2	3'-8 1/2"	B0003				
IAF	JST - 2x10	10'-11"					
IAG	JST - 2x10	2'-2 3/4"	B0010				
IAH-2	J5T - 2x10	II'-5 I/2"					
IAK-2	JST - (2) 2x10 SP#1	14'-10"	B00 2	PLANT BUILT			
IAL	JST - 2x10	14'-10"					
IAM-2	JST - 2x10	14'-10"					
IAQ	JST - 2x10	10'-8"					
IAR	JST - 2xl0	10'−8"					
IAT	JST - 2xl0	11'-3 1/2"					

FIRST FLOOR LVL LENGTH SCHEDULE						
IDENTIFIER	DESCRIPTION	LENGTH	ENG. NUM.	REMARKS		
LI04-4	LVL 1.75 - 09-04 - 4 PLY	lO'-8"	B0005	A-3950		

- LVL PLY TO PLY FASTENING SCHEDULE: (WHERE APPLICABLE BASED ON LYL USAGE)
- I.A (2) PLY UP TO AND INCLUDING II 7/8" TALL: FASTEN PLIES W/ (2) ROWS 16D NAILS AT 12" O.C. OR ALT I 1/2" WIDE LVL FASTEN PLIES W/ (3) ROWS 12D NAILS AT 12"O.C.
- 2.A (2) PLY 14" TO AND 18" TALL (INCLUSIVE): FASTEN PLIES W (3) ROWS 16D NAILS AT 12" O.C. OR
- ALT I I/2" WIDE LVL FASTEN PLIES W (4) ROWS I2D NAILS AT I2"O.C. 3.A - (2) PLY 20" TALL AND OVER: FASTEN PLIES W/ (4) ROWS 16D NAILS AT 12" O.C. OR ALT 1 1/2" WIDE
- LVL FASTEN PLIES W (5) ROWS 12D NAILS AT 12"O.C. 4.A - (3) PLY UP TO AND INCLUDING II 1/8" TALL: FASTEN PLIES W (2) ROWS 16D NAILS AT 12" O.C.
- FROM EACH SIDE OR ALT I 1/2" WIDE LVL FASTEN PLIES W/ (3) ROWS 12D NAILS AT 12"O.C. FROM
- 5.A (3) PLY 14" TO AND 16" TALL (INCLUSIVE): FASTEN PLIES W (3) ROWS 16D NAILS AT 12" O.C. FROM EACH SIDE OR ALT I 1/2" WIDE LVL FASTEN PLIES W (4) ROWS 12D NAILS AT 12"O.C. FROM EACH SIDE. 6.A - (3) PLY 20" TALL AND OVER: FASTEN PLIES WV (4) ROWS 16D NAILS AT 12" O.C. FROM EACH SIDE
- OR ALT I 1/2" WIDE LVL FASTEN PLIES W/ (5) ROWS 12D NAILS AT 12"O.C. FROM EACH SIDE.
- 7.A (4) PLY (ALL SIZES): FASTEN PLIES W (2) ROWS 1/2" DIAMETER A30T BOLTS AT 24" O.C. SEE SHOP DRAWING FOR ADDITIONAL INFORMATION.

2XIO FLOOR SYSTEM

- SUBFLOOR IS 5/8" TONGUE AND GROOVE OSB STANDARD.
- . ALL JOISTS AND RINGS ARE 2XIO SPF #1 OR SPF #2. . ALL RING MAT'L 14'-O" UNLESS OTHERWISE NOTED.
- 4. ALL SHORT JOIST ARE CUT FROM 14'-0" UNLESS OTHERWISE NOTED.
- REFER TO STANDARD DETAILS FOR HOLE CUTTING GUIDELINES. PROVIDE SOLID 2XIO (UNLESS NOTED OTHERWISE) BLKS
- BELOW ALL JKS AS REQ'D. 4" MAX. OVERHANG OF FLOOR JOIST ON STEEL BEAM AND
- BEARING WALLS. OPTIONAL CROSS BRIDGING AS REQ'D.
- ALL JOIST LENGTHS IN SCHEDULE ARE TO BE OUT FROM
- 2'-O" NOMINAL SIZE JOISTS.

 10. SEE CONNECTOR / NAIL CHART IN STANDARD DETAILS FOR TYPICAL HANGERS. (FC-4)
- 12. ADHESIVE TO BE APPLIED AT THE RATE OF (I) TUBE PER TWO AND ONE-HALF SHEETS; SHEETS ARE TO BE GLUED AND PLACED ONE AT A TIME. AFTLY SLIE TO TONSIE AND SROOVE.

