

CEDAR

DIV-COMM-LOT-UNIT -----		
COMM-LOT -----		
STREET ADDRESS -----		APT. NO. -----
CITY -----	STATE -----	ZIP -----



NVR, Inc.
5285 Westview Drive, Suite 100
Frederick, MD 21703

	FULL BASEMENT		STANDARD DETAILS
	STD. DWGS.		
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			SP-2
			SP-3
			ST-1
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			WS-1
			WS-1b

FIRST FLOOR SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR (BASE SF)	183 SF
	183 SF
SECOND FLOOR SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
2ND FLOOR (BASE SF)	1120 SF
	1120 SF
GARAGE SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
TWO CAR FRONT ENTRY GARAGE	347 SF
	347 SF
UNFINISHED SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
UNFINISHED BASEMENT	578 SF
UNFINISHED BASEMENT *FBM* (ADD. SF)	218 SF
	796 SF
TOTAL FINISHED SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR (BASE SF)	183 SF
2ND FLOOR (BASE SF)	1120 SF
	1403 SF

V:\As-Sold\2-Jobs\ASD\2021 2nd Half-Complete\RLH\DETACHED\CEDAR_CDROO_01\ELK_P_OG_0132\CS-1_COVERSHEET.dwg 09/03/21 - 11:05 am



ROOF VENTILATION CALCULATIONS

HOUSE NAME	CEDAR
HOUSE VERSION	CDR00_01
PRODUCT LINE	RYANHOMES
VENTILATION VALUES	SOFFIT: 5.0 sq ft of vent per lf ROOF / GARBLE VENT: 0.5 sq ft of vent per sq ft

USER GUIDE	YES	NO	VENT OK	No action req'd.
	NO	YES	OK VENT OK	No action req'd.
	NO	YES	LOW FAN	Increase ridge
	NO	YES	HIGH FAN	Increase ridge
	NO	NO	FAN	Increase total vent

ELEVATION "A or F or K"													
Location / Options	Area (sq. ft.)	Req'd Vent (sq. ft.)	Actual Vent (sq. ft.)	Soffit (sq. ft.)	Soffit Vent (sq. ft.)	Ridge (sq. ft.)	Upper Rim / Soffit Vent (sq. ft.)	Lower Rim Vent (sq. ft.)	TOTAL (sq. ft.)	OK A/F/K	OK A/F/K	OK A/F/K	Notes
Main House Roof	11100	10575	5325	45	10530	13	10543	0	10543	NO	YES	OK	
Garage Roof	13800	7920	3960	27.5	2732.5	0	0	0	2732.5	YES	N/A	N/A	

ELEVATION "B or L"													
Location / Options	Area (sq. ft.)	Req'd Vent (sq. ft.)	Actual Vent (sq. ft.)	Soffit (sq. ft.)	Soffit Vent (sq. ft.)	Ridge (sq. ft.)	Upper Rim / Soffit Vent (sq. ft.)	Lower Rim Vent (sq. ft.)	TOTAL (sq. ft.)	OK A/F/K	OK A/F/K	OK A/F/K	Notes
Main House Roof	11100	10575	5325	45	10530	13	10543	0	10543	NO	YES	OK	
Garage Roof	13800	7920	3960	27.5	2732.5	0	0	0	2732.5	YES	N/A	N/A	



HOUSE VOLUME CALCULATIONS

HOUSE NAME	CEDAR
HOUSE VERSION	CDR00-01
PRODUCT LINE	RYANHOMES

Note: The volume of the structure has been computed in accordance with "Title 5. of the Community Affairs, Chapter 23. Uniform Construction Code, Subchapter 2. Administration and enforcement: Process." (5:23-2.28. Volume computation)

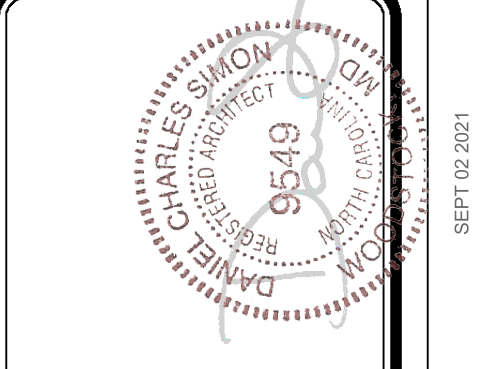
ELEVATION "X"			
Location / Area of house	Floor Area (sq. ft.)	Mean height (ft.)	Total volume (cu. Ft.)
Main section of the house			0
Garage bump out from main house			0
Porch on front of house			0
Total House Volume			0

ELEVATION "X"			
Location / Area of house	Floor Area (sq. ft.)	Mean height (ft.)	Total volume (cu. Ft.)
Main section of the house			0
Garage bump out from main house			0
Porch on front of house			0
Total House Volume			0

ELEVATION "X"			
Location / Area of house	Floor Area (sq. ft.)	Mean height (ft.)	Total volume (cu. Ft.)
Main section of the house			0
Garage bump out from main house			0
Porch on front of house			0
Total House Volume			0

ELEVATION "X"			
Location / Area of house	Floor Area (sq. ft.)	Mean height (ft.)	Total volume (cu. Ft.)
Main section of the house			0
Garage bump out from main house			0
Porch on front of house			0
Total House Volume			0

Additional areas of volume to be added to total house volume as needed			
Location / Area of house / option	Floor Area (sq. ft.)	Mean height (ft.)	Total volume (cu. Ft.)
			0



DIV - COMM - LOT - UNIT

COMM - LOT

STREET ADDRESS

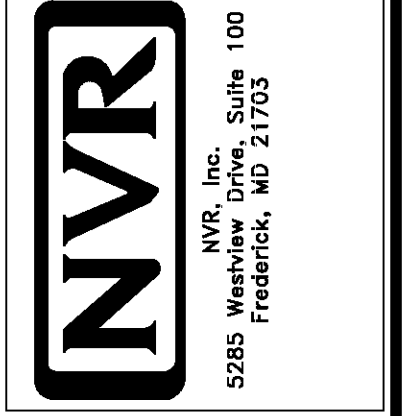
CITY

STATE

APT. NO.

