

# KENT

## KENT REVISION LIST - STRUCTURAL:

1)

INVENTORY MARKED  
ACX0000191

## KENT REVISION LIST - ARCHITECTURAL:

1. ADDED NOTE TO EXTEND STAIR CLIP IN POWDER ROOM THE LENGTH OF THE ROOM (1-10)
2. SHOWED AHJ AND MECH LOCATIONS ON SECOND FLOOR (6-19)
3. UPDATED PLAN TO NEW CAD FORMAT AND ADDED COVER SHEET (6-19)
4. UPDATED CUSHERS (6-19)
5. CHANGED FIREPLACE FROM STANDARD TO OPTIONAL (7-25)
6. CHANGE FIREPLACE FROM 46" TO 52" (11-11-19)
7. ADDED ROOM DIMENSIONS (11-11-19)
8. CHANGE ROOM NAMES FROM MASTERS TO OWNERS (11-21-19)
9. VERIFIED AND UPDATED SQUARE FOOTAGE ON FIRST AND SECOND FLOOR (11-21-19)
10. ADDED ROOF VENTING CALCULATIONS FOR ELEV. A, B, AND C (11-29-19)
11. ADDED COURMET KITCHEN LAYOUT OPTION (12-23-19)
12. CHANGE FIREPLACE FROM STANDARD TO OPTIONAL (12-23-19)
13. REMOVE GLASS INSERTS AT GARAGE DOORS (12-23-19)
14. REMOVE METAL ACCESSORIES AT GARAGE DOORS (12-23-19)
15. CHANGE FIREPLACE FROM STANDARD TO OPTIONAL (1-16-20)
16. CHANGED CUSHERS PER I164H STANDARDS (1-16-20)
17. CALLED OUT REFRIGERATOR, WASHER, AND DRYER ARE OPTIONAL COMPONENTS (1-16-20)
18. VERIFIED COACH LIGHT LOCATIONS ON ALL ELEVATIONS (03-30-20)
19. REMOVED GREYS FROM WINKNWS AND DOORS ON ALL SIDE AND REAR ELEVATIONS (03-30-20)
20. REMOVED ROOF HATCH FROM ALL ELEVATIONS (03-30-20)
21. CHANGED NOTE FOR ALL GARAGES ON ELEVATIONS TO UPDATED NOTE (03-30-20)
22. UPDATED HATCHES ON ALL ELEVATIONS TO REPRESENT STONE BETTER (03-30-20)
23. ADDED ELEVATIONS TO SHOW STONE AND BRICK OPTIONS ON A2, A3, B-2, B-3, C-3, C-5, C-7 (03-30-20)
24. ADDED COLUMNS DETAIL FOR ELEVATIONS (03-30-20)
25. FIXED WINDOW TRIM AND BRICK ROWLOCK ON 1-3 & 1-4 (03-30-20)
26. VERIFIED AND UPDATED SQUARE FOOTAGE WITH & WITHOUT BRICK (03-30-20)
27. ADDED DIAGONAL DIMENSIONS TO SLAB INTERFERENCE PLAN (03-30-20)
28. ADDED OWNERS BATH 2 & 3 IS OPTIONS SHEET (03-30-20)
29. REPLACED OWNERS BATH WITH OWNERS BATH 1 ON BASE PLAN (03-30-20)
30. CHANGED ALL WALLS FROM 2-86 TO 2-84 EXCEPT WHERE SHARED (03-30-20)
31. CHANGED ROOM NAME "NOOK" TO "DINING ROOM" (03-30-20)
32. ADDED HOSE BIB LOCATIONS TO OPPOSITE SIDES OF THE HOUSE ON FRONT AND REAR (03-30-20)
33. CHANGED STANDARD PATH TO L2X10 (03-30-20)
34. NOTED "TEMP" WINDOWS IN OWNERS BATH (03-30-20)
35. MOVED ALL OPTIONS TO SEPARATE SHEET (03-30-20)
36. SHOWED DORMER WINDOWS ON SECOND FLOOR (03-30-20)
37. ADDED NOTE FOR ATTIC ACCESS FLOOR ON SECOND FLOOR (03-30-20)
38. NOTED "TEMP" WINKNWS IN BEDROOM 2 AND BEDROOM 4 (03-30-20)
39. CHANGED STANDARD LIGHT IN KITCHEN TO FLUORESCENT LIGHT (03-30-20)
40. NOTED PENDANT LIGHTS AS OPTIONAL (03-30-20)
41. ADDED OPTIONAL FLOOR OUTLETS IN FAMILY ROOM (03-30-20)
42. REMOVED ALL OUTLETS EXCEPT OPTIONAL FLOOR OUTLET (03-30-20)
43. VERIFIED ALL COACH LIGHT LOCATIONS (03-30-20)
44. NO RED ALL PANS AS STD LIGHT OPT PAN/LT FIRE WIRE IN ALL BEDROOMS (03-30-20)
45. UPDATED ELECTRICAL LEGEND (03-30-20)
46. NOTED FLOOD LIGHTS AS OPTIONAL (03-30-20)



COVER SHEET

H&H HOMES  
KENT

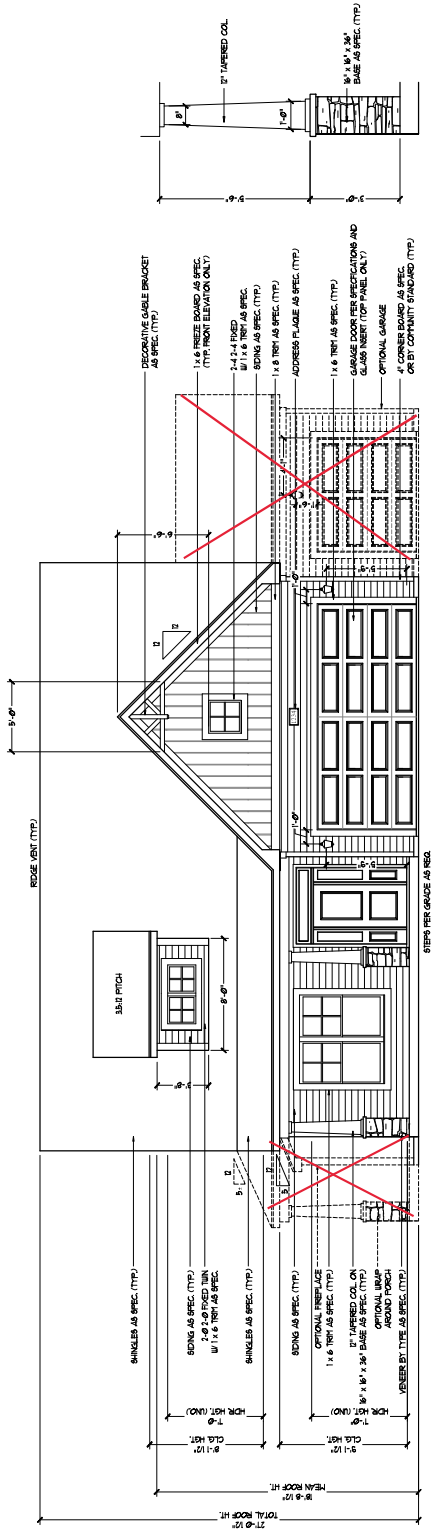
DATE: MARCH 27, 2019  
REV: JUNE 01, 2020  
DRAWN BY: WJG  
ENGINEERED BY:  
REVIEWED BY:



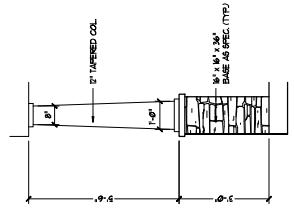


PLEASE REVISION AND/OR COMMENTS  
 DATE: REVISED: DRAWN BY: ENGINEERED BY: REVIEWED BY:

H&H HOMES, INC.  
 KENT  
 DATE: MARCH 27, 2019  
 SCALE: AS NOTED  
 DRAWN BY: WJT  
 ENGINEERED BY:  
 REVIEWED BY:  
 B-1 ELEVATION  
 A-2

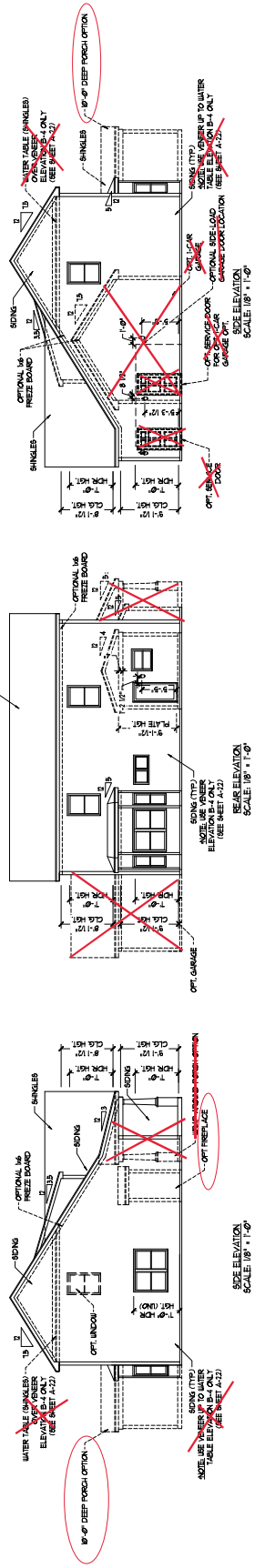
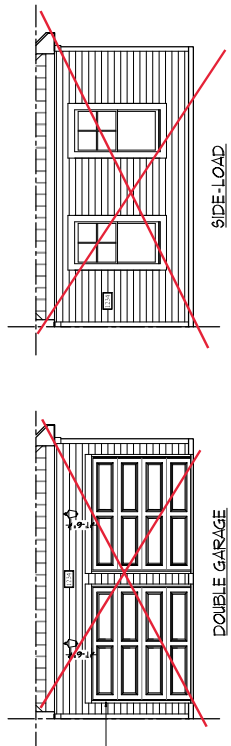


COLUMN DETAIL



NOTE:  
 SEE SHEET A-21 FOR BRICK FRONT ELEVATIONS  
 SEE SHEET A-22 FOR STONE FRONT ELEVATIONS  
 SEE SHEET A-23 (ALL BRICK ELEVATIONS)

FRONT ELEVATION-B-1  
 SCALE: 1/8" = 1'-0"



SIDE ELEVATION  
 SCALE: 1/8" = 1'-0"

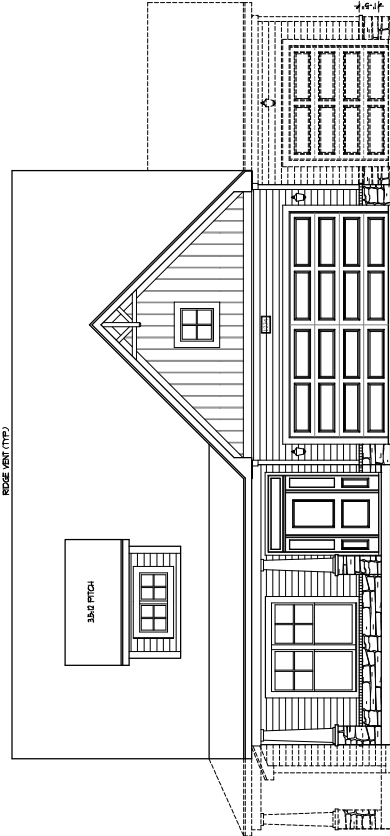
REAR ELEVATION  
 SCALE: 1/8" = 1'-0"



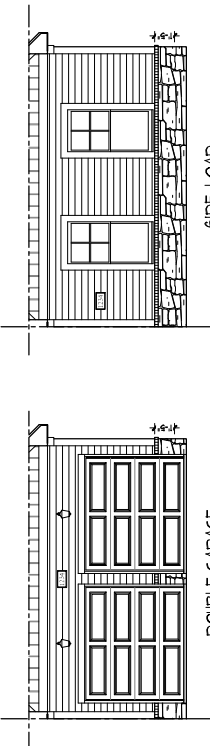
PLEASE REVISIONS, MATERIALS, FINISHES, SPECIFICATIONS, AND ELEVATIONS SHALL BE SUBJECT TO CHANGE WITHOUT NOTICE. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY SUCH PERMITS OR APPROVALS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY SUCH PERMITS OR APPROVALS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY SUCH PERMITS OR APPROVALS.

