

JORDAN

JORDAN

REVISION LIST - STRUCTURAL:

- 1) CODE UPDATE TO SRC 2018 (1-20)
- 2) CHANGE 2X6 EXTERIOR WALLS TO 2M EXTERIOR WALLS. (5-1-20)
- 3) ADDED BASEMENT PLAN WHICH EXTENDS GARAGE FRONT 2'0". (5-1-20)

ACX000196

INVENTORY

JORDAN

REVISION LIST - ARCHITECTURAL:

- 1) UPDATE DOORS TO 30" HIGH AND 24" WIDE. (5-1-20)
- 2) REMOVE GLASS INSERTS FROM GARAGE WINDOWS AND REMOVE METAL ACCESSORIES TO P-20.
- 3) REMOVE GLASS INSERTS FROM GARAGE WINDOWS AND REMOVE METAL ACCESSORIES TO P-20.
- 4) UPDATE CUTSHEETS TO MEET HIGH STANDARDS. (5-1-20)
- 5) ADDED OPTIONAL GLASS INSERTS TO TOP WINDOWS ONLY TO GARAGE DOORS. (5-1-20)
- 6) CHANGED THE CORNERBOARDS FROM 6" TO 4". (5-1-20)
- 7) REMOVED OPTIONAL KITCHEN CAN AND REPLACED WITH FLUORESCENT LIGHT IN THE KITCHEN. (5-1-20)
- 8) CHANGE LOCATION OF THE HOSE BIBBS. (5-1-20)
- 9) ADDED OPTIONAL GAS LINE. NOTE AT P-10. (5-1-20)
- 10) CHANGED REFRIGERATOR, WASHER, AND DRYER TO OPTIONAL COMPONENTS. (5-1-20)
- 11) CHANGE COPPERED CEILING IN DINING TO OPTIONAL WITH DETAIL. (5-1-20)
- 12) ADDED WEATHERING STRIPPING AT 20 X 40 SOLID FLOOR. (5-1-20)
- 13) ADDED NOTE TO REMOVE (0-30-50) WINDOW FOR BEDROOM #5 OPTION. (5-1-20)
- 14) REMOVED GRILLS FROM SIDE AND REAR WINDOWS. (5-1-20)
- 15) CHANGED 30 X 40 WINDOW IN LOFT TO STANDARD. (5-1-20)
- 16) UPDATED STONE HATCH ON ELEVATIONS. (5-1-20)
- 17) REMOVED ALL TV OUTLETS, PHONE OUTLETS, AND ELECTRICAL OUTLETS EXCEPT FLOOR OUTLETS. (5-1-20)
- 18) ADDED (C3) DETECTORS PER LOCAL CODE. (5-1-20)
- 19) CHANGED CEILING FANS TO OPTIONAL AND CHANGE THE LIGHTS TO PREWIRE. (5-1-20)
- 20) ADDED CRACKETS TO FRONT ELEVATIONS. (5-1-20)
- 21) UPDATED THE ELEVATION COORDINATES TO MATCH THE ELECTRICAL PLANS. (5-1-20)
- 22) CREATED ADDITIONAL SHEETS FOR FIRST FLOOR AND SECOND FLOOR OPTIONS (M4.L1, A6.L1, L1.E.1, AND L4) AND REMOVED OPTIONS FROM BASE SHEETS. (5-1-20)
- 23) ADDED DIMENSION FOR WATER TABLE TO FINISH FLOOR ON ELEVATION. (5-1-20)
- 24) ADDED INSULATION DETAIL TO FIRST AND SECOND FLOOR SHEETS. (5-1-20)
- 25) ADDED OPTIONAL (3) RECESSED LIGHTING AND SWITCHES IN FAMILY ROOM. (5-1-20)
- 26) ADDED SHEET 7.0 FOR FLOOR PLAN EXTERIOR SURFACES LAYOUTS. (5-1-20)
- 27) CREATED OWNERS BATH 2 AND OWNERS BATH 3. (5-1-20)
- 28) ADDED SHOWER DETAIL FOR OPTIONAL OWNERS BATH 3. (5-1-20)
- 29) UPDATED CUTSHEETS. (5-1-20)
- 30) CHANGED OWNERS BATH #3 WINDOW FROM 2'0-2'0" WINDOW TO 2'0-4'0" TEMP. (5-1-20)
- 31) ADDED PATIO W/ EXTENDED PATIO OPTIONS. (5-1-20)
- 32) ADDED OPTIONAL BASEMENT PLAN. (5-1-20)
- 33) ADDED CHANGES TO OPTIONS WHEN BASEMENT OPTIONS SELECTED. (5-1-20)
- 34) REVISED SHUTTERS ON ELEVATIONS B TO BE 18X6. (5-1-20)
- 35) REMOVED HARDWARE FROM SHUTTERS ON ELEVATION C. (5-1-20)
- 36) REMOVED LIGHT COVER KITCHEN SINK (7-8-20)
- 37) REMOVED NOTE "KEYERS" FROM GARAGE CHANGED TO STANDARD CEILING MOUNTED LIGHT (7-8-20)
- 38) CHANGED STANDARD LIGHT IN KITCHEN FROM 2'0" RFLB FLUORESCENT TO 3' BUILD CEILING MOUNT (7-8-20)
- 39) CHANGED SWING OF SERVICE DOOR IN GARAGE TO OUT SWING (SEE SHEET A6.1) (7-8-20)
- 40) REMOVED LIGHT IN SECONDARY BATH OVER TUB/SHOWER COMBO (7-8-20)
- 41) REMOVED RECESSED ENTERTAINMENT BOX OVER FIREPLACE (7-8-20)
- 42) CHANGED WINDOW TO OWNERS BATH 1 TO 40X14" TRANSOM WINDOW (7-8-20)
- 43) ADDED CABLE FURNISHING DETAIL TO B ELEVATIONS

H&H HOMES
JORDAN

DATE: MARCH 15, 2019
DRAWN BY:
ENGINEERED BY:
REVIEWED BY:



COVER SHEET



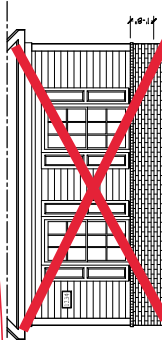
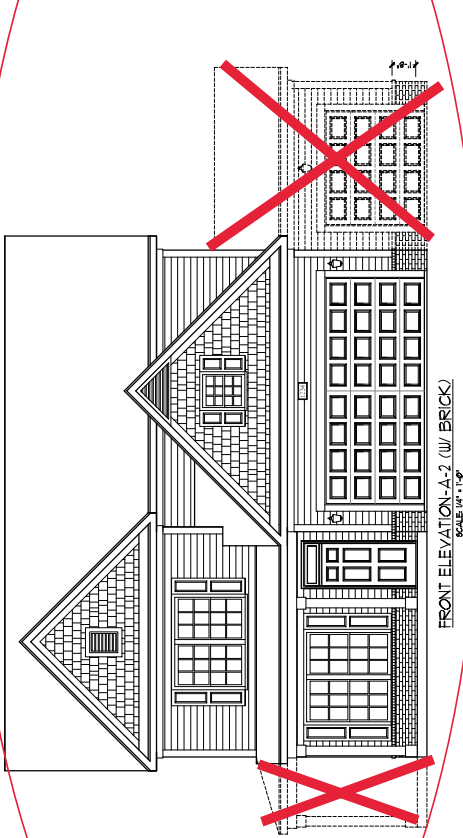


THIS ARCHITECTURE INCLUDES PERMITS FOR THE GARAGE OPTION. THE GARAGE OPTION IS NOT AVAILABLE WITH THE SIDE LOAD GARAGE OPTION. THE GARAGE OPTION IS NOT AVAILABLE WITH THE SIDE LOAD GARAGE OPTION. THE GARAGE OPTION IS NOT AVAILABLE WITH THE SIDE LOAD GARAGE OPTION.

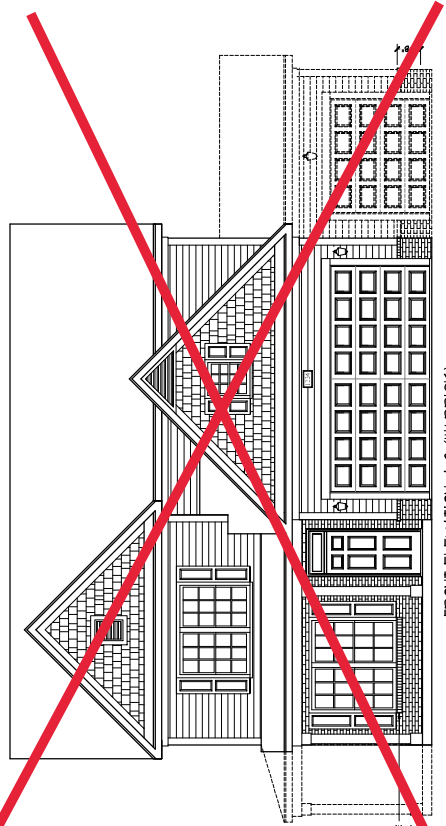
JORDAN
H&H HOMES, INC.

DATE: MARCH 15, 2019
REV: MAY 01, 2020
SCALE AS NOTED
DRAWN BY:
ENGINEERED BY:
REVIEWED BY:
A-2 & A-3
ELEVATIONS
WITH BRICK

A-1.2



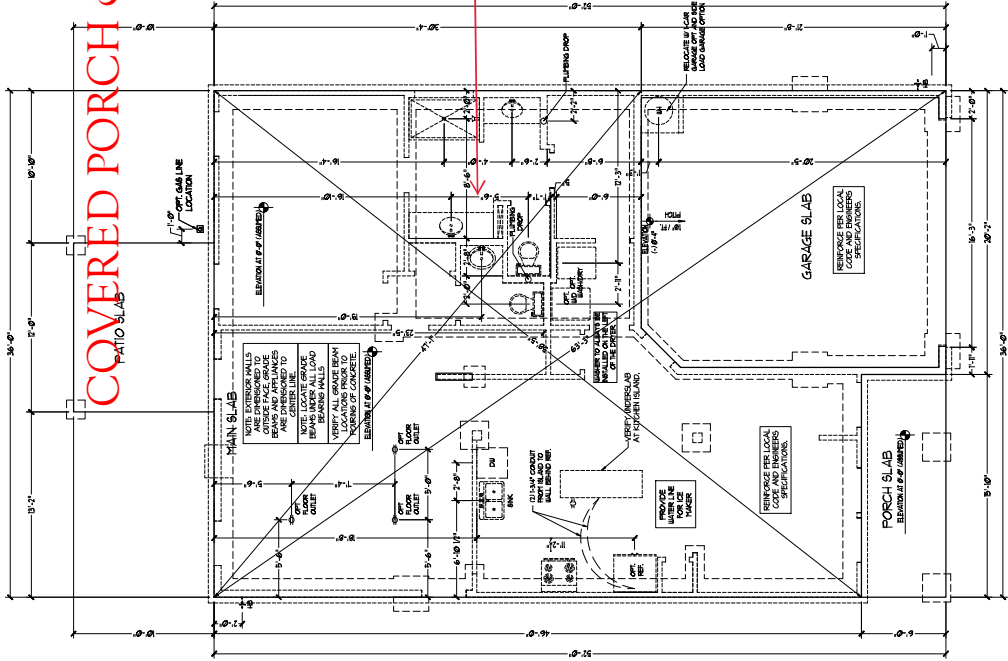
(NOT AVAILABLE WITH OPTIONAL ONE-CAR GARAGE)
SCALE 1/4" = 1'-0"



BRICK OR BRICK
LOOKS OR BRICK

COVERED PORCH & PATIO

OWNERS BATH 2



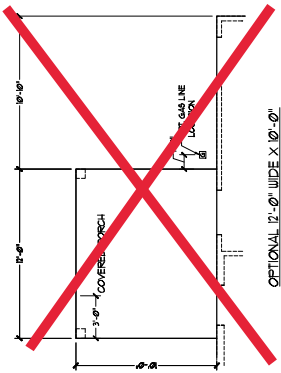
FOUNDATION PLAN
A-1

J.S. THOMPSON
 ARCHITECTURE, INC.
 1000 N. W. 10th St.
 Ft. Lauderdale, FL 33304
 PHONE: (954) 561-9999
 FAX: (954) 561-2111

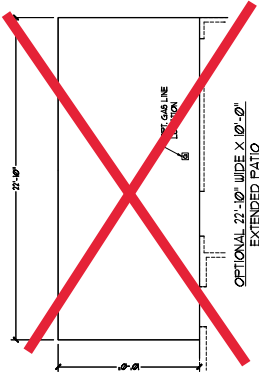


THIS FOUNDATION PLAN IS A PART OF THE SET OF CONTRACT DOCUMENTS FOR THE PROJECT. IT IS TO BE USED IN CONJUNCTION WITH THE OTHER CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS SHOWN ON THIS PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS SHOWN ON THIS PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

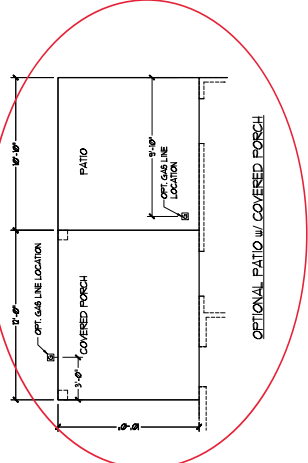
H&H HOMES, INC.
 JORDAN
 DATE: MARCH 15, 2019
 REV: MAY 01, 2020
 SCALE: 1/4"=1'-0"
 DRAWN BY:
 ENGINEERED BY:
 REVIEWED BY:
 SLAB INTERFACE
 PLAN
A-4