ZIP

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SET NO. CDR00_01

VERSION 01

DRAWN BY

DATE

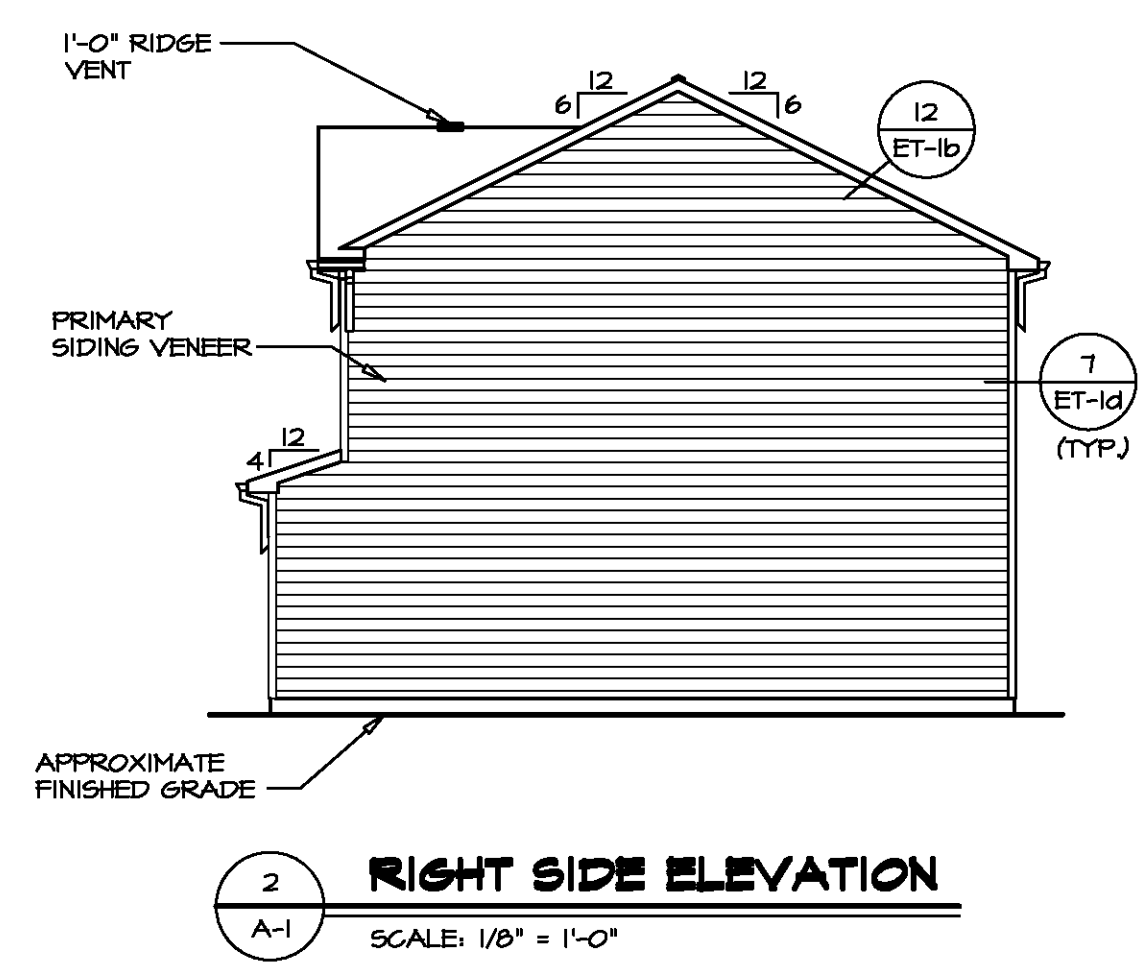
OPTION

MODEL: CEDAR

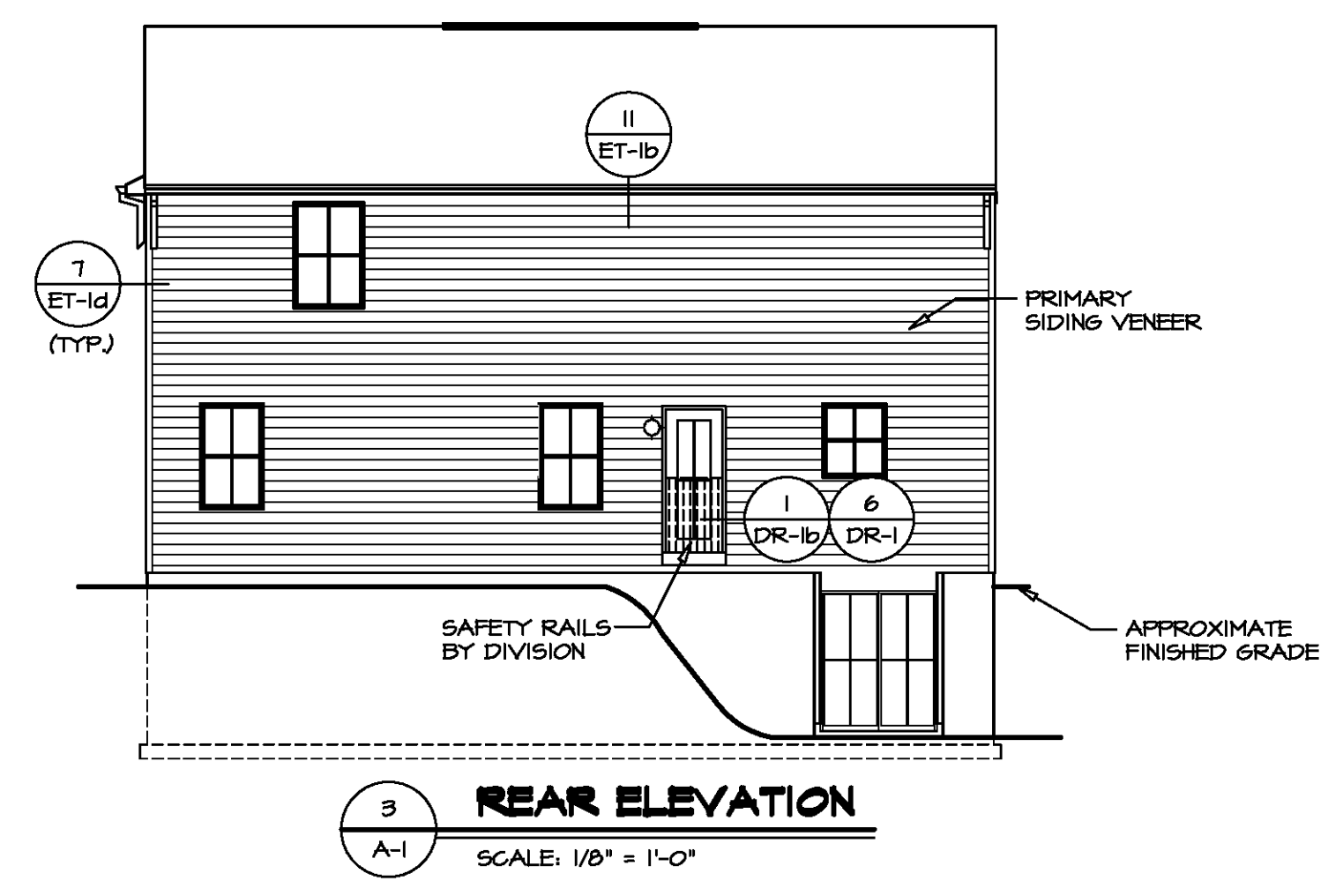
DRAWING TITLE

OPTION DESCRIPTION

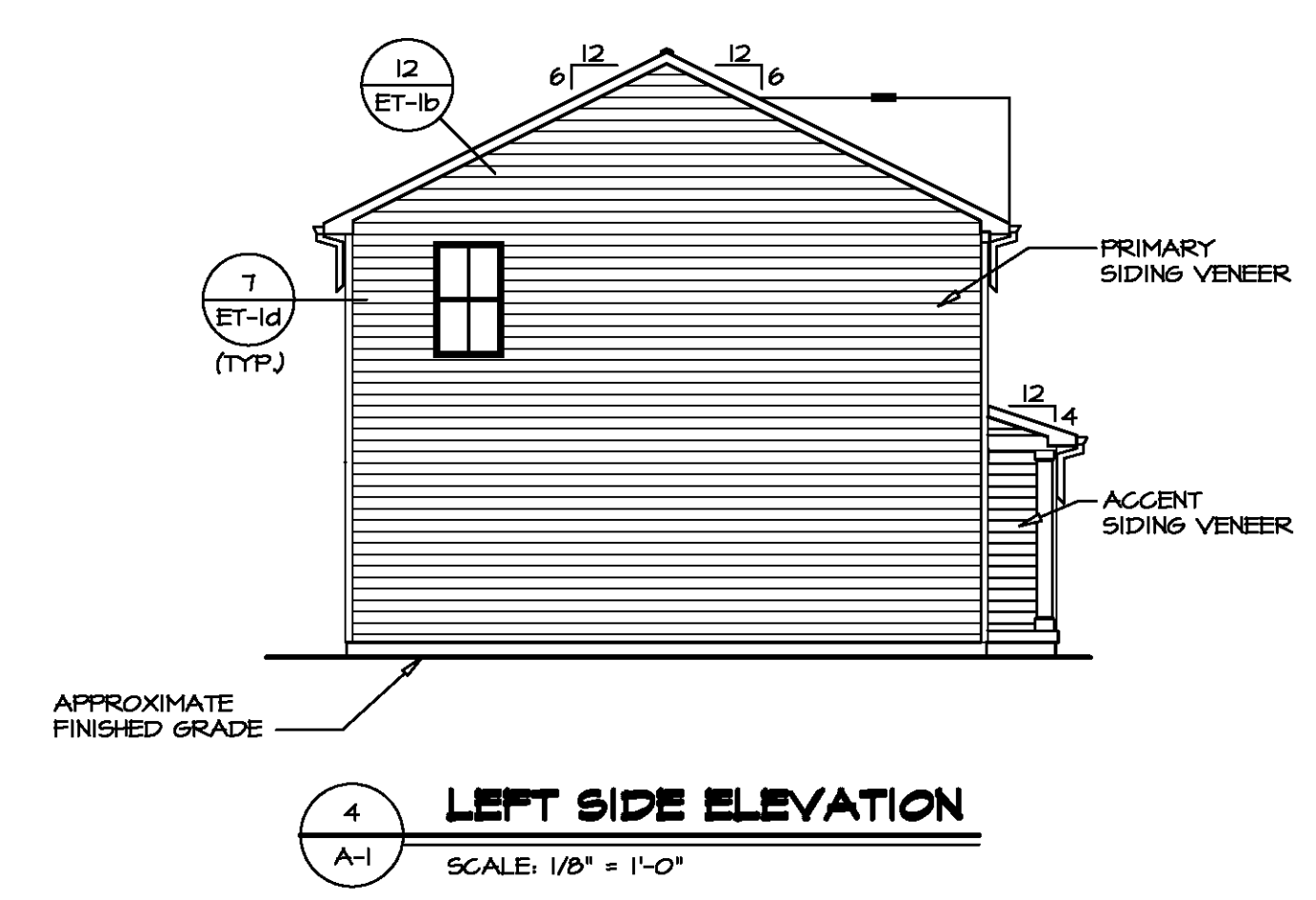
SHEET NO. CA-1



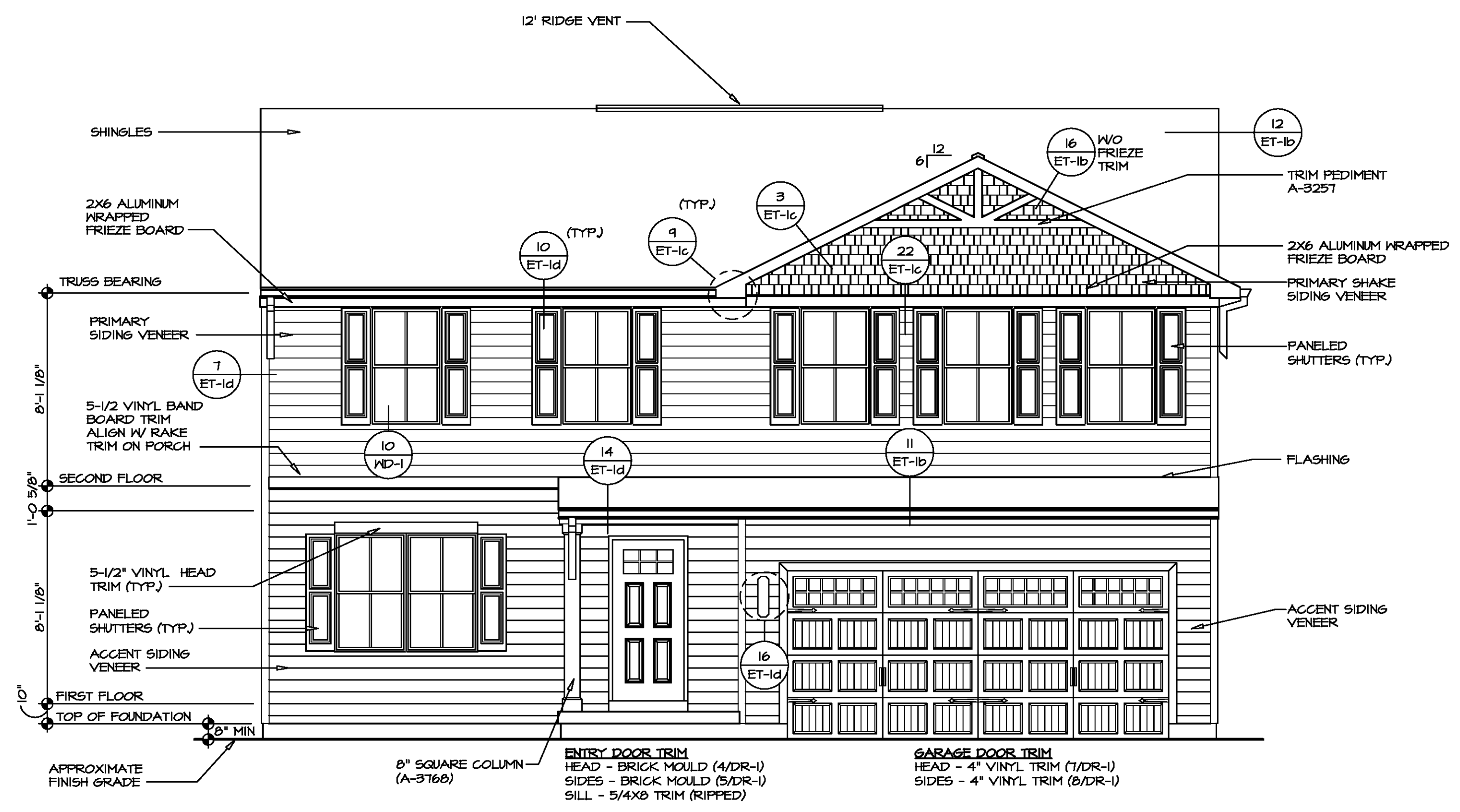
2 RIGHT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



3 REAR ELEVATION
SCALE: 1/8" = 1'-0"



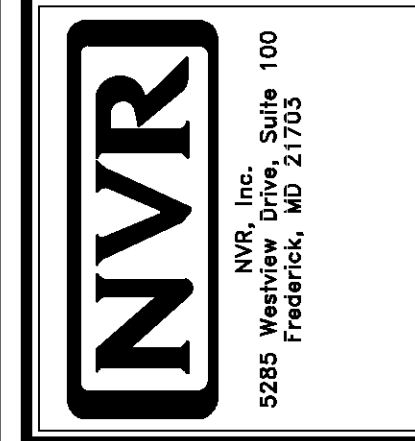
4 LEFT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



1 FRONT ELEVATION "K"
SCALE: 1/4" = 1'-0"

DIV-COMM-LOT-UNIT	
COM-LOT	APT. NO.
STREET ADDRESS	CITY
STATE	ZIP

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MODEL	SET NO.	CDROO
CEDAR	VERSION	01
ELEVATIONS	DRAWN BY	
	DATE:	OPTION
		FBA
SHEET NO.	DRAWING DESCRIPTION	
A-1	FULL BASEMENT FOUNDATION	
4		

SHOP DRAWING GENERAL INFORMATION PAGE

CODES & STANDARDS

Building Code:	2012/2015/2018/2019 IRC, 2012 IBC
ESR Report number:	ESR-1662 August 2018
3rd Party Inspection Agency:	PFS Corporation, Madison WI
Quality Assurance Manual:	Superior Walls of America 2005 Edition
Site Preparation Guide:	Superior Walls Builder Guideline Booklet Rev. June 2018
Fire Test Standards:	ASTM E119 ANSI/UL 1715

WALL MATERIALS

Concrete Compressive Strength:	Min. 5,000 PSI
water/cement Ratio:	<0.40
Reinforcing Steel:	No. 4 and larger - 60,000 PSI No. 3 and smaller - 40,000 PSI
Secondary Reinforcement:	Polypropylene Fiber
Embedded Wood Blocking	Preservatively Pressure Treated
EPS Foam Insulation:	Flame Spread: 20 Smoke Development: 240
XPS Foam Insulation:	Flame Spread: 5 Smoke Development: 165

SITE/WALL CONDITIONS

Frost Depth:	Min. 12 inches
assumed Soil Bearing Capacity:	2,000 PSF
Seismisc Category:	A, B, C
Basic Wind Speed:	155 maximum PSF
Wall Loading:	7,500 Pounds/LF (uniform) Maximum
Brickledge Loading:	2,900 Pounds/LF Maximum
Crushed Stone Footing Depth:	Min. 6 Inches thick or more (see table in Builder Guideline Booklet Table R403.4)
Crushed Stone Size:	$\frac{3}{8}$ Inch and smaller (cleaned)
Backfill Material:	100 LB/CF Equivalent Fluid Pressure Max (see Builder Guideline booklet for more information)
Beam Pocket(s) & Point Load(s):	38,000 Pound Maximum - Data supplied by Customer/Builder (see plan for location and sizes)

GENERAL NOTES

1. Jobsite shall be prepared by the builder in accordance with the Superior Walls of America builder Guideline Booklet - Site Preparation and Framing Attachment Requirements (Rev. January 2016).
2. Auxiliary drain pipe must be four (4) inch diameter perforated, covered with filter fabric and directed to a sump pit or daylight.
3. Builder shall establish the elevation benchmark (if necessary)
4. Builder shall insure proper site access for trucks and crane.

INSTALLATION NOTES

1. Installation shall be supervised by a Superior Walls certified installer. Certification is obtained through Superior Walls of America, Ltd.
2. Installation shall comply with Superior Walls of America's Installation Manual (Rev. July 2011).

DRAWING NOTES

1. All measurements for brick, stone, or support ledges are from Top Of Wall (TOW).
2. Drawings are not to scale.

DAMP PROOFING

Superior Walls are recognized by the ICC-ES as an alternative method of providing foundation wall damp proofing. No additional damp proofing is required. (See ESR-1662 & ICC-ES Legacy Report 21-72)

PLEASE NOTE

To comply with building code requirements, the framing/decking connections at the top of the Superior Walls and floor slab at the bottom of the Superior Wall **MUST** be completed **PRIOR** to backfilling.

CUSTOMER RELEASE

The attached drawing was created from information and dimensions provided by the customer/builder. Superior Walls of North Carolina, Inc. is not responsible for deviations from the Blue Print or information provided by the customer/builder.

I have reviewed the attached drawing & all of the dimensions and objects therein; I understand the the Superior Walls will be custom manufactured per this drawing specifically for my project. By signing below I am certifying that I have reviewed the attached drawing and all of its listed dimensions and I accept **FULL RESPONSIBILITY** of any and all measurements and information provided by me/my associates/my company.

CUSTOMER MUST SIGN & DATE BELOW

Customer/Builder Signature & Date

PROJECT:

Job Number:	----
Job Name:	Ryan_Lot_132_QG
Job Address:	Lot 130
Lot #:	132

BUILDER:

Company:	RYAN HOMES
Contact:	
Phone/Email:	----

MUNICIPALITY:

Harnett County
ANGIER, NC



3570 S. Main Street
Salisbury, NC 28147
Phone: 704-636-6200
Toll-Free: 877-896-9255
www.superiorwallsnc.com

DRAWING DATA:

Job Number:	----
Sales Rep:	R MUSSO

Drawn By:	JG
-----------	----

Date Created:	Sep. 22, 2021
Date Modified:	Sep. 22, 2021
Revision:	1

Pages:	5
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5'-10" WALLS - TOTAL LENGTH: 4'
 6' WALLS - TOTAL LENGTH: 4'
 8'-2" WALLS - TOTAL LENGTH: 135'-7"

1/2" DIA. x 6" BOLTS FOR SILL PLATE

#	DESCRIPTION	
8	BRICK LEDGE TOTALING 39'-9 1/2"	
1	SOLID CORNER	
19	SLAB CONNECTOR	
1	SEWER PENETRATION	
1	WATER PENETRATION	
28	L.F. OF SHOE BLOCK TOP (12" H x 5" D)	

ID	#	OBJECT	DESCRIPTION	WIDTH	HEIGHT	FROM TOP OF WALL	FROM BOT OF WALL	MAX HDR CAPACITY
A	2	CUTOUT	GARAGE CUT	12"	12"			

ID	#	OBJECT	DESCRIPTION	# STUDS	HEIGHT
B	1	EXTRA STUD		1	92"

ID	#	OBJECT	DESCRIPTION	WIDTH	HEIGHT	DEPTH
C	1	BEAM POCKET		4"	8"	6"
D	2	BEAM POCKET		18"	28"	6"

ID	#	OBJECT	LENGTH	WIDTH	THICKNESS	DESCRIPTION
E	4	FOOTER PAD	24"	24"	4 1/2"	
F	4	FOOTER PAD	36"	36"	6"	

BUILDER CHECK LIST:

- RO's/DIMS/WALL HEIGHT CORRECT?
- OBJECT OPENINGS CORRECT?
- WOOD BUTTS IND./REQ'D?
- SUPPORT/BRICK LEDGES CORRECT?
- EXTRA SUPPORT IND. FOR PT. LOAD?

SIGNATURE: Chris Cushenette
 DATE: 9/22/21

OWNER/BUILDER NOTIFICATION:

BY SIGNING THESE DRAWINGS YOU ARE ACKNOWLEDGING THAT THE WALLS WILL BE BUILT TO THE DIMENSIONS INDICATED ON THESE PLANS, AND THAT YOU ARE ASSUMING ANY AND ALL LIABILITY THAT MAY RESULT FROM THE WALLS BEING MANUFACTURED AS SHOWN

PLEASE NOTE:

Adjustments made after sign-offs may incur an additional \$200 service charge

REV.	DATE	BY
1	09-22-21	JG

PROJECT: LOT 132 QG / CEDAR K R
 BUILDER: RYAN HOMES

STATUS: ISSUED FOR APPROVAL

SALESMAN: R MUSSO

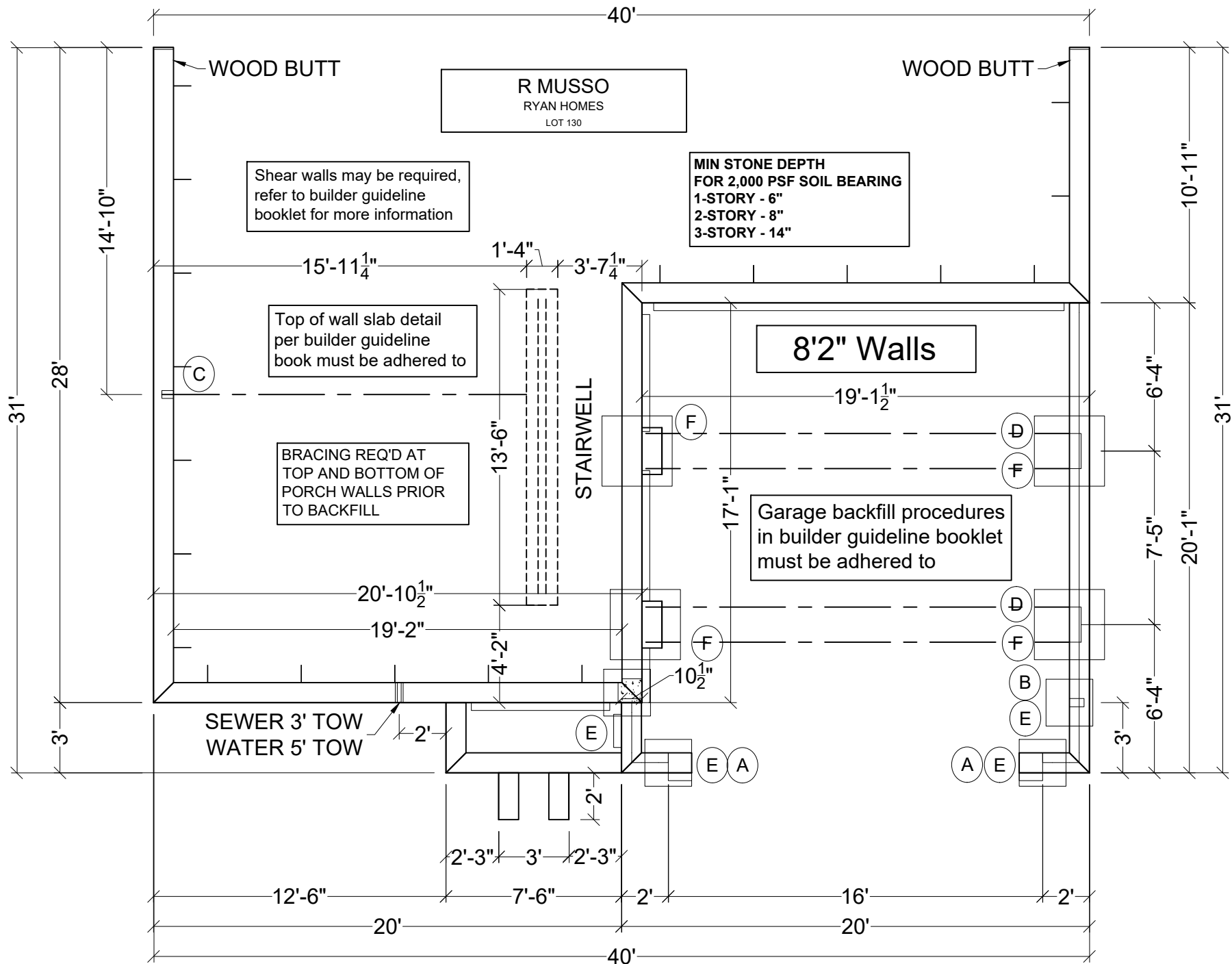
FILENAME: Ryan_Lot_132_QG

SHEET TITLE: SUMMARY

SHEET NO. 2 of 5

THESE DRAWINGS ARE APPROVED FOR FINAL PRODUCTION AS ILLUSTRATED AND NOT SUBJECT TO CHANGE.

CUSTOMER SIGNATURE: Chris Cushenette DATE: 9/22/21



R MUSSO
RYAN HOMES
LOT 130

Shear walls may be required,
refer to builder guideline
booklet for more information

MIN STONE DEPTH
FOR 2,000 PSF SOIL BEARING
1-STORY - 6"
2-STORY - 8"
3-STORY - 14"

Top of wall slab detail
per builder guideline
book must be adhered to

BRACING REQ'D AT
TOP AND BOTTOM OF
PORCH WALLS PRIOR
TO BACKFILL

Garage backfill procedures
in builder guideline booklet
must be adhered to

SEWER 3' TOW
WATER 5' TOW

REV.	DATE	BY
1	09-22-21	JG

PROJECT: **LOT 132 QG / CEDAR K R**
BUILDER: **RYAN HOMES**

STATUS: ISSUED FOR APPROVAL

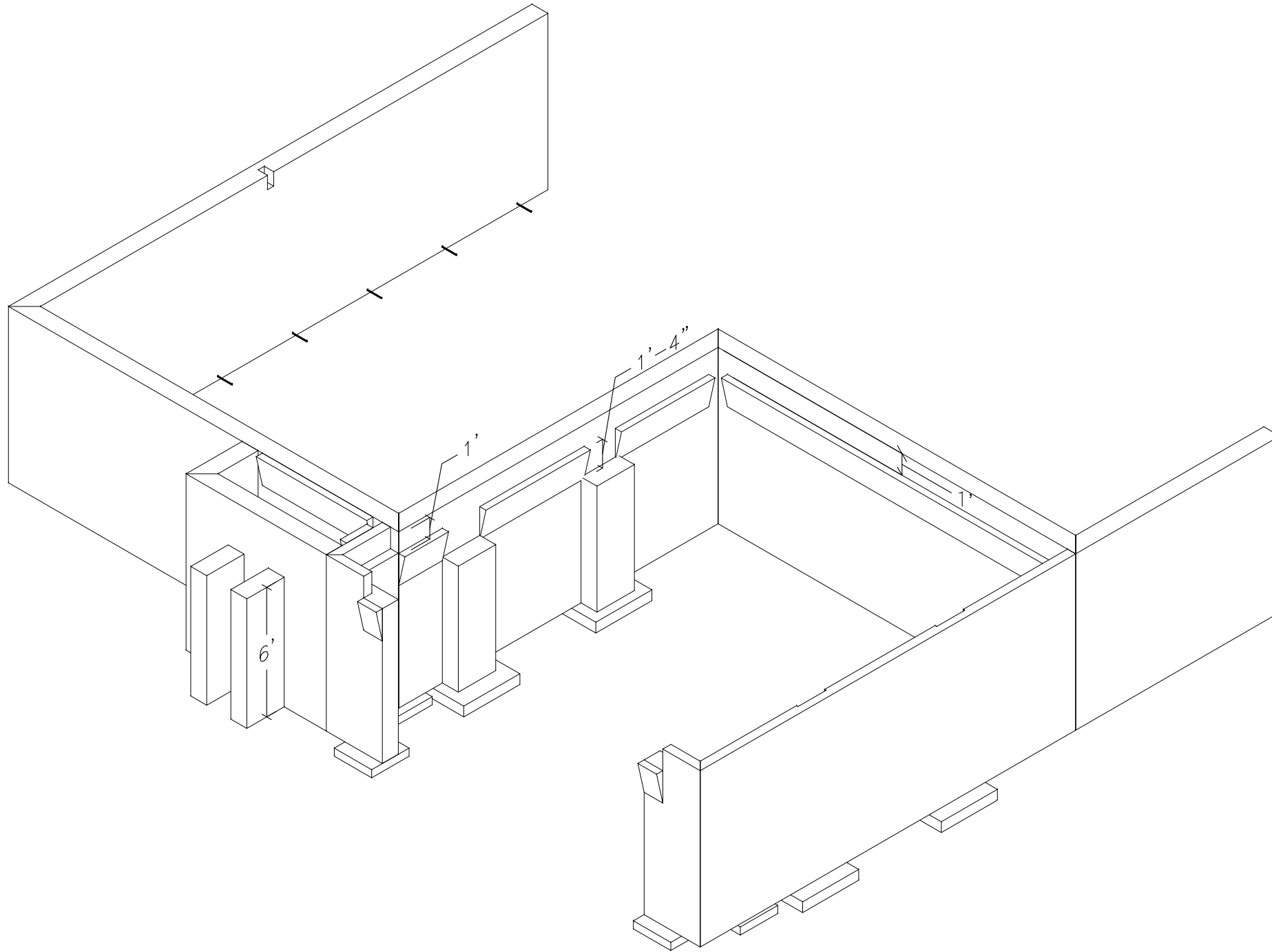
SALESMAN: R MUSSO

FILENAME: Ryan_Lot_132_QG

SHEET TITLE:
PLAN W/O DIMS

SHEET NO. 3 of 5

CUSTOMER SIGNATURE: Chris Cushenette DATE: 9/22/21



3570 S. Main Street
 Salisbury, NC 28147
 Phone: 704-636-6200
 Toll-Free: 877-896-9255

REV.	DATE	BY
1	09-22-21	JG

LOT 132 QG / CEDAR K R
RYAN HOMES

PROJECT:

BUILDER:

STATUS: ISSUED FOR APPROVAL

SALESMAN: R MUSSO

FILENAME: Ryan_Lot_132_QG

SHEET TITLE:
 ISOMETRIC 1

SHEET NO. 4 of 5

CUSTOMER SIGNATURE: Chris Cushenette DATE: 9/22/21



3570 S. Main Street
 Salisbury, NC 28147
 Phone: 704-636-6200
 Toll-Free: 877-896-9255

REV.	DATE	BY
1	09-22-21	JG

LOT 132 QG / CEDAR K R
RYAN HOMES

PROJECT:

BUILDER:

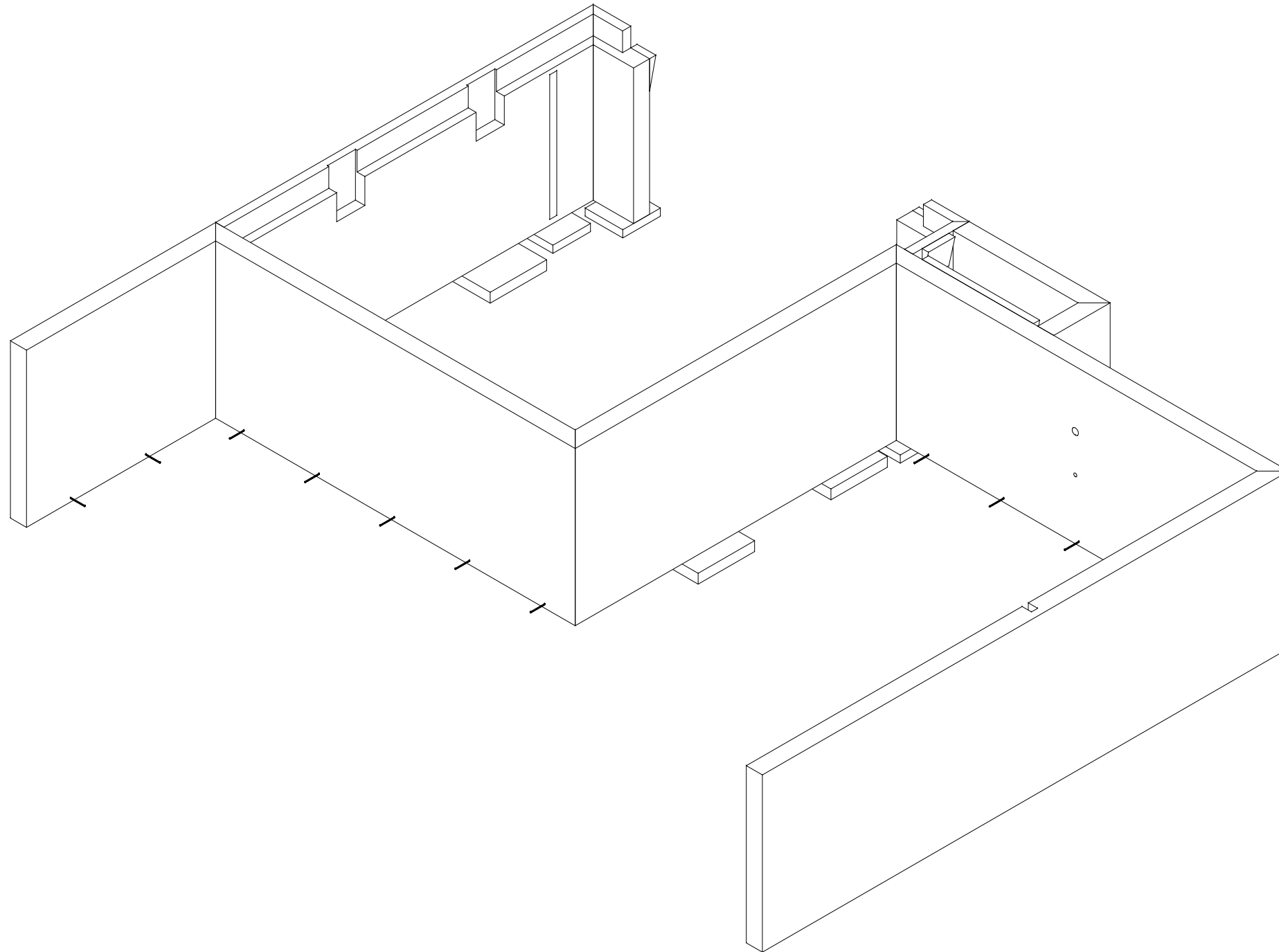
STATUS: ISSUED FOR APPROVAL

SALESMAN: R MUSSO

FILENAME: Ryan_Lot_132_QG

SHEET TITLE:
 ISOMETRIC 2

SHEET NO. 5 of 5



CUSTOMER SIGNATURE: Chris Cushenette DATE: 9/22/21



FOUNDATION BEAM/HEADER SCHEDULE				
IDENTIFIER	DESCRIPTION	LENGTH	ENG. NUM.	REMARKS
B001	BEAM STEEL - 18X18 W 2X6 SILL	16'-5"	B0007	

PAD FOOTING SCHEDULE					
IDENTIFIER	LENGTH	WIDTH	HEIGHT	ENG. NUM.	REMARKS
FO01	2'-0"	2'-0"	1'-0"	B0004	
FO02	3'-6"	1'-4"	0'-8"	B0004	
FO03	8'-0"	1'-4"	0'-8"	B0004	
FO05	2'-6"	2'-6"	1'-0"		FROST DEPTH < 36"
FO06	2'-6"	2'-6"	1'-0"		FROST DEPTH < 36"
FO07	14'-4 3/4"	1'-6"	1'-4"		
FO08	14'-4 3/4"	1'-6"	1'-4"		
FO09	2'-0"	2'-0"	1'-0"	1016	

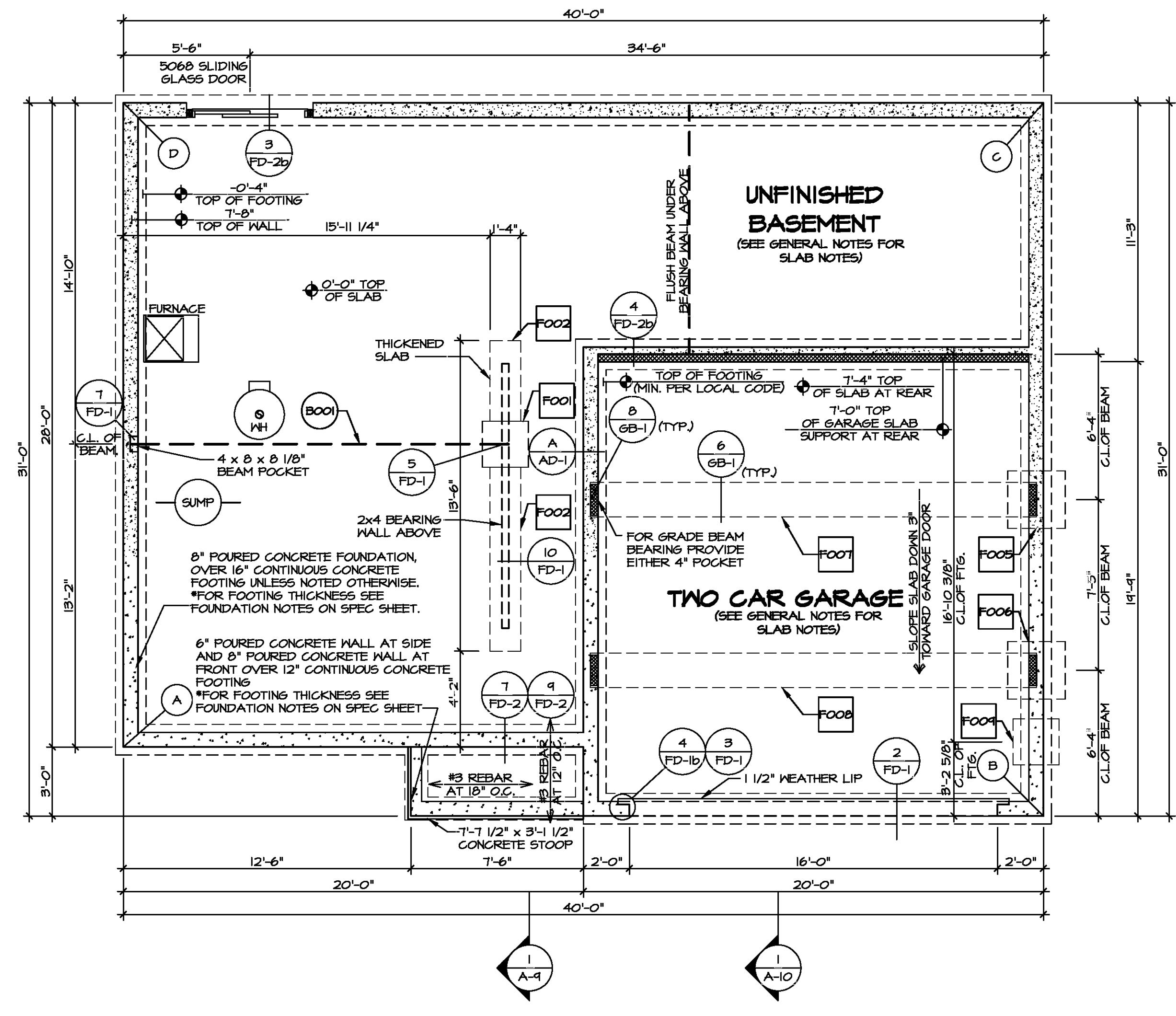
FOUNDATION DIAGONALS			
A		B	
A	0"	A	40'-1 3/8"
B	40'-1 3/8"	B	0"
C	48'-4 15/16"	C	31'-0"
D	28'-0"	D	50'-1 1/4"

- FOUNDATION NOTES - BASEMENT**
- FOUNDATION UNDER HABITABLE SPACE.
 - CONCRETE SLAB ON 6 MIL VAPOR BARRIER OVER SUB-BASE (SEE SPEC SHEET FOR SLAB NOTES)
 - SLAB UNDER GARAGE:
 - UNEXCAVATED WITH CONCRETE SLAB ON VAPOR BARRIER OVER SUB-BASE (SEE SPEC SHEET FOR SLAB NOTES) OR
 - STRUCTURAL CONCRETE SLAB ON VAPOR BARRIER OVER SUB-BASE (SEE SPEC SHEET FOR SLAB NOTES)
 - SEE FOUNDATION HOLD DOWN SHEET FOR CONNECTION INFORMATION.
 - SLAB LEDGE LOCATIONS VARY W/ GRADE BEAM(S) ORIENTATION. SEE GB-1 FOR DETAILS.
 - THE DIRECTION OF THE ARROW IS THE DIRECTION OF REBAR, AS REQUIRED.
 - ALL FOOTINGS ARE PLAIN UNREINFORCED CONCRETE UNLESS NOTES OTHERWISE.

LEGEND

- BEARING WALL
- NON BEARING WALL
- INDICATES BEARING FROM POINT-LOAD ABOVE
- JACKS
- BEAM/HEADER
- PAD FOOTING
- STEEL COLUMN
- TRUSS TIE DOWN
- PORTAL FRAME
- JOIST/TRUSS
- LVL
- ENGINEERING PAGE NUMBER

SEE FC DETAILS FOR FRAMING CONNECTORS



FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

DIV-COMM-LOT-UNIT
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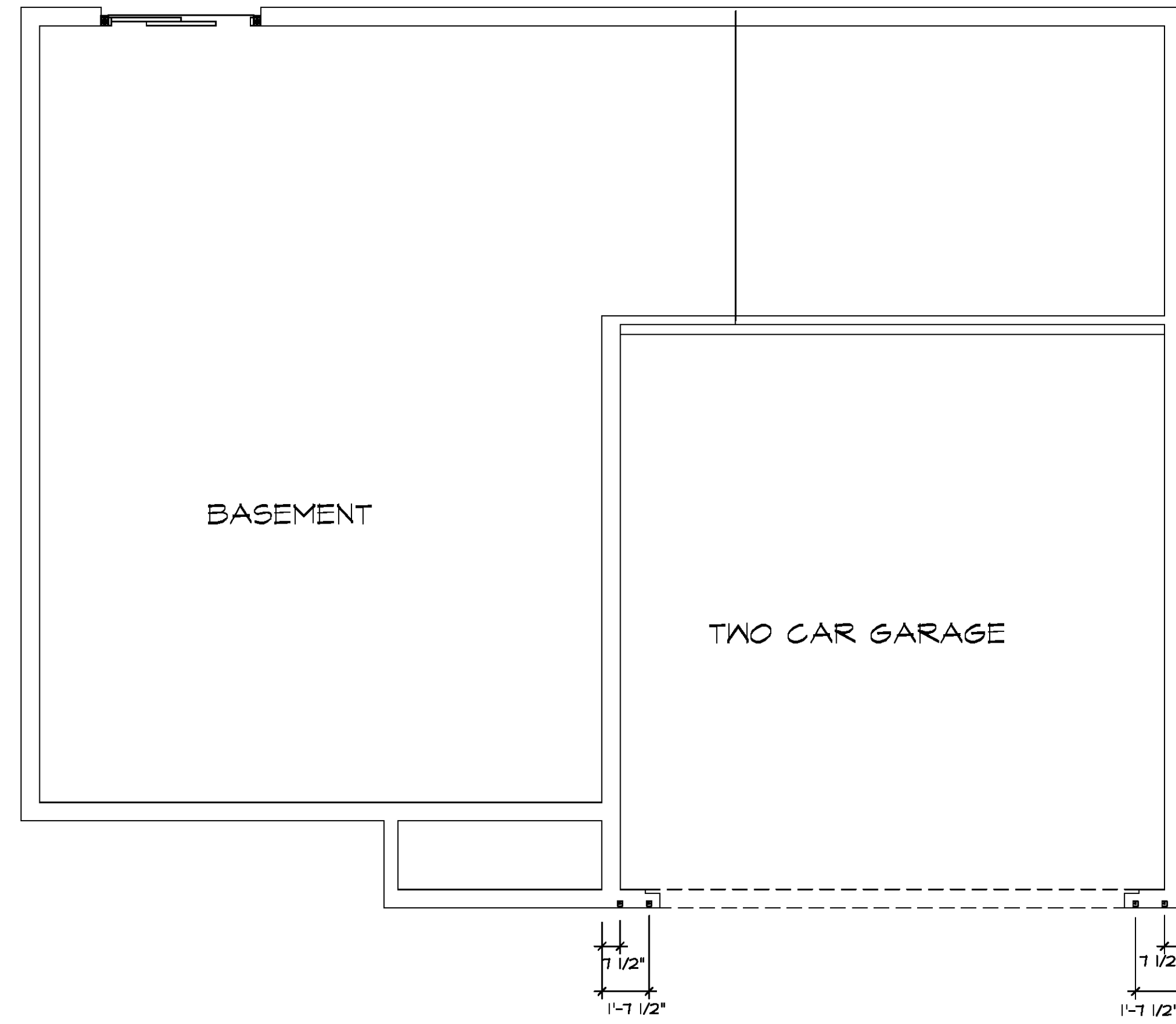
NVR
NVR, Inc. Suite 100
5285 Walkers Lane
Frederick, MD 21703

MODEL: CEDAR
DRAWING TITLE: FOUNDATION PLAN
OPTION DESCRIPTION: FOUNDATION FULL BASEMENT

SHEET NO. A-3
5

SET NO. CD00
VERSION 01
DRAWN BY
DATE:
OPTION FEA

VA-As-Sold-2-2020-ASD-2021 And Full-Compliance RHA DETACHED CEDAR-COR00-01\ELC-P-06-013A-3-A-3-FBI-LS (FBA).dwg 09/03/21 - 1:06 pm



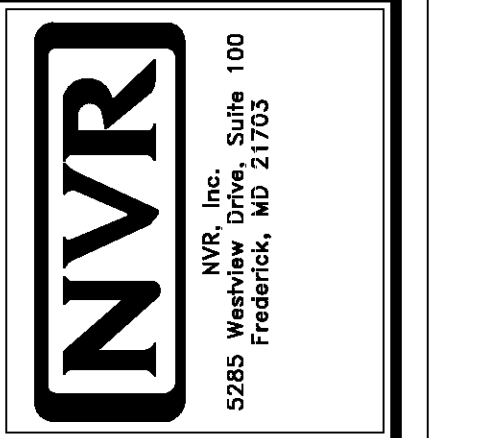
FOUNDATION HOLD DOWN DETAILS
 SCALE: 1/4" = 1'-0"