H&H HOMES, INC.  
KENT  
DATE: MARCH 27, 2019  
REV: JUNE 01, 2020  
SCALE: AS NOTED  
DRAWN BY: WJT  
ENGINEERED BY:  
REVIEWED BY:  
R-2, R-3  
ELEVATIONS W/  
STONE

A-2.2

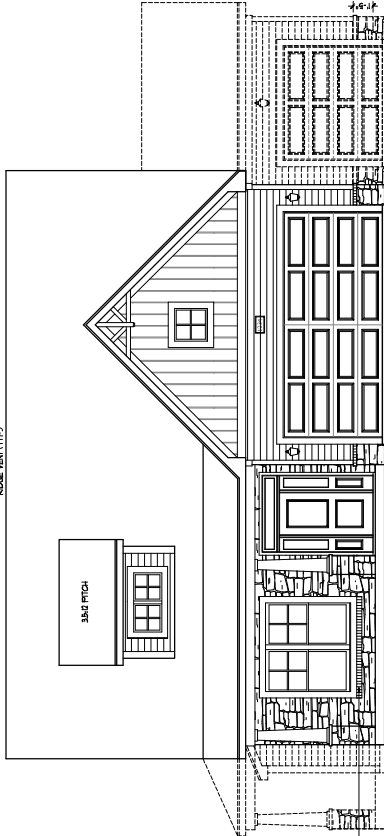


FRONT ELEVATION-B-2  
SCALE: 1/4" = 1'-0"



DOUBLE GARAGE  
DOOR OPTION  
ONLY AVAILABLE WITH  
FRONT LOAD GARAGE!  
SCALE: 1/4" = 1'-0"

SIDE - LOAD  
GARAGE OPTION  
ONLY AVAILABLE WITH  
OPTIONAL ONE-CAR GARAGE!  
SCALE: 1/4" = 1'-0"



FRONT ELEVATION-B-3  
SCALE: 1/4" = 1'-0"

STONE LEISURE  
AS SPEC. (TYP)



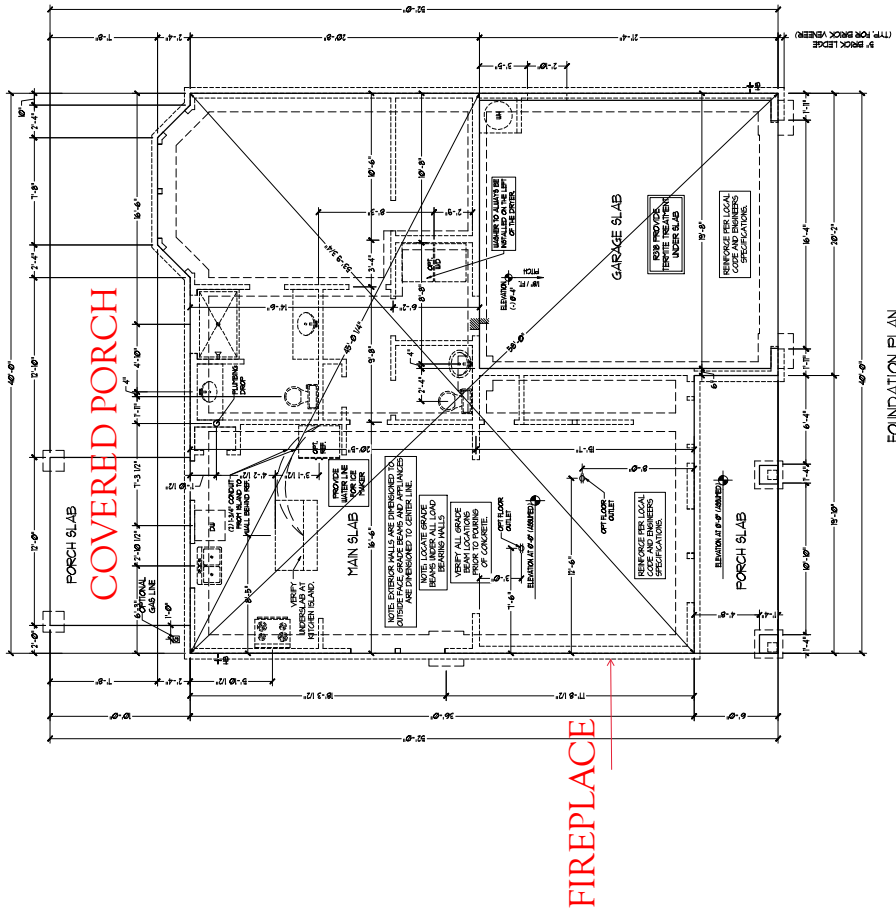
ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE 2018 INTERNATIONAL FOUNDATION CODE BOOK (IFC). ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL MECHANICAL CODE BOOK (IMC) AND THE 2018 INTERNATIONAL PLUMBING AND HEATING CODE BOOK (IPC). ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL ELECTRICAL CODE BOOK (IEC) AND THE 2018 INTERNATIONAL FIRE AND ALARM CODE BOOK (IFAC). ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL SWEET'S FOUNDATION AND STRUCTURAL FOUNDATIONS HANDBOOK (SFFH) AND THE 2018 INTERNATIONAL SWEET'S FOUNDATION AND STRUCTURAL FOUNDATIONS HANDBOOK (SFFH).

H&H HOMES, INC.  
KENT

DATE: MARCH 27, 2019  
REV: JUNE 01, 2020  
SCALE: 1/4" = 1'-0"  
DRAWN BY: WJT  
ENGINEERED BY:  
REVIEWED BY:

SLAB INTERFERENCE  
PLAN

A-5



FOUNDATION PLAN  
(SEE PLAN C-1)



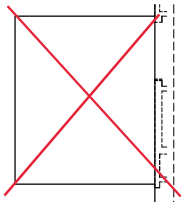


PLEASE REVISIONS AND/OR COMMENTS FROM THE ARCHITECT MUST BE RECEIVED BY THE ARCHITECT PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE BUILDING AS SHOWN ON THESE PLANS. THE ARCHITECT DOES NOT ASSUME RESPONSIBILITY FOR THE DESIGN OR CONSTRUCTION OF ANY OTHER STRUCTURES OR UTILITIES THAT MAY BE NEAR OR ADJACENT TO THE BUILDING. THE ARCHITECT DOES NOT ASSUME RESPONSIBILITY FOR THE DESIGN OR CONSTRUCTION OF ANY OTHER STRUCTURES OR UTILITIES THAT MAY BE NEAR OR ADJACENT TO THE BUILDING. THE ARCHITECT DOES NOT ASSUME RESPONSIBILITY FOR THE DESIGN OR CONSTRUCTION OF ANY OTHER STRUCTURES OR UTILITIES THAT MAY BE NEAR OR ADJACENT TO THE BUILDING.

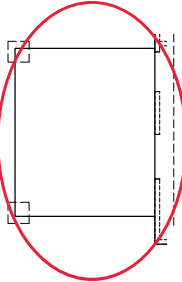
H&H HOMES, INC.  
KENT

DATE: MARCH 27, 2019  
REV: JUNE 01, 2020  
SCALE: 1/4" = 1'-0"  
DRAWN BY: WJF  
ENGINEERED BY:  
REVIEWED BY:

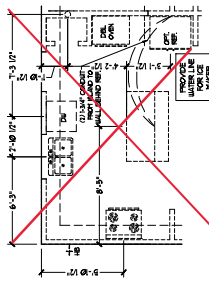
SLAB INTERFACE PLAN - OPTIONS  
A-5.1



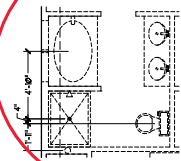
~~OPTIONAL EXTENDED PATIO~~



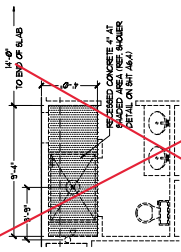
~~OPTIONAL COVERED PORCH~~



~~OPTIONAL COURTYARD KITCHEN~~



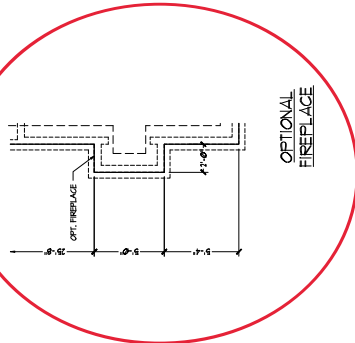
~~OPTIONAL OWNER'S BATH 1~~



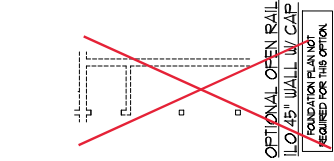
~~OPTIONAL OWNER'S BATH 2~~

~~FOUNDATION PLAN NOT REQUIRED FOR THIS OPTION~~

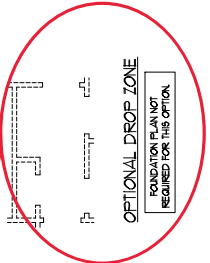
~~FOUNDATION PLAN NOT REQUIRED FOR THIS OPTION~~



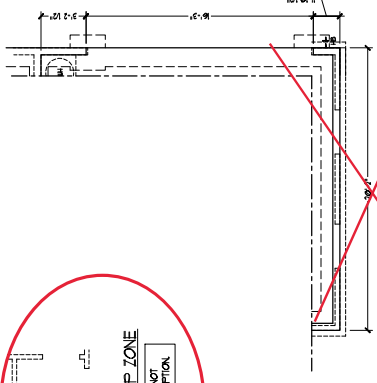
~~OPTIONAL FIREPLACE~~



~~OPTIONAL OPEN RAIL WITH 10' X 15' WALL AND CAP~~

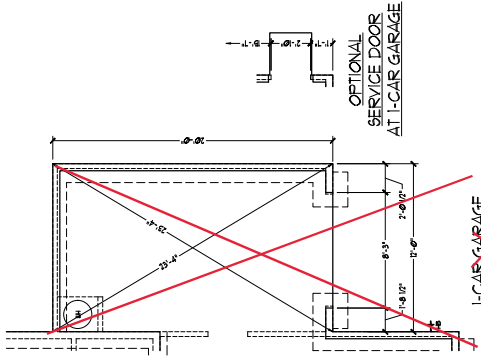


~~OPTIONAL DROP ZONE~~



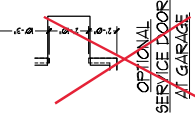
~~OPTIONAL SIDE-LOAD GARAGE OPTION~~

~~(NOT AVAILABLE WITH OPTIONAL ONE-CAR GARAGE)~~

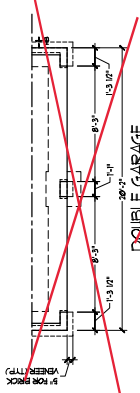


~~OPTIONAL I-CAR GARAGE~~

~~SERVICE DOOR AT I-CAR GARAGE~~



~~OPTIONAL SERVICE DOOR AT GARAGE~~



~~OPTIONAL DOUBLE GARAGE DOOR OPTION~~

~~(ONLY AVAILABLE WITH FRONT LOAD GARAGE)~~

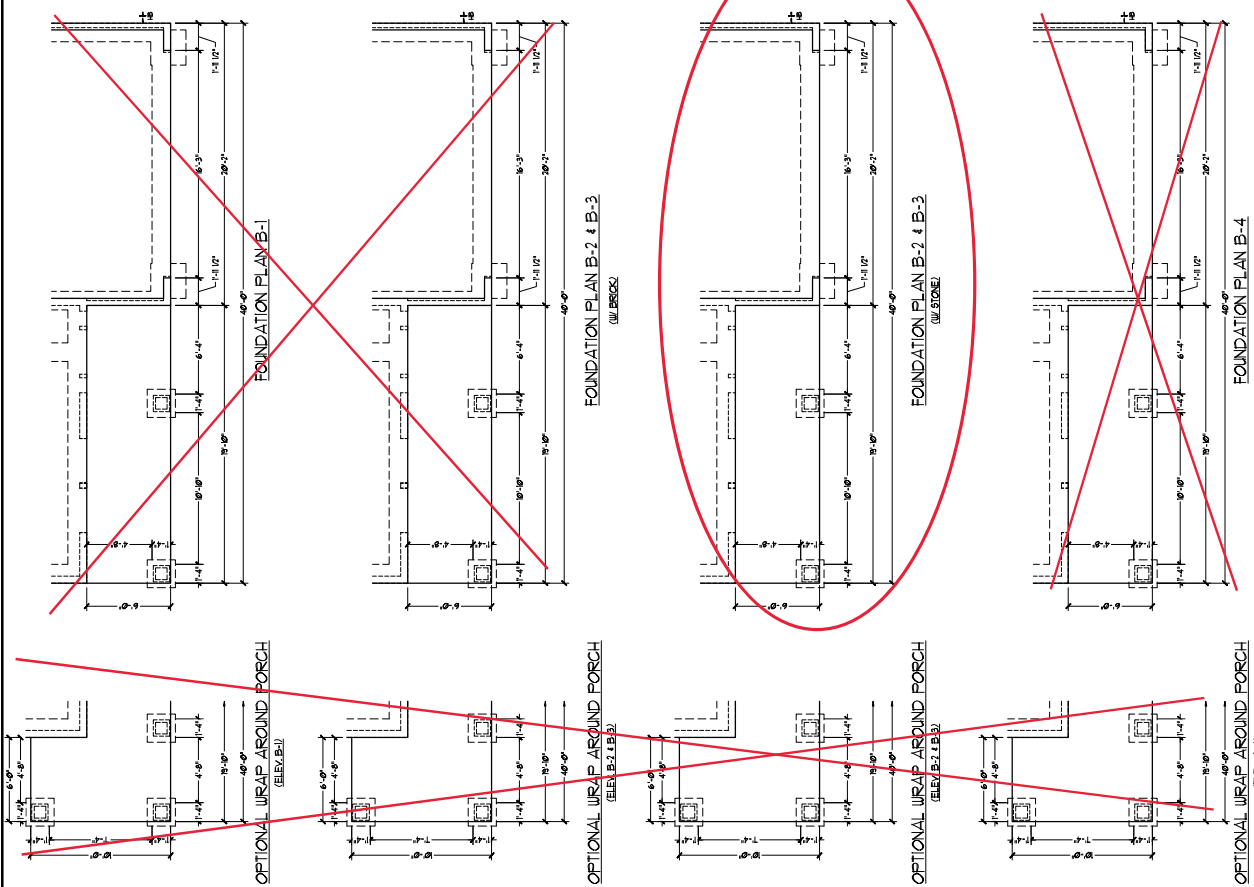


PHYS. REVISIONS AND/OR REVISIONS  
 GENERAL NOTES AND SPECIFICATIONS  
 REFER TO ALL DRAWINGS AND SPECIFICATIONS  
 FOR THE PROJECT AND ALL REVISIONS  
 TO THE SAME. ALL REVISIONS SHALL BE  
 IN ACCORDANCE WITH THE LATEST EDITION  
 OF THE INTERNATIONAL BUILDING CODES  
 (IBC) AND THE LATEST EDITION OF THE  
 INTERNATIONAL RESIDENTIAL CODES  
 (IRC). ALL DIMENSIONS SHALL BE  
 UNLESS OTHERWISE NOTED.  
 ALL DIMENSIONS SHALL BE IN FEET AND  
 INCHES. DIMENSIONS SHALL BE TO THE  
 CENTERLINE OF WALLS AND TO THE  
 CENTERLINE OF OPENINGS UNLESS  
 OTHERWISE NOTED.  
 ALL DIMENSIONS SHALL BE TO THE  
 CENTERLINE OF WALLS AND TO THE  
 CENTERLINE OF OPENINGS UNLESS  
 OTHERWISE NOTED.  
 ALL DIMENSIONS SHALL BE TO THE  
 CENTERLINE OF WALLS AND TO THE  
 CENTERLINE OF OPENINGS UNLESS  
 OTHERWISE NOTED.