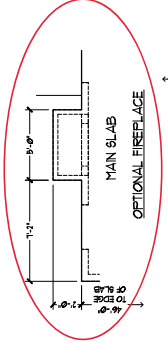
OPTIONAL 17'-0" WIDE X 10'-0" COVERED REAR PORCH



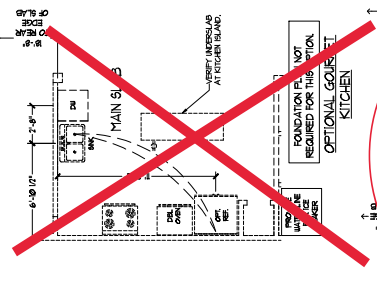
OPTIONAL 27'-0" WIDE X 10'-0" EXTENDED PATIO



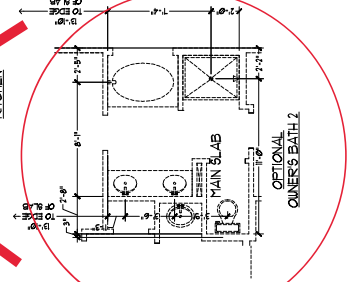
OPTIONAL PATIO W/ COVERED PORCH



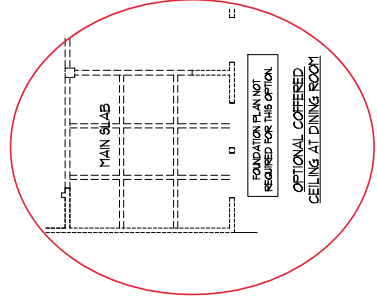
OPTIONAL FIREPLACE



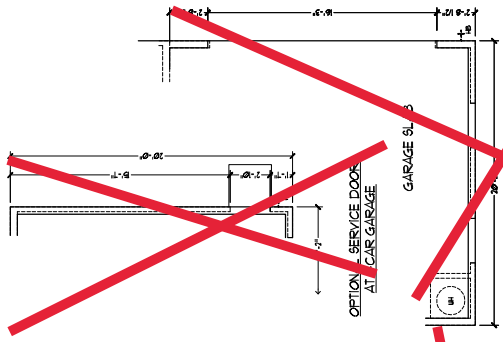
OPTIONAL GOURMET KITCHEN



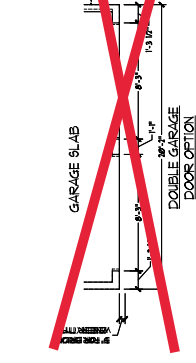
OPTIONAL OWNER'S BATH 2



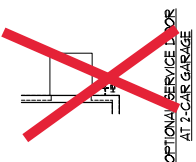
OPTIONAL COVERED GELING AT DINING ROOM



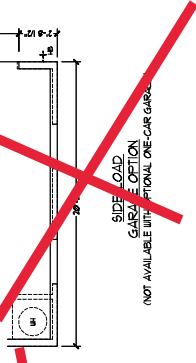
OPTIONAL SERVICE DOOR AT 2-CAR GARAGE



DOUBLE GARAGE DOOR OPTION



OPTIONAL SERVICE DOOR AT 2-CAR GARAGE



SIDE LOAD GARAGE OPTION

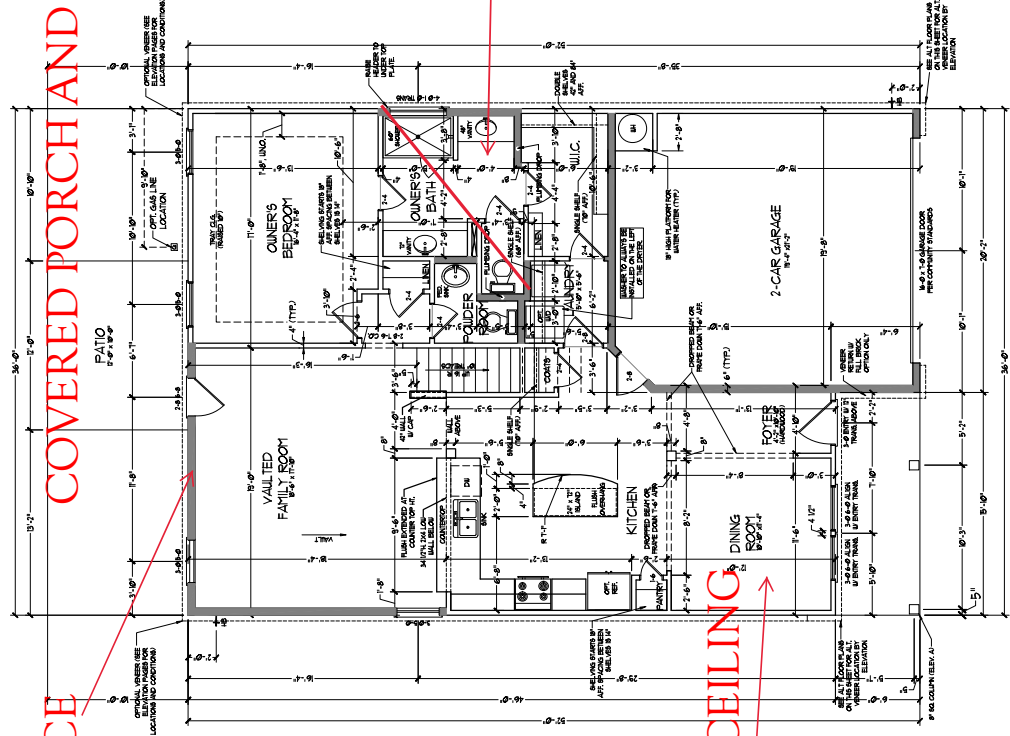
NOT AVAILABLE WITH OPTIONAL ONE-CAR GARAGE

COVERED PORCH AND PATIO

FIREPLACE

COFFERED CEILING

OWNERS BATH 2



FIRST FLOOR PLAN
(ALL DIMENSIONS)

SEE FLOOR PLAN FOR ALL DIMENSIONS AND ELEVATIONS.

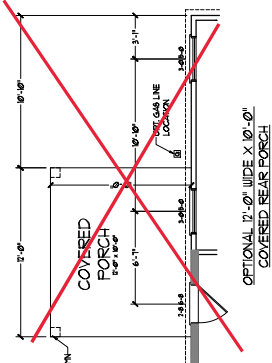
SQUARE FOOTAGE	
1st FLOOR	1,100.00 SF
2nd FLOOR	1,100.00 SF
3rd FLOOR	1,100.00 SF
4th FLOOR	1,100.00 SF
5th FLOOR	1,100.00 SF
6th FLOOR	1,100.00 SF
7th FLOOR	1,100.00 SF
8th FLOOR	1,100.00 SF
9th FLOOR	1,100.00 SF
10th FLOOR	1,100.00 SF
11th FLOOR	1,100.00 SF
12th FLOOR	1,100.00 SF
13th FLOOR	1,100.00 SF
14th FLOOR	1,100.00 SF
15th FLOOR	1,100.00 SF
16th FLOOR	1,100.00 SF
17th FLOOR	1,100.00 SF
18th FLOOR	1,100.00 SF
19th FLOOR	1,100.00 SF
20th FLOOR	1,100.00 SF
21st FLOOR	1,100.00 SF
22nd FLOOR	1,100.00 SF
23rd FLOOR	1,100.00 SF
24th FLOOR	1,100.00 SF
25th FLOOR	1,100.00 SF
26th FLOOR	1,100.00 SF
27th FLOOR	1,100.00 SF
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29th FLOOR	1,100.00 SF
30th FLOOR	1,100.00 SF
31st FLOOR	1,100.00 SF
32nd FLOOR	1,100.00 SF
33rd FLOOR	1,100.00 SF
34th FLOOR	1,100.00 SF
35th FLOOR	1,100.00 SF
36th FLOOR	1,100.00 SF
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56th FLOOR	1,100.00 SF
57th FLOOR	1,100.00 SF
58th FLOOR	1,100.00 SF
59th FLOOR	1,100.00 SF
60th FLOOR	1,100.00 SF
61st FLOOR	1,100.00 SF
62nd FLOOR	1,100.00 SF
63rd FLOOR	1,100.00 SF
64th FLOOR	1,100.00 SF
65th FLOOR	1,100.00 SF
66th FLOOR	1,100.00 SF
67th FLOOR	1,100.00 SF
68th FLOOR	1,100.00 SF
69th FLOOR	1,100.00 SF
70th FLOOR	1,100.00 SF
71st FLOOR	1,100.00 SF
72nd FLOOR	1,100.00 SF
73rd FLOOR	1,100.00 SF
74th FLOOR	1,100.00 SF
75th FLOOR	1,100.00 SF
76th FLOOR	1,100.00 SF
77th FLOOR	1,100.00 SF
78th FLOOR	1,100.00 SF
79th FLOOR	1,100.00 SF
80th FLOOR	1,100.00 SF
81st FLOOR	1,100.00 SF
82nd FLOOR	1,100.00 SF
83rd FLOOR	1,100.00 SF
84th FLOOR	1,100.00 SF
85th FLOOR	1,100.00 SF
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91st FLOOR	1,100.00 SF
92nd FLOOR	1,100.00 SF
93rd FLOOR	1,100.00 SF
94th FLOOR	1,100.00 SF
95th FLOOR	1,100.00 SF
96th FLOOR	1,100.00 SF
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100th FLOOR	1,100.00 SF



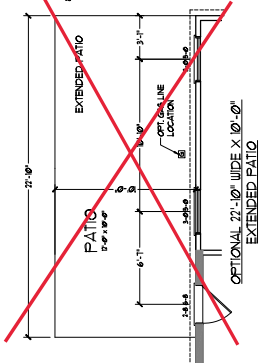
H&H HOMES, INC.
JORDAN

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SCALE: 1/4"=1'-0"
DRAWN BY:
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REVIEWED BY:
FIRST FLOOR PLAN
A-6

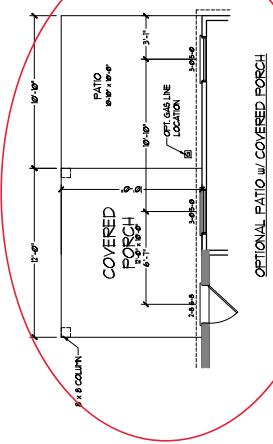
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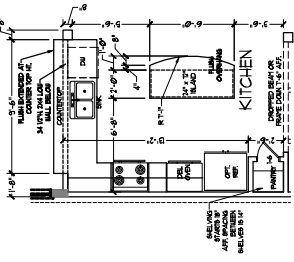
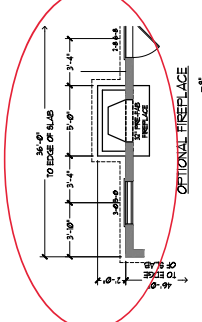
OPTIONAL 10'-0" WIDE X 10'-0" COVERED REAR PORCH



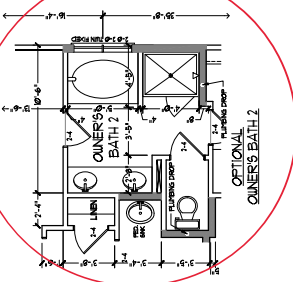
OPTIONAL 10'-0" WIDE X 10'-0" EXTENDED PATIO



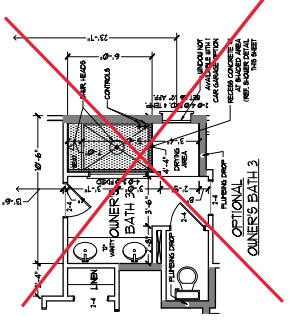
OPTIONAL PATIO w/ COVERED PORCH



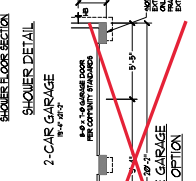
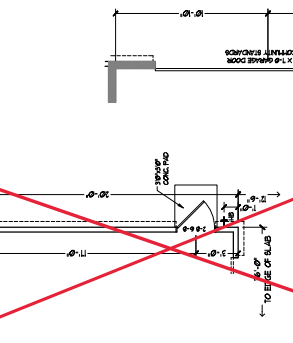
OPTIONAL GOURMET KITCHEN



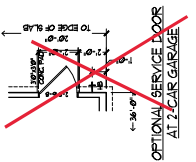
OPTIONAL OWNER'S BATH 2



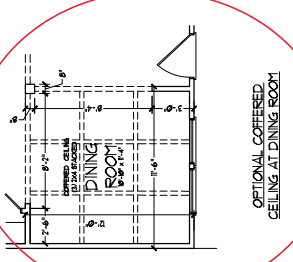
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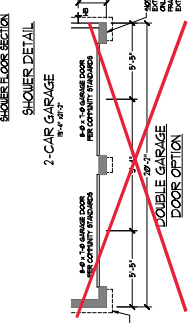
SHOWER FLOOR DETAIL