HOLD DOWN NOTES	
REFER TO DETAIL (1/2FD-1) FOR HOLD DOWN OFFSET DIMENSIONS. REFER TO DETAIL (1/2FD-1) FOR HOLD DOWNS ON CMU BLOCK.	
 STRAP	<ol style="list-style-type: none"> STRAP: <ol style="list-style-type: none"> ON FOUNDATION USE (5THD14) ON FLOOR SYSTEM USE (5THD14R.U) ALL OTHER HOLD DOWN SEE DETAIL (1/2-2) FOR MORE INFORMATION. STRAP LOCATION ON PLANS SHOWN BY DASHED DIMENSION TO CENTER OF STUDS
OR	
 BOLT	<ol style="list-style-type: none"> 5/8"Ø THREADED ROD ALL OTHER HOLD DOWN SEE DETAIL (1/2-2) FOR MORE INFORMATION. BOLT LOCATION ON PLANS SHOWN BY SOLID DIMENSION TO CENTER OF BOLT



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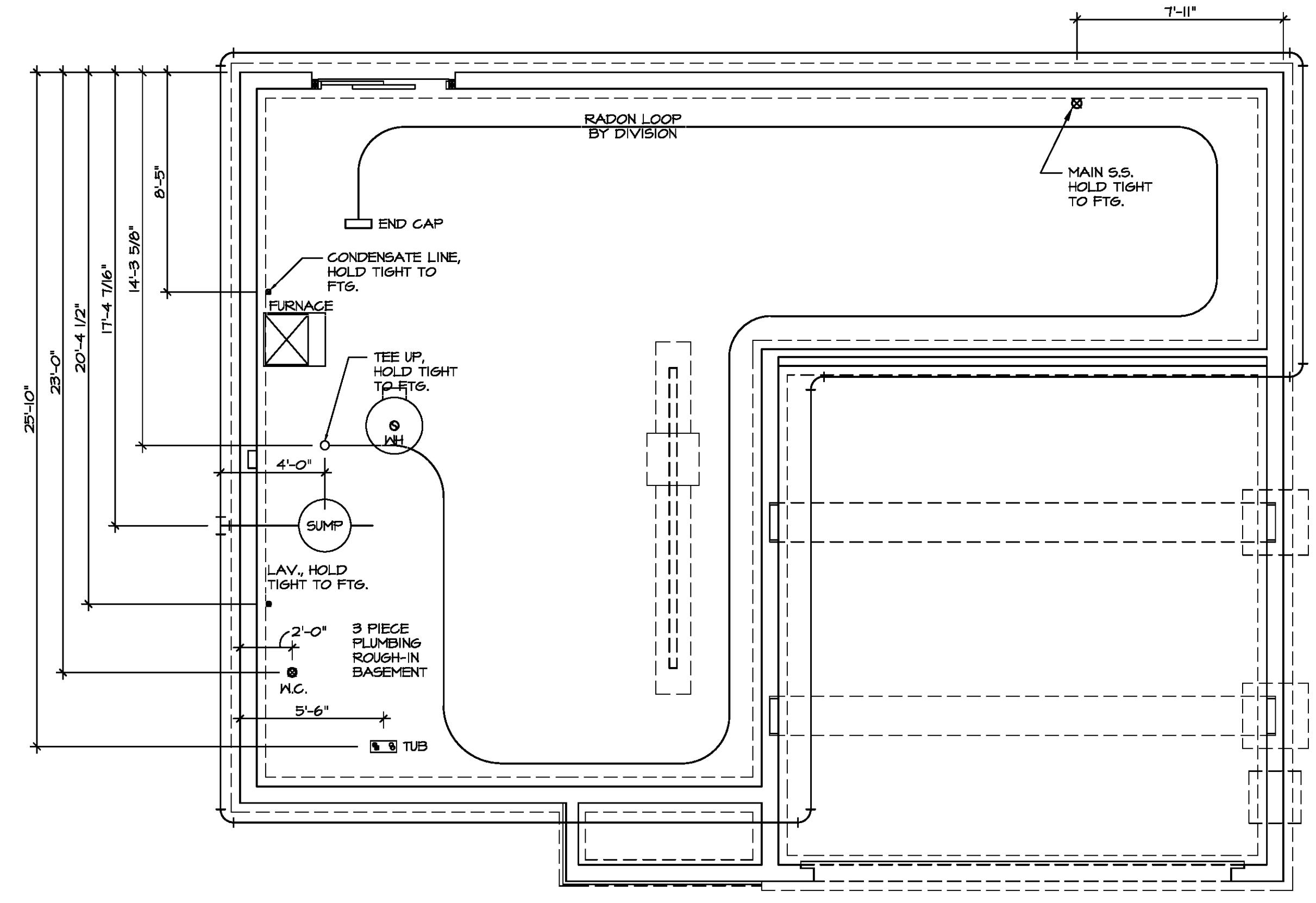


SET NO. CDPROO	VERSION 01
DRAWN BY	DATE
OPTION	

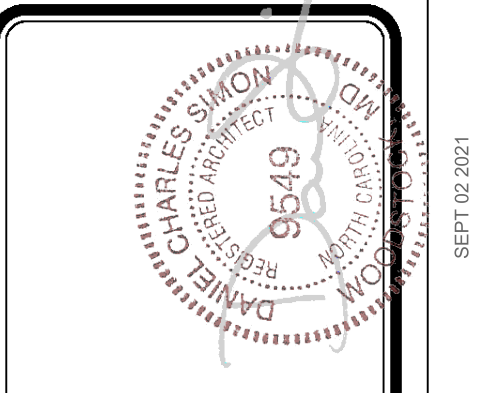
MODEL CEDAR	FOUNDATION HOLD DOWN DETAILS
SHEET NO. A-4	OPTION DESCRIPTION
	6

NOTE
 RADON REMEDIATION
 RADON LOOP:
 - (4") PERFORATED HDPE "LOOP"
 - MUST BE PLACED IN STONE BED SLIGHTLY HIGHER THAN ANY INTERIOR DRAINTILE
 - LOOP TO BE SEPARATE FROM ANY DRAINTILE ELEMENTS
 - TO BE CORRUGATED HDPE PIPE
 - SCREENS TO BE INSTALLED THROUGH LOOP AT TEE UP INTO STACK
STACK REQUIREMENTS:
 - 3" PVC STACK (4" IF BASEMENT IS GREATER THAN 2200 SQFT.)
 - NO PART OF STACK IS TO BE HORIZONTAL (45° ELBOWS PERMITTED AS REQUIRED)
 - PIPE TO BE PHYSICALLY LABELED IN THE FIELD AS "RADON VENT" OR OTHER JURISDICTIONALLY REQUIRED LANGUAGE (ON EVERY LEVEL OF HOUSE)
 - ROOF TERMINATION TO BE IN TOP 1/3 OF ROOF
 - SCREEN OR VENT CAP INSTALLED TO KEEP PESTS OUT OF RADON VENT AT ROOF TERMINATION.

**INSTALLATION OF RADON STACK AND LOOP
 TO BE DETERMINED BY DIVISION**

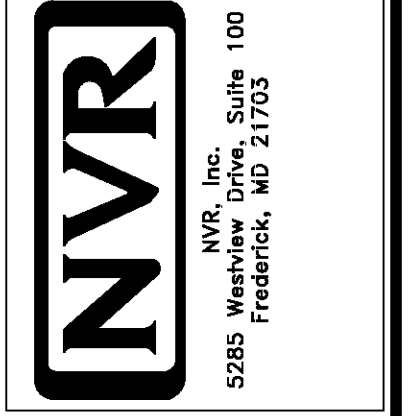


PLUMBING PLAN
 SCALE: 1/4" = 1'-0"



DIV-COMM-LOT-UNIT
 COMM-LOT
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SET NO. CDPROO	VERSION 01
DRAWN BY	DATE:
OPTION	

MODEL CEDAR	OPTION DESCRIPTION
DRAWING TITLE PLUMBING PLAN	
SHEET NO. A-5	7



BASEMENT JACK SCHEDULE			
IDENTIFIER	DESCRIPTION	ENS. NUM.	REMARKS
J001	BSMT - solid JACK - (4) 2x4 SFF STUD GRADE	B0004	

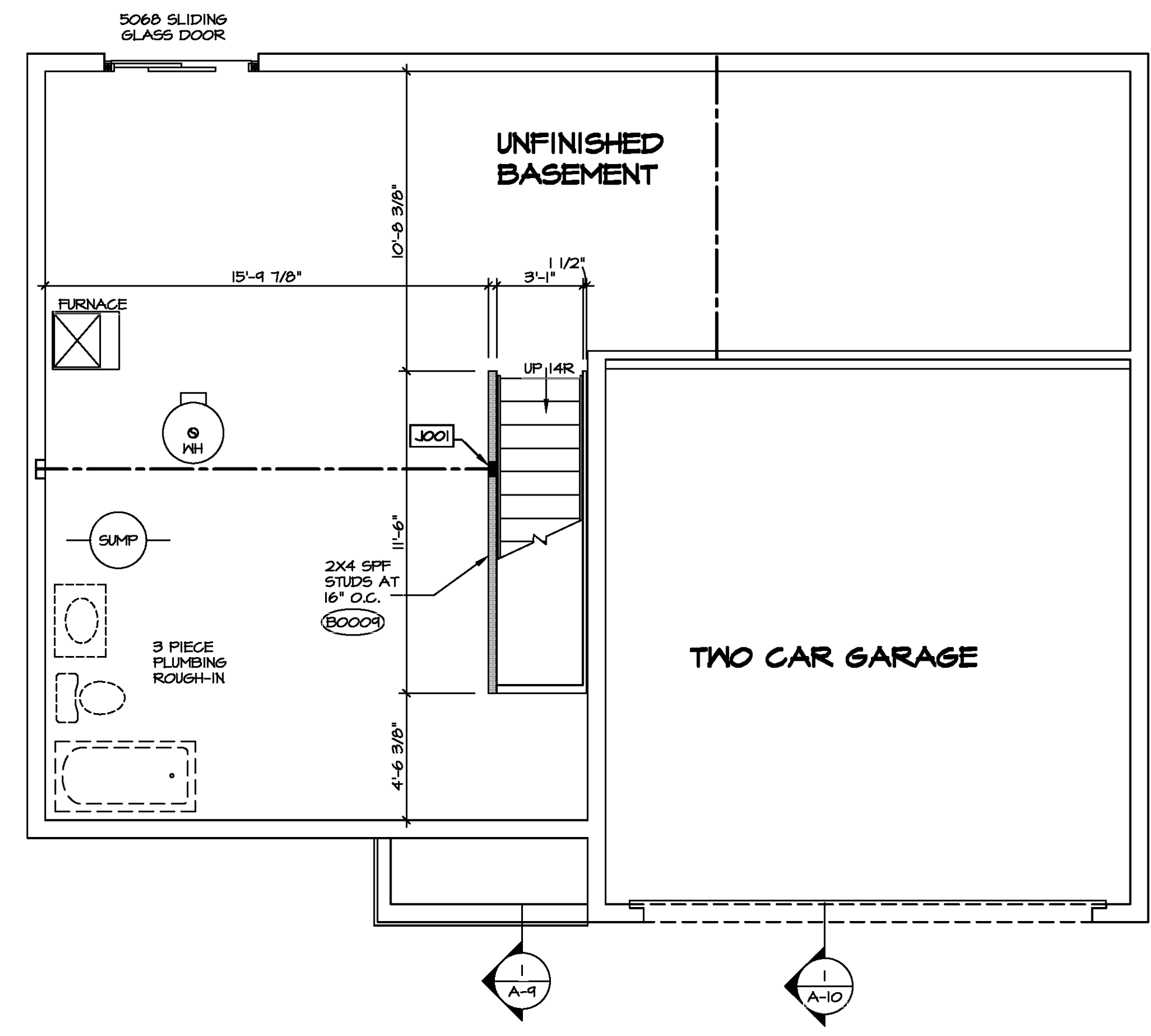
- FLOOR PLAN NOTES**
- ALL HEADERS ARE (2) 2x6 w/ 2x4 WALLS OR (3) 2x6 w/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
 - ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK AND KING STUD EACH END, UNLESS OTHERWISE NOTED. MULTI-OPENING HEADERS TO HAVE (2) JACKS AT INTERMEDIATE BEARING, UNLESS OTHERWISE NOTED. NO ADDITIONAL FLOOR SYSTEM BLOCKING OR CONTINUOUS LOAD PATH JACKS ARE REQUIRED UNLESS OTHERWISE NOTED.
 - ALL EXTERIOR WALLS TO BE 4" w/ OSB OR 3 1/2" w/ LAMINATED FIBROUS STRUCTURAL SHEATHING, ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED.
 - HATCHED AREAS INDICATE DROPPED CEILINGS. ALL DROPPED CEILINGS ARE 12" UNLESS OTHERWISE NOTED.
 - SEE "BRACED WALL PANEL DETAIL SHEET" FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
 - SEE STANDARD DETAIL CATEGORY "IT" SHEET(S) FOR INTERIOR TRIM DETAILS.
 - SEE ARCHITECTURAL DETAIL SHEET "AD" FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
 - ALL WINDOWS HAVE 7'-0 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
 - ALL HEADERS IN NON-BEARING WALLS SHALL BE A SINGLE FLAT 2x4 OR 2x6 ATTACHED TO CRIPPLES ABOVE, UNLESS OTHERWISE NOTED.
 - TANKED WATER HEATER SHOWN AS BASE CONDITION. OPTIONAL TANKLESS WATER HEATER IS AVAILABLE IN LIEU OF TANKED WATER HEATER.

- GYPSUM NOTES**
- AT GARAGE:
GYPSUM BOARD AT COMMON WALLS, CEILINGS, BEAM WRAPS AND SUPPORTS PER STANDARD DETAIL FA-(b) FIRE ASSEMBLIES OR AS REQUIRED BY LOCAL CODE.
- AT STAIRS:
1/2" GYPSUM BOARD AT UNDERSIDE OF STAIRS AND WALLS IN CLOSET

LEGEND

- BEARING WALL
- NON BEARING WALL
- INDICATES BEARING FROM POINT-LOAD ABOVE
- JACKS
- BEAM/HEADER
- PAD FOOTING
- STEEL COLUMN
- TRUSS TIE DOWN
- PORTAL FRAME
- JOIST/TRUSS
- LVL
- ENGINEERING PAGE NUMBER

SEE FC DETAILS FOR FRAMING CONNECTORS



BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

DIV-COMM-LOT-UNIT

COM-LOT

STREET ADDRESS

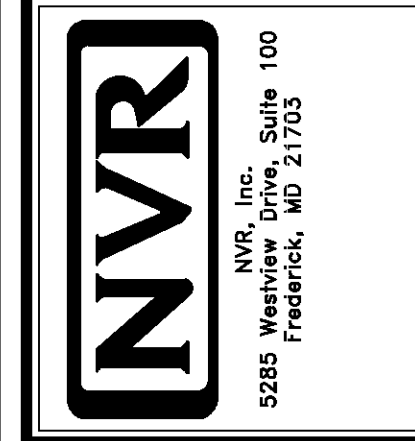
CITY

STATE

APT. NO.

ZIP

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SHEET NO.	MODEL	SET NO.	OPTION
A-6	CEDAR	01	8
	DRAWING TITLE	VERSION	
	BASEMENT FLOOR PLAN	01	
	DRAWN BY	DATE:	
		OPTION	



FIRST FLOOR JACK SCHEDULE			
IDENTIFIER	DESCRIPTION	ENG. NUM.	REMARKS
J101	JACK - (3) 2X4 SFF STUD GRADE	1019	
J102	JACK - (2) 2X4 SFF STUD GRADE	1019	
J103	JACK - (2) 2X4 SFF STUD GRADE	1014	
J104	JACK - (2) 2X4 SFF STUD GRADE	1014	
J105	JACK - (2) 2X4 SFF STUD GRADE	1012	
J106	JACK - (4) 2X4 SFF#1	1025	
J107	JACK - (4) 2X4 SFF#1	1025	
J108	JACK - (2) 2X4 SFF STUD GRADE	1008	
J109	JACK - (2) 2X4 SFF STUD GRADE	1008	
J110	JACK - (2) 2X4 SFF STUD GRADE	1010	
J111	JACK - (2) 2X4 SFF STUD GRADE	1010	
J112	JACK - (4) 2X4 SFF STUD GRADE	1006	
J113	JACK - (4) 2X4 SFF STUD GRADE	1006	
J114	JACK - (4) 2X4 SFF STUD GRADE	1006	
J115	JACK - (4) 2X4 SFF STUD GRADE	1006	

FIELD INSTALLED FIRST FLOOR BEAM/HEADER SCHEDULE				
IDENTIFIER	DESCRIPTION	LENGTH	ENG. NUM.	REMARKS
B101	INT HEADER - 2X8 - 2 PLY	4'-1"	1019	

FLOOR PLAN NOTES

- ALL HEADERS ARE (2) 2x6 w/ 2x4 WALLS OR (3) 2x6 w/ 2x6 WALLS UNLESS OTHERWISE NOTED.
- ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK AND KING STUD EACH END, UNLESS OTHERWISE NOTED. MULTI-OPENING HEADERS TO HAVE (2) JACKS AT INTERMEDIATE BEARING, UNLESS OTHERWISE NOTED. NO ADDITIONAL FLOOR SYSTEM BLOCKING OR CONTINUOUS LOAD PATH JACKS ARE REQUIRED UNLESS OTHERWISE NOTED.
- ALL EXTERIOR WALLS TO BE 4" w/ OSB OR 3 1/2" LAMINATED FIBROUS STRUCTURAL SHEATHING, ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED.
- HATCHED AREAS INDICATE DROPPED CEILINGS. ALL DROPPED CEILINGS ARE 12" UNLESS OTHERWISE NOTED. SEE "BRACED WALL PANEL DETAIL SHEET" FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
- SEE STANDARD DETAIL CATEGORY "IT" SHEET(S) FOR INTERIOR TRIM DETAILS.
- SEE ARCHITECTURAL DETAIL SHEET "AD" FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
- ALL WINDOWS HAVE T-0 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
- ALL HEADERS IN NON-BEARING WALLS SHALL BE A SINGLE FLAT 2X4 OR 2X6 ATTACHED TO CRIPPLES ABOVE, UNLESS OTHERWISE NOTED.
- TANKED WATER HEATER SHOWN AS BASE CONDITION, OPTIONAL TANKLESS WATER HEATER IS AVAILABLE IN LIEU OF TANKED WATER HEATER.