H&H HOMES, INC.  
 KENT

DATE: MARCH 27, 2019  
 REV: JUNE 01, 2020  
 SCALE: 1/4" = 1'-0"  
 DRAWN BY: WJC  
 ENGINEERED BY:  
 REVIEWED BY:  
 SLAB INTERFACE  
 PLAN - PARTIAL  
 PLAN ELEV. B

A-5.3





PRICE: \$120,000.00  
 CONTRACT VALUE: \$120,000.00  
 CONTRACT NO.: H&H-2024-001  
 PROJECT NO.: H&H-2024-001  
 DATE: 03/27/2024

H&H HOMES, INC.  
 KENT

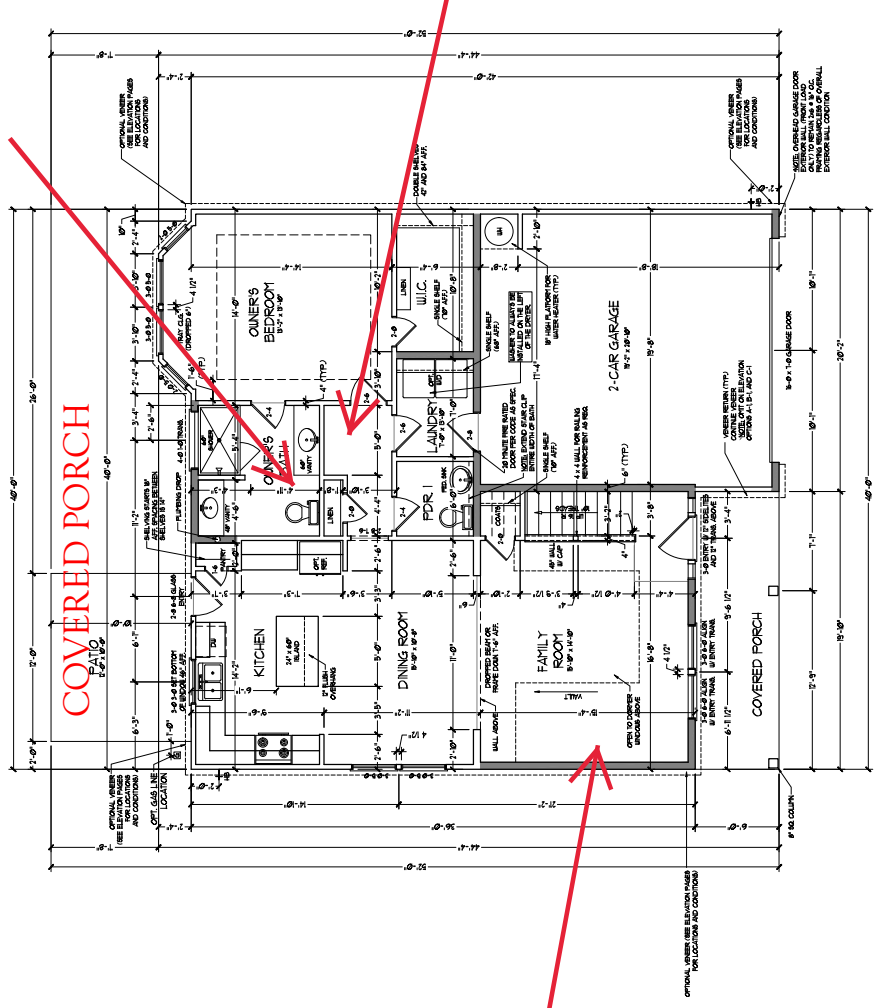
DATE: MARCH 27, 2024  
 REV: JUNE 01, 2020  
 SCALE: 1/4" = 1'-0"  
 DRAWN BY: WJC  
 ENGINEERED BY:  
 REVIEWED BY:

FIRST FLOOR  
 PLAN  
 A-6

SQUARE FOOTAGE	
1st FLOOR	1865.00 SF
TOTAL	1865.00 SF
COVERED PORCH	1865.00 SF
PAVED	1865.00 SF
1st FLOOR OPTIONS	
OPTIONAL PORCH	1865.00 SF
OPTIONAL PATIO	1865.00 SF
OPTIONAL GARAGE	1865.00 SF
OPTIONAL PATIO	1865.00 SF
OPTIONAL GARAGE PORCH	1865.00 SF

SQUARE FOOTAGE (W/ ALL FINISHES)	
1st FLOOR	2115.00 SF
TOTAL	2115.00 SF
COVERED PORCH	2115.00 SF
PAVED	2115.00 SF
1st FLOOR OPTIONS	
OPTIONAL PORCH	2115.00 SF
OPTIONAL PATIO	2115.00 SF
OPTIONAL GARAGE	2115.00 SF
OPTIONAL PATIO	2115.00 SF
OPTIONAL GARAGE PORCH	2115.00 SF

NOTE: ALL DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.  
 DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.  
 DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.  
 DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.



OWNERS BATH2

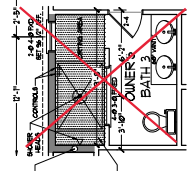
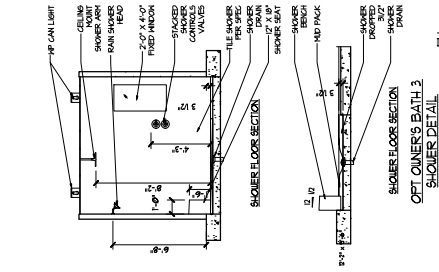
COVERED PORCH

DROP ZONE

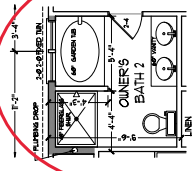
FIREPLACE

FIRST FLOOR PLAN  
 (A-1, B-1 AND C-1)

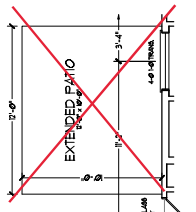
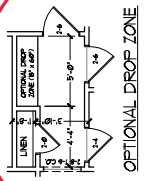
PLEASE REVISIONS AND/OR COMMENTS TO BE SUBMITTED TO THE ARCHITECT WITHIN 14 DAYS OF THE DATE OF THIS SET OF DRAWINGS. ANY CHANGES TO THE DRAWINGS WILL BE AT THE CLIENT'S RISK. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY CONSTRUCTION DEFECTS OR OMISSIONS. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT ONLY. THE ARCHITECT DOES NOT WARRANT OR GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT ONLY.



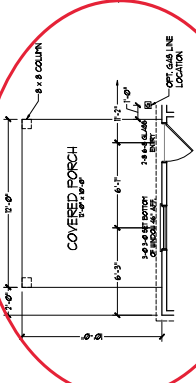
OPTIONAL  
OWNER'S BATH 3



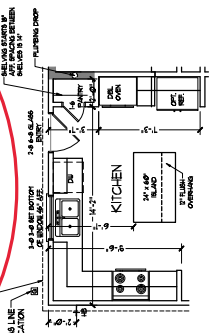
OPTIONAL  
OWNER'S BATH 2



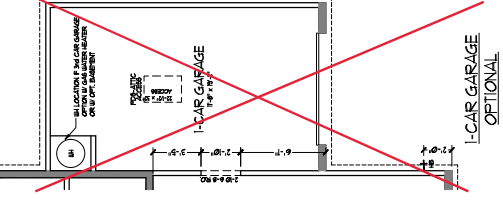
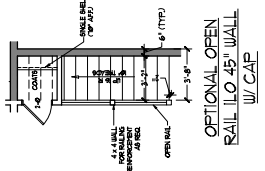
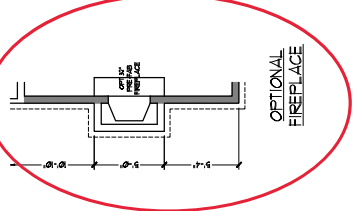
OPTIONAL  
EXTENDED PATIO



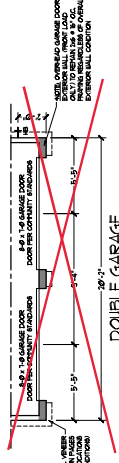
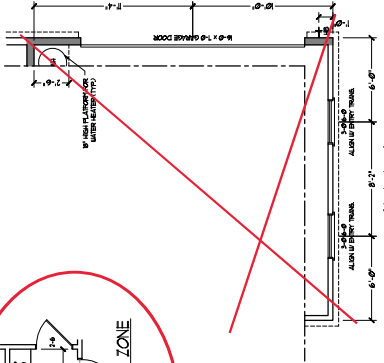
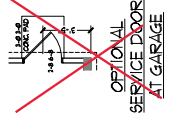
OPTIONAL  
COVERED PORCH



OPTIONAL  
GOURMET KITCHEN



OPTIONAL SERVICE DOOR AT 1-CAR GARAGE

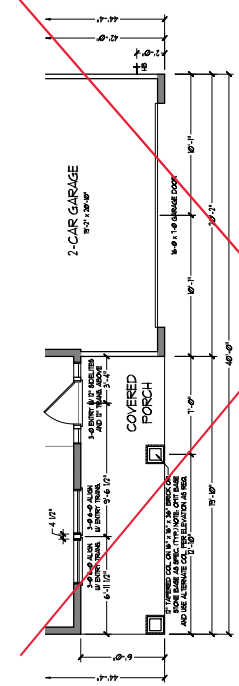


DOUBLE GARAGE DOOR OPTION  
(ONLY AVAILABLE WITH FRONT LOAD GARAGE)

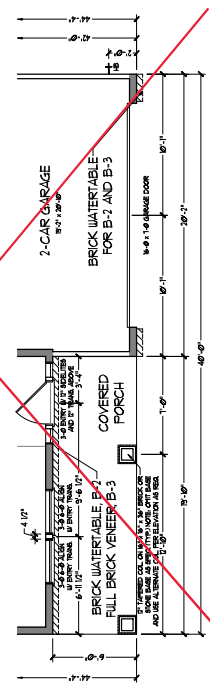


PLEASE REVISIONS AND/OR CHANGES TO THIS PLAN SHALL BE MADE BY THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHERS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHERS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHERS.

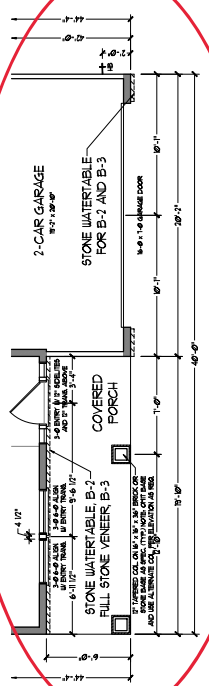
H&H HOMES, INC.  
KENT  
DATE: MARCH 27, 2019  
REV: JUNE 01, 2020  
SCALE: 1/4" = 1'-0"  
DRAWN BY: WJ  
REVIEWED BY:  
FIRST FLOOR PLAN - ELEV. B PARTIAL PLANS  
A6.3



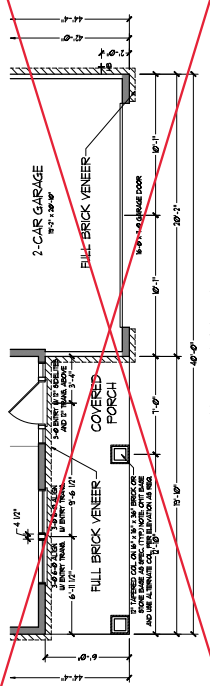
FLOOR PLAN B-1



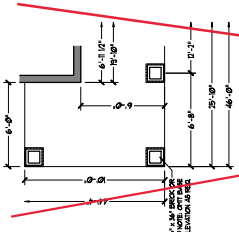
FLOOR PLAN B-2 & B-3  
(W/ BRICK)



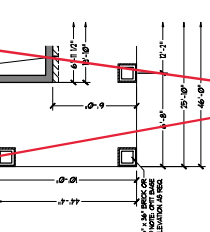
FLOOR PLAN B-2 & B-3  
(W/ STONE)