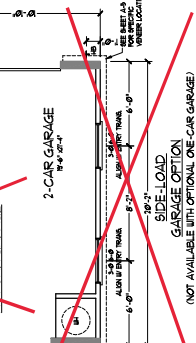
OPTIONAL SERVICE FLOOR AT 2-CAR GARAGE



OPTIONAL COVERED CEILING AT DINING ROOM



2-CAR GARAGE



2-CAR GARAGE

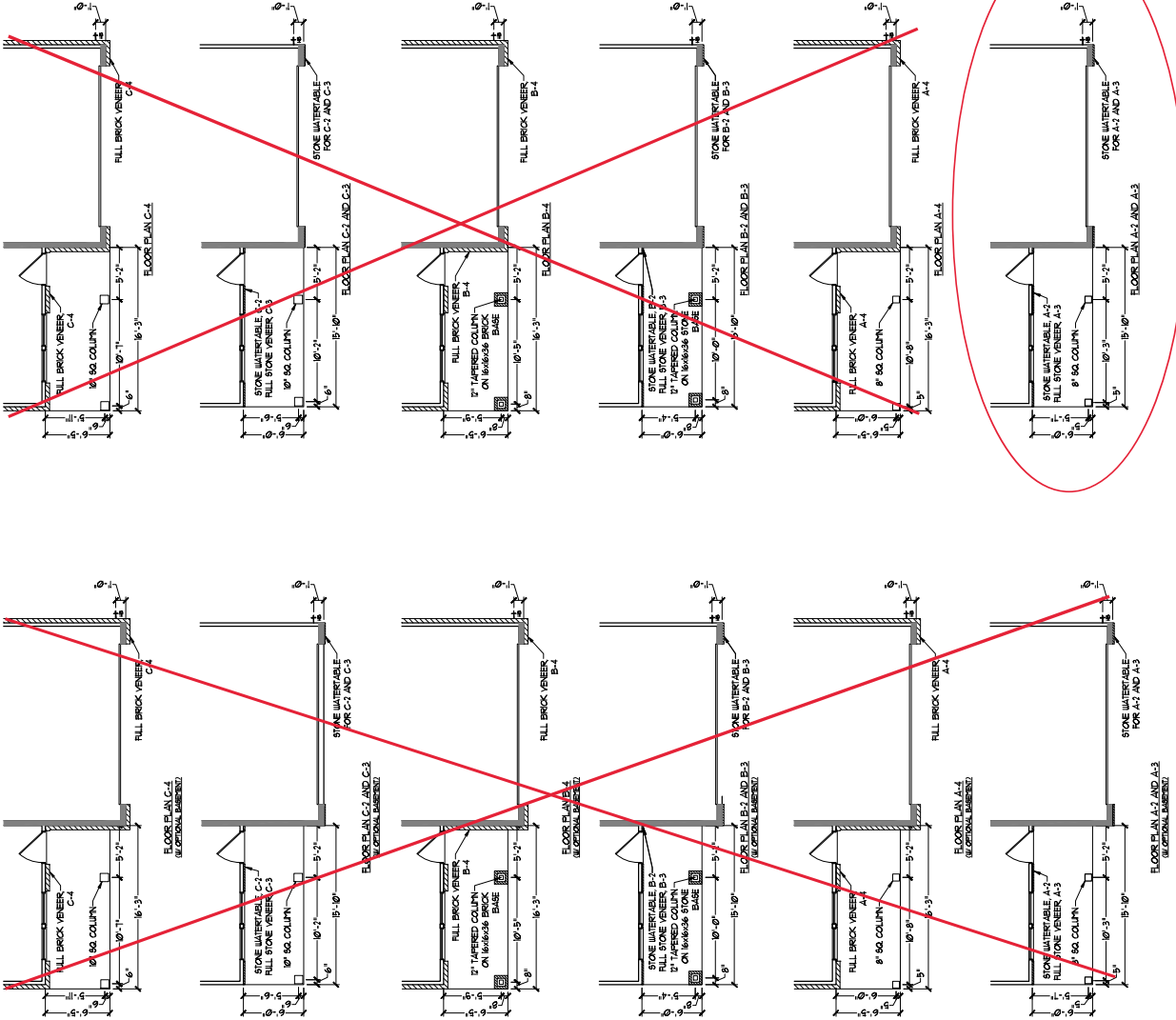
OPTIONAL SERVICE DOOR AT 1-CAR GARAGE

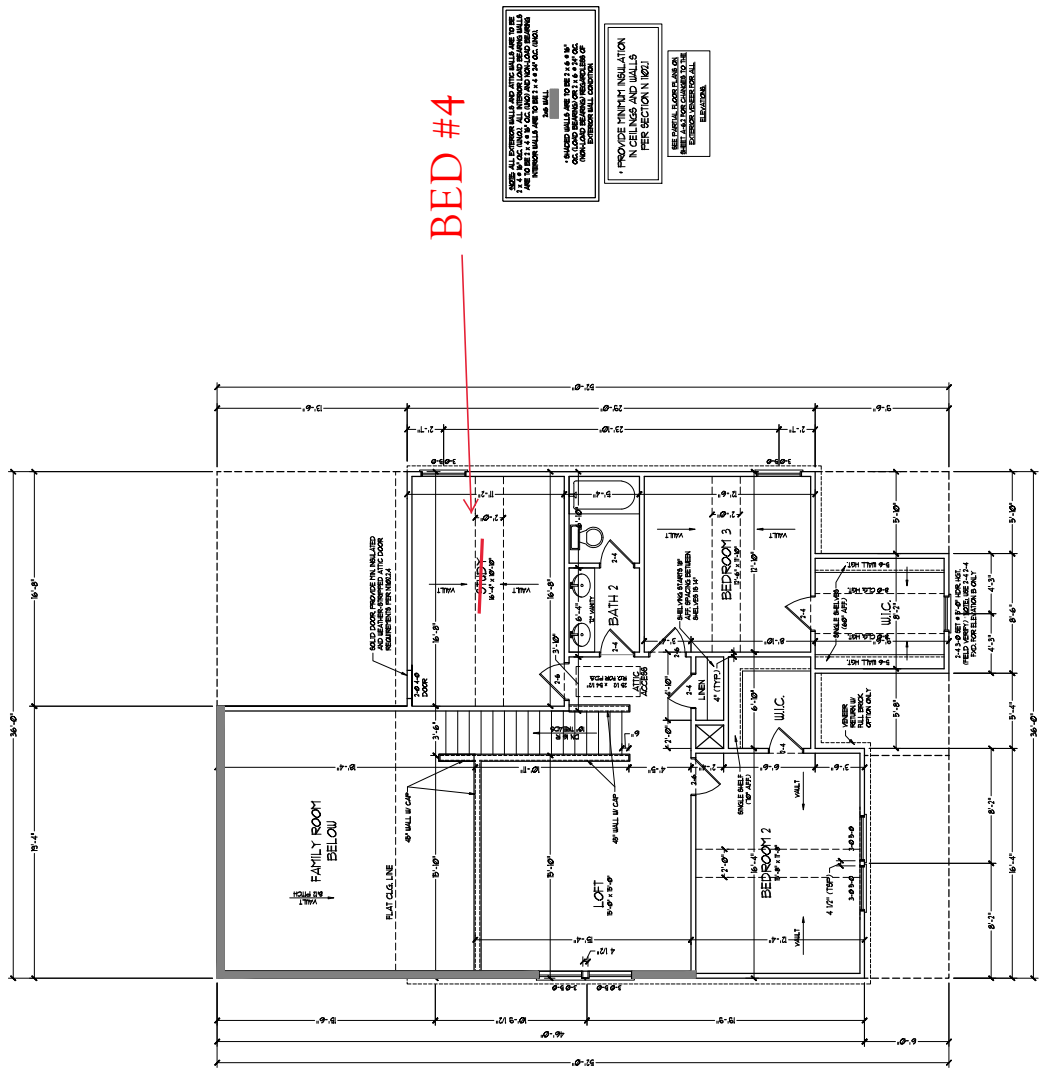
DOUBLE GARAGE DOOR OPTION

OPTIONAL SERVICE FLOOR AT 2-CAR GARAGE

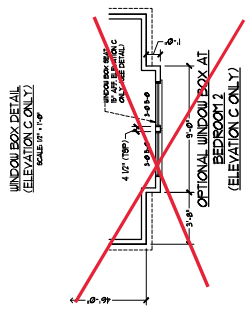
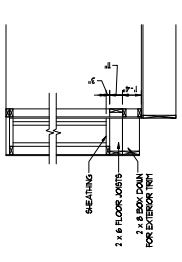
OPTIONAL COVERED CEILING AT DINING ROOM

NOT AVAILABLE WITH OPTIONAL ONE-CAR GARAGE





SECOND FLOOR PLAN
 (ALL DIMENSIONS)

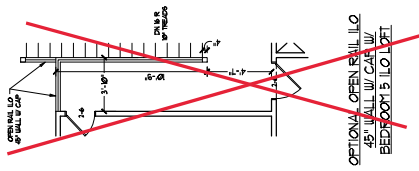
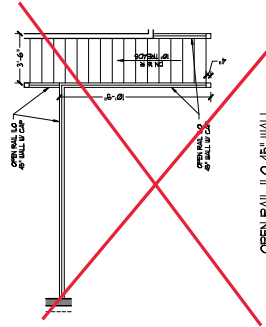
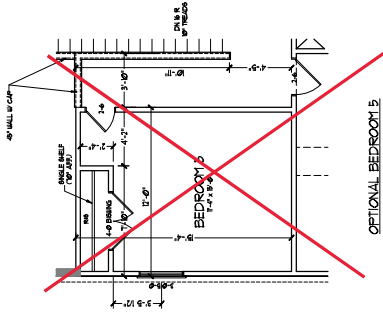
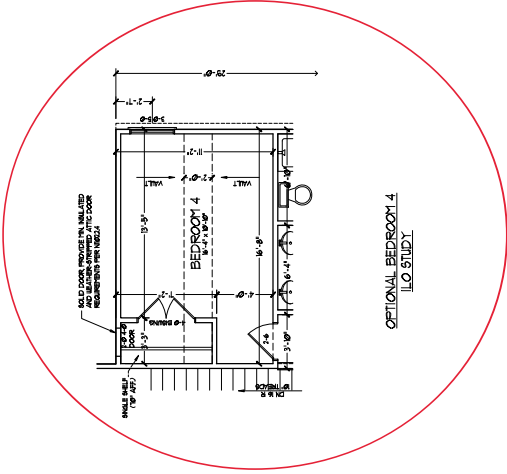


BED #4

WALLS, ALL EXTERIOR WALLS AND INTERIOR WALLS ARE TO BE CONSTRUCTION FRAMEWORK WITH 2" MIN. INSULATION PER SECTION N 10021.
 CEILING, ALL INTERIOR CEILING ARE TO BE CONSTRUCTION FRAMEWORK WITH 2" MIN. INSULATION PER SECTION N 10021.
 FLOOR, ALL FLOOR ARE TO BE CONSTRUCTION FRAMEWORK WITH 2" MIN. INSULATION PER SECTION N 10021.

• PROVIDE MINIMUM INSULATION PER SECTION N 10021
 IN CEILINGS AND WALLS

SEE ELEVATION C FOR WINDOW BOX DETAIL AS SHOWN FOR ELEVATION C ONLY.



J.S. THOMPSON
Interiors, Inc.
 1000 W. 10th Street, Suite 100
 Phoenix, AZ 85009
 Phone: (602) 998-9999
 Fax: (602) 998-9999
 AZ License No. 21713

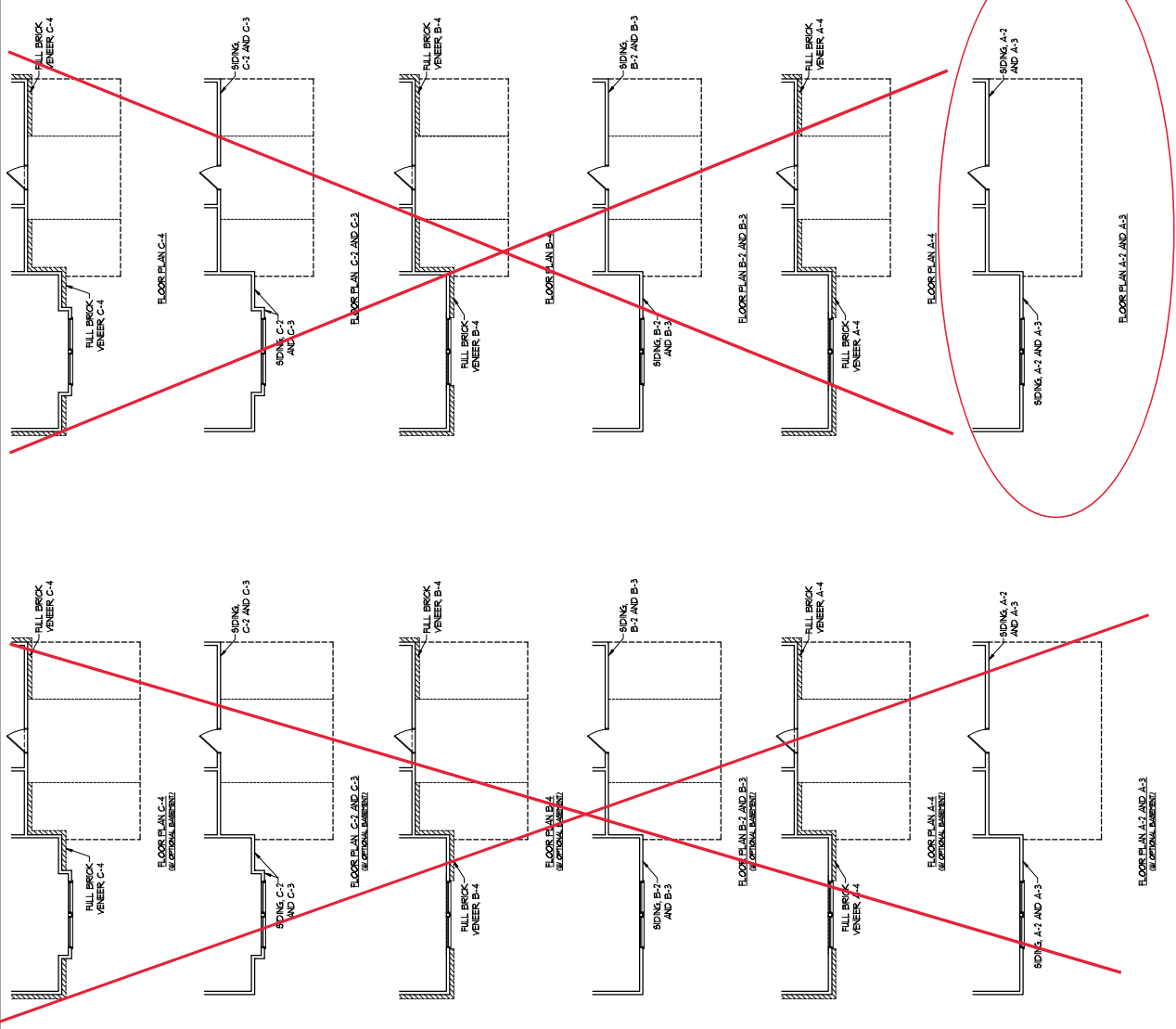


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 REV: MAY 01, 2020
 SCALE: 1/4"=1'-0"
 DRAWN BY:
 ENGINEERED BY:
 REVIEWED BY:

SECOND FLOOR
 PARTIAL PLANS
A-7.2



~~FLOOR PLAN C-1
 (OPTIONAL ELEMENT)~~

~~FLOOR PLAN C-2 AND C-3
 (OPTIONAL ELEMENT)~~

~~FLOOR PLAN B-1
 (OPTIONAL ELEMENT)~~

~~FLOOR PLAN B-2 AND B-3
 (OPTIONAL ELEMENT)~~

~~FLOOR PLAN A-1
 (OPTIONAL ELEMENT)~~

~~FLOOR PLAN A-2 AND A-3
 (OPTIONAL ELEMENT)~~

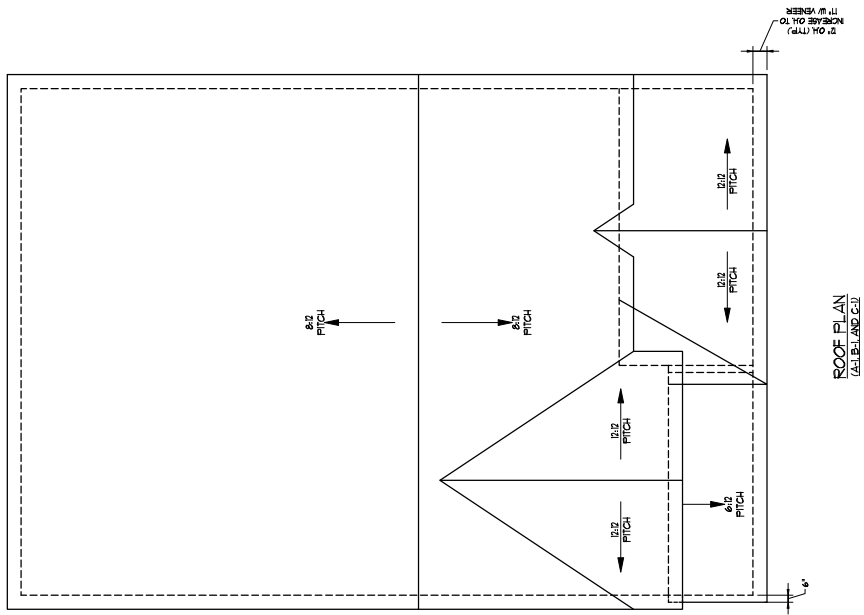
FLOOR PLAN A-1, A-2 AND A-3

THIS PROJECT INCLUDES PERMITS FOR THE ROOF PLAN AND ELEVATIONS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE EXISTING ROOF AND FOUNDATION. ANY CHANGES TO THE ROOF PLAN OR ELEVATIONS SHALL BE NOTED ON THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT. THE CONTRACTOR SHALL VERIFY THE EXISTING ROOF STRUCTURE AND FOUNDATION BEFORE BEGINNING WORK. ANY CHANGES TO THE ROOF PLAN OR ELEVATIONS SHALL BE NOTED ON THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT.

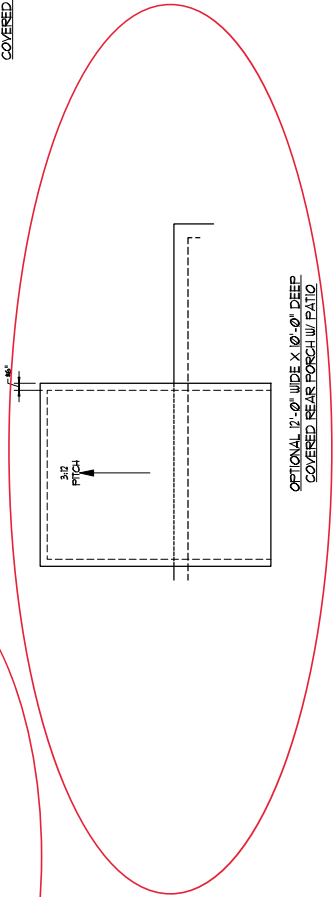
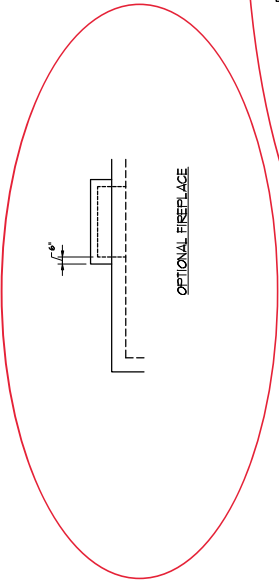
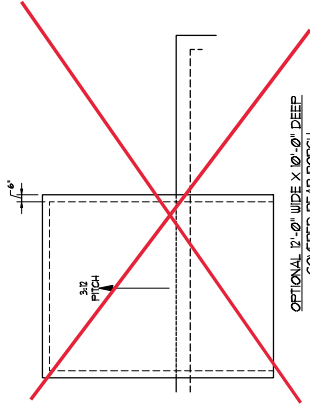


COMPASSION
CONSTRUCTION, INC.
11111 W. 11TH AVENUE, SUITE 100
DENVER, CO 80233
TEL: 303.755.1111
WWW.COMPASSIONCONSTRUCTION.COM

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMITS	03/15/09	JLD
2	ISSUED FOR CONSTRUCTION	05/01/09	JLD
3	ISSUED FOR FINAL APPROVAL	05/01/09	JLD



ROOF PLAN
(A&B) AND (C)

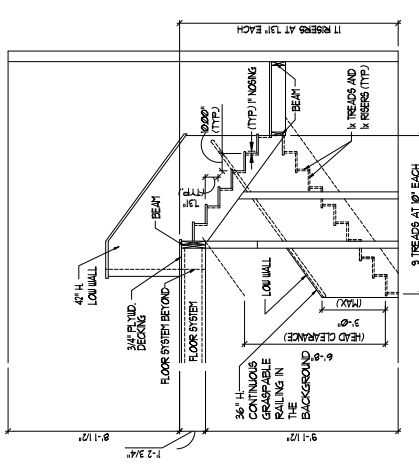
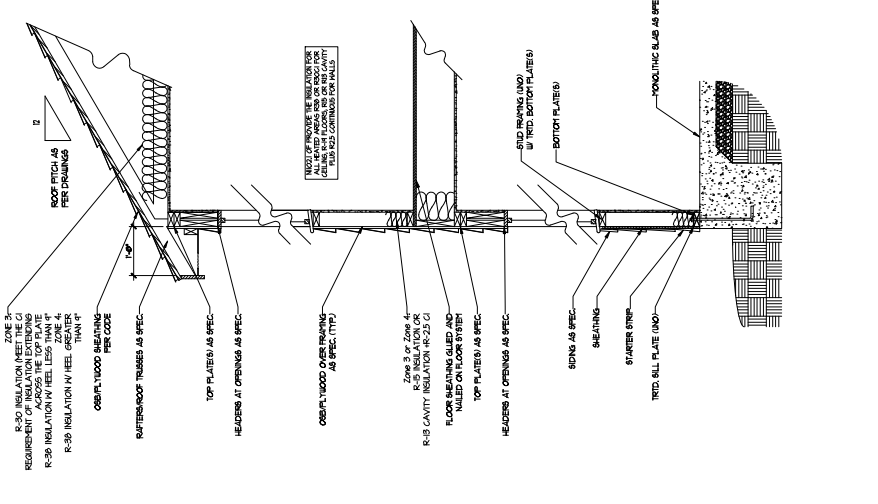
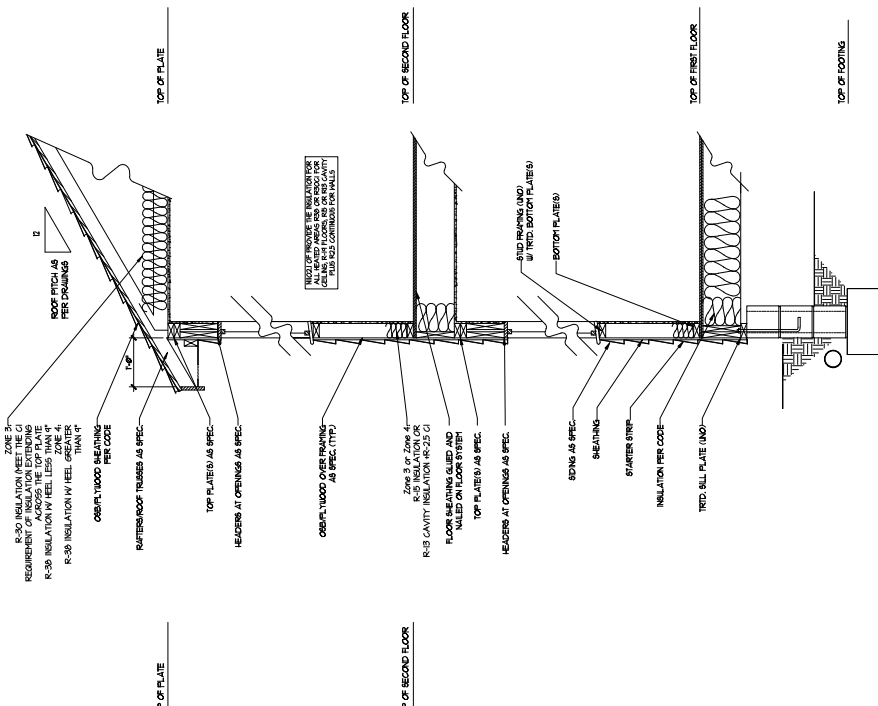


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H&H HOMES, INC.
JORDAN
DATE: MARCH 15, 2019
REV: MAY 01, 2020
SCALE: 1/4"=1'-0"
DRAWN BY:
ENGINEERED BY:
REVIEWED BY:
ROOF PLAN
ELEVATION: A/B
& C
A-8.2



STAIR NOTES:

- RAILING SHALL BE SPACED SO THAT A 4" SPHERE CANNOT PASS THROUGH.
- THE TRUSSES OR OPENINGS OPENED BY THE STAIR TREAD AND BOTTOM RISE OF A GROUND AT THE OPENING OF A STAIR SHALL BE REINFORCED WITH A MINIMUM OF 2 #4 BARS CANNOT PASS THROUGH.
- OPENINGS NOT REQUIRED GROUND ON THE DECK OF STAIR SHALL BE REINFORCED WITH A MINIMUM OF 2 #4 BARS CANNOT PASS THROUGH.
- TRUSSES SHALL NOT ALLOW A SPHERE 2.38 INCHES TO PASS THROUGH.

HANDRAILS:

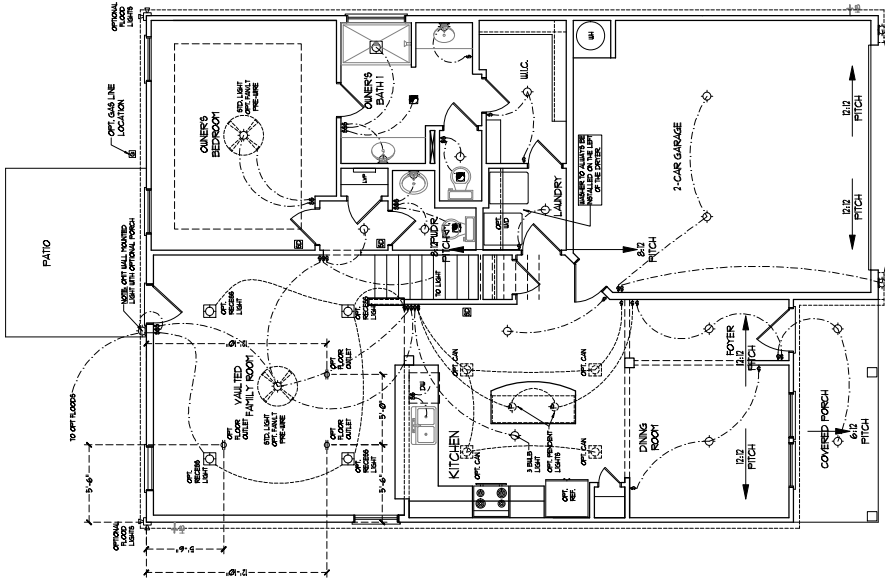
- HANDRAILS FOR BALUSTRADES SHALL BE CONTINUOUS ON THE FULL LENGTH OF THE FLIGHT FROM A POINT DIRECTLY ABOVE THE LAST RISE TO A POINT DIRECTLY ABOVE THE FIRST RISE. HANDRAIL ENDS SHALL BE RETURNED OR CAPED TO THE BALUSTRADE.
- HANDRAILS SHALL BE 1 1/2" DIA. AND SHALL BE SPACED NOT LESS THAN 1 1/2" INCH BETWEEN THE RAIL AND HANDRAIL.

• CONTINUOUS GRASPABLE RAILING SHALL MEET THE OR TO BE CONTINUAL

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ELECTRICAL LEGEND NOTE:
 1. ALL SYMBOLS TO BE SET TO THE LOCATION SHOWN UNLESS OTHERWISE NOTED.
 2. SWITCHES TO BE SET TO THE LOCATION SHOWN UNLESS OTHERWISE NOTED.
 3. OPTIONAL SYMBOLS TO BE SET TO THE LOCATION SHOWN UNLESS OTHERWISE NOTED.
 4. PLACE SYMBOLS AT THE LOCATION SHOWN UNLESS OTHERWISE NOTED.