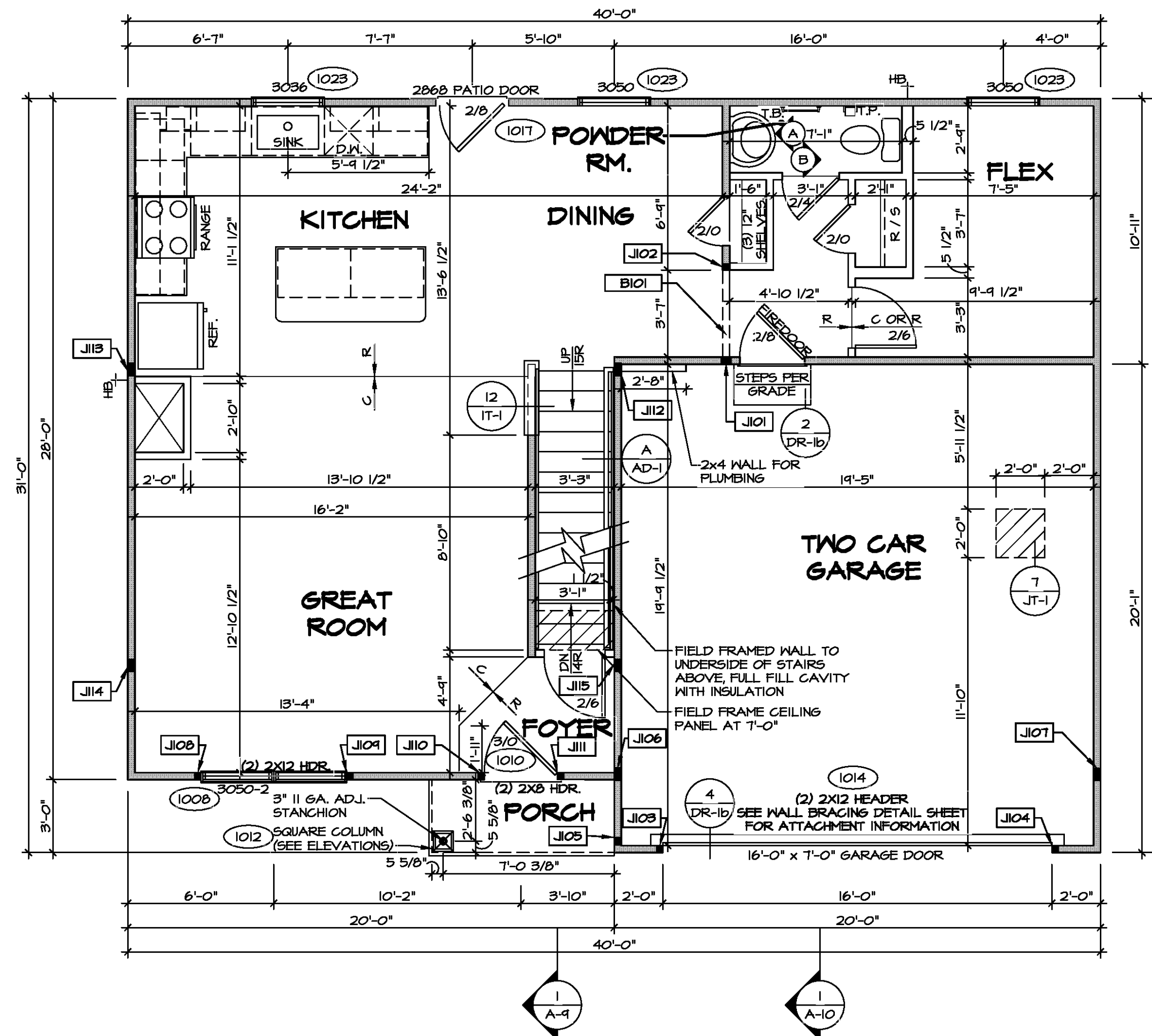
GYPSUM NOTES

AT GARAGE:
 GYPSUM BOARD AT COMMON WALLS, CEILINGS, BEAM WRAPS AND SUPPORTS PER STANDARD DETAIL FA-1(b) FIRE ASSEMBLIES OR AS REQUIRED BY LOCAL CODE.

AT STAIRS:
 1/2" GYPSUM BOARD AT UNDERSIDE OF STAIRS AND WALLS IN CLOSET

LEGEND	
	BEARING WALL
	NON BEARING WALL
	INDICATES BEARING FROM POINT-LOAD ABOVE
	JACKS
	BEAM/HEADER
	PAD FOOTING
	STEEL COLUMN
	TRUSS TIE DOWN
	PORTAL FRAME
	JOIST/TRUSS
	LVL
	ENGINEERING PAGE NUMBER

SEE FC DETAILS FOR FRAMING CONNECTORS



FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

DIV-COMM-LOT-UNIT

COM-LOT

STREET ADDRESS

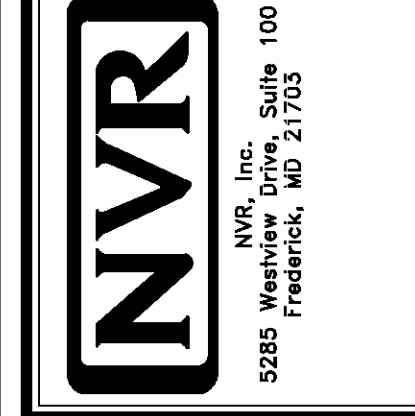
CITY

STATE

APT. NO.

ZIP

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MODEL	SET NO. CDROO
CEDAR	VERSION 01
DRAWING TITLE	DRAWN BY
FIRST FLOOR PLAN	DATE:
OPTION DESCRIPTION	OPTION
A-7	9

FLOOR PLAN NOTES

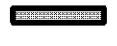








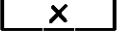
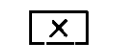
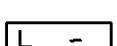
1. ALL HEADERS ARE (2) 2x6 w/ 2x4 WALLS OR (3) 2x6 w/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
2. ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK AND KING STUD EACH END, UNLESS OTHERWISE NOTED. MULTI-OPENING HEADERS TO HAVE (2) JACKS AT INTERMEDIATE BEARINGS, UNLESS OTHERWISE NOTED. NO ADDITIONAL FLOOR SYSTEM BLOCKING OR CONTINUOUS LOAD PATH JACKS ARE REQUIRED UNLESS OTHERWISE NOTED.
3. ALL EXTERIOR WALLS TO BE 4" w/ OSB OR 3 1/2" w/ LAMINATED FIBROUS STRUCTURAL SHEATHING, ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED.
4. HATCHED AREAS INDICATE DROPPED CEILINGS. ALL DROPPED CEILINGS ARE 12" UNLESS OTHERWISE NOTED.
5. SEE BRACED WALL PANEL DETAIL SHEET FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
6. SEE STANDARD DETAIL CATEGORY "IT" SHEET(S) FOR INTERIOR TRIM DETAILS.
7. SEE ARCHITECTURAL DETAIL SHEET "AD" FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
8. ALL WINDOWS HAVE 7'-0 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
9. ALL HEADERS IN NON-BEARING WALLS SHALL BE A SINGLE FLAT 2x4 OR 2x6 ATTACHED TO CRIPPLES ABOVE, UNLESS OTHERWISE NOTED.
10. TANKED WATER HEATER SHOWN AS BASE CONDITION. OPTIONAL TANKLESS WATER HEATER IS AVAILABLE IN LIEU OF TANKED WATER HEATER.

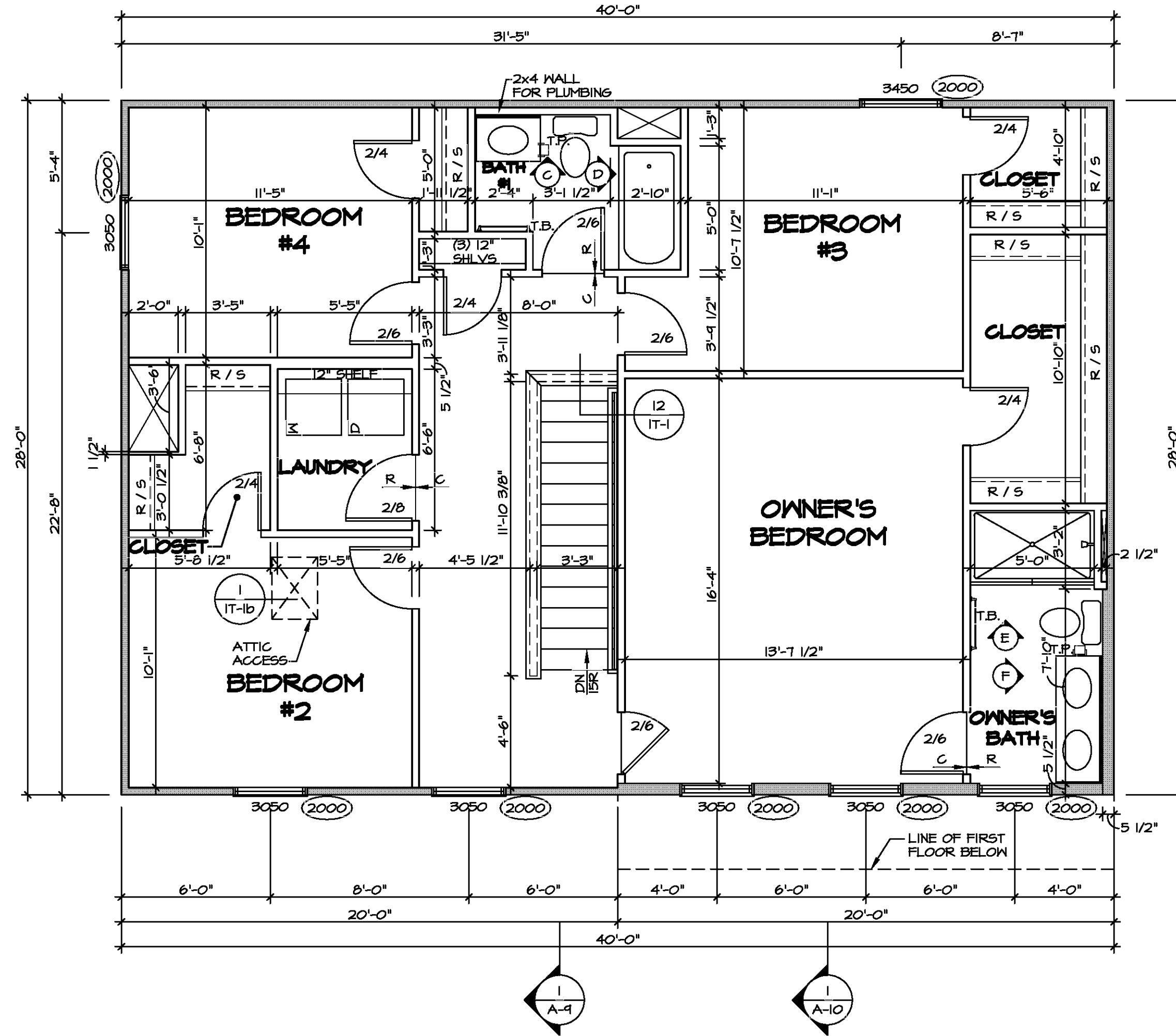
GYPSUM NOTES

AT GARAGE:
 GYPSUM BOARD AT COMMON WALLS, CEILINGS, BEAM WRAPS AND SUPPORTS PER STANDARD DETAIL FA-1(b) FIRE ASSEMBLIES OR AS REQUIRED BY LOCAL CODE.

AT STAIRS:
 1/2" GYPSUM BOARD AT UNDERSIDE OF STAIRS AND WALLS IN CLOSET

LEGEND

-  BEARING WALL
 -  NON BEARING WALL
 -  INDICATES BEARING FROM POINT-LOAD ABOVE
 -  JACKS
 -  BEAM/HEADER
 -  PAD FOOTING
 -  STEEL COLUMN
 -  TRUSS TIE DOWN
 -  PORTAL FRAME
 -  JOIST/TRUSS
 -  LVL
 -  ENGINEERING PAGE NUMBER
- SEE FC DETAILS FOR FRAMING CONNECTORS



SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"



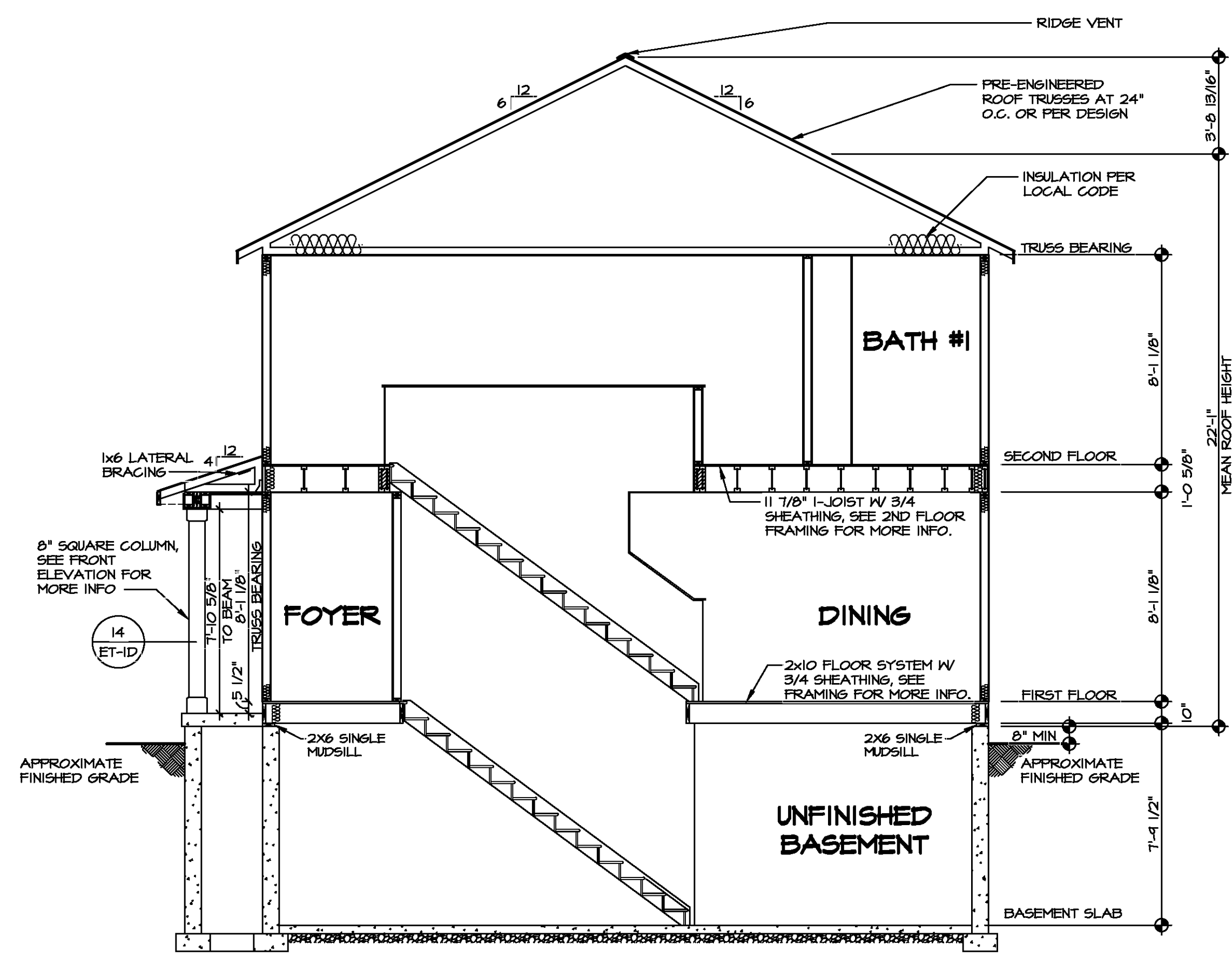
DIV-COMM-LOT-UNIT	
COM-LOT	APT. NO.
STREET ADDRESS	
CITY	STATE
ZIP	

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 5285 Westgate Drive
 Frederick, MD 21703

MODEL	SET NO. CDROO
CEDAR	VERSION 01
DRAWING TITLE	DRAWN BY
SECOND FLOOR PLAN	DATE:
OPTION DESCRIPTION	OPTION

SHEET NO.	A-8
OPTION	10

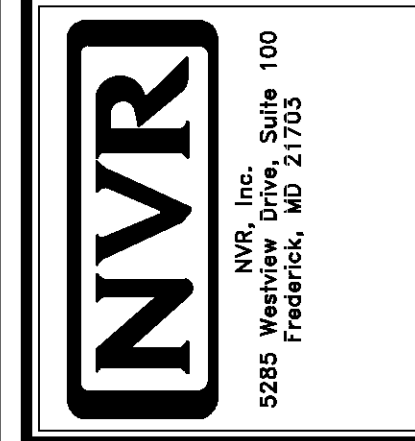


BUILDING SECTION - FOYER
 SCALE: 1/4" = 1'-0"