LEGEND

BEARING WALL

NDICATES BEARING FROM POINT-LOAD ABOVE

BEAM/HEADER

PAD FOOTING

STEEL COLUMN

TRUSS TIE DOWN

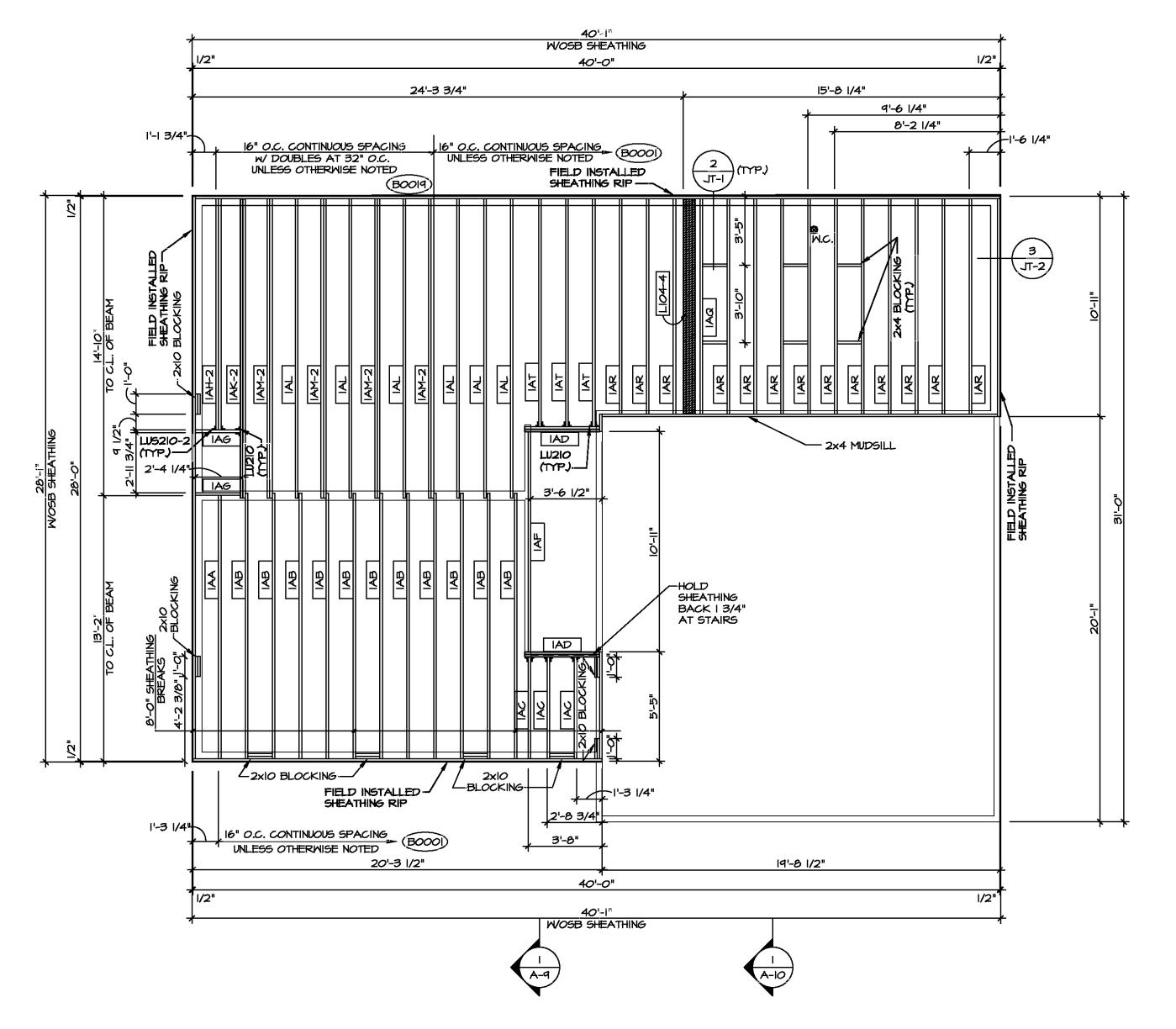
X PORTAL FRAME

X JOIST/TRUSS

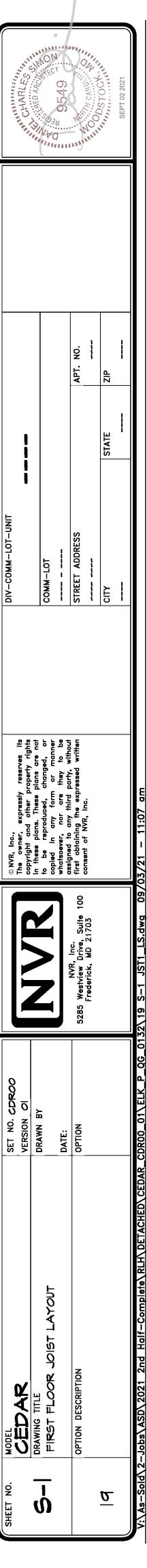
L__-_ LYL

X ENGINEERING PAGE NUMBER

SEE FC DETAILS FOR FRAMING CONNECTORS



FIRST FLOOR FRAMING PLAN SCALE: 1/4" = 1'-0"



SECOND FLOOR LYL LENGTH SCHEDULE					
IDENTIFIER	DESCRIPTION	LENGTH	ENG. NUM.	REMARKS	
L201-3	LVL 1.75 - 18	20'-0"	1025	5.A	
L202	LVL 1.75 - 11-14	11'-9"	1004		

SECOND FLOOR FRAMING LENGTH SCHEDULE							
IDENTIFIER	DESCRIPTION	LENGTH	ENG. NUM.	REMARKS			
2AC	PRI 60 - II-14	19'-9 3/4"					
2AE	PRI 60 - 11-14	39'-9 3/4"					
2AH	PRI 60 - 11-14	39'-9 3/4"					
2AH-2	PRI 60 - II-14 DBL	39'-9 3/4"	1036	J-0002			
2AJ	PRI 60 - 11-14	16'-6 1/8"					
2AK-2	PRI 60 - II-14 DBL	20'-2 3/8"	1006	J-0002			
2AM	PRI 60 - II-14	39'-9 3/4"					
2AQ	PRI 60 - II-14	19'-9 3/4"	1040	J-0402			
2AR	PRI 60 - II-14	39'-9 3/4"	1039	J-040I			

LVL PLY TO PLY FASTENING SCHEDULE: (WHERE APPLICABLE BASED ON LVL USAGE)