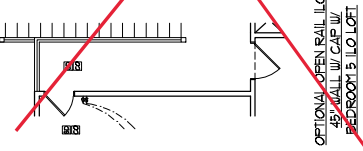
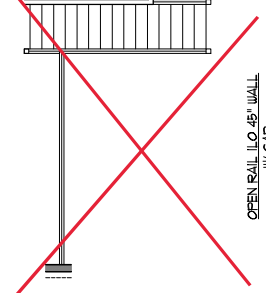
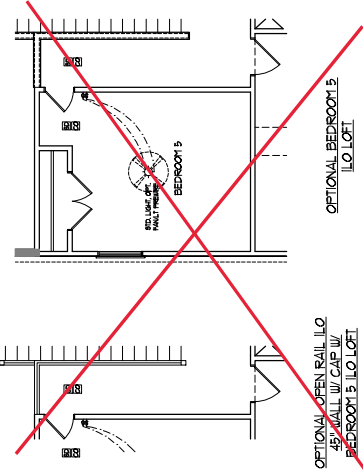
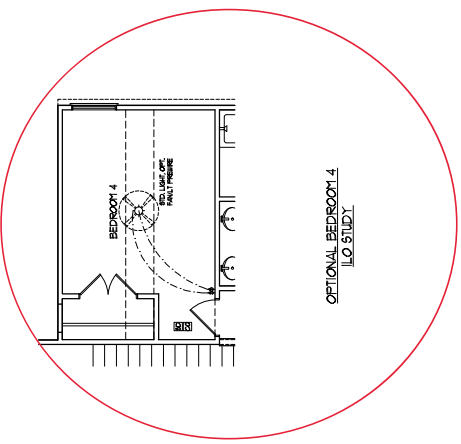
ELECTRICAL LEGEND	
	15 AMP GFI
	20 AMP GFI
	30 AMP GFI
	40 AMP GFI
	50 AMP GFI
	60 AMP GFI
	70 AMP GFI
	80 AMP GFI
	90 AMP GFI
	100 AMP GFI
	110 AMP GFI
	120 AMP GFI
	130 AMP GFI
	140 AMP GFI
	150 AMP GFI
	160 AMP GFI
	170 AMP GFI
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	410 AMP GFI
	420 AMP GFI
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	810 AMP GFI
	820 AMP GFI
	830 AMP GFI
	840 AMP GFI
	850 AMP GFI
	860 AMP GFI
	870 AMP GFI
	880 AMP GFI
	890 AMP GFI
	900 AMP GFI
	910 AMP GFI
	920 AMP GFI
	930 AMP GFI
	940 AMP GFI
	950 AMP GFI
	960 AMP GFI
	970 AMP GFI
	980 AMP GFI
	990 AMP GFI
	1000 AMP GFI



FIRST FLOOR PLAN
 (ALL DIMENSIONS)

ELECTRICAL LEGEND NOTES:
 1. ALL LIGHTS TO BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL CODES.
 2. WATT LAGES TO BE SET @ 80% EFF. (TYP)
 3. ADDITIONAL DIFFERENTIAL OUTLET LOCATED BY ELECTRICAL CONTRACTOR.
 4. PLACE SWITCHES & DIMMERS NEAR ENTRANCE.

ELECTRICAL LEGEND	
	1W VOLT LIGHT
	HALL POINT LIGHT
	CEILING POINT LIGHT
	PENDANT LIGHT
	RECESSED CAN LIGHT
	1W1 CAN LIGHT
	2W BALL LIGHT
	2 WATT 4" SQUARE LIGHT
	FLOOR LIGHT
	SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	DIMMER SWITCH
	CONDUIT FOR EQUIPMENT
	REPAIRS
	1W VOLT DETECTOR
	CO DETECTOR
	DIMMER PAN
	LOW VOLTAGE PANEL
	CEILING FAN
	CEILING FAN w/ LIGHT

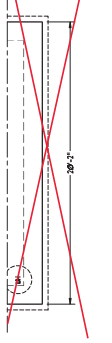
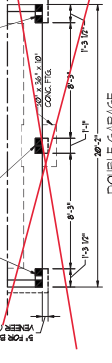
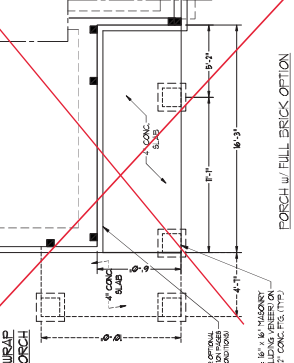
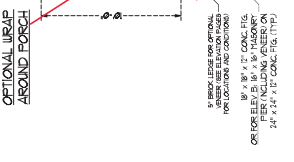
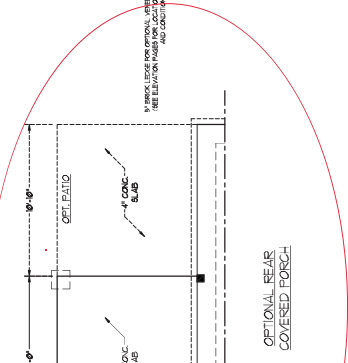
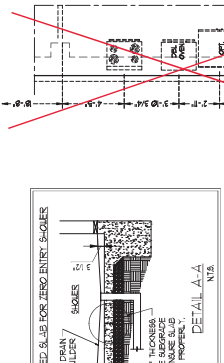
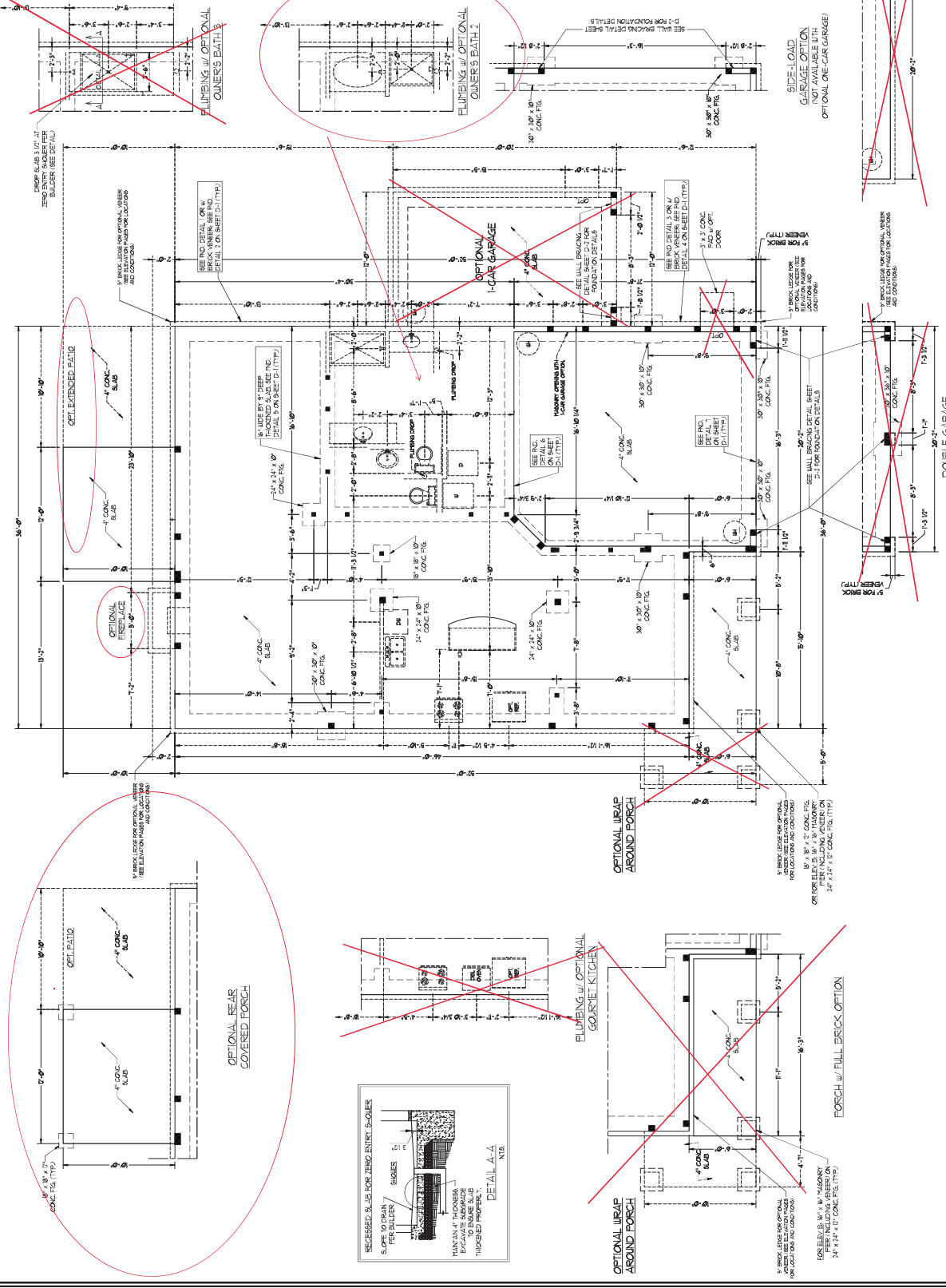


- FOR THE ENTIRE FOUNDATION AND SPEED WATER MAIN 30" DEEP FOOTING:**
1. ALL FOUNDATION WALLS SHALL BE CONCRETE.
 2. ALL FOUNDATION WALLS SHALL BE MINIMUM 12" THICK.
 3. ALL FOUNDATION WALLS SHALL BE MINIMUM 4" CONC. SLAB.
 4. ALL FOUNDATION WALLS SHALL BE MINIMUM 4" CONC. SLAB.
 5. ALL FOUNDATION WALLS SHALL BE MINIMUM 4" CONC. SLAB.
 6. ALL FOUNDATION WALLS SHALL BE MINIMUM 4" CONC. SLAB.
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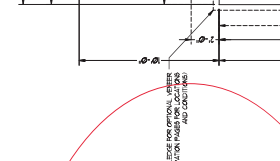
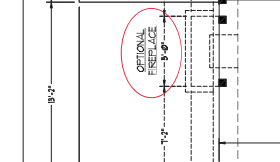
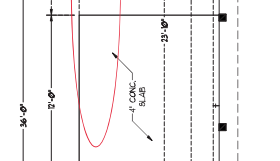
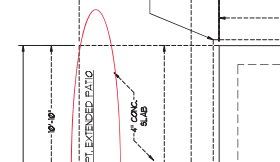
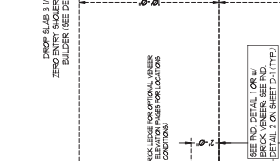
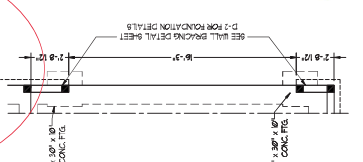
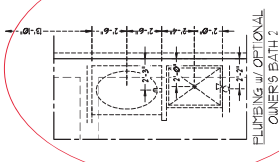
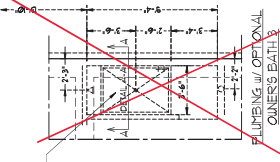
1/6/2020



SIDE LOAD
 CURET OPTION
 (NOT AVAILABLE WITH
 OPTIONAL ONE-CAR GARAGE)

OPTIONAL WRAP AROUND PORCH
 OR FOR SLAB 8\"/>

FORCH W/ FILL BRICK OPTION
 DOUBLES W/ 2\"/>





BRACED WALL DESIGN NOTES:

- BRACED WALL DESIGN PER SECTION 909.10 OF THE IRC
- 2006 EDITION
- ALL EXTERIOR WALLS SHALL BE BRACED WITH STEEL BRACES OR STRUCTURAL STEEL CHANNELS TO NEARBY WALLS OR EXISTING WALLS ATTACHED TO AN ADJACENT BRACED WALL
- BRACES TO BE INSTALLED AT 4' ON CENTER OR AS NOTED. BRACES TO BE INSTALLED TO TOP OF WALL OR TO CENTERLINE OF WALL. BRACES TO BE INSTALLED ALONG PANEL EDGES AND IN THE FIELD INCLUDING TOP AND BOTTOM EDGES
- BRACED WALL DESIGN APPLIED IN AND ZONE UP TO 30' HIGH FOR HIGH AND ZONE BRACE WALLS ARE TO BE CONSTRUCTED WITH STEEL BRACING AND 2" X 4" BRACE STUDS AT 4' O.C. ALONG PANEL EDGES AND IN THE FIELD INCLUDING TOP AND BOTTOM EDGES
- SEE NOTES AND DETAIL SHEETS FOR ADDITIONAL BRACED WALL INFORMATION

NOTE:

- PER SECTION 909.10.6 OF THE IRC, THE AMOUNT OF BRACING REQUIRED ON THE WALL OUT BARRETT WALLS SHALL BE A MINIMUM OF 1/4" X 4" BRACE STUDS AT 4' O.C. ALONG PANEL EDGES AND IN THE FIELD INCLUDING TOP AND BOTTOM EDGES
- SEE NOTES AND DETAIL SHEETS FOR ADDITIONAL BRACED WALL INFORMATION

STRUCTURAL NOTES:

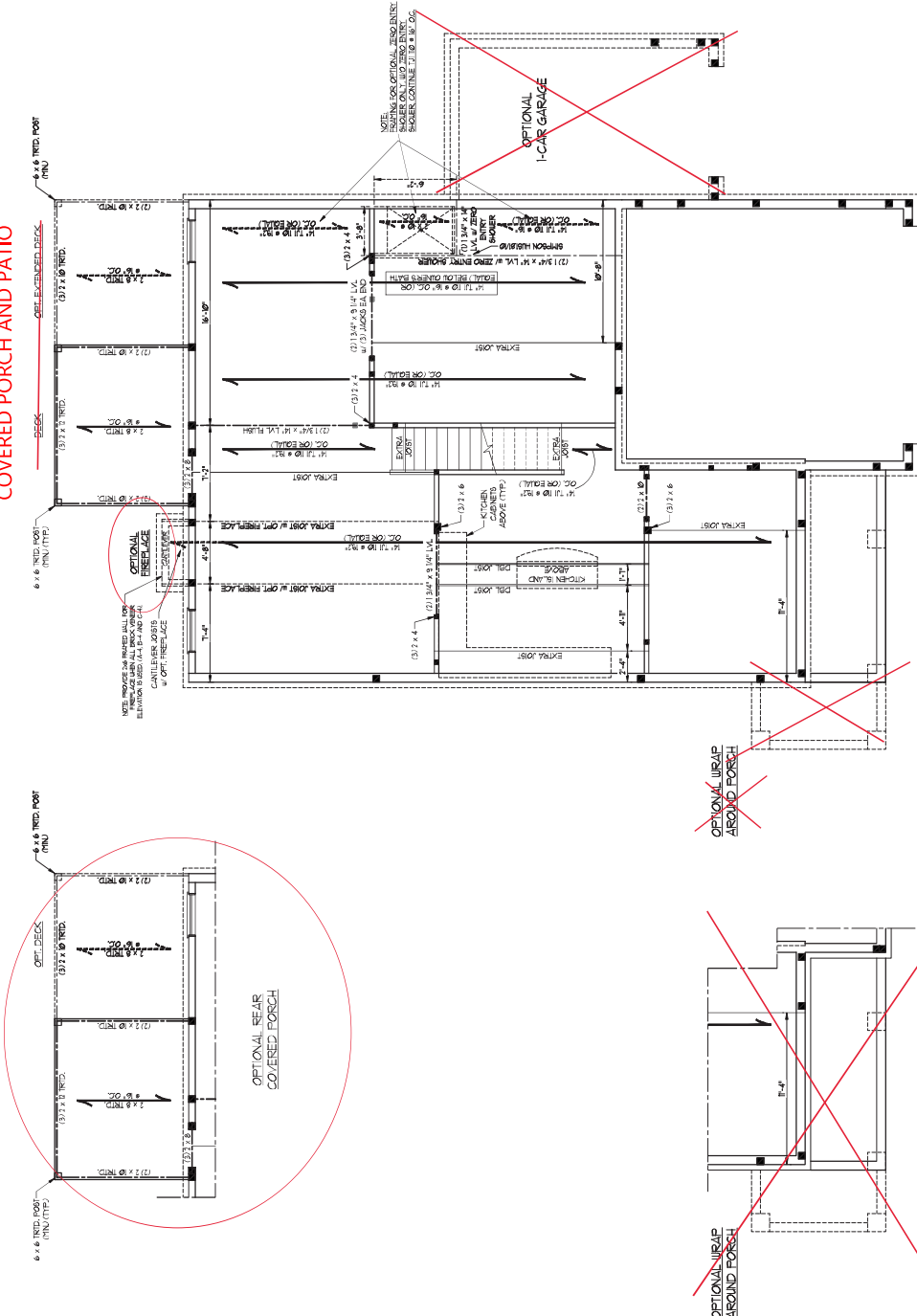
- ALL FINISH LUMBER TO BE 5/8" (MIN) x 4" (MAX)
- ALL EXTERIOR WALLS TO BE BRACED WITH STEEL BRACES OR STRUCTURAL STEEL CHANNELS TO NEARBY WALLS OR EXISTING WALLS ATTACHED TO AN ADJACENT BRACED WALL
- BRACES TO BE INSTALLED AT 4' ON CENTER OR AS NOTED. BRACES TO BE INSTALLED TO TOP OF WALL OR TO CENTERLINE OF WALL. BRACES TO BE INSTALLED ALONG PANEL EDGES AND IN THE FIELD INCLUDING TOP AND BOTTOM EDGES
- BRACED WALL DESIGN APPLIED IN AND ZONE UP TO 30' HIGH FOR HIGH AND ZONE BRACE WALLS ARE TO BE CONSTRUCTED WITH STEEL BRACING AND 2" X 4" BRACE STUDS AT 4' O.C. ALONG PANEL EDGES AND IN THE FIELD INCLUDING TOP AND BOTTOM EDGES
- SEE NOTES AND DETAIL SHEETS FOR ADDITIONAL BRACED WALL INFORMATION
- AS GRACE PERMITS
- BRACE WALLS TO BE 7/4" x 4" O.C. OR 7/4" x 6" O.C. (MAX)
- FOR HIGH AND ZONE ALL EXTERIOR WALLS TO BE BRACED WITH STEEL BRACES OR STRUCTURAL STEEL CHANNELS TO NEARBY WALLS OR EXISTING WALLS ATTACHED TO AN ADJACENT BRACED WALL
- BRACES TO BE INSTALLED AT 4' ON CENTER OR AS NOTED. BRACES TO BE INSTALLED TO TOP OF WALL OR TO CENTERLINE OF WALL. BRACES TO BE INSTALLED ALONG PANEL EDGES AND IN THE FIELD INCLUDING TOP AND BOTTOM EDGES
- BRACED WALL DESIGN APPLIED IN AND ZONE UP TO 30' HIGH FOR HIGH AND ZONE BRACE WALLS ARE TO BE CONSTRUCTED WITH STEEL BRACING AND 2" X 4" BRACE STUDS AT 4' O.C. ALONG PANEL EDGES AND IN THE FIELD INCLUDING TOP AND BOTTOM EDGES
- SEE NOTES AND DETAIL SHEETS FOR ADDITIONAL BRACED WALL INFORMATION

LINTEL SCHEDULE FOR BRICK/MASONRY WALL SUPPORT

LENGTH	SIZE OF LINTEL
UP TO 9 FT.	1.312 x 3.10 x 1/4
4-8	1.312 x 3.10 x 3/8 (LV)
8 AND GREATER	1.674 x 3.96 (LV)

- BRICK SUPPORT NOTE:**
- BRICK SUPPORT SHALL BE 10' TO ALL EXTERIOR WALLS TO BE BRACED WITH STEEL BRACES OR STRUCTURAL STEEL CHANNELS TO NEARBY WALLS OR EXISTING WALLS ATTACHED TO AN ADJACENT BRACED WALL
 - BRACES TO BE INSTALLED AT 4' ON CENTER OR AS NOTED. BRACES TO BE INSTALLED TO TOP OF WALL OR TO CENTERLINE OF WALL. BRACES TO BE INSTALLED ALONG PANEL EDGES AND IN THE FIELD INCLUDING TOP AND BOTTOM EDGES
 - BRACED WALL DESIGN APPLIED IN AND ZONE UP TO 30' HIGH FOR HIGH AND ZONE BRACE WALLS ARE TO BE CONSTRUCTED WITH STEEL BRACING AND 2" X 4" BRACE STUDS AT 4' O.C. ALONG PANEL EDGES AND IN THE FIELD INCLUDING TOP AND BOTTOM EDGES
 - SEE NOTES AND DETAIL SHEETS FOR ADDITIONAL BRACED WALL INFORMATION

COVERED PORCH AND PATIO



~~OPTIONAL 1-CAR GARAGE~~

~~OPTIONAL WRAP AROUND PORCH~~

~~OPTIONAL WRAP AROUND PORCH~~

~~PORCH w/ FULL BRICK OPTION~~

~~DOUBLE GARAGE DOOR OPTION~~

DECK SUPPORT NOTES:

1. ALL DECK JOISTS TO BE 2x10 OR 2x12 (WHERE UNO) AND SPACED AT 16" ON CENTER.
2. ALL DECK JOISTS TO BE 2x10 OR 2x12 (WHERE UNO) AND SPACED AT 16" ON CENTER.
3. ALL DECK JOISTS TO BE 2x10 OR 2x12 (WHERE UNO) AND SPACED AT 16" ON CENTER.
4. ALL DECK JOISTS TO BE 2x10 OR 2x12 (WHERE UNO) AND SPACED AT 16" ON CENTER.
5. FOR ALL HEADERS & JOISTS, EACH SIDE END VENEER TO BE 1/2" MINIMUM.
6. TO BE SURE OF JOIST SPACING, 2" OC. STAGGERED.
7. ALL JOISTS TO BE 2x10 OR 2x12 (WHERE UNO) AND SPACED AT 16" ON CENTER.
8. ALL JOISTS TO BE 2x10 OR 2x12 (WHERE UNO) AND SPACED AT 16" ON CENTER.
9. ALL JOISTS TO BE 2x10 OR 2x12 (WHERE UNO) AND SPACED AT 16" ON CENTER.
10. ALL JOISTS TO BE 2x10 OR 2x12 (WHERE UNO) AND SPACED AT 16" ON CENTER.
11. ALL JOISTS TO BE 2x10 OR 2x12 (WHERE UNO) AND SPACED AT 16" ON CENTER.
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16. ALL JOISTS TO BE 2x10 OR 2x12 (WHERE UNO) AND SPACED AT 16" ON CENTER.
17. ALL JOISTS TO BE 2x10 OR 2x12 (WHERE UNO) AND SPACED AT 16" ON CENTER.
18. ALL JOISTS TO BE 2x10 OR 2x12 (WHERE UNO) AND SPACED AT 16" ON CENTER.
19. ALL JOISTS TO BE 2x10 OR 2x12 (WHERE UNO) AND SPACED AT 16" ON CENTER.
20. ALL JOISTS TO BE 2x10 OR 2x12 (WHERE UNO) AND SPACED AT 16" ON CENTER.

LINTEL SCHEDULE FOR BRICK/CONCRETE SUPPORT

LENGTH (FT.)	SIZE OF LINTEL
UP TO 4 FT.	1.5" x 3.0" x 1/4"
4-6	1.5" x 3.0" x 3/8" LVL
8 AND GREATER	1.6" x 4.4" x 3/8" LVL

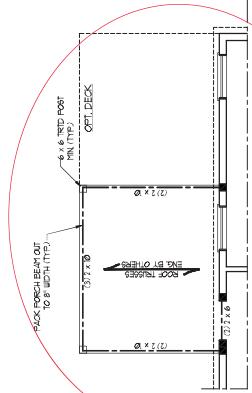
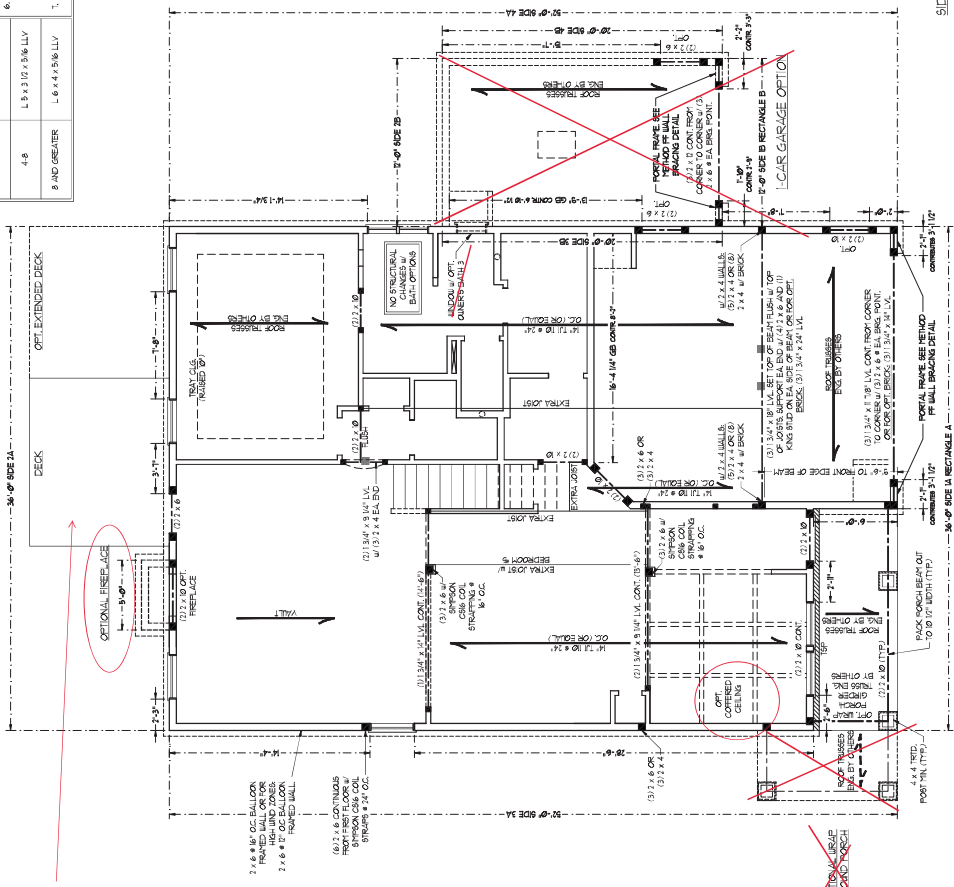
NOTE: ALL EXTERIOR WALLS AND ATTIC WALLS ARE TO BE 2 x 6 @ 16" OC (MIN) 2 x 4 @ 16" OC EXTERIOR WALLS MAY BE CONSTRUCTED IN lieu OF 2 x 6 WALLS (UNO). ALL INTERIOR LOAD BEARING WALLS ARE TO BE 2 x 4 @ 16" OC (UNO) AND NON-LOAD BEARING INTERIOR WALLS ARE TO BE 2 x 4 @ 24" OC (UNO).

- STRUCTURAL NOTES:**
1. ALL TRIMMED LAMBERS TO BE 8x12 (UNO).
 2. ALL TREATED LAMBERS TO BE 8x12 (UNO).
 3. (UNO) LOAD BEARING HEADERS TO BE 1072 x 8.
 4. INSTALL AN EXTERIOR DOOR JOIST WHERE NOTED ON THE PLAN.
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 20. INSTALL AN EXTERIOR DOOR JOIST WHERE NOTED ON THE PLAN.