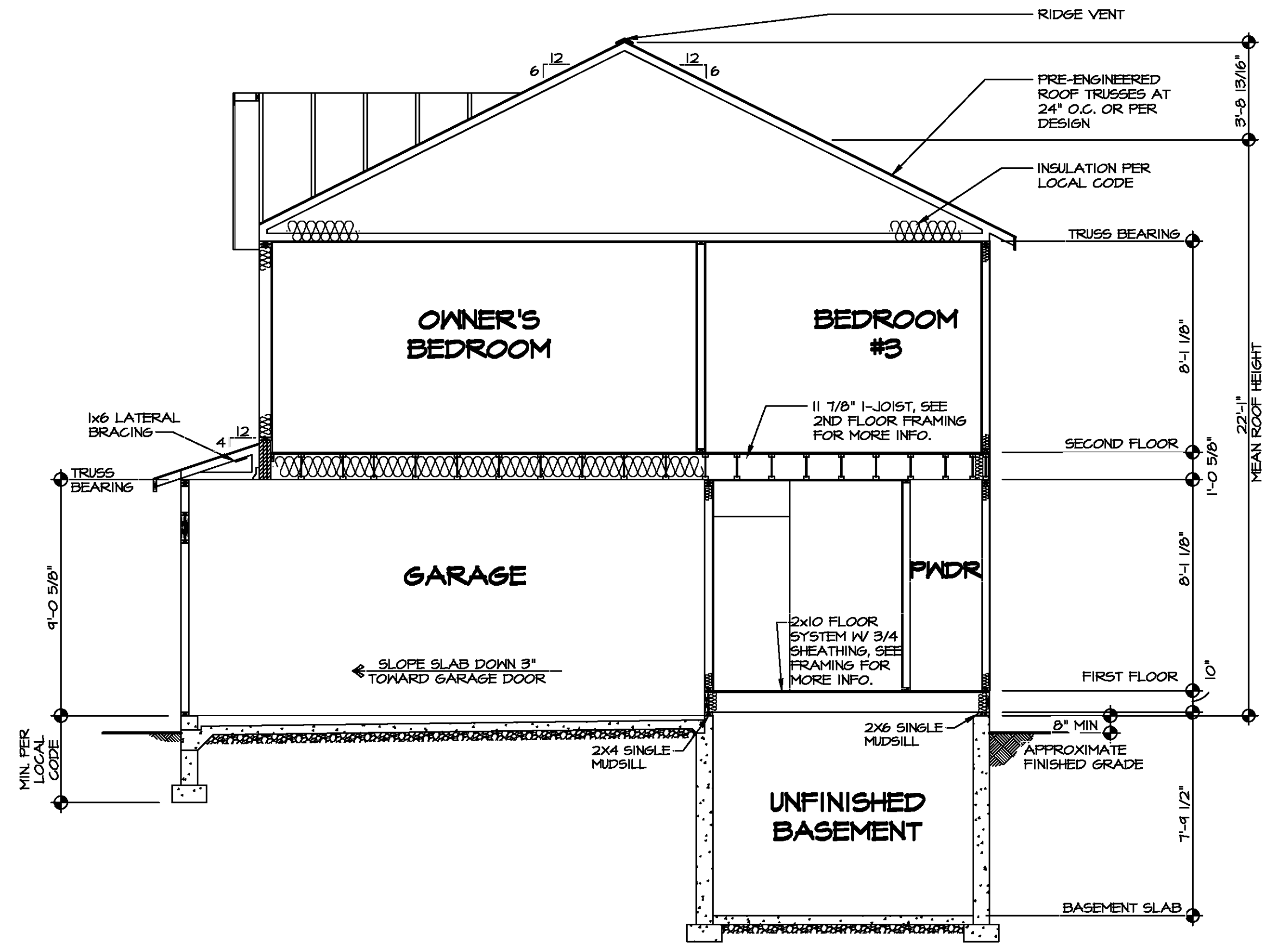


DIV-COMM-LOT-UNIT
 COMM-LOT
 STREET ADDRESS
 CITY STATE ZIP

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SHEET NO. A-9	MODEL CEDAR	SET NO. CDROO	VERSION 01
	DRAWING TITLE BUILDING SECTION - FOYER	DRAWN BY	DATE:
	OPTION DESCRIPTION 	OPTION	

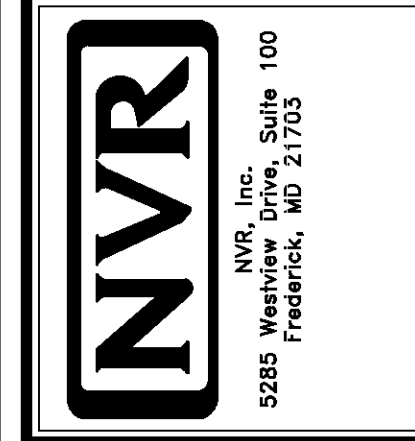


BUILDING SECTION - GARAGE
 SCALE: 1/4" = 1'-0"



DIV-COMM-LOT-UNIT	
COMM-LOT	---
STREET ADDRESS	---
CITY	---
STATE	---
APT. NO.	---
ZIP	---

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SHEET NO.	A-10	12
MODEL	CEDAR	
DRAWING TITLE	BUILDING SECTION - GARAGE	
OPTION DESCRIPTION		
SET NO.	CDROO	
VERSION	01	
DRAWN BY		
DATE:		
OPTION		



FIRST FLOOR FRAMING LENGTH SCHEDULE				
IDENTIFIER	DESCRIPTION	LENGTH	ENG. NUM.	REMARKS
IAA	JST - 2x10	13'-0 3/4"		
IAB	JST - 2x10	13'-2"		
IAC	JST - 2x10	5'-0 1/2"		
IAD	JST - (2) 2x10 SPF #2	3'-0 1/2"	B0003	
IAF	JST - 2x10	10'-11"		
IAG	JST - 2x10	2'-2 3/4"	B0010	
IAH-2	JST - 2x10	11'-5 1/2"		
IAK-2	JST - (2) 2x10 SPF #1	14'-10"	B0012	PLANT BUILT
IAL	JST - 2x10	14'-10"		
IAM-2	JST - 2x10	14'-10"		
IAG	JST - 2x10	10'-8"		
IAR	JST - 2x10	10'-8"		
IAT	JST - 2x10	11'-3 1/2"		

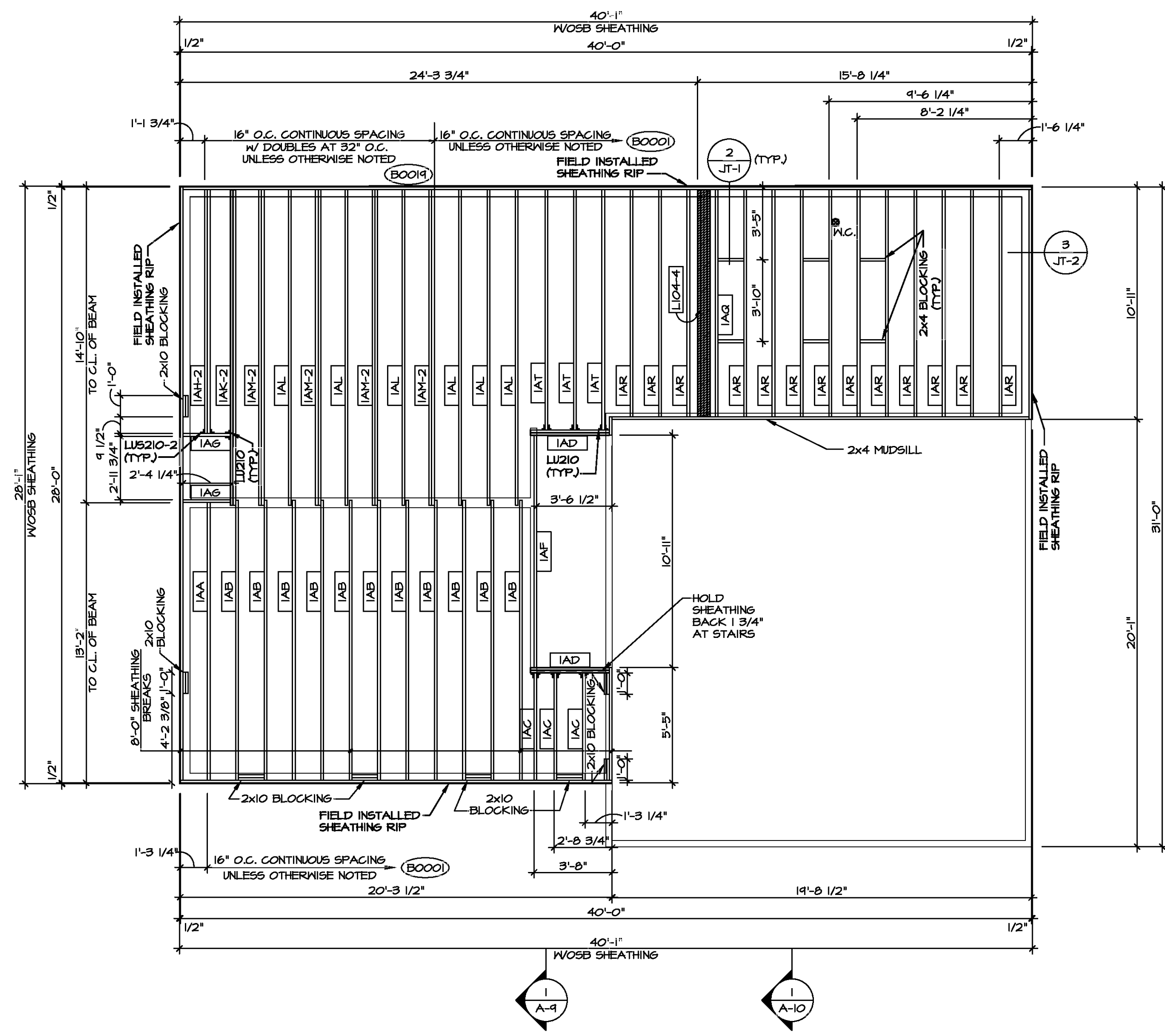
FIRST FLOOR LVL LENGTH SCHEDULE				
IDENTIFIER	DESCRIPTION	LENGTH	ENG. NUM.	REMARKS
LI04-4	LVL 1.75 - 04-04 - 4 PLY	10'-8"	B0005	A-3450

- LVL PLY TO PLY FASTENING SCHEDULE:** (WHERE APPLICABLE BASED ON LVL USAGE)
- 1.A - (2) PLY UP TO AND INCLUDING 1 7/8" TALL; FASTEN PLYS W/ (2) ROWS 16D NAILS AT 12" O.C. OR ALT 1 1/2" WIDE LVL FASTEN PLYS W/ (3) ROWS 12D NAILS AT 12" O.C.
 - 2.A - (2) PLY 1 7/8" TO AND INCLUDING 1 7/8" TALL (INCLUSIVE); FASTEN PLYS W/ (3) ROWS 16D NAILS AT 12" O.C. OR ALT 1 1/2" WIDE LVL FASTEN PLYS W/ (4) ROWS 12D NAILS AT 12" O.C.
 - 3.A - (2) PLY 2 1/8" TALL AND OVER; FASTEN PLYS W/ (4) ROWS 16D NAILS AT 12" O.C. OR ALT 1 1/2" WIDE LVL FASTEN PLYS W/ (5) ROWS 12D NAILS AT 12" O.C.
 - 4.A - (3) PLY UP TO AND INCLUDING 1 7/8" TALL; FASTEN PLYS W/ (2) ROWS 16D NAILS AT 12" O.C. FROM EACH SIDE OR ALT 1 1/2" WIDE LVL FASTEN PLYS W/ (3) ROWS 12D NAILS AT 12" O.C. FROM EACH SIDE.
 - 5.A - (3) PLY 1 7/8" TO AND INCLUDING 1 7/8" TALL (INCLUSIVE); FASTEN PLYS W/ (3) ROWS 16D NAILS AT 12" O.C. FROM EACH SIDE OR ALT 1 1/2" WIDE LVL FASTEN PLYS W/ (4) ROWS 12D NAILS AT 12" O.C. FROM EACH SIDE.
 - 6.A - (3) PLY 2 1/8" TALL AND OVER; FASTEN PLYS W/ (4) ROWS 16D NAILS AT 12" O.C. FROM EACH SIDE OR ALT 1 1/2" WIDE LVL FASTEN PLYS W/ (5) ROWS 12D NAILS AT 12" O.C. FROM EACH SIDE.
 - 7.A - (4) PLY (ALL SIZES); FASTEN PLYS W/ (2) ROWS 1/2" DIAMETER A307 BOLTS AT 24" O.C. SEE SHOP DRAWING FOR ADDITIONAL INFORMATION.

- 2X10 FLOOR SYSTEM**
1. SUBFLOOR IS 5/8" TONGUE AND GROOVE OSB STANDARD.
 2. ALL JOISTS AND RINGS ARE 2X10 SPF #1 OR SPF #2.
 3. ALL RING MATL 14'-0" UNLESS OTHERWISE NOTED.
 4. ALL SHORT JOIST ARE CUT FROM 14'-0" UNLESS OTHERWISE NOTED.
 5. REFER TO STANDARD DETAILS FOR HOLE CUTTING GUIDELINES.
 6. PROVIDE SOLID 2X10 (UNLESS NOTED OTHERWISE) BLKS BELOW ALL JKS AS REQ'D.
 7. 4" MAX. OVERHANG OF FLOOR JOIST ON STEEL BEAM AND BEARING WALLS.
 8. OPTIONAL CROSS BRIDGINS AS REQ'D.
 9. ALL JOIST LENGTHS IN SCHEDULE ARE TO BE CUT FROM 2'-0" NOMINAL SIZE JOISTS.
 10. SEE CONNECTOR / NAIL CHART IN STANDARD DETAILS FOR TYPICAL HANGERS (FC-4)
 12. ADHESIVE TO BE APPLIED AT THE RATE OF (1) TUBE PER TWO AND ONE-HALF SHEETS; SHEETS ARE TO BE GLUED AND PLACED ONE AT A TIME. **APPLY GLUE TO TONGUE AND GROOVE.**

LEGEND	
	BEARING WALL
	INDICATES BEARING FROM POINT-LOAD ABOVE
	JACKS
	BEAM/HEADER
	PAD FOOTING
	STEEL COLUMN
	TRUSS TIE DOWN
	PORTAL FRAME
	JOIST/TRUSS
	LVL
	ENGINEERING PAGE NUMBER

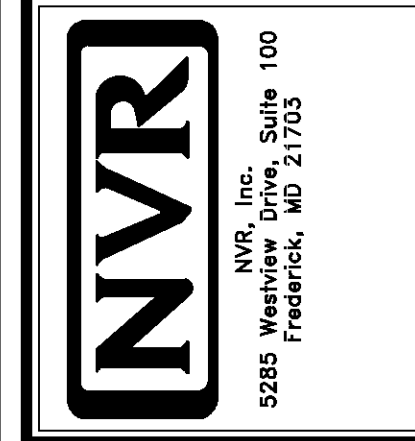
SEE FC DETAILS FOR FRAMING CONNECTORS



FIRST FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

DIV-COMM-LOT-UNIT
COM-LOT
STREET ADDRESS
CITY
STATE
ZIP
APT. NO.

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MODEL	CEDAR
DRAWING TITLE	FIRST FLOOR JOIST LAYOUT
OPTION DESCRIPTION	
SHEET NO.	S-1
OPTION	19



SECOND FLOOR LVL LENGTH SCHEDULE				
IDENTIFIER	DESCRIPTION	LENGTH	ENG. NUM.	REMARKS
L201-3	LVL 1.75 - 18	20'-0"	1025	5A
L202	LVL 1.75 - 11-14	11'-4"	1004	

SECOND FLOOR FRAMING LENGTH SCHEDULE				
IDENTIFIER	DESCRIPTION	LENGTH	ENG. NUM.	REMARKS
2AC	PRI 60 - 11-14	19'-4 3/4"		
2AE	PRI 60 - 11-14	39'-4 3/4"		
2AH	PRI 60 - 11-14	39'-4 3/4"		
2AH-2	PRI 60 - 11-14 DBL	39'-4 3/4"	1036	J-0002
2AJ	PRI 60 - 11-14	16'-6 1/8"		
2AK-2	PRI 60 - 11-14 DBL	20'-2 3/8"	1006	J-0002
2AM	PRI 60 - 11-14	39'-4 3/4"		
2AQ	PRI 60 - 11-14	19'-4 3/4"	1040	J-0402
2AR	PRI 60 - 11-14	39'-4 3/4"	1034	J-0401

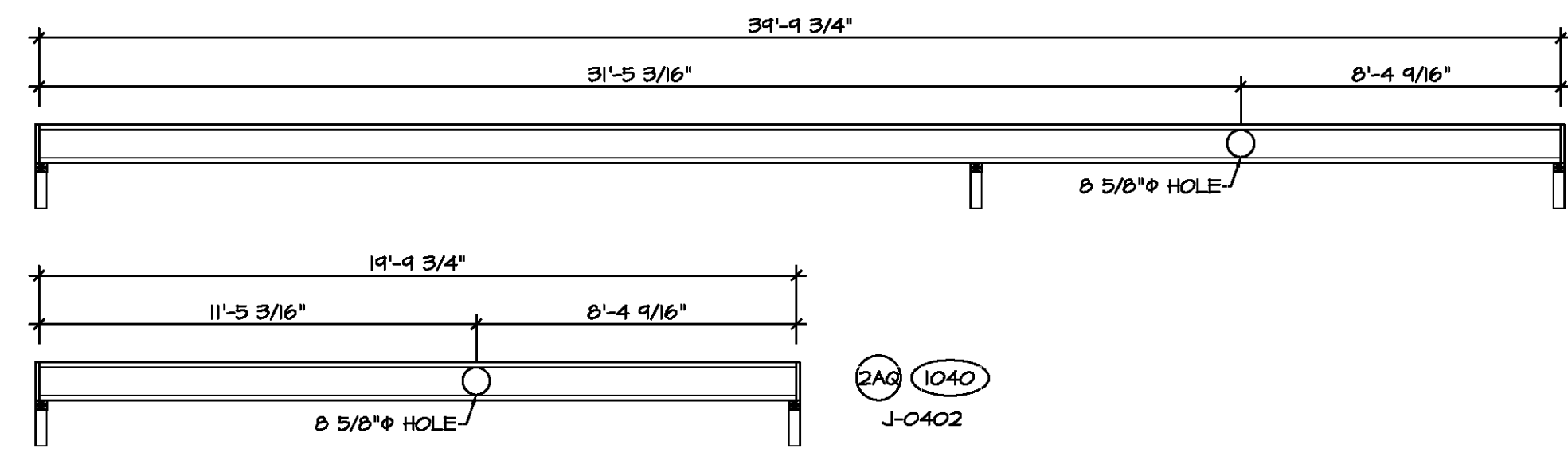
- LVL PLY TO PLY FASTENING SCHEDULE:** (WHERE APPLICABLE BASED ON LVL USAGE)
- 1A - (2) PLY UP TO AND INCLUDING 11 7/8" TALL; FASTEN PLYS W/ (2) ROWS 16D NAILS AT 12" O.C. OR ALT 1 1/2" WIDE LVL FASTEN PLYS W/ (3) ROWS 12D NAILS AT 12" O.C.
 - 2A - (2) PLY 14" TO AND 18" TALL (INCLUSIVE); FASTEN PLYS W/ (3) ROWS 16D NAILS AT 12" O.C. OR ALT 1 1/2" WIDE LVL FASTEN PLYS W/ (4) ROWS 12D NAILS AT 12" O.C.
 - 3A - (2) PLY 20" TALL AND OVER; FASTEN PLYS W/ (4) ROWS 16D NAILS AT 12" O.C. OR ALT 1 1/2" WIDE LVL FASTEN PLYS W/ (5) ROWS 12D NAILS AT 12" O.C.
 - 4A - (3) PLY UP TO AND INCLUDING 11 7/8" TALL; FASTEN PLYS W/ (2) ROWS 16D NAILS AT 12" O.C. FROM EACH SIDE OR ALT 1 1/2" WIDE LVL FASTEN PLYS W/ (3) ROWS 12D NAILS AT 12" O.C. FROM EACH SIDE.
 - 5A - (3) PLY 14" TO AND 18" TALL (INCLUSIVE); FASTEN PLYS W/ (3) ROWS 16D NAILS AT 12" O.C. FROM EACH SIDE OR ALT 1 1/2" WIDE LVL FASTEN PLYS W/ (4) ROWS 12D NAILS AT 12" O.C. FROM EACH SIDE.
 - 6A - (3) PLY 20" TALL AND OVER; FASTEN PLYS W/ (4) ROWS 16D NAILS AT 12" O.C. FROM EACH SIDE OR ALT 1 1/2" WIDE LVL FASTEN PLYS W/ (5) ROWS 12D NAILS AT 12" O.C. FROM EACH SIDE.
 - 7A - (4) PLY (ALL SIZES); FASTEN PLYS W/ (2) ROWS 1/2" DIAMETER A307 BOLTS AT 24" O.C. SEE SHOP DRAWING FOR ADDITIONAL INFORMATION.