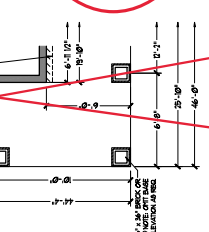
FLOOR PLAN B-4



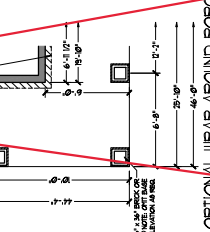
OPTIONAL WRAP AROUND PORCH (ELEV. B-1)



OPTIONAL WRAP AROUND PORCH (ELEV. B-2)



OPTIONAL WRAP AROUND PORCH (ELEV. B-2 & B-3)



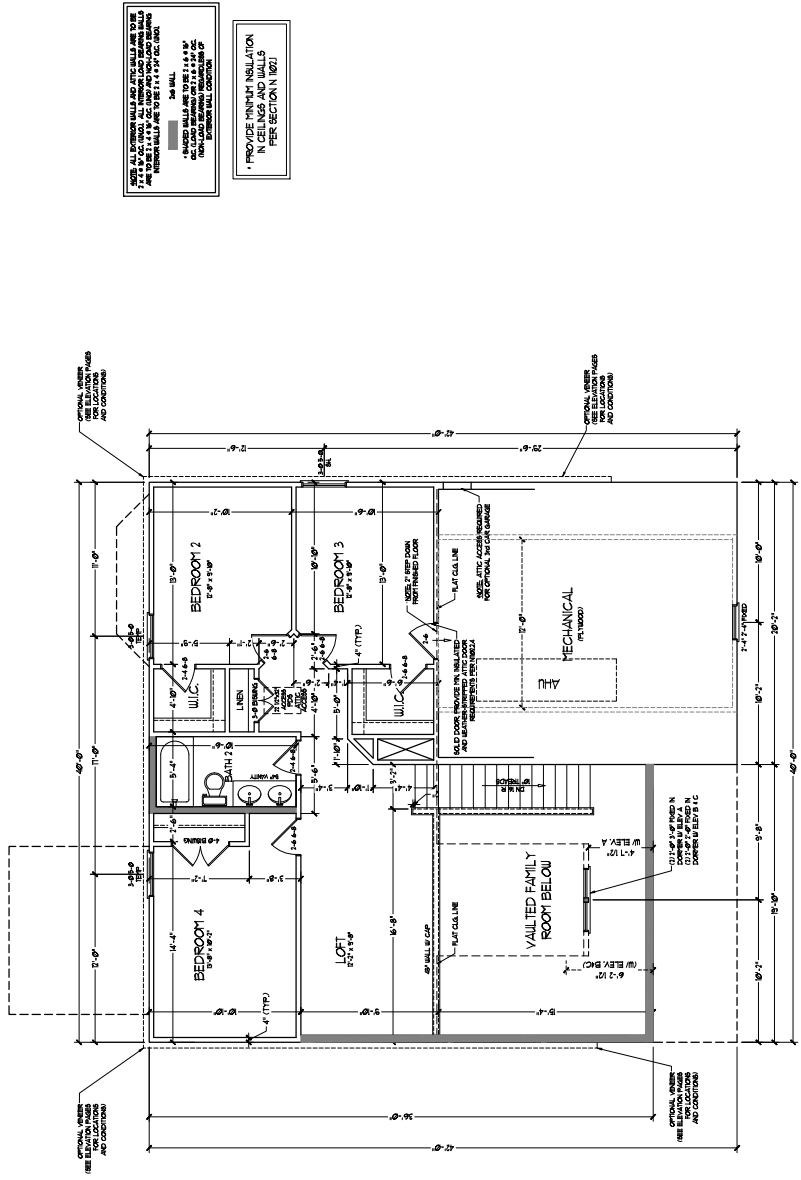
OPTIONAL WRAP AROUND PORCH (ELEV. B-4)



PLEASE REVISIONS, COMMENTS, AND/OR QUESTIONS TO THE ARCHITECT PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE BUILDING AS SHOWN ON THESE PLANS. THE ARCHITECT DOES NOT ASSUME RESPONSIBILITY FOR THE DESIGN OR CONSTRUCTION OF ANY OTHER WORK OR FOR THE PERFORMANCE OF ANY OTHER PROFESSIONAL SERVICES. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE BUILDING AS SHOWN ON THESE PLANS.

H&H HOMES, INC.  
KENT

DATE: MARCH 27, 2019  
 REV: JUNE 01, 2020  
 SCALE: 1/4" = 1'-0"  
 DRAWN BY: WJG  
 ENGINEERED BY:  
 REVIEWED BY:  
 SECOND FLOOR PLAN  
 A-7



SECOND FLOOR PLAN

OPTICAL VERIFICATION REQUIRED FOR ALL WALLS AND CEILING PER SECTION 1021. PROVIDE FINISH INSULATION IN CEILING AND WALLS PER SECTION 1021.

MECHANICAL ROOM TO BE BELIEVED PER LOCATION AND CONDITIONS.

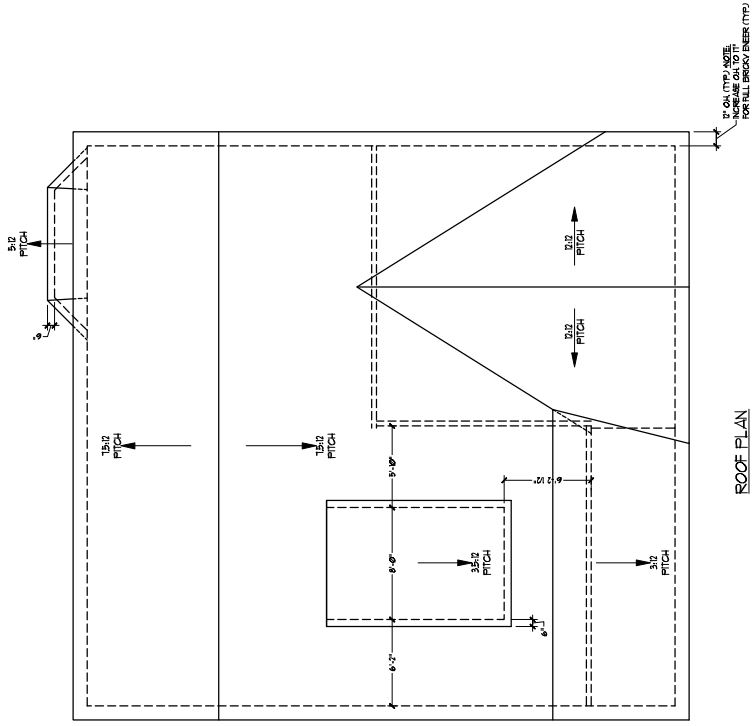


H&H HOMES, INC.  
 10000 W. 10TH AVENUE, SUITE 100  
 DENVER, CO 80231  
 TEL: 303.751.1000  
 FAX: 303.751.1001  
 WWW.H&HHOMES.COM

H&H HOMES, INC.  
 KENT

DATE: MARCH 27, 2019  
 REV: JUNE 01, 2020  
 SCALE: 1/4" = 1'-0"  
 DRAWN BY: WJZ  
 ENGINEERED BY:  
 REVIEWED BY:

ROOF PLAN  
 ELEVATION - B  
 A-8.1



ROOF PLAN  
 (ELEVATION)  
 SCALE: 1/4" = 1'-0"

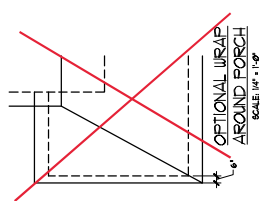
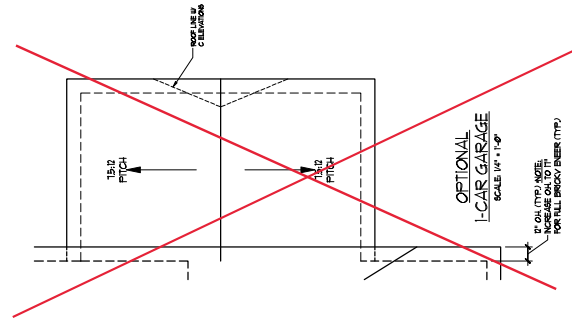
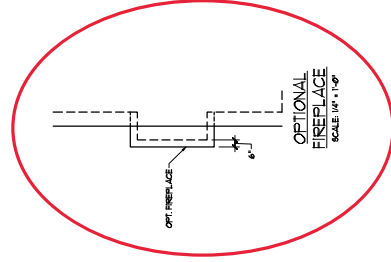
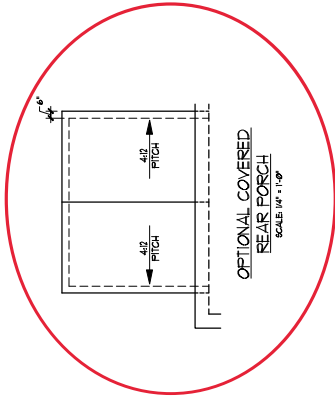
TOTAL UNDER ROOF AREA:	1161 SQ. FT.	1161 SQ. FT.
VENTING AREA REQUIRED:	1161 SQ. FT. / 300	387 SQ. FT.
TOTAL REQUIREMENTS:	LOWER: 134	UPPER: 134
LOWER AREA VENTING		
SOFFIT VENT	SIZE: PER UNIT: # UNITS: PROVIDED:	
	-.041 SF/LF 56'-0"	2.29
LOWER AREA VENTING PROVIDED:		
UPPER AREA VENTING		
RIDGE VENT	SIZE: PER UNIT: # UNITS: PROVIDED:	
	-.125 SF/LF 38'-0"	4.75
UPPER AREA VENTING PROVIDED:		
TOTAL AREA PROVIDED		
SOFFIT AND RIDGE VENT		7.04



PHOTOS, PHOTOGRAPHS, MEASUREMENTS, SPECIFICATIONS, DIMENSIONS, FINISHES, SCHEDULES, CONDITIONS, CONTRACTS, AGREEMENTS, AND ALL OTHER DOCUMENTS AND INSTRUMENTS OF SERVICE OF THE ARCHITECT, CONTRACTOR, ENGINEER, ARCHITECTURAL FIRM, AND/OR CONSULTANT, SHALL BE SUBJECT TO THE TERMS AND CONDITIONS OF THE ARCHITECT'S STANDARD CONTRACT DOCUMENTS, WHICH ARE INCORPORATED BY REFERENCE INTO THIS AGREEMENT. THE ARCHITECT'S STANDARD CONTRACT DOCUMENTS ARE AVAILABLE FOR REVIEW AT THE ARCHITECT'S OFFICE AND AT THE PROJECT SITE. THE ARCHITECT'S STANDARD CONTRACT DOCUMENTS ARE AVAILABLE FOR REVIEW AT THE PROJECT SITE. THE ARCHITECT'S STANDARD CONTRACT DOCUMENTS ARE AVAILABLE FOR REVIEW AT THE PROJECT SITE.

H&H HOMES, INC.  
 KENT  
 DATE: MARCH 27, 2019  
 SCALE: 1/4" = 1'-0"  
 DRAWN BY: WJZ  
 ENGINEERED BY:  
 REVIEWED BY:

ROOF PLAN  
 OPTIONS  
 A-8.3



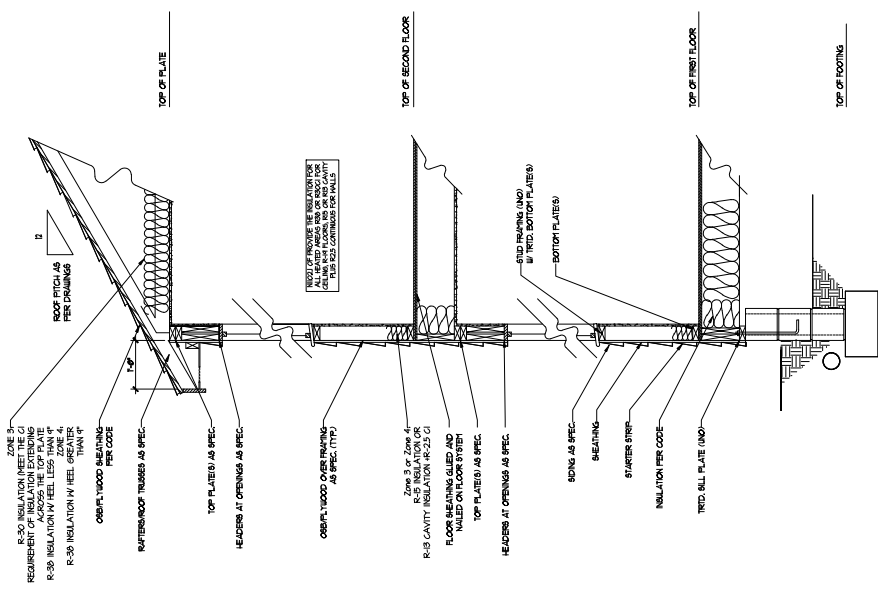
PT. 04 (TYP.) NOTE:  
 MATERIALS TO BE  
 INSTALLED PER PERMITS  
 (TYP.)