TABLE BRACKETS

WHY? NUMBER OF FULL HEIGHT STUDS AT EACH END OF HEADERS IN EXTERIOR WALLS

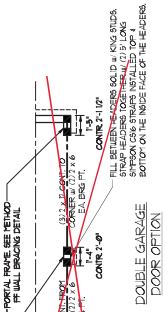
HEADER SIZE (FEET)	NUMBER OF FULL HEIGHT STUDS
4" x 8"	2
4" x 10"	2
4" x 12"	2
6" x 8"	2
6" x 10"	2
6" x 12"	2



BRACED WALL DESIGN

RECTANGLE A	RECTANGLE B
AREA IN CHARGE	AREA IN CHARGE
TOTAL REQUIRED LENGTH 12'	TOTAL REQUIRED LENGTH 12'
TOTAL PROVIDED LENGTH 12'	TOTAL PROVIDED LENGTH 12'
SIZE 2x4	SIZE 2x4
REMARKS: CHAMP	REMARKS: CHAMP
TOTAL REQUIRED LENGTH 12'	TOTAL REQUIRED LENGTH 12'
TOTAL PROVIDED LENGTH 12'	TOTAL PROVIDED LENGTH 12'
SIZE 2x4	SIZE 2x4
REMARKS: CHAMP	REMARKS: CHAMP
TOTAL REQUIRED LENGTH 12'	TOTAL REQUIRED LENGTH 12'
TOTAL PROVIDED LENGTH 12'	TOTAL PROVIDED LENGTH 12'
SIZE 2x4	SIZE 2x4
REMARKS: CHAMP	REMARKS: CHAMP
TOTAL REQUIRED LENGTH 12'	TOTAL REQUIRED LENGTH 12'
TOTAL PROVIDED LENGTH 12'	TOTAL PROVIDED LENGTH 12'
SIZE 2x4	SIZE 2x4
REMARKS: CHAMP	REMARKS: CHAMP

- BRACED WALL DESIGN NOTES:**
1. BRACED WALL DESIGN PER SECTION 1607.03 OF THE NRC.
 2. STRUCTURAL PANEL CONTRACTOR IS TO INSTALL 1/2" OSB CLIPS ATTERS TO CONTINUOUS BEARING - GOOD.
 3. OSB CLIPS TO BE INSTALLED AT ALL JOIST ENDS AND AT ALL WALL ENDS. OSB CLIPS TO BE INSTALLED AT ALL JOIST ENDS AND AT ALL WALL ENDS. OSB CLIPS TO BE INSTALLED AT ALL JOIST ENDS AND AT ALL WALL ENDS.
 4. BRACED WALL DESIGN APPLIED TO ALL JOISTS UP TO 10' HIGH.
 5. WALL NOTATION.



11/07/2020

NOTE: ALL EXTERIOR WALLS AND INTERIOR WALLS ARE TO BE 4" OR 6" OC (UNO) 2" X 4" OR 2" X 6" EXTERIOR WALLS MAY BE CONSTRUCTED IN lieu OF 2" X 6" WALLS (UNO) ALL INTERIOR LOAD BEARING WALLS ARE TO BE 2" X 4" OR 2" X 6" OC (UNO) AND NON-LOAD BEARING INTERIOR WALLS ARE TO BE 2" X 4" @ 24" OC. (UNO).

LEVEL SCHEDULE FOR BRICK/CMU WALL TYPE SUPPORT

LENGTH (FEET)	SIZE OF LINTEL
UP TO 4 FT.	L 3 X 2 X 2 @ 24" O.C.
4-8	L 4 X 3 @ 24" O.C. @ 24" O.C.
8 AND GREATER	L 6 X 4 @ 24" O.C. @ 24" O.C.

BRICK/MCMU NOTES:

1. ALL WALLS TO BE 8" OR 10" THICK UNLESS NOTED OTHERWISE.
2. ALL WALLS TO BE CONSTRUCTED WITH A MINIMUM OF 4" OF CLEARANCE ABOVE AND BELOW THE WALL.
3. ALL WALLS TO BE CONSTRUCTED WITH A MINIMUM OF 4" OF CLEARANCE ON EACH SIDE OF THE WALL.
4. BRICK WALLS TO BE CONSTRUCTED WITH A MINIMUM OF 4" OF CLEARANCE ON EACH SIDE OF THE WALL.
5. ALL BRICK WALLS TO BE CONSTRUCTED WITH A MINIMUM OF 4" OF CLEARANCE ON EACH SIDE OF THE WALL.
6. ALL BRICK WALLS TO BE CONSTRUCTED WITH A MINIMUM OF 4" OF CLEARANCE ON EACH SIDE OF THE WALL.
7. ALL BRICK WALLS TO BE CONSTRUCTED WITH A MINIMUM OF 4" OF CLEARANCE ON EACH SIDE OF THE WALL.
8. ALL BRICK WALLS TO BE CONSTRUCTED WITH A MINIMUM OF 4" OF CLEARANCE ON EACH SIDE OF THE WALL.
9. ALL BRICK WALLS TO BE CONSTRUCTED WITH A MINIMUM OF 4" OF CLEARANCE ON EACH SIDE OF THE WALL.
10. ALL BRICK WALLS TO BE CONSTRUCTED WITH A MINIMUM OF 4" OF CLEARANCE ON EACH SIDE OF THE WALL.

STRUCTURAL NOTES:

1. ALL BEARING LINTERS TO BE 8" (UNO) ALL OTHER LINTERS TO BE 6" (UNO) OR 4" (UNO).
2. ALL LINTERS TO BE SPAN 24" OR 36" (UNO).
3. UNIFORM AND POINT LOADS TO BE SUPPORTED BY LINTERS.
4. ALL LINTERS TO BE CONSTRUCTED WITH A MINIMUM OF 4" OF CLEARANCE ON EACH SIDE OF THE LINTER.
5. ALL LINTERS TO BE CONSTRUCTED WITH A MINIMUM OF 4" OF CLEARANCE ON EACH SIDE OF THE LINTER.
6. ALL LINTERS TO BE CONSTRUCTED WITH A MINIMUM OF 4" OF CLEARANCE ON EACH SIDE OF THE LINTER.
7. ALL LINTERS TO BE CONSTRUCTED WITH A MINIMUM OF 4" OF CLEARANCE ON EACH SIDE OF THE LINTER.
8. ALL LINTERS TO BE CONSTRUCTED WITH A MINIMUM OF 4" OF CLEARANCE ON EACH SIDE OF THE LINTER.
9. ALL LINTERS TO BE CONSTRUCTED WITH A MINIMUM OF 4" OF CLEARANCE ON EACH SIDE OF THE LINTER.
10. ALL LINTERS TO BE CONSTRUCTED WITH A MINIMUM OF 4" OF CLEARANCE ON EACH SIDE OF THE LINTER.

TABLE NUMBER 1
 MINIMUM NUMBER OF FULL HEIGHT STUDS AT EACH END OF BEARING EXTERIOR WALLS

BEARING WALL TYPE	MINIMUM NUMBER OF STUDS
UP TO 3'	2
3' - 4'	3
4' - 5'	4
5' - 6'	5
6' - 7'	6
7' - 8'	7
8' - 9'	8
9' - 10'	9

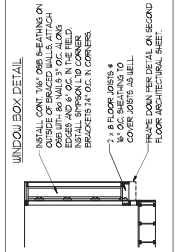
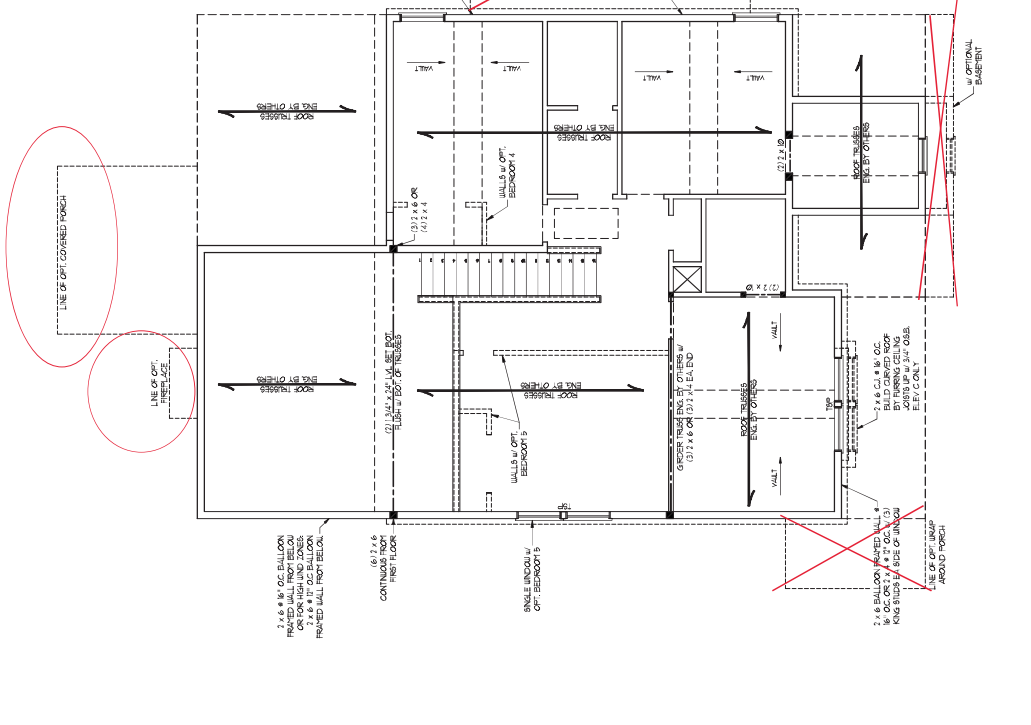


BRACED WALL DESIGN NOTES:

1. BRACED WALL DESIGN PER SECTION ENCL 50.0 OF THE IRC 2009 EDITION.
2. CONTRACTOR TO VERIFY THE DESIGN OF THE BRACING SYSTEM WITH THE STRUCTURAL ENGINEER.
3. ALL EXTERIOR WALLS ATTACHED TO AN IN-SITU CONCRETE FOUNDATION SHALL BE BRACED WITH 1" X 4" BRACING OR 2" X 6" BRACING ALONG PANEL EDGES AND IN THE FIELD INCLUDING TOP AND BOTTOM EDGES.
4. BRACED WALL DESIGN APPLIED IN WIND ZONES 1P TO 100 MPH.
5. CONTRACTOR TO VERIFY THE DESIGN OF THE BRACING SYSTEM WITH THE STRUCTURAL ENGINEER.
6. SEE NOTES AND DETAIL SHEET FOR ADDITIONAL BRACED WALL INFORMATION.

NOTE:

1. PER SECTION ENCL 50.0 OF THE IRC 2009 EDITION, THE AMOUNT OF BRACING SHALL BE DETERMINED BY THE STRUCTURAL ENGINEER.
2. ATTACHED WITH 2x4 WALLS AT 6" OC ALONG PANEL EDGES AND 9" OC IN THE FIELD.



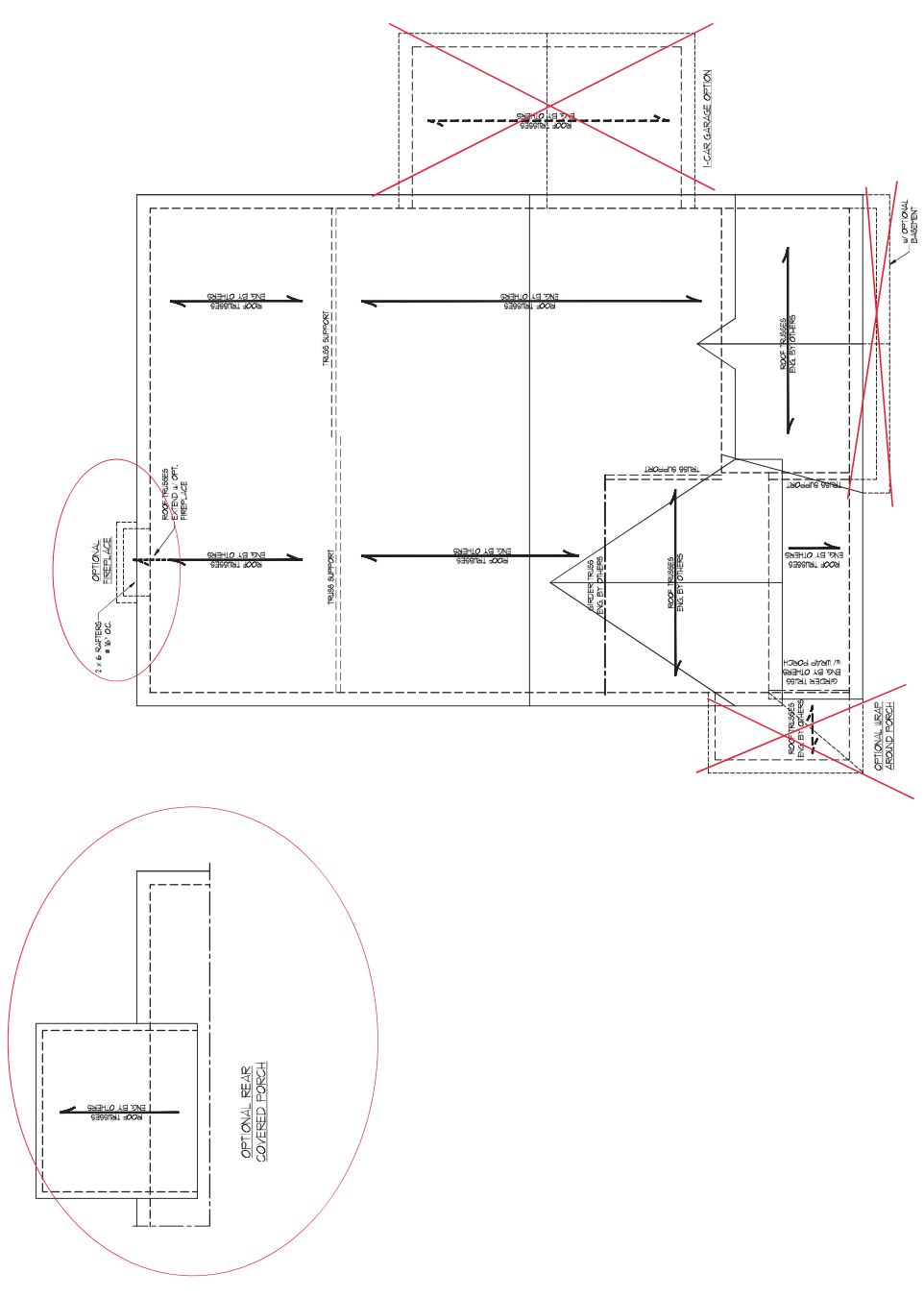


BRICK SUPPORT NOTE:

1. FURTHER 1/2" x 9" BLOCKS BETWEEN WALL STUDS & 1/2" x 9" WALLS BETWEEN WALLS & WALLS SHALL BE 1/2" x 9" BLOCKS & 1/2" x 9" WALLS SHALL BE 1/2" x 9" BLOCKS STAGGERED PER SECTION H0202(3) OF THE NATIONAL BRICK SUPPORT INFORMATION. ALL OTHER ROOF STUDS BETWEEN WALLS SHALL BE 2" x 4" BRIMS PER SECTION H0202(4) OF THE NATIONAL BRICK SUPPORT INFORMATION.