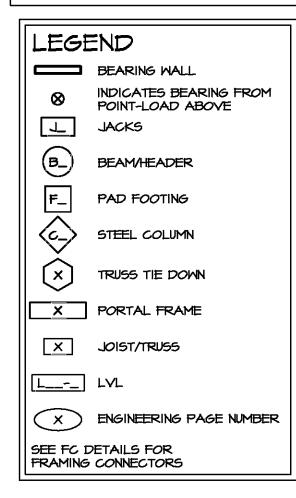
- I.A (2) PLY UP TO AND INCLUDING II 7/6" TALL: FASTEN PLIES W (2) ROWS 16D NAILS AT 12" O.C. OR
- ALT I 1/2" WIDE LVL FASTEN PLIES W (3) ROWS 12D NAILS AT 12"O.C. 2.A - (2) PLY I4" TO AND I8" TALL (INCLUSIVE): FASTEN PLIES W/ (3) ROWS I6D NAILS AT I2" O.C. OR
- ALT I I/2" WIDE LYL FASTEN PLIES W/ (4) ROWS I2D NAILS AT I2"O.C. 3.A - (2) PLY 20" TALL AND OVER: FASTEN PLIES W/ (4) ROWS 16D NAILS AT 12" O.C. OR ALT I 1/2" WIDE
- LVL FASTEN PLIES W/ (5) ROWS 12D NAILS AT 12"O.C. 4.A - (3) PLY UP TO AND INCLUDING II 7/8" TALL: FASTEN PLIES W/ (2) ROWS 16D NAILS AT 12" O.C.
- FROM EACH SIDE OR ALT I 1/2" WIDE LVL FASTEN PLIES W/ (3) ROWS 12D NAILS AT 12"O.C. FROM EACH SIDE.
- 5.A (3) PLY 14" TO AND 18" TALL (INCLUSIVE): FASTEN PLIES W/ (3) ROWS 16D NAILS AT 12" O.C. FROM EACH SIDE OR ALT I 1/2" WIDE LYL FASTEN PLIES W/ (4) ROWS 12D NAILS AT 12"O.C. FROM EACH SIDE.
- 6.A (3) PLY 20" TALL AND OVER: FASTEN PLIES W (4) ROWS 16D NAILS AT 12" O.C. FROM EACH SIDE OR ALT I 1/2" WIDE LYL FASTEN PLIES W/ (5) ROWS 12D NAILS AT 12"O.C. FROM EACH SIDE.
- (4) PLY (ALL SIZES): FASTEN PLIES W (2) ROWS 1/2" DIAMETER A307 BOLTS AT 24" O.C. SEE SHOP DRAWING FOR ADDITIONAL INFORMATION.

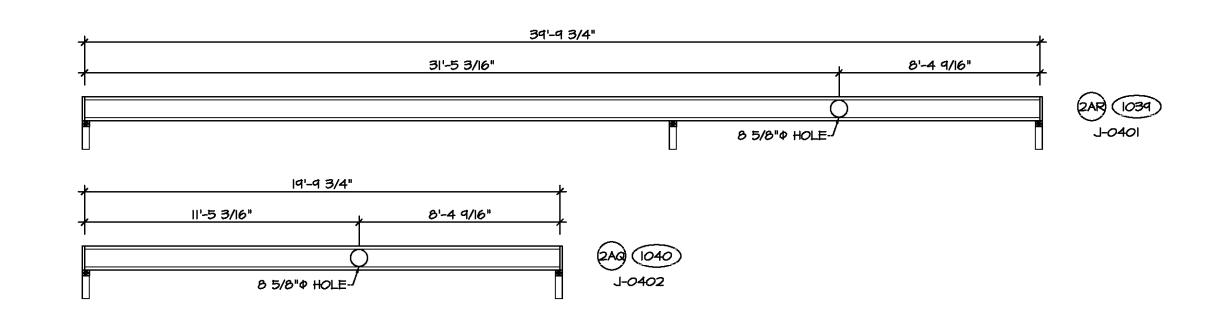
I-JOIST FLOOR SYSTEM

- SUBFLOOR IS 3/4" TONGUE AND GROOVE OSB STANDARD. 2. JOIST LENGTHS SHIPPED IS THE NEXT HIGHEST LENGTH TO
- CUT FROM.