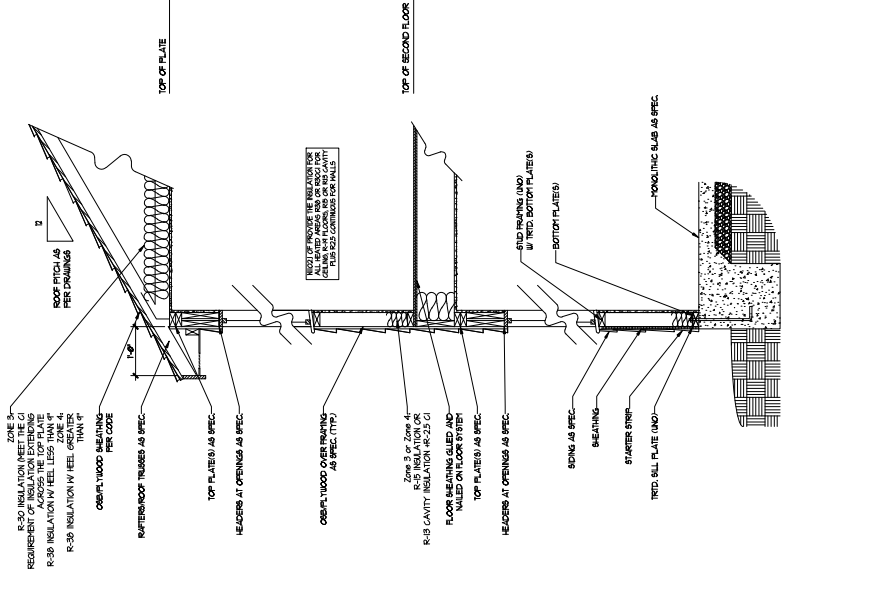


PLEASE REVISIONS AND/OR COMMENTS TO BE SUBMITTED TO THE ARCHITECT WITHIN 14 DAYS OF THE DATE OF THIS SET OF DRAWINGS. ANY CHANGES TO BE MADE TO THIS SET OF DRAWINGS SHALL BE MADE BY THE ARCHITECT. THE ARCHITECT'S RESPONSIBILITY IS TO PROVIDE A COMPLETE SET OF DRAWINGS FOR CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS OF THE WORK BEFORE BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL ADJACENT PROPERTIES AND PUBLIC AREAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING UP ALL DEBRIS AND WASTE MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE AND BONDING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REFERENCES AND RECOMMENDATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS AND PERMITS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE AND BONDING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REFERENCES AND RECOMMENDATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS AND PERMITS.

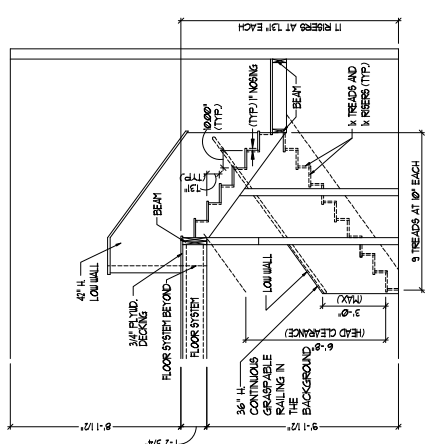
H&H HOMES, INC.  
KENT  
DATE: MARCH 27, 2019  
REV: JUNE 01, 2020  
SCALE: 1/4" = 1'-0"  
DRAWN BY: WJG  
ENGINEERED BY:  
REVIEWED BY:  
WALL SECTIONS  
AND STAIR  
DETAIL  
AD-1



WALL SECTION W/ CRAWL SPACE  
W/ STD. SIDING SHOWN (NTS)



WALL SECTION W/ SLAB  
W/ STD. SIDING SHOWN (NTS)



TYPICAL STAIR DETAIL  
(NTS)

STAIR NOTES:  
 \* BALUS: BALUS SHALL BE SPACED SO THAT A 4" SPHERE CANNOT PASS THROUGH.  
 \* THE TRIMMEL AS OPENINGS COVERED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD, AT THE OPERABLE END OF A GUARD, SHALL BE SECURED TO THE WALL OR OTHER STRUCTURE OF A BUILDING CANNOT PASS THROUGH.  
 \* OPENINGS FOR REQUIRED GUARDS ON THE ACES OF STAIR HANDRAILS SHALL NOT ALLOW A SPHERE 4.50 INCHES TO PASS THROUGH.  
 \* HANDRAILS: HANDRAILS FOR STAIRWAYS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT FROM A POINT DIRECTLY ABOVE THE LOWER RISER. HANDRAIL ENDS SHALL BE RETURNED OR FINISHED TO THE WALL OR OTHER STRUCTURE OF A BUILDING. HANDRAILS SHALL BE SECURED TO A WALL OR OTHER STRUCTURE OF A BUILDING. HANDRAILS SHALL NOT BE LESS THAN 1 1/2" NOT BETWEEN THE WALL AND HANDRAILS.  
 \* CONTINUOUS GRIPABLE HANDRAIL MUST FIT THE ONE OR THE TWO CRITERIA

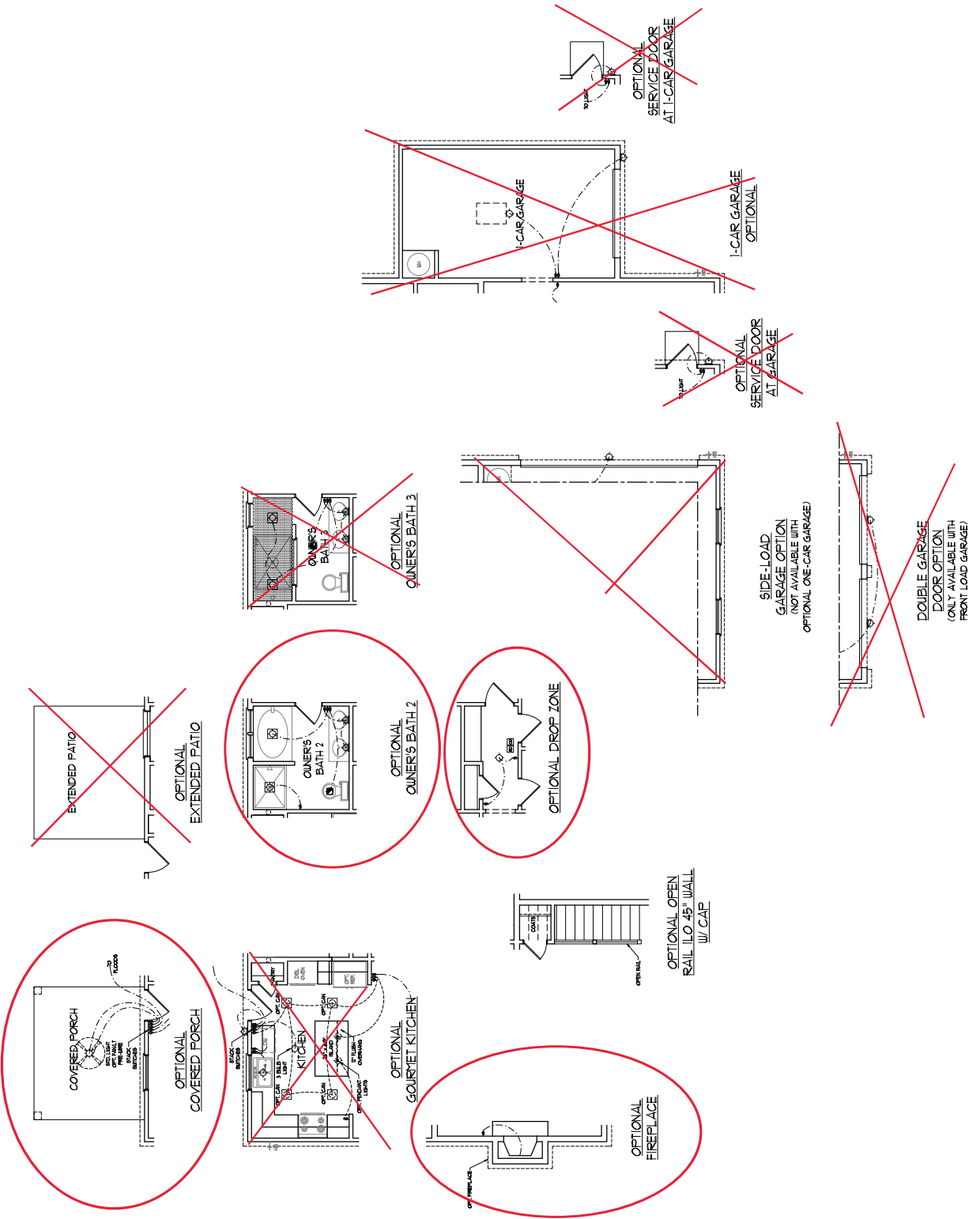




PLEASE REVISIONS AND/OR COMMENTS FROM THE ARCHITECT MUST BE RECEIVED BY THE ARCHITECT PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT.

H&H HOMES, INC.  
KENT

DATE: MARCH 27, 2019  
REV: JUNE 01, 2020  
SCALE: 1/4" = 1'-0"  
DRAWN BY: WJF  
ENGINEERED BY:  
FIRST FLOOR ELECTRICAL PLAN  
E-1.1

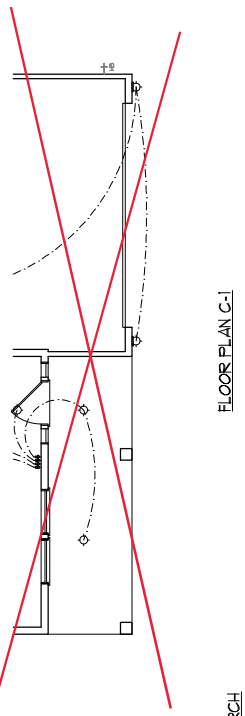
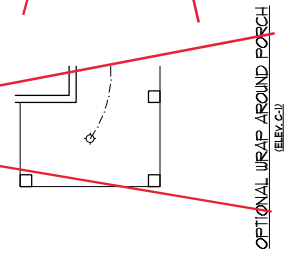
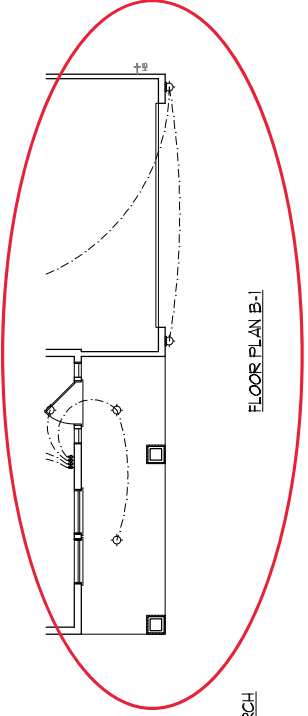
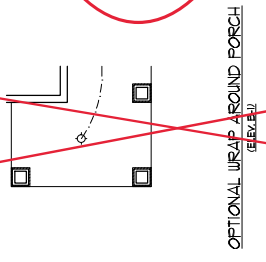
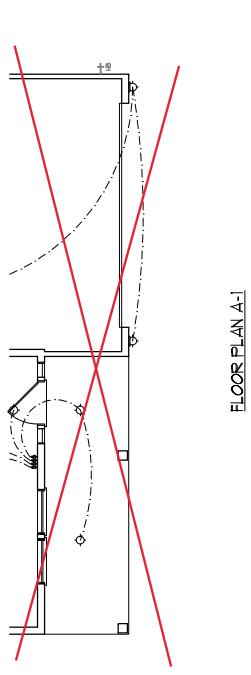
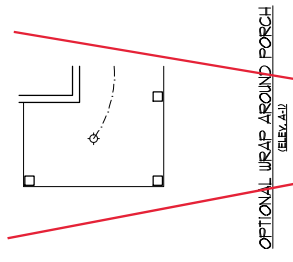




PLEASE REVISIONS AND/OR COMMENTS  
 TO BE MADE TO THE DRAWING SHEETS  
 BEFORE THE COMMENCEMENT OF  
 CONSTRUCTION. THE CONTRACTOR SHALL  
 BE RESPONSIBLE FOR OBTAINING ALL  
 NECESSARY PERMITS AND APPROVALS  
 FROM THE LOCAL AUTHORITIES.  
 THE CONTRACTOR SHALL BE RESPONSIBLE  
 FOR OBTAINING ALL NECESSARY  
 APPROVALS FROM THE LOCAL  
 AUTHORITIES. THE CONTRACTOR SHALL  
 BE RESPONSIBLE FOR OBTAINING ALL  
 NECESSARY PERMITS AND APPROVALS  
 FROM THE LOCAL AUTHORITIES.

