

Adams Soil Consulting
1676 Mitchell Road
Angier, NC 27501
919-414-6761

August 23, 2021
Project #1246

Streamline Land Surveying, Inc.
Attention: Robert Godwin
870 NC 55 W
Coats, NC 27521

Harnett County Minor Subdivision Report

RE: Soil/Site evaluation for lot #1 & #3 of the minor subdivision for Davis and Ahrens located adjacent to adjacent to 810 McLamb Road in Harnett County, NC

Mr. Godwin:

Adams Soil Consulting (ASC) completed a soils evaluation per your request for the above referenced minor subdivision in Harnett County. The soil/site evaluation was performed using hand auger borings, under moist soil conditions, based on the criteria found in the State Subsurface Rules, 15ANCAC 18A .1900 "Laws and Rules for Sewage Treatment and Disposal Systems".

At the time of the evaluation the lot contained an existing home and associated gravity septic system. The existing septic system was approximately located and the apparent location is shown on the attached soil map. The septic system will be apparently located within the new property boundaries with at least 10 feet of separation from a new property line. There were no indications of past or present septic system failure observed at the time of evaluation. The soils on lot#1 contain potentially sufficient suitable soils for conventional type repair septic system for at least one 4-bedroom home should a repair be required in the future. Lot #1 contains greater than 8,000 ft² of suitable soils that consist of sandy loam or sandy clay loam subsoils that can support a daily loading rate of 0.3-0.0.4 gallons/day/ft².

At the time of evaluation Lot #3 was vacant. The suitable soils shown on the accompanying soil map have potential for a conventional, modified conventional, or alternative type initial and repair area for at least one single family home site. The lot contain greater than 20,000 ft² of provisionally suitable soils that consist of a sandy clay loam subsoil that can support a daily loading rate of 0.3-0.6 gallons/day/ft². The lot should accommodate a house foot print of at least 60' x 60'. The entire parcel was not evaluated.

Any potential specific septic repair system will be permitted by the Harnett County Health Department. Additionally, the Harnett County Health Department will establish the loading rates for any proposed system. The areas for the proposed septic field shall not be impacted by home sites, pools, garages and shall not be mechanically altered from the natural lay of the land.

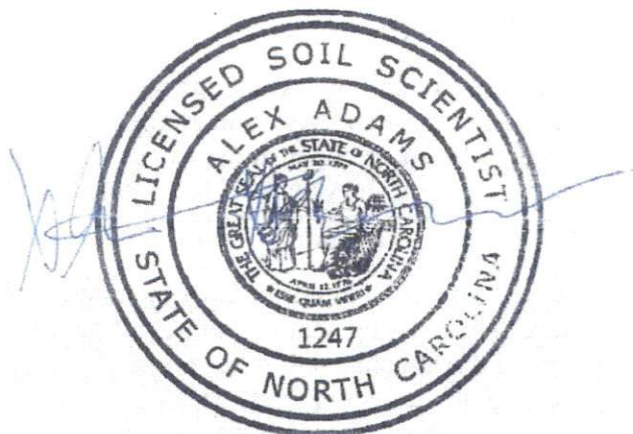
The lot will require a detailed soils evaluation by the Harnett County Health Department prior to issuance of any permits for a septic system. A septic system layout/design may be required before a permit can be issued on the above referenced lot demonstrating available space for the repair septic areas. Due to the subjective nature of the permitting process and the variability of naturally occurring soils, Adams Soil Consulting cannot guarantee that areas delineated as suitable for on-site wastewater disposal systems will be permitted by the governing agency. The lots may require a repair septic system utilizing pumps, shallow or ultra-shallow conventional trench placement, low pressure pipe system, and/or reductions system for final approval. The accompanying soil map is preliminary in nature, no further assumptions or subdivision should be made without a more detailed evaluation.

Please give me a call if you have any questions.