- I-JOIST FLOOR SYSTEM**
1. SUBFLOOR IS 3/4" TONGUE AND GROOVE OSB STANDARD.
 2. JOIST LENGTHS SHIPPED IS THE NEXT HIGHEST LENGTH TO CUT FROM.
 3. ALL RIMBOARD TO BE 1-1/8" THICK UNO.
 4. REFER TO STANDARD DETAIL JT-3 FOR HOLE CUTTING GUIDELINES.
 5. PROVIDE RIMBOARD SOLID BLOCKING AT EXTERIOR WALLS AND BELOW ALL JACKS AS REQUIRED.
 6. REFER TO DETAIL JT-3 FOR HANGER DETAIL.
 7. ALL JOISTS TO BE PR140, PR160 OR PR180. REFERENCE SCHEDULE FOR SPECIFIC SERIES PER MEMBER.
 - A. PR140 SERIES ARE SHOWN AS SHADED ON FRAMING PLAN.
 8. SEE CONNECTOR / NAIL CHART IN STANDARD DETAILS (FC-4) FOR TYPICAL HANGERS.
 10. ALL LVL BLOCKING CUT FROM 14'-0" MATERIAL.
 11. ADHESIVE TO BE APPLIED AT THE RATE OF (1) TUBE PER TWO AND ONE-HALF SHEETS; SHEETS ARE TO BE GLUED AND PLACED ONE AT A TIME. **APPLY GLEU TO TONGUE AND GROOVE.**
 12. I-JOIST BLOCKING CUT FROM 2'-0" MATERIAL.
 13. ADHESIVE TO BE ADDED TO ALL JOIST HANGERS PRIOR TO SETTING JOISTS.
 14. J-XXXX SHOP DRAWINGS ARE ASSOCIATED WITH PLANT MODIFIED I-JOISTS OR PLANT BUILT JOIST COMPONENTS.

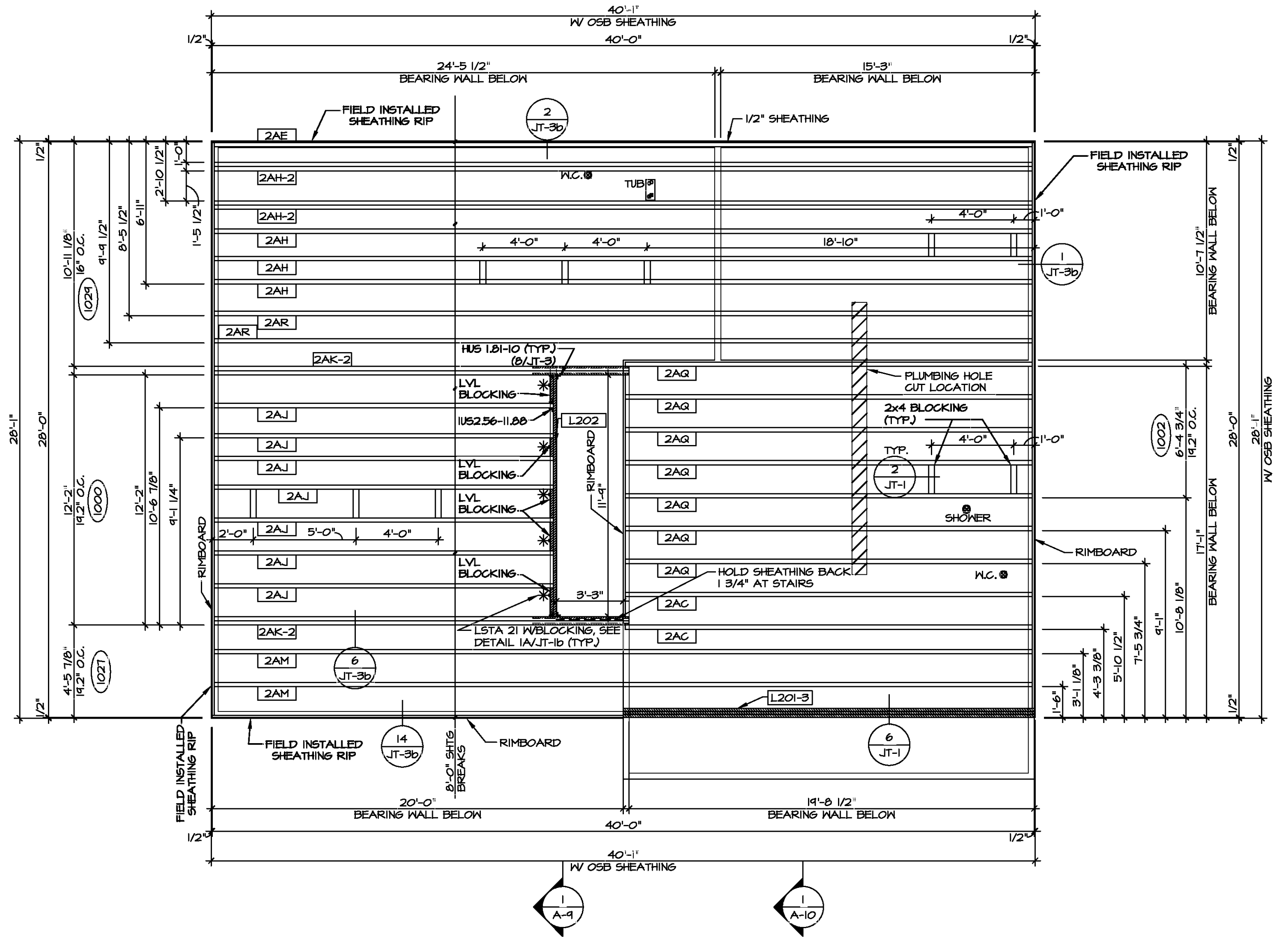
LEGEND

- BEARING WALL
- INDICATES BEARING FROM POINT-LOAD ABOVE
- JACKS
- BEAMHEADER
- PAD FOOTING
- STEEL COLUMN
- TRUSS TIE DOWN
- PORTAL FRAME
- JOIST/TRUSS
- LVL
- ENGINEERING PAGE NUMBER

SEE FC DETAILS FOR FRAMING CONNECTORS



2 JOIST HOLE CUTS
SCALE: 1/4" = 1'-0"



1 SECOND FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

MODEL: CEDAR
DRAWING TITLE: SECOND FLOOR JOIST LAYOUT
OPTION DESCRIPTION: 20

SHEET NO. S-2

SET NO. CDROO
VERSION 01
DRAWN BY:
DATE:
OPTION

DIV-COMM-LOT-UNIT
COM-LOT
STREET ADDRESS
CITY
STATE
APT. NO.
ZIP

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5285 Walkers Lane
Frederick, MD 21703

VA-As-Sold-2-05a ASDA 2021 And Full-Compliance RHA DETACHED CEDAR CDROO-01\ELC-P-06-013A 20 S-2 JS12 LS.dwg 09/03/21 - 11:07 am



TRUSS SCHEDULE					
IDENTIFIER	SPECS	TRUSS NUMBER	LENGTH	ROOF PITCH (X/12)	TYPE
AA	SE	16903	28'-0"	6/12	COMMON
AB	SE	16904	28'-0"	6/12	SPECIAL
AC	SE	16900	3'-0"	6/12	MONO
AF	SE	16910	28'-0"	6/12	GABLE END
AG	SE	16913	28'-0"	6/12	GABLE END
VO1	VT	43344	4'-0"	6-6/12	VALLEY
VO2	VT	43345	8'-0"	6-6/12	VALLEY
VO3	VT	43346	12'-0"	6-6/12	VALLEY
VO4	VT	43407	16'-0"	6-6/12	VALLEY
VO5	VT	43401	20'-0"	6-6/12	VALLEY

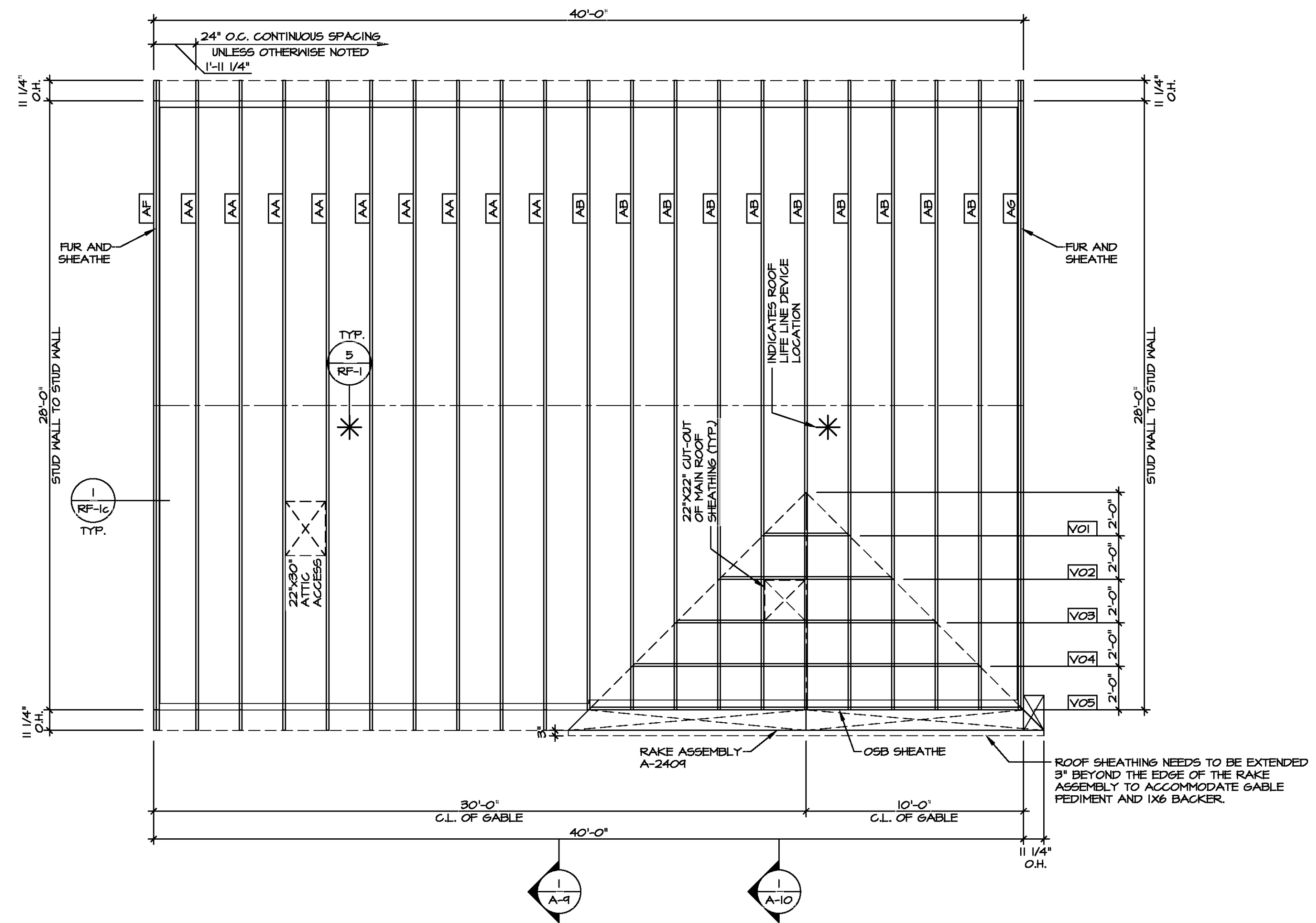
FIELD INSTALLED ROOF FRAMING BEAM/HEADER SCHEDULE				
IDENTIFIER	DESCRIPTION	LENGTH	ENG. NUM.	REMARKS
B301	BEAM BUILT 2X8 - 2 PLY RFF	7'-6"	1012	

- ROOF FRAMING NOTES**
- REFER TO THE STANDARD DETAILS FOR THE FOLLOWING:
 - TRUSS TIE-DOWNS (1/RF-1)
 - TRUSSBACK TRUSS ATTACHMENT (2/RF-1)
 - VALLEY GABLE TRUSS BRACING (3/RF-1)
 - GABLE BRACING (1/RF-1c)
 - TRUSS BRACING (2/RF-1c)
 - LIFELINE ATTACHMENT (5/RF-1)
 - FALL PROTECTION ON PLATFORM TRUSSES (1/RF-1)
 - IF TRUSS DOES NOT APPEAR ON THE TRUSS BRACING SHEET, NO ADDITIONAL LATERAL BRACING REQUIRED.

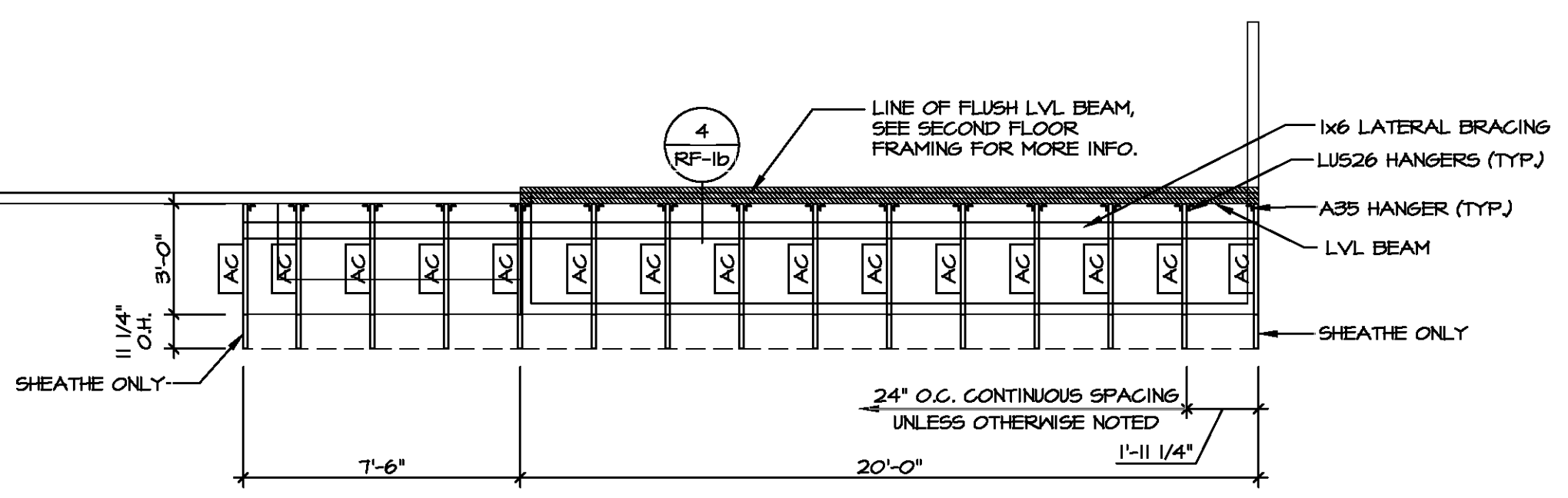
LEGEND

- BEARING WALL
- NON BEARING WALL
- INDICATES BEARING FROM POINT-LOAD ABOVE
- JACKS
- BEAM/HEADER
- PAD FOOTING
- STEEL COLUMN
- TRUSS TIE DOWN
- PORTAL FRAME
- JOIST/TRUSS
- LVL
- ENGINEERING PAGE NUMBER