H&H HOMES, INC.  
 KENT

DATE: MARCH 27, 2019  
 REV: JUNE 01, 2020  
 SCALE: 1/4" = 1'-0"  
 DRAWN BY: WJF  
 ENGINEERED BY:  
 REVIEWED BY:  
 FIRST FLOOR  
 ELECTRICAL  
 PLAN - PARTIAL  
 PLANS  
**E-1.2**



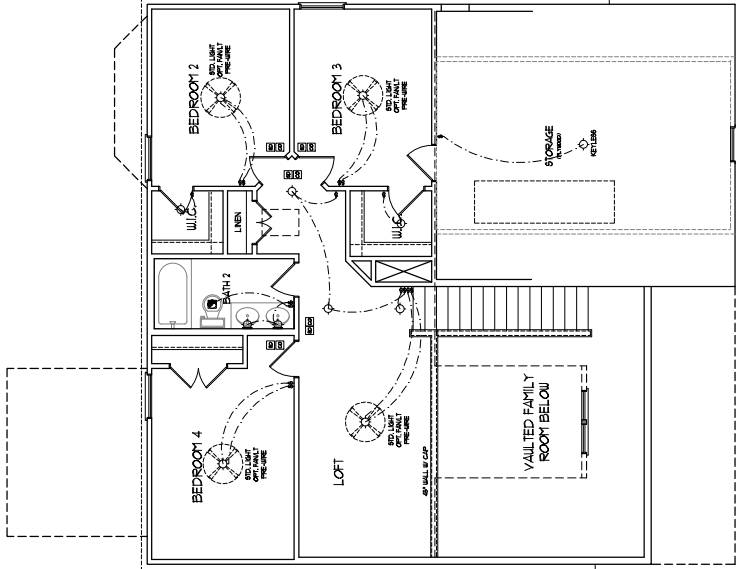


H&H HOMES, INC.  
 KENT

DATE: MARCH 27, 2019  
 REV. JUNE 01, 2020  
 SCALE: 1/4" = 1'-0"  
 DRAWN BY: WJZ  
 ENGINEERED BY:  
 REVIEWED BY:  
 SECOND FLOOR  
 ELECTRICAL  
 PLAN

**ELECTRICAL LAYOUT NOTES:**  
 1) BLACK AND BLUE WIRE FOR ALL  
 CIRCULAR RECESSED CANS  
 2) PINK WIRE FOR ALL WET  
 & WASH AREA LIGHTS  
 3) ADDITIONAL DIMMERS ON OTHERS  
 LOCATED BY ELECTRICAL  
 4) PLACE SWITCHES IF THEY WOULD  
 VIOLATE ORDINANCE

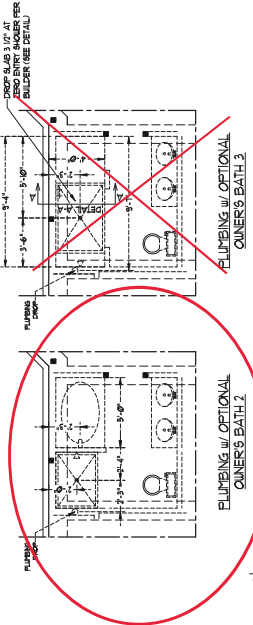
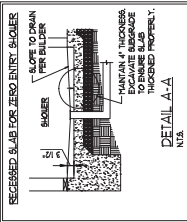
ELECTRICAL LEGEND	
○	1W/2W CANS
○	3W/4W CANS
○	CEILING POINT LIGHT
○	RECESSED CAN LIGHT
○	TRN CAN LIGHT
○	EXTERNAL LIGHT
○	FLUORESCENT LIGHT
○	2-LAMP FLUORESCENT
○	FLUORESCENT LIGHT
○	RECESSED LIGHT
○	SWITCH
○	3-WAY SWITCH
○	4-WAY SWITCH
○	TRANSFORMER
○	POCKET SWITCH/RECESSED WET AREA LIGHT
○	RECESSED LIGHT
○	COORDED CASE
○	NO W/ PENDING DETECTION
○	CO DETECTOR
○	SMOKER PAN
○	EXHAUST FAN
○	LAWP VOLUME PANEL
○	CEILING FAN
○	CEILING FAN w/ LIGHT



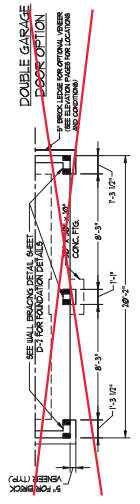
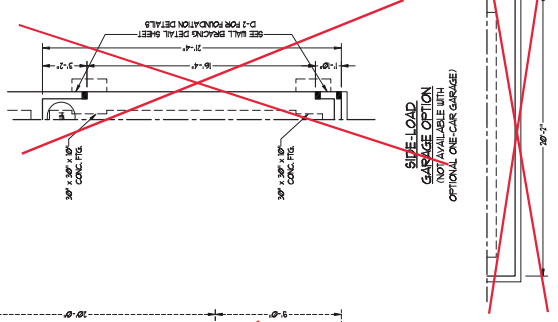
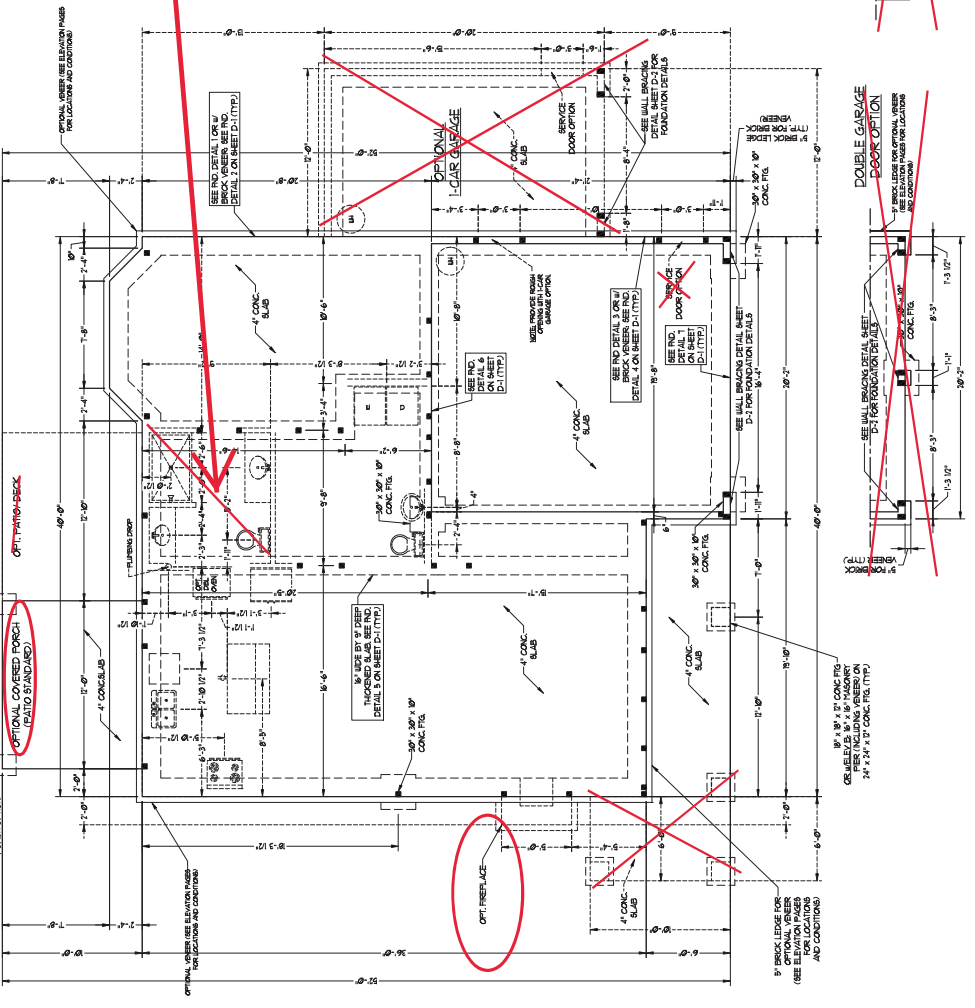
SECOND FLOOR PLAN



- NOTES TO THE GENERAL AND SPECIFIC NOTES TO THE FOUNDATION PLAN:**
1. FOUNDATION SHALL BE CONSTRUCTED ON A COMPACTED SUBGRADE. MAINTAIN PROPER DRAINAGE TO PREVENT WATER FROM ACCUMULATING UNDER THE FOUNDATION.
  2. FOUNDATION SHALL BE CONSTRUCTED ON A COMPACTED SUBGRADE. MAINTAIN PROPER DRAINAGE TO PREVENT WATER FROM ACCUMULATING UNDER THE FOUNDATION.
  3. FOUNDATION SHALL BE CONSTRUCTED ON A COMPACTED SUBGRADE. MAINTAIN PROPER DRAINAGE TO PREVENT WATER FROM ACCUMULATING UNDER THE FOUNDATION.
  4. FOUNDATION SHALL BE CONSTRUCTED ON A COMPACTED SUBGRADE. MAINTAIN PROPER DRAINAGE TO PREVENT WATER FROM ACCUMULATING UNDER THE FOUNDATION.
  5. FOUNDATION SHALL BE CONSTRUCTED ON A COMPACTED SUBGRADE. MAINTAIN PROPER DRAINAGE TO PREVENT WATER FROM ACCUMULATING UNDER THE FOUNDATION.
  6. FOUNDATION SHALL BE CONSTRUCTED ON A COMPACTED SUBGRADE. MAINTAIN PROPER DRAINAGE TO PREVENT WATER FROM ACCUMULATING UNDER THE FOUNDATION.
  7. FOUNDATION SHALL BE CONSTRUCTED ON A COMPACTED SUBGRADE. MAINTAIN PROPER DRAINAGE TO PREVENT WATER FROM ACCUMULATING UNDER THE FOUNDATION.
  8. FOUNDATION SHALL BE CONSTRUCTED ON A COMPACTED SUBGRADE. MAINTAIN PROPER DRAINAGE TO PREVENT WATER FROM ACCUMULATING UNDER THE FOUNDATION.
  9. FOUNDATION SHALL BE CONSTRUCTED ON A COMPACTED SUBGRADE. MAINTAIN PROPER DRAINAGE TO PREVENT WATER FROM ACCUMULATING UNDER THE FOUNDATION.
  10. FOUNDATION SHALL BE CONSTRUCTED ON A COMPACTED SUBGRADE. MAINTAIN PROPER DRAINAGE TO PREVENT WATER FROM ACCUMULATING UNDER THE FOUNDATION.
  11. FOUNDATION SHALL BE CONSTRUCTED ON A COMPACTED SUBGRADE. MAINTAIN PROPER DRAINAGE TO PREVENT WATER FROM ACCUMULATING UNDER THE FOUNDATION.
  12. FOUNDATION SHALL BE CONSTRUCTED ON A COMPACTED SUBGRADE. MAINTAIN PROPER DRAINAGE TO PREVENT WATER FROM ACCUMULATING UNDER THE FOUNDATION.
  13. FOUNDATION SHALL BE CONSTRUCTED ON A COMPACTED SUBGRADE. MAINTAIN PROPER DRAINAGE TO PREVENT WATER FROM ACCUMULATING UNDER THE FOUNDATION.
  14. FOUNDATION SHALL BE CONSTRUCTED ON A COMPACTED SUBGRADE. MAINTAIN PROPER DRAINAGE TO PREVENT WATER FROM ACCUMULATING UNDER THE FOUNDATION.
  15. FOUNDATION SHALL BE CONSTRUCTED ON A COMPACTED SUBGRADE. MAINTAIN PROPER DRAINAGE TO PREVENT WATER FROM ACCUMULATING UNDER THE FOUNDATION.
  16. FOUNDATION SHALL BE CONSTRUCTED ON A COMPACTED SUBGRADE. MAINTAIN PROPER DRAINAGE TO PREVENT WATER FROM ACCUMULATING UNDER THE FOUNDATION.
  17. FOUNDATION SHALL BE CONSTRUCTED ON A COMPACTED SUBGRADE. MAINTAIN PROPER DRAINAGE TO PREVENT WATER FROM ACCUMULATING UNDER THE FOUNDATION.
  18. FOUNDATION SHALL BE CONSTRUCTED ON A COMPACTED SUBGRADE. MAINTAIN PROPER DRAINAGE TO PREVENT WATER FROM ACCUMULATING UNDER THE FOUNDATION.
  19. FOUNDATION SHALL BE CONSTRUCTED ON A COMPACTED SUBGRADE. MAINTAIN PROPER DRAINAGE TO PREVENT WATER FROM ACCUMULATING UNDER THE FOUNDATION.
  20. FOUNDATION SHALL BE CONSTRUCTED ON A COMPACTED SUBGRADE. MAINTAIN PROPER DRAINAGE TO PREVENT WATER FROM ACCUMULATING UNDER THE FOUNDATION.



**OWNERS BATH 2**



**NOTE: ALL EXTERIOR WALLS AND ATTIC WALLS ARE TO BE 2 x 6 @ 16" O.C. MIN. (UNO). 2 x 4 @ 16" O.C. EXTERIOR WALLS MAY BE CONSTRUCTED IN LIEU OF 2 x 6 WALLS (UNO). ALL INTERIOR LOAD BEARING WALLS ARE TO BE 2 x 4 @ 16" O.C. (UNO) AND NON-LOAD BEARING INTERIOR WALLS ARE TO BE 2 x 4 @ 24" O.C. (UNO).**

UNIT SCHEDULE FOR BRICK/NATURAL STONE SUPPORT	SIZE OF LINTEL
UP TO 4 FT.	1.31 X 2.12 X 14
4-8	1.53 X 2.12 X 16
8 AND GREATER	1.64 X 2.12 X 16

- BRICK SUPPORT NOTES:**
- LINTEL SCHEDULE APPLIES TO ALL OPENINGS IN BRICK/VENEER (UNO) SEE NOTES FOR SIZE AND LOCATION OF OPENINGS.
  - LINTEL LONE LBS VERTICAL.
  - BRICK TO BE FULL HEIGHT STUDS SPACED AT 16" ON CENTER.
  - FOR ALL HEADERS 8" AND GREATER LENGTH, ATTACH STEEL ANGLE TO BRICKWORK WITH LAG BOLTS @ 4" O.C.
  - FOR ALL HEADERS 8" AND GREATER, BRICKWORK TO BE FULL HEIGHT STUDS @ 16" ON CENTER WITH 2" X 4 @ 16" O.C. BRICKS @ 7" O.C. BRICKS @ 7" O.C. BRICKS @ 7" O.C. BRICKS @ 7" O.C. BRICKS @ 7" O.C.
  - FOR ALL HEADERS 8" AND GREATER, BRICKWORK TO BE FULL HEIGHT STUDS @ 16" ON CENTER WITH 2" X 4 @ 16" O.C. BRICKS @ 7" O.C. BRICKS @ 7" O.C. BRICKS @ 7" O.C. BRICKS @ 7" O.C.