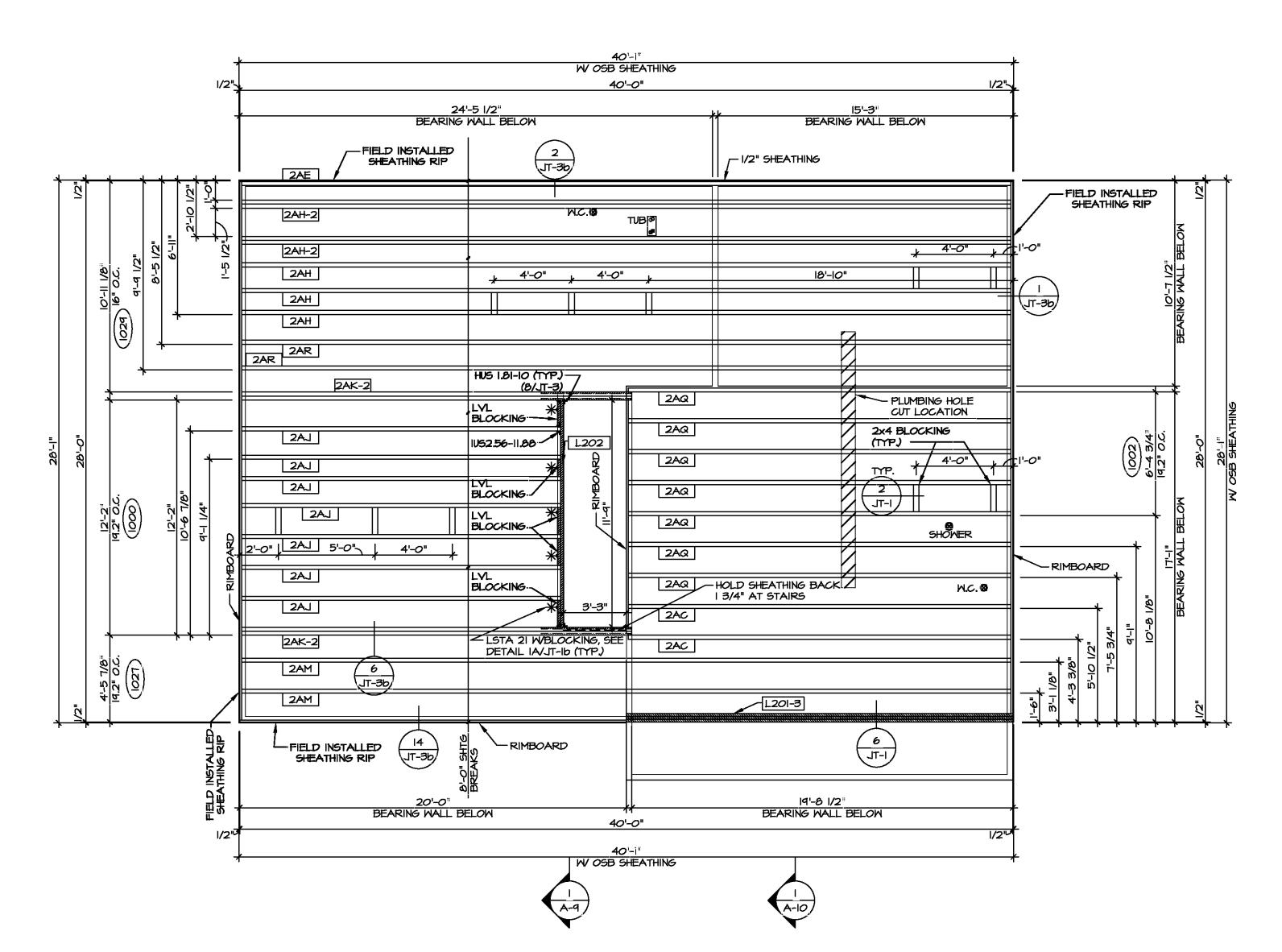
 3. ALL RIMBOARD TO BE I-I/6" THICK U.N.O.

 4. REFER TO STANDARD DETAIL T/JT-3 FOR HOLE CUTTING
- PROVIDE RIMBOARD SOLID BLOCKING AT EXTERIOR
- WALLS AND BELOW ALL JACKS AS REQUIRED. REFER TO DETAIL 8/JT-3 FOR HANGER DETAIL. . ALL JOISTS TO BE PRI40, PRI60 OR PRI60, REFERENCE SCHEDULE FOR SPECIFIC SERIES PER MEMBER.
- A. PRI40 SERIES ARE SHOWN AS SHADED ON FRAMING SEE CONNECTOR / NAIL CHART IN STANDARD DETAILS
- (FC-4) FOR TYPICAL HANGERS.
- 10. ALL LYL BLOCKING CUT FROM 14'-0" MATERIAL. . ADHESIVE TO BE APPLIED AT THE RATE OF (I) TUBE PER TWO AND ONE-HALF SHEETS; SHEETS ARE TO BE GLUED AND PLACED ONE AT A TIME. APPLY GUE TO TONSUE
- AND GROOVE. 12. I-JOIST BLOCKING CUT FROM 2'-O" MATERIAL. 13. ADHESIVE TO BE ADDED TO ALL JOIST HANGERS PRIOR
- TO SETTING JOISTS.
- 14. J-XXXX SHOP DRAWINGS ARE ASSOCIATED WITH PLANT MODIFIED I-JOISTS OR PLANT BUILT JOIST COMPONENTS.

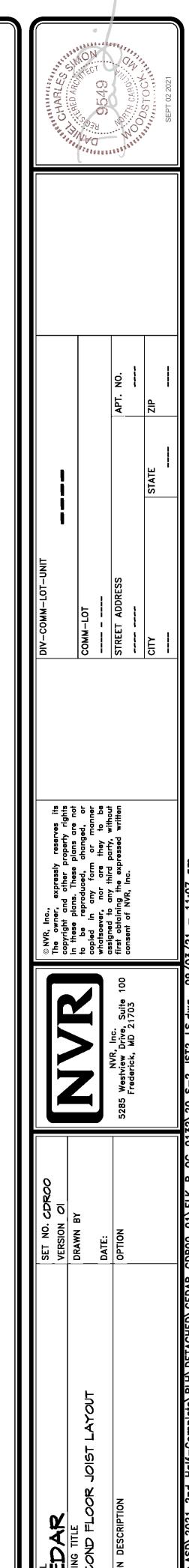




JOIST HOLE CUTS 5CALE: 1/4" = 1'-0"



SECOND FLOOR FRAMING PLAN SCALE: 1/4" = 1'-0"



TRUSS SCHEDULE						
IDENTIFIER	SPEC5	TRUSS NUMBER	LENGTH	ROOF PITCH (X/I2)	TYPE	
AA	SE.	16903	28'-0"	6/12	COMMON	
AB	SE	16904	28'-0"	6/12	SPECIAL	
AC	5E	16900	3'-0"	6/12	MONO	
AF	SE	16910	28'-0"	6/12	GABLE END	
AG	SE	16913	28'-0"	6/12	GABLE END	
VOI	VΤ	93344	4'-0"	6-6/12	VALLEY	
V02	VΤ	93345	8'-O"	6-6/12	VALLEY	
V03	VΤ	93346	12'-0"	6-6/12	VALLEY	
V04	VΤ	93907	16'-0"	6-6/12	VALLEY	
V <i>0</i> 5	VT	95401	20'-0"	6-6/12	VALLEY	