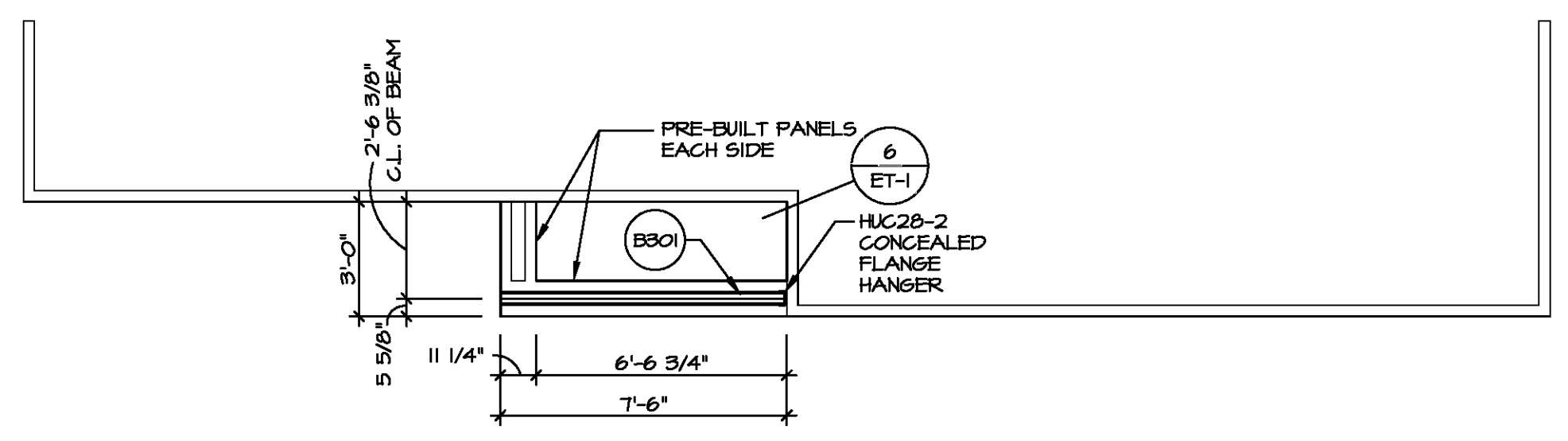
SEE FC DETAILS FOR FRAMING CONNECTORS



1 ROOF FRAMING
SCALE: 1/4" = 1'-0"



4 PARTIAL ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"



5 PORCH BEAM PLAN
SCALE: 1/4" = 1'-0"

DIV.-COMM.-LOT-UNIT

COM.-LOT

STREET ADDRESS

CITY

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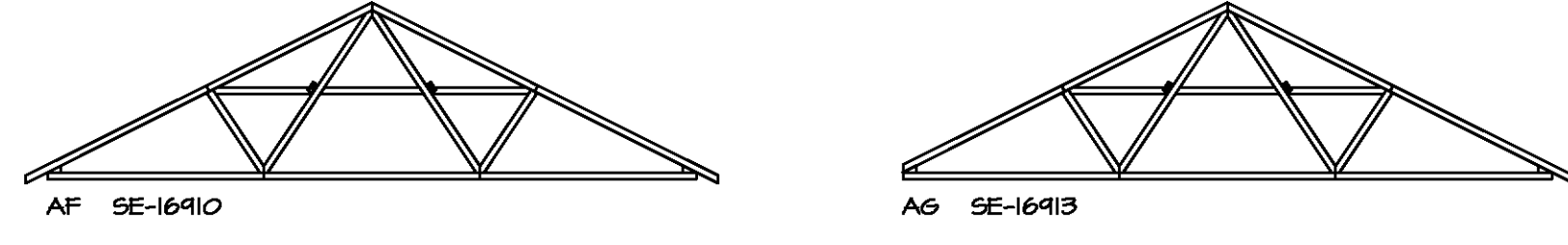
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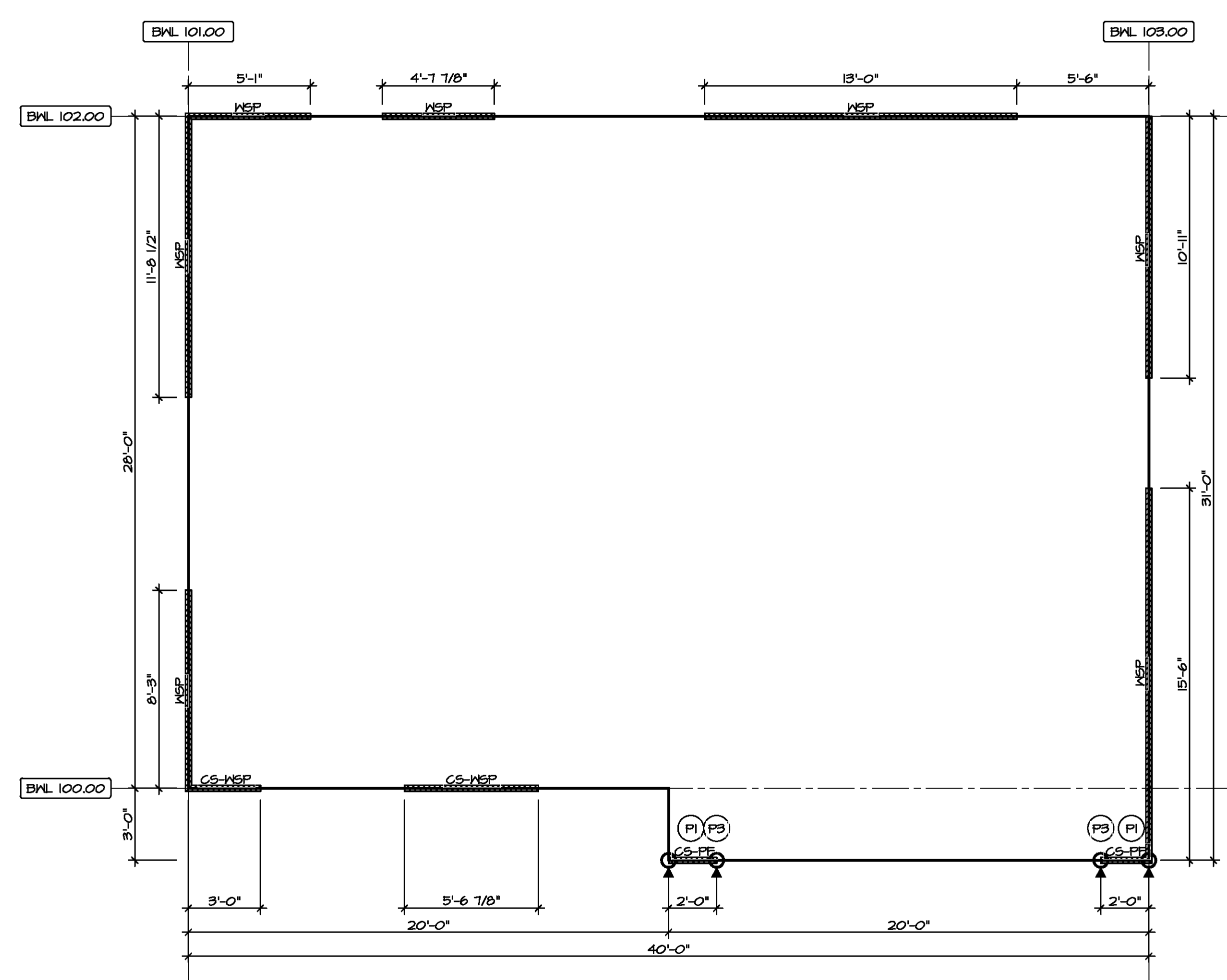
MODEL	CEDAR
DRAWING TITLE	ROOF FRAMING
OPTION DESCRIPTION	
SHEET NO.	S-3
OPTION	21



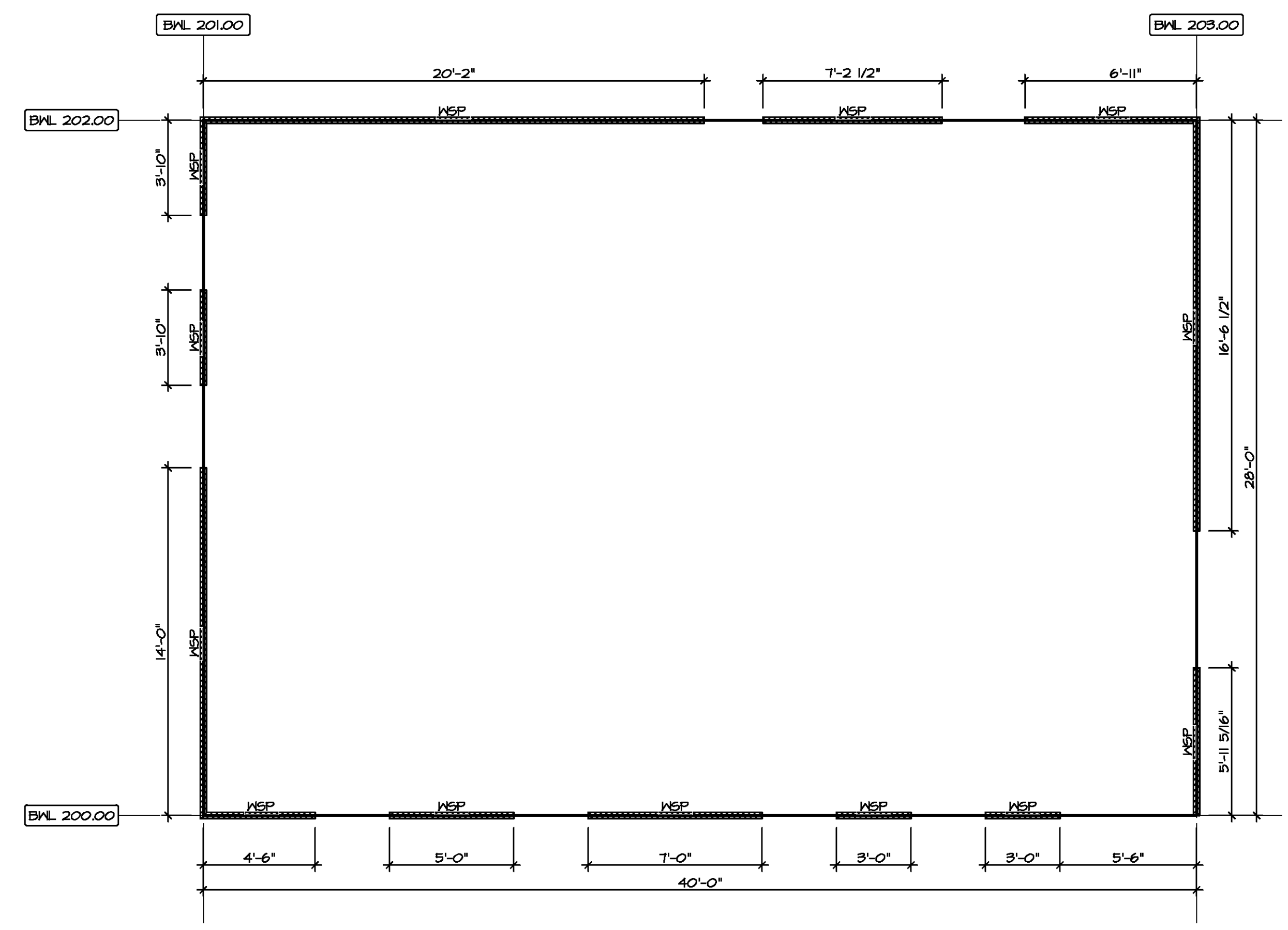
3
TRUSS BRACING DETAILS
 SCALE: 1/8" = 1'-0"

- TRUSS BRACING NOTES**
1. IF TRUSS DOES NOT APPEAR ON THIS TRUSS BRACING SHEET, NO ADDITIONAL LATERAL BRACING IS REQUIRED.
 2. 1X6 SPP#2 LATERAL BRACES SHALL BE NAILED TO MINIMUM (3) TRUSS MEMBERS WITH MINIMUM (2) 10D NAILS. PROVISIONS MUST BE MADE AT ENDS OR SPECIFIED INTERVALS TO RESTRAIN OR ANCHOR LATERAL BRACING.
 3. WEB "T" BRACE, DETAIL 3/RF-1c, IS REQUIRED WHERE LATERAL BRACING IS NOT CONTINUOUS ACROSS THREE (3) OR MORE TRUSSES AND MAY BE USED IN LIEU OF 1X6 LATERAL BRACING.
 4. DIAGONAL BRACING REQUIRED WHEN LATERAL BRACING IS REQUIRED (1/RF-1)
 5. STUDDED GABLE BRACING DETAIL 1/RF-1c TO BE UTILIZED FOR TRUSSES 6'-4" IN HEIGHT OR GREATER.
 6. PARTIALLY SHEATHED GABLES, SEE 5/RF-1c FOR "L" BRACING WHEN REQUIRED.
 7. LATERAL BRACING CAN BE APPLIED TO EITHER SIDE OF THE WEB MEMBER IDENTIFIED IN THE DRAWING.
 8. SHEATHING (OSB OR GYPSUM) REPLACES LATERAL AND DIAGONAL TRUSS BRACING.

SHEET NO. S-4	MODEL CEDAR DRAWING TITLE TRUSS BRACING DETAILS OPTION DESCRIPTION 22	SET NO. CDROO VERSION O1 DRAWN BY DATE: OPTION	DIV-COMM-LOT-UNIT COM-LOT STREET ADDRESS CITY STATE ZIP
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**FIRST FLOOR
BRACED WALL DETAIL**
SCALE: 1/4" = 1'-0"



**SECOND FLOOR
BRACED WALL DETAIL**
SCALE: 1/4" = 1'-0"

LEGEND

BWL XXXXX BRACED WALL LINE I.D.
 --- BRACED WALL LINE
 --- HOUSE WALL
 BRACED WALL PANEL
 WSP WOOD STRUCTURAL PANEL
 GB GYPSUM BOARD (1) SIDED OR (2) SIDED
 GB-BW GYPSUM BOARD BLOCKED WALL CONSTRUCTION (1) SIDED OR (2) SIDED (SEE STANDARD DETAIL 6/MB-2)
 LIB LET-IN BRACING (SEE STANDARD DETAIL F / MB-2)
 CS-WSP CONTINUOUS SHEATHING - WOOD STRUCTURAL PANEL
 CS-PF CONTINUOUS SHEATHING - PORTAL FRAME, SEE FLOOR PLANS FOR PORTAL FRAME HEADER INFORMATION (SEE STANDARD DETAIL A, C / MB-2)
 CS-G CONTINUOUS SHEATHING - WOOD STRUCTURAL PANEL ADJACENT TO GARAGE OPENINGS
 O HOLD-DOWN
 1. SEE SHEET MB-2 "P..." INDICATOR SCHEDULE AND DETAILS
 2. ARROW INDICATES LOCATION

NOTES:
 HOUSE HAS BEEN ANALYZED UTILIZING A PRESCRIPTIVE METHOD IN COMPLIANCE WITH INTERNATIONAL RESIDENTIAL CODES (IRC) UNLESS OTHERWISE NOTED.

FASTENING SCHEDULE

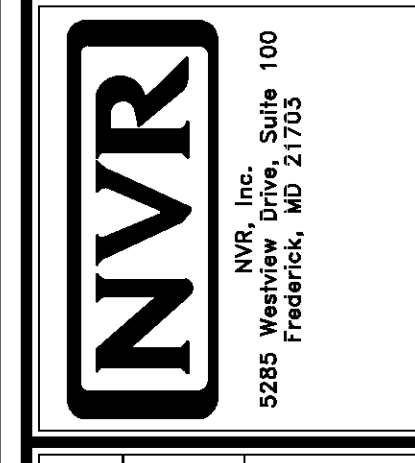
SHEATHING	FASTENER	SPACING	
		EDGES	FIELD
7/16" WOOD STRUCTURAL PANELS OR EQUIVALENT (W METHOD WSP, CS-WSP, CS-G)	8d COMMON NAILS ALTERNATIVE FASTENER 1-3/4" 16-GAUGE CORROSION RESISTANT STAPLES	6" O.C.	12" O.C.
1/2" GYPSUM WALLBOARD (W METHOD GB-1, GB-2)	1-1/4" LONG, 1/4" HEAD, 20# DIA. ANNULAR-RINGED NAILS CORROSION RESISTANT TYPE W 1-1/4" DRYWALL SCREWS	7" O.C.	7" O.C.
LAMINATED FIBROUS STRUCTURAL SHEATHING	10d X 1 1/4" GALVANIZED ROOFING NAILS 1-1/4" 16-GAUGE CORROSION RESISTANT STAPLES	3" O.C.	3" O.C.
1/2" GYPSUM WALLBOARD BLOCKED AT THE EDGES (W METHOD GB-BW-1, GB-BW-2)	BLOCKING REQUIRED AT ALL GYPSUM EDGES. USED CORROSION RESISTANT TYPE W 1-1/4" DRYWALL SCREWS	4" O.C.	12" O.C.

NOTES:
 1. MINIMUM 7/16" CROWN WIDTH FOR STAPLES IN WOOD STRUCTURAL PANEL.
 2. SPECIFIED GYPSUM FASTENERS REQUIRED ONLY WHERE METHOD GB IS IDENTIFIED. SEE PHASE SPECS FOR TYPICAL GYPSUM FASTENER SPACING.
 3. USE OF STAPLES IN WOOD STRUCTURAL PANEL AS FASTENING METHOD ON WALLS PER ENGINEERED ALTERNATIVE.

BRACED WALL LINE SCHEDULE

WIND SPEED (ULT)	IDENTIFIER	ACTUAL (FT)	REQUIRED (FT)	METHOD
130 MPH	BWL 100.00	14.51'	9.36'	CONTINUOUS (2 SIDES)
130 MPH	BWL 101.00	19.96'	14.78'	WSP (2 SIDES)
130 MPH	BWL 102.00	22.14'	10.73'	WSP (2 SIDES)
130 MPH	BWL 103.00	26.42'	15.29'	WSP (2 SIDES)
130 MPH	BWL 200.00	21.00'	5.18'	WSP (2 SIDES)
130 MPH	BWL 201.00	21.32'	7.06'	WSP (2 SIDES)
130 MPH	BWL 202.00	34.24'	5.18'	WSP (2 SIDES)
130 MPH	BWL 203.00	25.13'	7.06'	WSP (2 SIDES)

DIV-COMM-LOT-UNIT
 COMM-LOT
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SET NO. CDROO
 VERSION 01
 DRAWN BY
 DATE:
 OPTION

MODEL CEDAR
 DRAWING TITLE BRACED WALL PANEL DETAIL
 OPTION DESCRIPTION

SHEET NO. S-5
 23