- STRUCTURAL NOTES:**
- ALL FINISH LUMBER TO BE SP# 4 (UNO). ALL LUMBER TO BE FULL GRADE UNO.
  - ALL LOAD BEARING HEADERS TO BE (2) 2 x 6 (UNO). PROVIDE AN EQUAL JOIST UNDER WALLS PARALLEL TO HEADERS.
  - WINDOW AND DOOR HEADERS TO BE SUPPORTED BY (1) 2" X 6 BRACKET OR EQUAL AND BE FULL HEIGHT STUDS @ 16" ON CENTER.
  - REQUIREMENTS: ROOF JOISTS SHALL BE FULL HEIGHT STUDS @ 16" ON CENTER. ALL SQUARES TO BE (2) BRDS (UNO).
  - BRICKWORK TO BE FULL HEIGHT STUDS @ 16" ON CENTER WITH 2" X 4 @ 16" O.C. BRICKS @ 7" O.C. BRICKS @ 7" O.C. BRICKS @ 7" O.C. BRICKS @ 7" O.C.
  - FOR HIGH AND ZONES, SECURE ALL EXTERIOR WALL BRICKWORK WITH FULL HEIGHT STUDS @ 16" ON CENTER WITH 2" X 4 @ 16" O.C. BRICKS @ 7" O.C. BRICKS @ 7" O.C. BRICKS @ 7" O.C. BRICKS @ 7" O.C.
  - FOR HIGH AND ZONES, SECURE ALL EXTERIOR WALL BRICKWORK WITH FULL HEIGHT STUDS @ 16" ON CENTER WITH 2" X 4 @ 16" O.C. BRICKS @ 7" O.C. BRICKS @ 7" O.C. BRICKS @ 7" O.C. BRICKS @ 7" O.C.
  - FOR HIGH AND ZONES, SECURE ALL EXTERIOR WALL BRICKWORK WITH FULL HEIGHT STUDS @ 16" ON CENTER WITH 2" X 4 @ 16" O.C. BRICKS @ 7" O.C. BRICKS @ 7" O.C. BRICKS @ 7" O.C. BRICKS @ 7" O.C.
  - FOR HIGH AND ZONES, SECURE ALL EXTERIOR WALL BRICKWORK WITH FULL HEIGHT STUDS @ 16" ON CENTER WITH 2" X 4 @ 16" O.C. BRICKS @ 7" O.C. BRICKS @ 7" O.C. BRICKS @ 7" O.C. BRICKS @ 7" O.C.

**NOTE: ALL ANCHOR BOLTS MUST BE INSTALLED IN LIEU OF DEPTH AND BRACING INDICATED ON THE PLAN.**

**NOTE: REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.**

**TOP INDICATED DOUBLE END POCKET BETWEEN UNO/UNO.**

**BRACED WALL DESIGN NOTES:**

- BRACED WALL DESIGN PER SECTION R602.10.5 OF THE IRC. CH-UP REFER TO CONTINUOUS SEAMING. WOOD CH-UP REFER TO CONTINUOUS SEAMING. WOOD CH-UP REFER TO CONTINUOUS SEAMING. WOOD CH-UP REFER TO CONTINUOUS SEAMING.
- ALL EXTERIOR WALLS ATTACHED TO BRICK/NATURAL STONE SHALL BE FULL HEIGHT STUDS @ 16" ON CENTER WITH 2" X 4 @ 16" O.C. BRICKS @ 7" O.C. BRICKS @ 7" O.C. BRICKS @ 7" O.C. BRICKS @ 7" O.C.
- ALL EXTERIOR WALLS ATTACHED TO BRICK/NATURAL STONE SHALL BE FULL HEIGHT STUDS @ 16" ON CENTER WITH 2" X 4 @ 16" O.C. BRICKS @ 7" O.C. BRICKS @ 7" O.C. BRICKS @ 7" O.C. BRICKS @ 7" O.C.
- FOR HIGH AND ZONES, SECURE ALL EXTERIOR WALL BRICKWORK WITH FULL HEIGHT STUDS @ 16" ON CENTER WITH 2" X 4 @ 16" O.C. BRICKS @ 7" O.C. BRICKS @ 7" O.C. BRICKS @ 7" O.C. BRICKS @ 7" O.C.
- FOR HIGH AND ZONES, SECURE ALL EXTERIOR WALL BRICKWORK WITH FULL HEIGHT STUDS @ 16" ON CENTER WITH 2" X 4 @ 16" O.C. BRICKS @ 7" O.C. BRICKS @ 7" O.C. BRICKS @ 7" O.C. BRICKS @ 7" O.C.

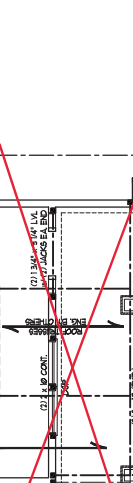
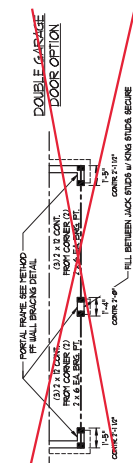
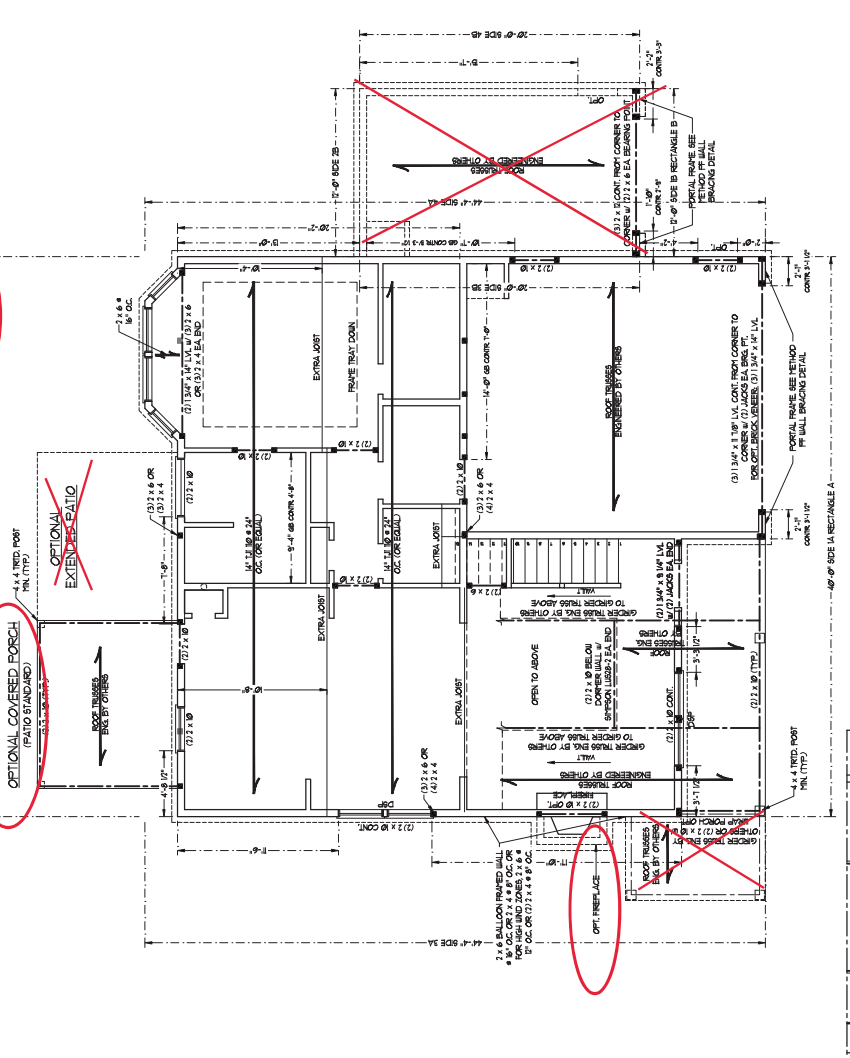
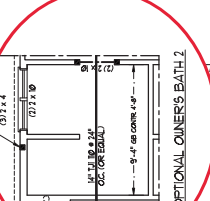
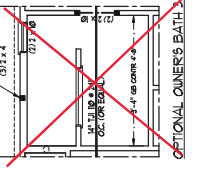
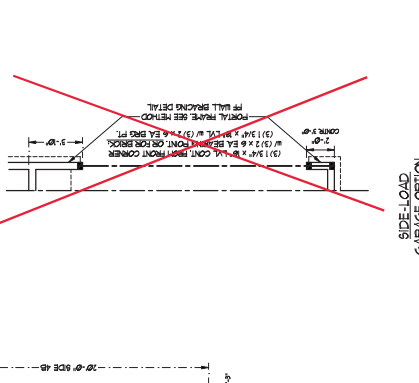
**BRACED WALL DESIGN**

RECT. ANGLE A	RECT. ANGLE B
METHOD: CH-UP REFER TO CONTINUOUS SEAMING. WOOD CH-UP REFER TO CONTINUOUS SEAMING. WOOD CH-UP REFER TO CONTINUOUS SEAMING.	METHOD: CH-UP REFER TO CONTINUOUS SEAMING. WOOD CH-UP REFER TO CONTINUOUS SEAMING. WOOD CH-UP REFER TO CONTINUOUS SEAMING.
TOTAL PROVIDED LENGTH: 13.99'	TOTAL PROVIDED LENGTH: 13.99'
TOTAL REQUIRED LENGTH: 13.99'	TOTAL REQUIRED LENGTH: 13.99'
HEADERS: 13.99'	HEADERS: 13.99'
CH-UP: 13.99'	CH-UP: 13.99'
TOTAL PROVIDED LENGTH: 13.99'	TOTAL PROVIDED LENGTH: 13.99'
TOTAL REQUIRED LENGTH: 13.99'	TOTAL REQUIRED LENGTH: 13.99'

**TABLE R602.10.5**

MINIMUM NUMBER OF FULL HEIGHT STUDS AT EACH END OF HEADERS IN EXTERIOR WALLS THROUGHOUT ENTIRE WALL HEIGHT

UP TO 3'	3' TO 6'	6' TO 9'	9' TO 12'	12' TO 15'	15' TO 18'	18' TO 21'	21' TO 24'	24' TO 27'	27' TO 30'
1	2	3	4	5	6	7	8	9	10

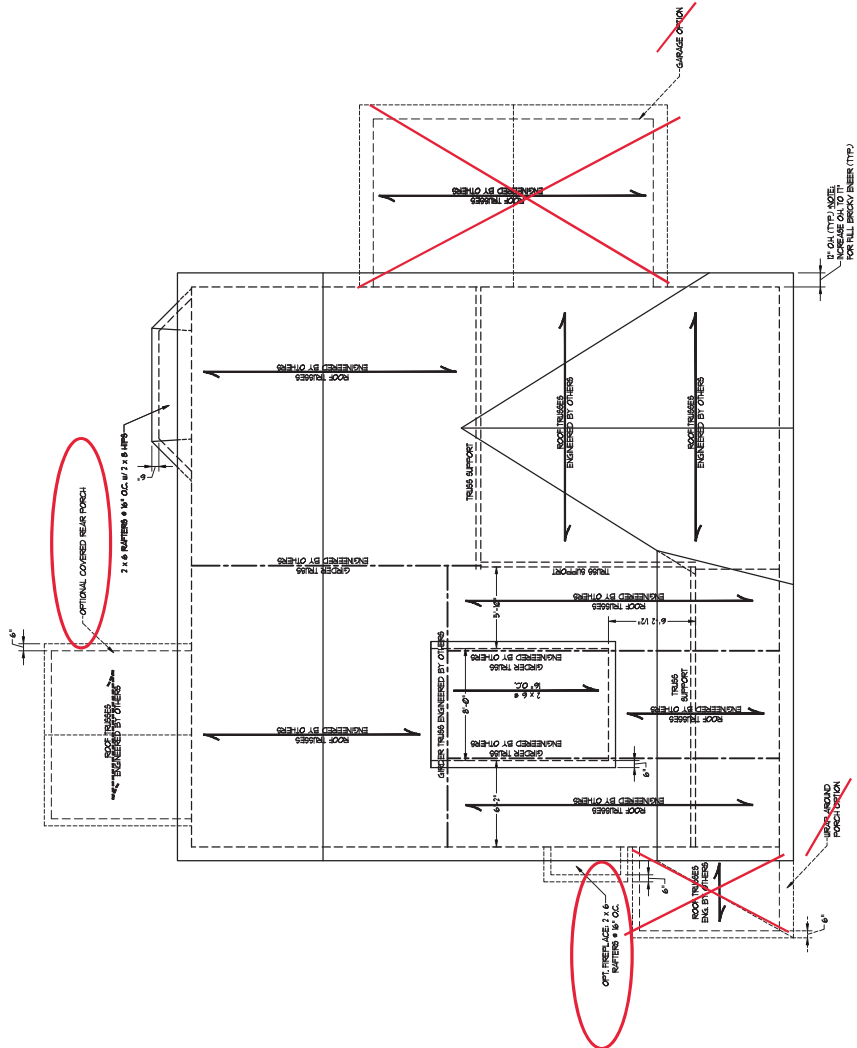


**ATTIC VENT CALCULATION:**  
 879 SQ FT OF ATTIC DIVIDED BY  
 100 = 8.79  
 FREE VENTILATING AREA (FVA)

**BRICK SUPPORT NOTE:**  
 1. FASTEN (2) 2" x 8" BLOOMS BETWEEN WALL  
 AND ROOF TRUSS. ANGLE TO (2) 2" x 8"  
 BLOOMS @ 45 DEGREE. 1" OC.  
 2. BRICK SUPPORT SHALL BE 1" OC.  
 THE 2" x 8" BLOOMS FOR ADDITIONAL BRICK  
 WORK SHALL BE 1" OC.  
 3. 2" x 8" x 10' STEEL PLATE BOLDS AT 24"  
 ON CENTER. NORTH  
 CAROLINA RESIDENTIAL CODE, 2006  
 EDITION.