FIELD INSTALLED ROOF FRAMING BEAM/HEADER						
SCHEDULE						
IDENTIFIER DESCRIPTION LENGTH ENG. NUM. REMARKS						

ROOF FRAMING NOTES

REFER TO THE STANDARD DETAILS FOR THE FOLLOWING:
II. TRUSS TIE-DOWNS (I/RF-I)

B301 BEAM BUILT 2X8 - 2 PLY RFF 7'-6" 1012

I.2. PIGGYBACK TRUSS ATTACHMENT (2/RF-I)
I.3. VALLEY GABLE TRUSS BRACING (3/RF-I)
I.4. GABLE BRACING (I/RF-Ic)

1.5. TRUSS BRACING (2/RF-Ic) I.6. LIFELINE ATTACHMENT (5/RF-I)

I.T. FALL PROTECTION ON PLATFORM TRUSSES (II/RF-I)

2. IF TRUSS DOES NOT APPEAR ON THE TRUSS BRACING SHEET, NO ADDITIONAL LATERAL BRACING REQUIRED.



BEARING WALL

INDICATES BEARING FROM POINT-LOAD ABOVE T JACKS

BEAM/HEADER

PAD FOOTING

STEEL COLUMN

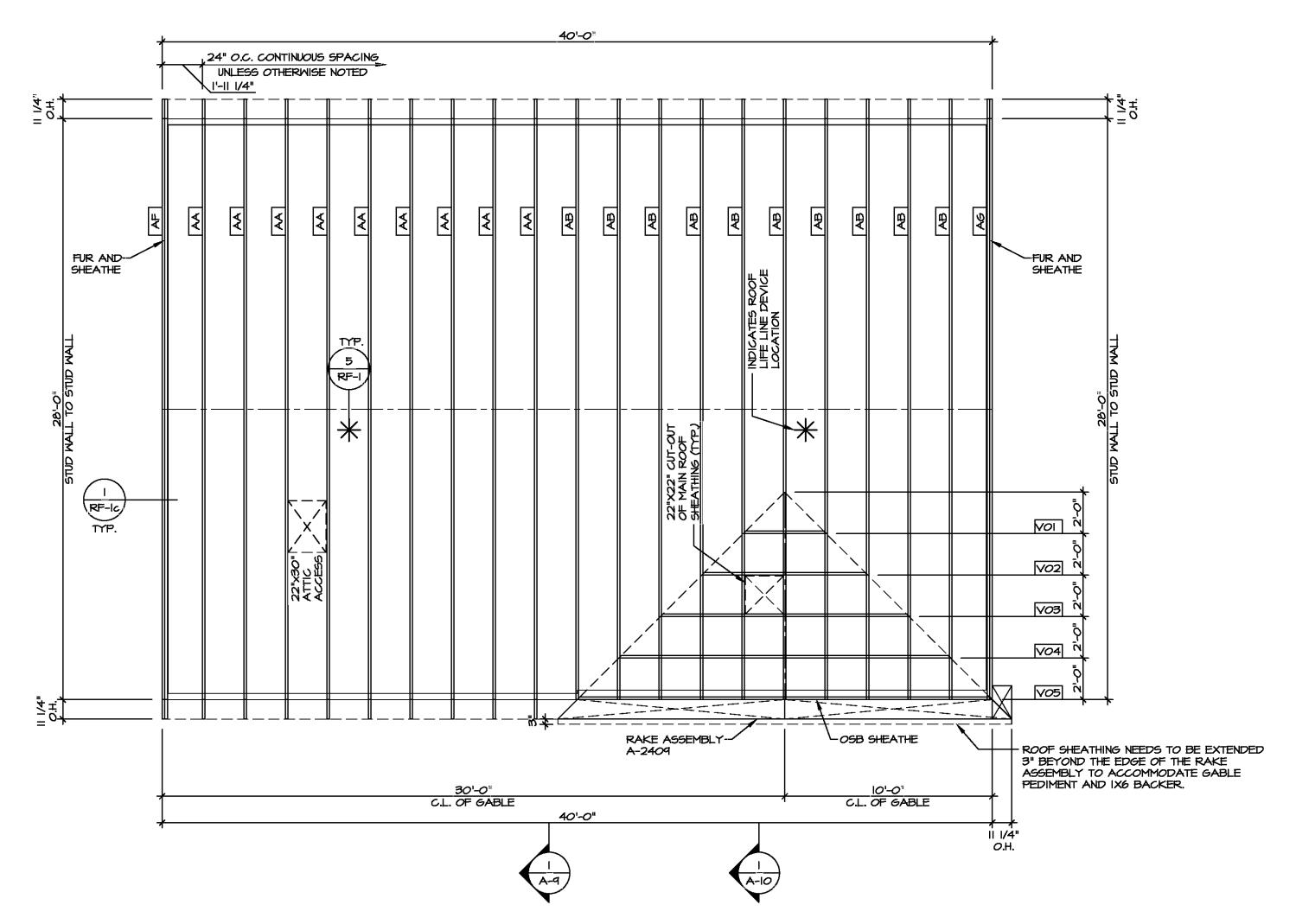
TRUSS TIE DOWN X PORTAL FRAME

X JOIST/TRUSS

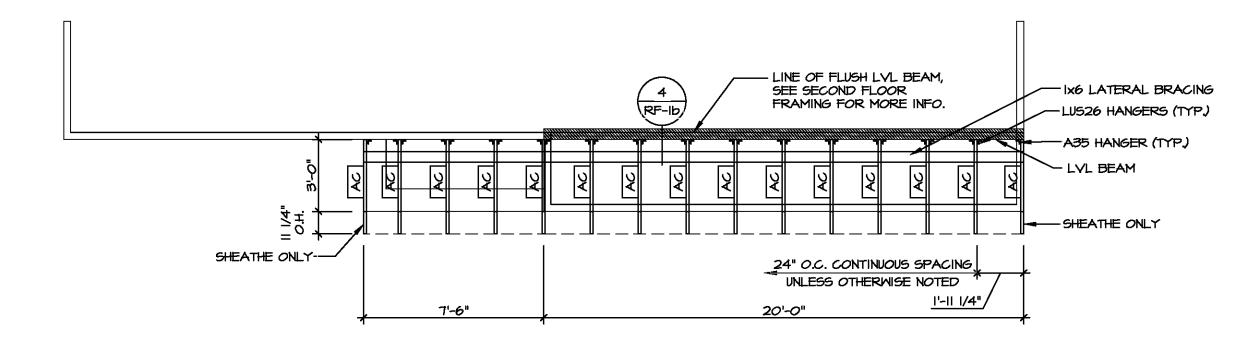
____ LVL

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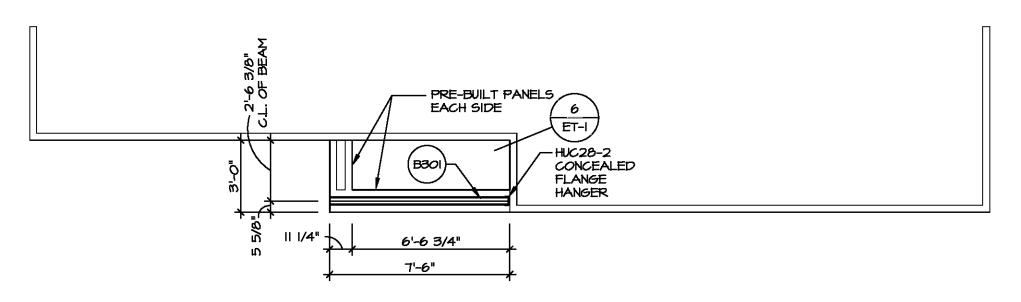