STRUCTURAL NOTES:

1. ALL FRAMING LIFTERS TO BE 2" x 4" BRIMS PER NOTE 017.1.4 F007S FOR ROOF SUPPORT.
2. BRIMS JOINTS SHALL BE ON TOPS OF STUDS.
3. BRIMS JOINTS SHALL BE ON TOPS OF STUDS.
4. ALL STUDS ARE TO BE BRIMS PER SECTION H0202(3) OF THE NATIONAL BRICK SUPPORT INFORMATION.
5. 2" x 4" BRIMS PER SECTION H0202(4) OF THE NATIONAL BRICK SUPPORT INFORMATION.
6. 2" x 4" BRIMS PER SECTION H0202(4) OF THE NATIONAL BRICK SUPPORT INFORMATION.
7. 4" x 8" BRIMS PER SECTION H0202(4) OF THE NATIONAL BRICK SUPPORT INFORMATION.
8. 2" x 4" BRIMS PER SECTION H0202(4) OF THE NATIONAL BRICK SUPPORT INFORMATION.
9. 2" x 4" BRIMS PER SECTION H0202(4) OF THE NATIONAL BRICK SUPPORT INFORMATION.
10. 2" x 4" BRIMS PER SECTION H0202(4) OF THE NATIONAL BRICK SUPPORT INFORMATION.
11. 2" x 4" BRIMS PER SECTION H0202(4) OF THE NATIONAL BRICK SUPPORT INFORMATION.
12. 2" x 4" BRIMS PER SECTION H0202(4) OF THE NATIONAL BRICK SUPPORT INFORMATION.
13. 2" x 4" BRIMS PER SECTION H0202(4) OF THE NATIONAL BRICK SUPPORT INFORMATION.
14. 2" x 4" BRIMS PER SECTION H0202(4) OF THE NATIONAL BRICK SUPPORT INFORMATION.
15. 2" x 4" BRIMS PER SECTION H0202(4) OF THE NATIONAL BRICK SUPPORT INFORMATION.



ELEVATION A AND B



WALL HEIGHT (FEET)	MAJORITY WALL TYPE			
	8' CH	4' BRICK AND 4' CH	4' BRICK AND 4' CH	8' CH
7 AND BELOW	UNGRADED	UNGRADED	UNGRADED	UNGRADED
3	UNGRADED	GROAT SOLID	GROAT SOLID	GROAT SOLID
4	GROAT SOLID	GROAT SOLID w/ 4" REBAR # 4 @ 4' OC.	GROAT SOLID w/ 4" REBAR # 4 @ 4' OC.	GROAT SOLID w/ 4" REBAR # 4 @ 4' OC.
5	GROAT SOLID w/ 4" REBAR # 4 @ 4' OC.	NOT APPLICABLE	NOT APPLICABLE	NOT APPLICABLE
6	GROAT SOLID w/ 4" REBAR # 4 @ 4' OC.	NOT APPLICABLE	NOT APPLICABLE	NOT APPLICABLE
1 AND GREATER	NOT APPLICABLE	NOT APPLICABLE	NOT APPLICABLE	NOT APPLICABLE

STRUCTURAL NOTES:

- WALL HEIGHT MEASURED FROM TOP OF FOOTING TO TOP OF THE WALL.
- CHALK / PINK PLASTER FOR CURB FOUNDATION ONLY. CONSULT ARCHITECT FOR DESIGN OF GARAGE FOUNDATION LOT OPTION TO INSIDE.
- BACKFILL OF WELL-DRAINED SAND OR GRAVEL. THORNE SOILS (AS NOTED BELOW GRADE).
- UNGRADED FINISH GRADE TO BE MAINTAINED AT ALL TIMES. UNGRADED FINISH GRADE TO BE MAINTAINED AT ALL TIMES.
- UNGRADED FINISH GRADE TO BE MAINTAINED AT ALL TIMES. UNGRADED FINISH GRADE TO BE MAINTAINED AT ALL TIMES.
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- UNGRADED FINISH GRADE TO BE MAINTAINED AT ALL TIMES. UNGRADED FINISH GRADE TO BE MAINTAINED AT ALL TIMES.

ANCHOR SPACING AND EMBEDMENT	
WIND ZONE	130 MPH
SPACING	4'-0" OC.
EMBEDMENT	8" MIN. ANCHOR 7" MIN. CONCRETE

OPTIONAL DETAIL 1

OPTIONAL DETAIL 2

DETAIL 3

DETAIL 4

DETAIL 5

OPTIONAL DETAIL 3

OPTIONAL DETAIL 4

DETAIL 1

DETAIL 2

DETAIL 3

DETAIL 4

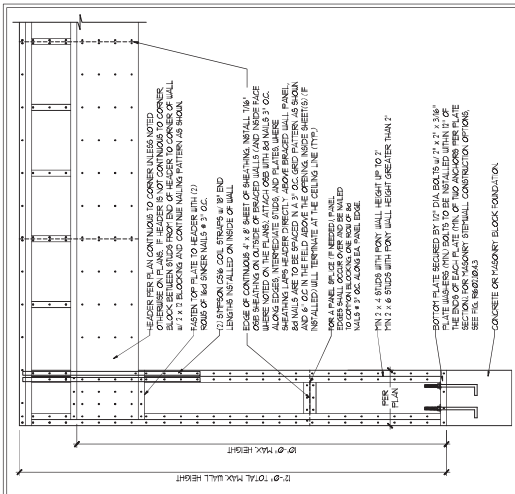
DETAIL 5

DETAIL 6

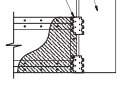
DETAIL 7

GENERAL WALL BRACING NOTES:

1. WALL BRACING SYSTEMS TO ACCOMMODATE THE 200% WIND OR THE 50% IN RESIDENTIAL BUILDING CODES (NCEC).
2. SEE THE SHEET FOR GENERAL DETAILS REFER TO THE 200% WIND OR ADDITIONAL INFORMATION AS REQUIRED.
3. THE KEY WITH WALL DESIGN (SHRIFT) OF REBAR/ROD TOTALS FOR EACH WALL LINE AND ANY SPECIAL NOTES.
4. ON REBAR/ROD TOTALS TO BE INSTALLED WITH CHAIRS N. ACCORDANCE WITH SECTION ENCL. (A) IS HEREIN NOTED.
5. REBAR/ROD TOTALS TO BE INSTALLED WITH CHAIRS N. ACCORDANCE WITH SECTION ENCL. (A) IS HEREIN NOTED.
6. CHAIRS REFER TO THE CONTINUOUS BRACING. WOOD STRUCTURAL PANELS WILL BRING STRUCTURE TO THE 200% WIND OR ADDITIONAL INFORMATION AS REQUIRED.
7. EXPERTS SHALL BE SPACED AT 6" O.C. ALONG FACE EDGES AND 12" O.C. IN THE FIELD (MAX). TO BE INSTALLED ON BOTH SIDES OF THE BRACED WALL. BRACING SYSTEMS SHALL BE INSTALLED WITH CHAIRS N. ACCORDANCE WITH SECTION ENCL. (A) IS HEREIN NOTED.
8. INCLUDING TOP AND BOTTOM PLATES AND INTERMEDIATE SUPPORTS (AND VERT. ALL FASTENERS OPTIONS FOR 17" AND 19" WALLS). BRACING SYSTEMS SHALL BE INSTALLED WITH CHAIRS N. ACCORDANCE WITH SECTION ENCL. (A) IS HEREIN NOTED.
9. REBAR/ROD TOTALS TO BE INSTALLED WITH CHAIRS N. ACCORDANCE WITH SECTION ENCL. (A) IS HEREIN NOTED.
10. REBAR/ROD TOTALS TO BE INSTALLED WITH CHAIRS N. ACCORDANCE WITH SECTION ENCL. (A) IS HEREIN NOTED.



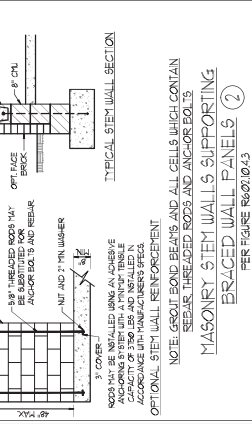
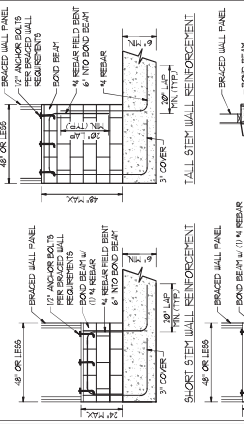
OVERS CONCRETE OR MASONRY BLOCK FOUNDATION



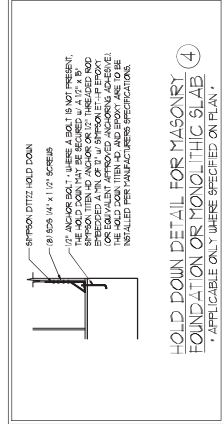
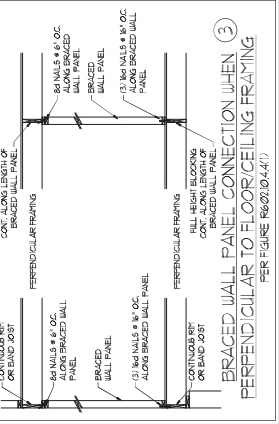
OVER RAISED WOOD FLOOR - BRACING ANCHOR OPTION

- 1. APPLICABLE IF GREATER THAN 12" RISE WALL HEIGHTS
- 2. IN SMALL SPACE AND ABOVE FINISHED DAMPEN WALLS

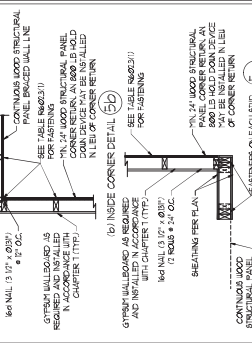
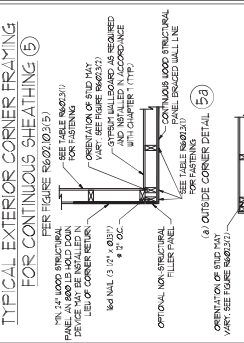
METHOD FF-PORTAL FRAME DETAIL 1



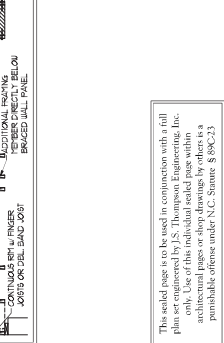
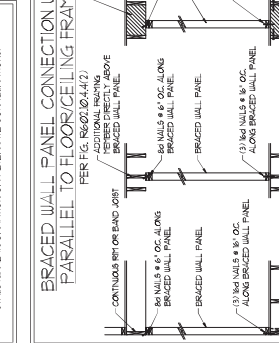
BRACED WALL PANELS 2



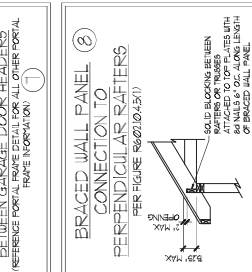
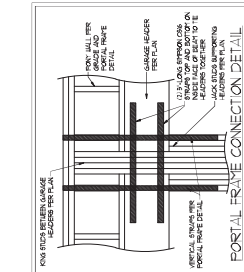
HOLD DOWN DETAIL FOR MASONRY FOUNDATION OR MONOLITHIC SLAB



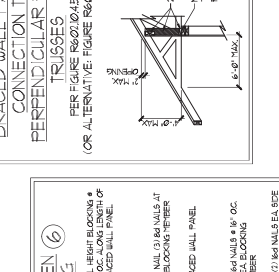
BRACED WALL PANEL CONNECTION TO PERPENDICULAR RAFTERS



BRACED WALL PANEL CONNECTION TO PERPENDICULAR RAFTERS



BRACED WALL PANEL CONNECTION TO PERPENDICULAR RAFTERS



BRACED WALL PANEL CONNECTION TO PERPENDICULAR RAFTERS