**STRUCTURAL NOTES:**

1. TRUSSING LUMBER TO BE 'S'
2. CIRCLES PENOTE (3) 2" x 4" PAPER
3. MAKE CORNER WALLS ON TOP
4. DOUBLE OR TRIPLE PARTS
5. 4" MIN. OF 8" @ 12" FASTEN
6. REFER TO THESE ROOMS OF
7. BRICK TRAPE OVER-HEADED
8. 2" x 8" BLOOMS @ 1" OC. OVER
9. PLAT 2" x 8" WALLS OR ME
10. FASTEN PLAT WALLS TO
11. PAPER OR TRUSS WITH
12. 37" OC. MAX. PASS THROUGH
13. TRUSS THROUGH NOTCH IN ROOF
14. TRUSS TO BE FASTENED TO THE PLAT
15. WALL WITH 4" MIN. OF 12"
16. REFER TO SECTION 800.07 OF THE
17. RESISTANCE OF RAFTERS AND
18. TRUSSING SYSTEM HAS DETAIL
19. SHEETS FOR ADDITIONAL
20. STRUCTURAL INFORMATION.

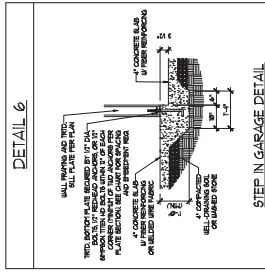
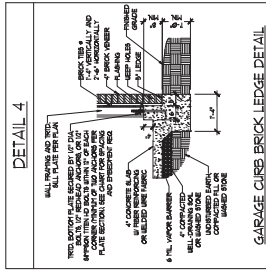
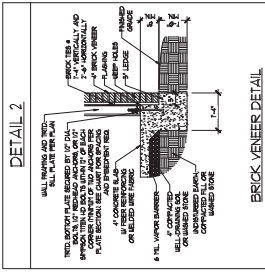
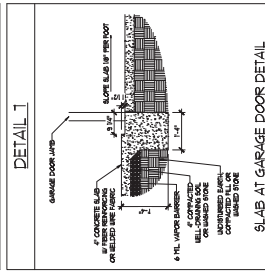
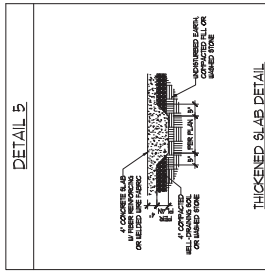
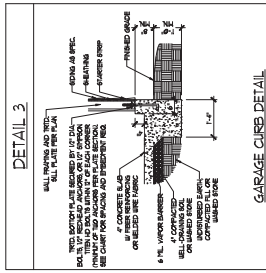
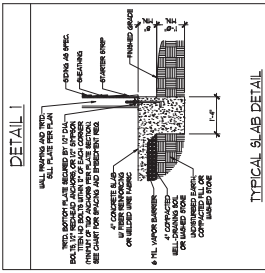


ELEVATION B

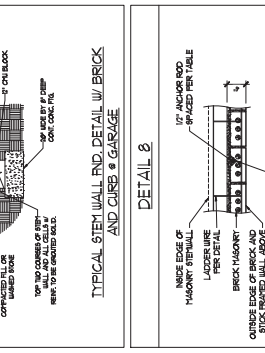
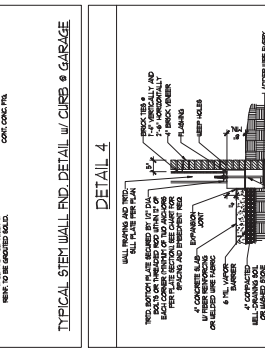
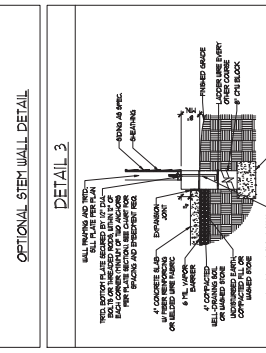
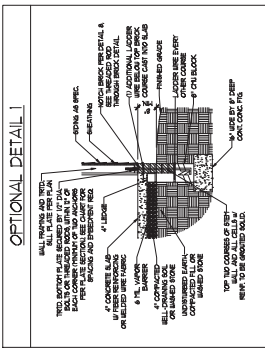
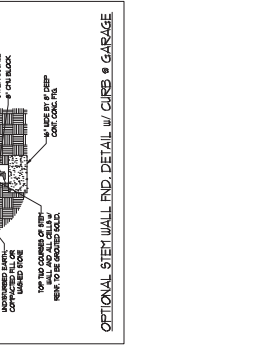
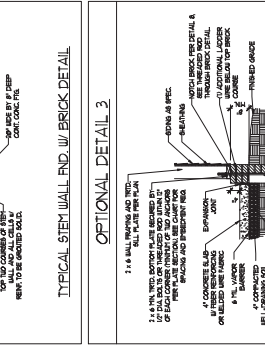
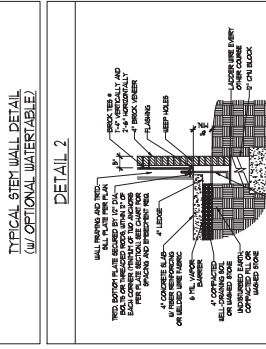
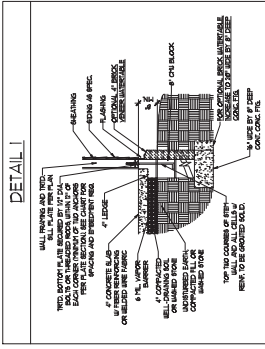




MONOLITHIC SLAB DETAILS



STEM WALL DETAILS



**J.S. THOMPSON ENGINEERING, INC.**  
 606 W. AVE. S. SUITE 104 FARMER, NC 27635  
 PHONE: (919) 398-9515 FAX: (919) 398-9511  
 N.C. LICENSE NO. C-1733

120 MPH - 130 MPH ULTIMATE DETAILS  
 FOUNDATION DETAILS WIND SPEED

DATE: NOVEMBER 14, 2016
SCALE(S):
DRAWN BY: JBT
DESIGNED BY: JBT

D-1  
 FOUNDATION DETAILS

9/25/2020

**MASONRY STEM WALL SPECIFICATIONS**

WALL HEIGHT (FEET)	MASONRY WALL TYPE			
	8" CMH	4" BRICK AND 4" CMH	8" CMH	12" CMH
7 AND BELOW	UNANCHORED	UNANCHORED	UNANCHORED	UNANCHORED
3	UNANCHORED	UNANCHORED	UNANCHORED	UNANCHORED
4	UNANCHORED	UNANCHORED	UNANCHORED	UNANCHORED
5	UNANCHORED	UNANCHORED	UNANCHORED	UNANCHORED
6	UNANCHORED	UNANCHORED	UNANCHORED	UNANCHORED
7 AND GREATER	UNANCHORED	UNANCHORED	UNANCHORED	UNANCHORED

- STRUCTURAL NOTES:**
- WALL HEIGHT MEASURED FROM TOP OF FOOTING TO TOP OF THE WALL.
  - WIND APPLIED TO EXPOSED WALL SURFACE ONLY. CONSULT ENGINEER FOR DESIGN OF GARAGE.
  - FOUNDATION NOT TO EXCEED 12" BELOW FINISH GRADE.
  - BACKFILL OF WALL-TRAINED ONE SAND-GRAVEL MIXTURE (AS PERMITTED BY LOCAL CODES).
  - MINIMUM WALL THICKNESS SHALL BE 8" FOR ALL MASONRY WALLS.
  - MINIMUM WALL THICKNESS SHALL BE 12" FOR ALL MASONRY WALLS.
  - MINIMUM WALL THICKNESS SHALL BE 16" FOR ALL MASONRY WALLS.
  - MINIMUM WALL THICKNESS SHALL BE 20" FOR ALL MASONRY WALLS.
  - MINIMUM WALL THICKNESS SHALL BE 24" FOR ALL MASONRY WALLS.
  - MINIMUM WALL THICKNESS SHALL BE 28" FOR ALL MASONRY WALLS.
  - MINIMUM WALL THICKNESS SHALL BE 32" FOR ALL MASONRY WALLS.
  - MINIMUM WALL THICKNESS SHALL BE 36" FOR ALL MASONRY WALLS.
  - MINIMUM WALL THICKNESS SHALL BE 40" FOR ALL MASONRY WALLS.
  - MINIMUM WALL THICKNESS SHALL BE 44" FOR ALL MASONRY WALLS.
  - MINIMUM WALL THICKNESS SHALL BE 48" FOR ALL MASONRY WALLS.
  - MINIMUM WALL THICKNESS SHALL BE 52" FOR ALL MASONRY WALLS.
  - MINIMUM WALL THICKNESS SHALL BE 56" FOR ALL MASONRY WALLS.
  - MINIMUM WALL THICKNESS SHALL BE 60" FOR ALL MASONRY WALLS.
  - MINIMUM WALL THICKNESS SHALL BE 64" FOR ALL MASONRY WALLS.
  - MINIMUM WALL THICKNESS SHALL BE 68" FOR ALL MASONRY WALLS.
  - MINIMUM WALL THICKNESS SHALL BE 72" FOR ALL MASONRY WALLS.
  - MINIMUM WALL THICKNESS SHALL BE 76" FOR ALL MASONRY WALLS.
  - MINIMUM WALL THICKNESS SHALL BE 80" FOR ALL MASONRY WALLS.
  - MINIMUM WALL THICKNESS SHALL BE 84" FOR ALL MASONRY WALLS.
  - MINIMUM WALL THICKNESS SHALL BE 88" FOR ALL MASONRY WALLS.
  - MINIMUM WALL THICKNESS SHALL BE 92" FOR ALL MASONRY WALLS.
  - MINIMUM WALL THICKNESS SHALL BE 96" FOR ALL MASONRY WALLS.
  - MINIMUM WALL THICKNESS SHALL BE 100" FOR ALL MASONRY WALLS.
  - MINIMUM WALL THICKNESS SHALL BE 104" FOR ALL MASONRY WALLS.
  - MINIMUM WALL THICKNESS SHALL BE 108" FOR ALL MASONRY WALLS.
  - MINIMUM WALL THICKNESS SHALL BE 112" FOR ALL MASONRY WALLS.
  - MINIMUM WALL THICKNESS SHALL BE 116" FOR ALL MASONRY WALLS.
  - MINIMUM WALL THICKNESS SHALL BE 120" FOR ALL MASONRY WALLS.
  - MINIMUM WALL THICKNESS SHALL BE 124" FOR ALL MASONRY WALLS.
  - MINIMUM WALL THICKNESS SHALL BE 128" FOR ALL MASONRY WALLS.
  - MINIMUM WALL THICKNESS SHALL BE 132" FOR ALL MASONRY WALLS.
  - MINIMUM WALL THICKNESS SHALL BE 136" FOR ALL MASONRY WALLS.
  - MINIMUM WALL THICKNESS SHALL BE 140" FOR ALL MASONRY WALLS.
  - MINIMUM WALL THICKNESS SHALL BE 144" FOR ALL MASONRY WALLS.
  - MINIMUM WALL THICKNESS SHALL BE 148" FOR ALL MASONRY WALLS.
  - MINIMUM WALL THICKNESS SHALL BE 152" FOR ALL MASONRY WALLS.
  - MINIMUM WALL THICKNESS SHALL BE 156" FOR ALL MASONRY WALLS.
  - MINIMUM WALL THICKNESS SHALL BE 160" FOR ALL MASONRY WALLS.
  - MINIMUM WALL THICKNESS SHALL BE 164" FOR ALL MASONRY WALLS.
  - MINIMUM WALL THICKNESS SHALL BE 168" FOR ALL MASONRY WALLS.
  - MINIMUM WALL THICKNESS SHALL BE 172" FOR ALL MASONRY WALLS.
  - MINIMUM WALL THICKNESS SHALL BE 176" FOR ALL MASONRY WALLS.
  - MINIMUM WALL THICKNESS SHALL BE 180" FOR ALL MASONRY WALLS.
  - MINIMUM WALL THICKNESS SHALL BE 184" FOR ALL MASONRY WALLS.
  - MINIMUM WALL THICKNESS SHALL BE 188" FOR ALL MASONRY WALLS.
  - MINIMUM WALL THICKNESS SHALL BE 192" FOR ALL MASONRY WALLS.
  - MINIMUM WALL THICKNESS SHALL BE 196" FOR ALL MASONRY WALLS.
  - MINIMUM WALL THICKNESS SHALL BE 200" FOR ALL MASONRY WALLS.

**ANCHOR SPACING AND EMBEDMENT**

WIND ZONE	100 MPH	130 MPH
SPACING	6" O.C.	4" O.C.
EMBEDMENT	7"	8" MIN. MAXIMUM 7" MIN. CONCRETE