SEE FC DETAILS FOR FRAMING CONNECTORS



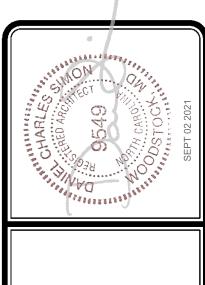
ROOF FRAMING



PARTIAL ROOF FRAMING PLAN 5-3 SCALE: 1/4" = 1'-0"



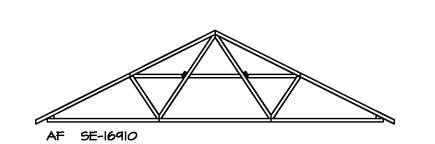


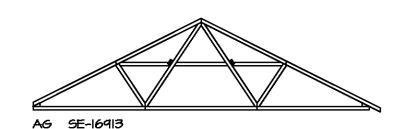


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TRUSS BRACING NOTES

- I. IF TRUSS DOES NOT APPEAR ON THIS TRUSS BRACING SHEET, NO ADDITIONAL LATERAL BRACING IS REQUIRED.

 2. IX6 SPF#2 LATERAL BRACES SHALL BE NAILED TO MINIMUM (3) TRUSS MEMBERS WITH MINIMUM (2) IOD NAILS. PROVISIONS MUST BE MADE AT ENDS OR SPECIFIED INTERVALS TO RESTRAIN OR ANCHOR LATERAL BRACING.
- LATERAL BRACING.

 3. WEB "T" BRACE, DETAIL 3/RF-IC, IS REQUIRED WHERE LATERAL BRACING IS NOT CONTINUOUS ACROSS LATERAL BRACING IS NOT CONTINUOUS ACROSS
 THREE (3) OR MORE TRUSSES AND MAY BE USED IN
 LIEU OF IX6 LATERAL BRACING.