Sincerely,



Alex Adams
NC Licensed Soil Scientist #1247



Invoice

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Invoice No.: 1246

To: Davis and Ahrens

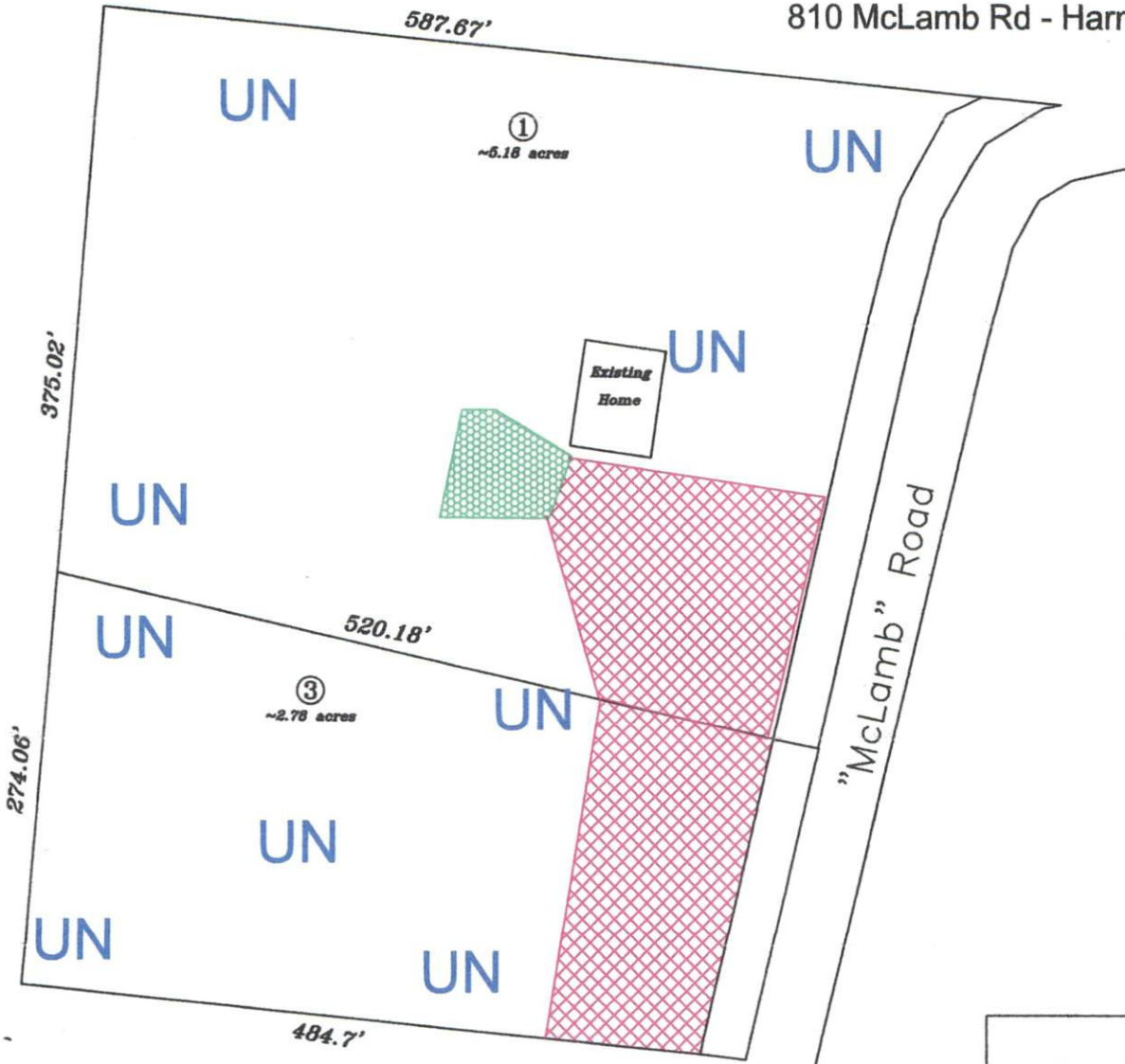
	Description		Amount
	Preliminary Soil Evaluation and subdivision map and report. 810 McLamb Road, Harnett County Lots 1 and 3		\$400
		Total Due	\$400

Make all checks payable to:
Adams Soil Consulting

If you have any questions concerning this invoice, call:
Alex Adams, 919-414-6761



8/23/2021
pd ck# 3155
Deborah K. Appel
Robert James Appel

Preliminary Soil Evaluation
 Lot #1 & 3
 810 McLamb Rd - Harnett County NC

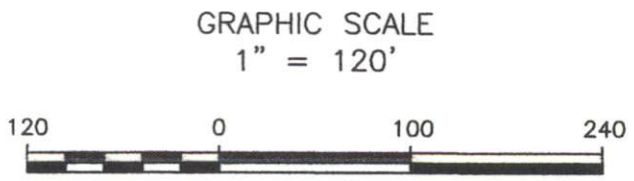


*Not a Survey
 (sketched from a preliminary plat)

Legend

-  Areas contain soils with 30 inches or more of useable material and have potential for conventional, modified conventional, LPP or ultra-shallow conventional septic systems. There may be inclusion of soils 24-29 inches to a restrictive horizon that will have potential for LPP septic systems.
-  Approximate location of existing gravity septic system
- UN** Unsuitable areas or Areas Not Evaluated

- *Preliminary Soils Evaluation
- *Soil boundary was sketched onto a background map of the property taken from the client's surveyor.
- *Not a Survey.
- *Septic system setbacks listed below for new lots.
 - 1) 10' from property lines.
 - 2) 100' from wells for primary systems.
 - 3) 50' from surface waters (streams, ponds, lakes).
- *Any mechanical disturbances such as grading, cutting and filling of the suitable soil areas can render areas unsuitable for future septic systems.
- *See accompanying report for additional information.
- *Due to Soil Variability, Adams soil consulting cannot guarantee that the areas shown as suitable will be permitted by the local Health Department.



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