 4. DIAGONAL BRACING REQUIRED WHEN LATERAL
 BRACING IS REQUIRED (7/RF-I)

 5. STUDDED GABLE BRACING DETAIL I/RF-IC TO BE
 UTILIZED FOR TRUSSES 6'-9" IN HEIGHT OR GREATER.

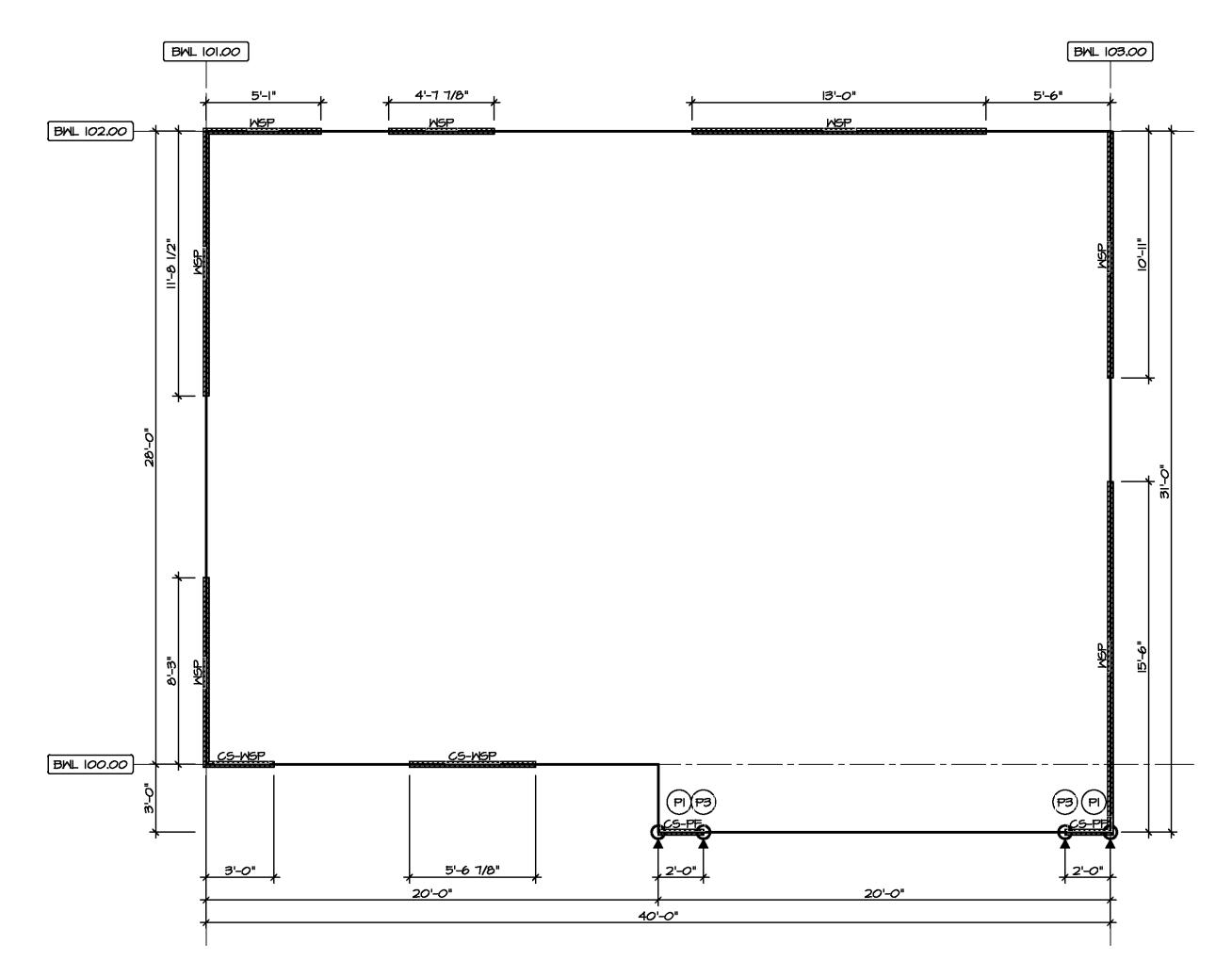
 6. PARTIALLY SHEATHED GABLES, SEE 5/RF-IC FOR "L"
 BRACING WHEN REQUIRED.

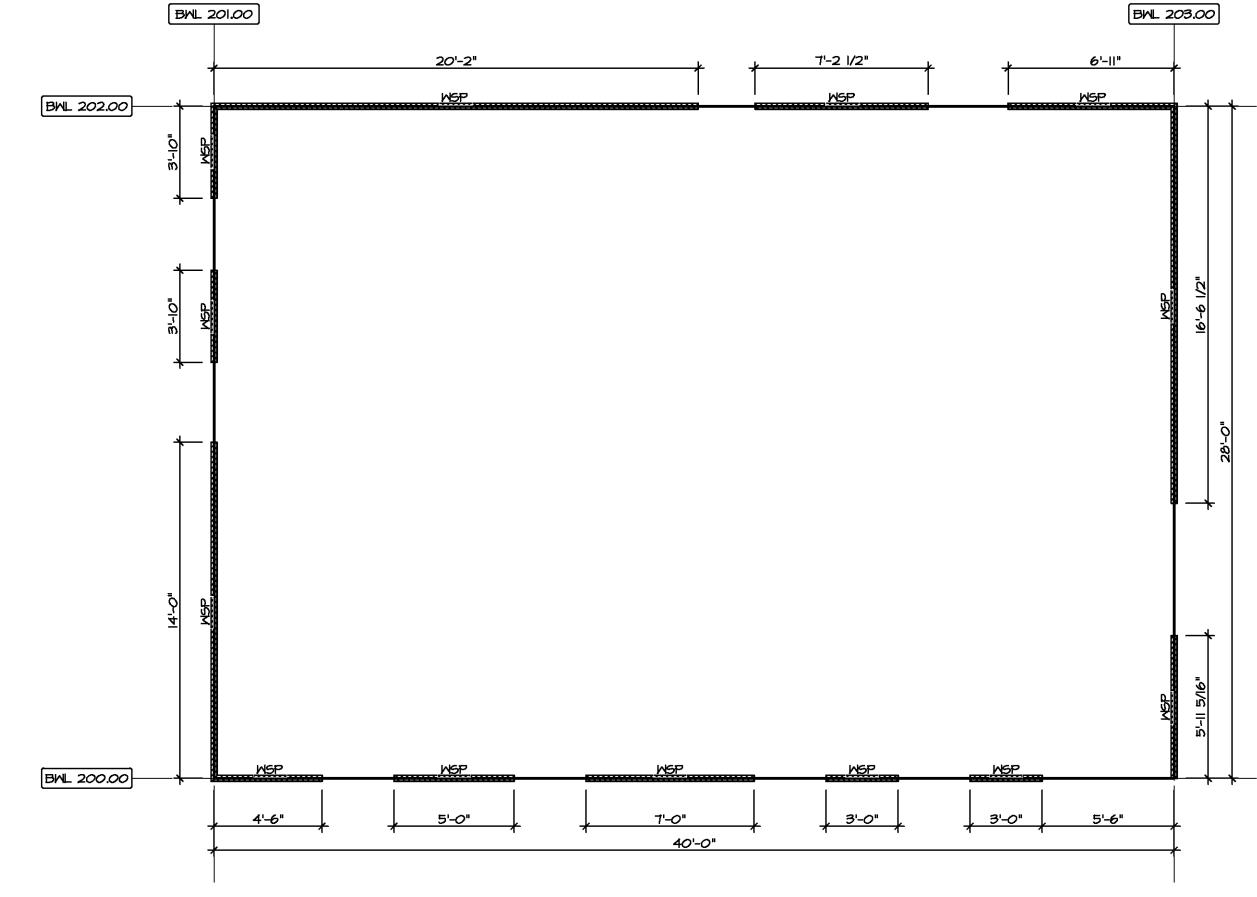
 7. LATERAL BRACING CAN BE APPLIED TO EITHER SIDE
 OF THE WEB MEMBER IDENTIFIED IN THE DRAWING.

 8. SHEATHING (OSB OR GYPSUM) REPLACES LATERAL
 AND DIAGONAL TRUSS BRACING.

TRUSS BRACING DETAILS

5-4 SCALE: 1/8" = 1'-0"





FIRST FLOOR BRACED WALL DETAIL

SECOND FLOOR BRACED WALL DETAIL 2 BRACE: 5-5 SCALE: 1/4" = 1'-0"

LEGEND		
BML XXX.XX	BRACED WALL LINE I.D.	
	BRACED WALL LINE	
	HOUSE WALL	
	BRACED WALL PANEL	7/I ST
MSP	WOOD STRUCTURAL PANEL	PA EG
6B	GYPSUM BOARD (1) SIDED OR (2) SIDED	(W
GB-BW	GYPSUM BOARD BLOCKED WALL CONSTRUCTION (I) SIDED OR (2) SIDED (SEE STANDARD DETAIL G/WB-2)	1/2 W4
LIB	LET-IN BRACING (SEE STANDARD DETAIL F / MB-2)	GE
CS-MSP	CONTINUOUS SHEATHING - WOOD STRUCTURAL PANEL	LA
CS-PF	CONTINUOUS SHEATHING - PORTAL FRAME, SEE FLOOR PLANS FOR PORTAL FRAME HEADER INFORMATION	SH
	(SEE STANDARD DETAIL A, C/ MB-2)	1/2

CONTINUOUS SHEATHING - WOOD STRUCTURAL PANEL ADJACENT TO GARAGE OPENINGS HOLD-DOWN

I. SEE SHEET WB-2 "P_"

INDICATOR SCHEDULE AND DETAILS

2. ARROW INDICATES LOCATION

NOTES:
HOUSE HAS BEEN ANALYZED UTILIZING A PRESCRIPTIVE
METHOD IN COMPLIANCE WITH INTERNATIONAL RESIDENTIAL
CODES (IRC) UNLESS OTHERWISE NOTED.

FAS ⁻	tening sched	JULE		
GUE A TUBLO	FASTENER	SPACING		
SHEATHING	FASIENER	EDGES	FIELD	
7/16" WOOD STRUCTURAL PANELS OR	8d COMMON NAILS	6 " O.C.	12" 0.6.	
EQUIVALENT (W METHOD WSP, CS-WSP, CS-G)	ALTERNATIVE FASTENER 1-3/4" 16-GAUGE CORROSION RESISTANT STAPLES	3" <i>O.C.</i>	12" O.C.	
I/2" GYPSUM WALLBOARD (W METHOD GB-I, GB-2)	I-I/4" LONG, I/4" HEAD, .098" DIA. ANNULAR-RINGED NAILS	7" O.C.	7" O.C.	
	CORROSION RESISTANT TYPE W I-I/4" DRYWALL SCREWS	7" O.C.	7" O.C.	
LAMINATED FIBROUS	IOd X I I/4" GALVANIZED ROOFING NAILS	3" O.C.	3" O.C.	
STRUCTURAL SHEATHING	I-I/4" I6-GAUGE CORROSION RESISTANT STAPLES	3" O.C.	3" O.C.	
I/2" GYPSUM WALLBOARD BLOCKED AT THE EDGES (W/ METHOD GB-BW-I, GB-BW-2)	CORROSION RESISTANT	4" 0.C.	12" O.C.	

MINIMUM 7/16" CROWN WIDTH FOR STAPLES IN WOOD STRUCTURAL PANEL.

SPECIFIED GYPSUM FASTENING REQUIRED ONLY WHERE METHOD GB IS IDENTIFIED. SEE PHASE SPECS FOR TYPICAL GYPSUM FASTENER SPACING.

USE OF STAPLES IN WOOD STRUCTURAL PANEL AS FASTENING METHOD ON WALLS PER ENGINEERED ALTERNATIVE.

	BRACED	MALL LINE	SCHEDULE	
WIND SPEED (ULT)	IDENTIFIER	ACTUAL (FT)	REQUIRED (FT)	METHOD
I30 MPH	BWL 100.00	14.57'	9.36'	CONTINUOUS (2 SIDES)
130 MPH	BWL 101.00	19.96'	14.781	MSP (2 SIDES)
I30 MPH	BWL 102.00	22.74'	10.73'	MSP (2 SIDES)
I30 MPH	BWL 103.00	26.42'	15.29'	MSP (2 SIDES)
130 MPH	BML 200.00	21.00'	5.18'	MSP (2 SIDES)
I30 MPH	BWL 201.00	21.32'	7.06'	MSP (2 SIDES)
130 MPH	BWL 202.00	34.29'	5.18'	MSP (2 SIDES)
130 MPH	BWL 203.00	25.l3 ¹	7.06'	MSP (2 SIDES)

SHEET NO.	MODEL CEDAR	SET NO. CDROO VERSION OI		© NVR, Inc., The owner, expressly reserves its	DIV-COMM-LOT-UNIT		ON THARLES
n v	<u></u>	DRAWN BY	N < K	in these plans. These plans in these plans to be reproduced, changed, or copied in any form or manner whatsoever, nor are they to be	COMM-LOT		STATE OF ARCHIVE
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