

# 61 Willowcroft

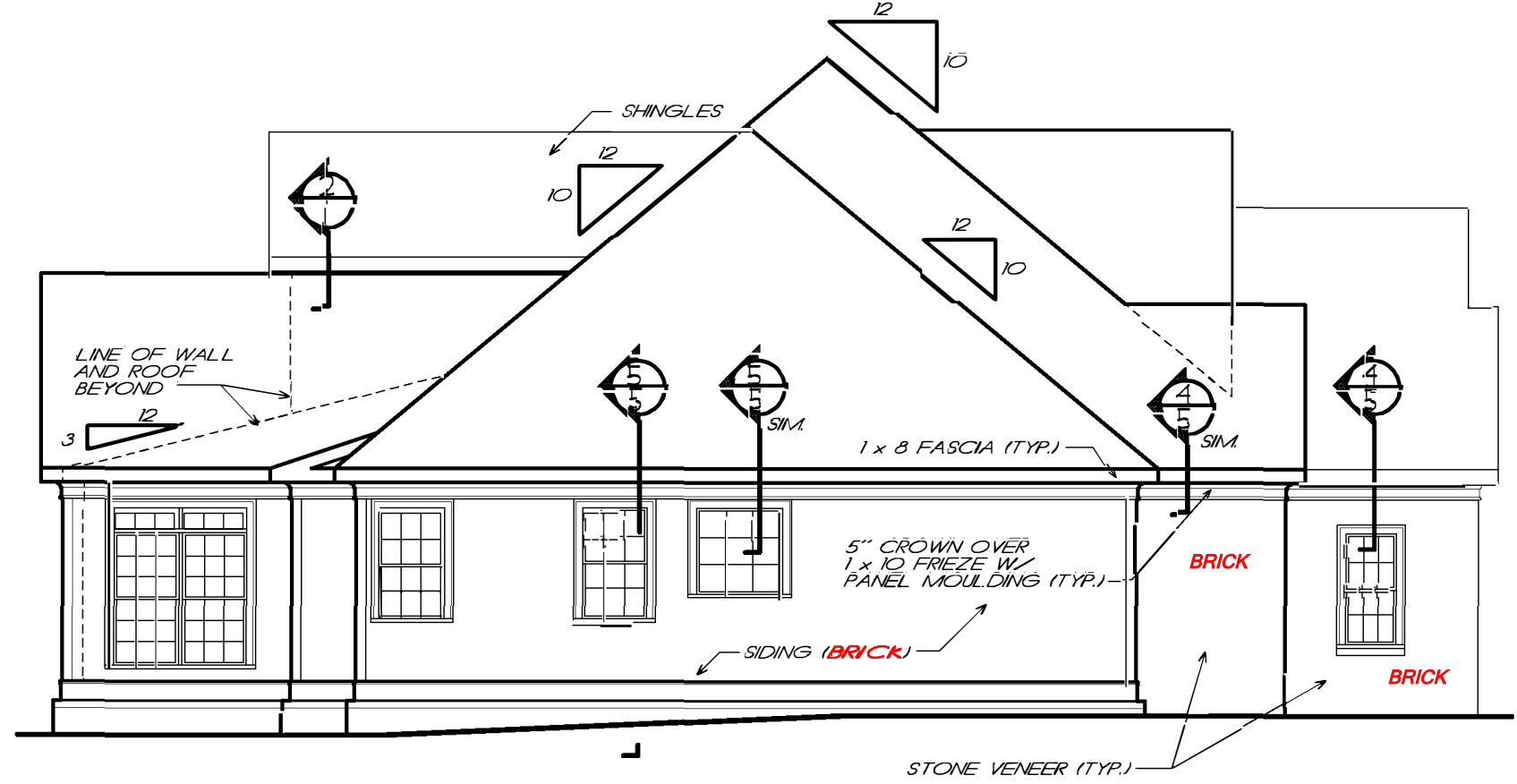
**NOTICE TO CONTRACTOR**  
All construction shall comply with applicable Building Codes and is subject to field inspection and verification.

**APPROVED**  
Unlimited liability release  
Permit holder responsible for full compliance with the code

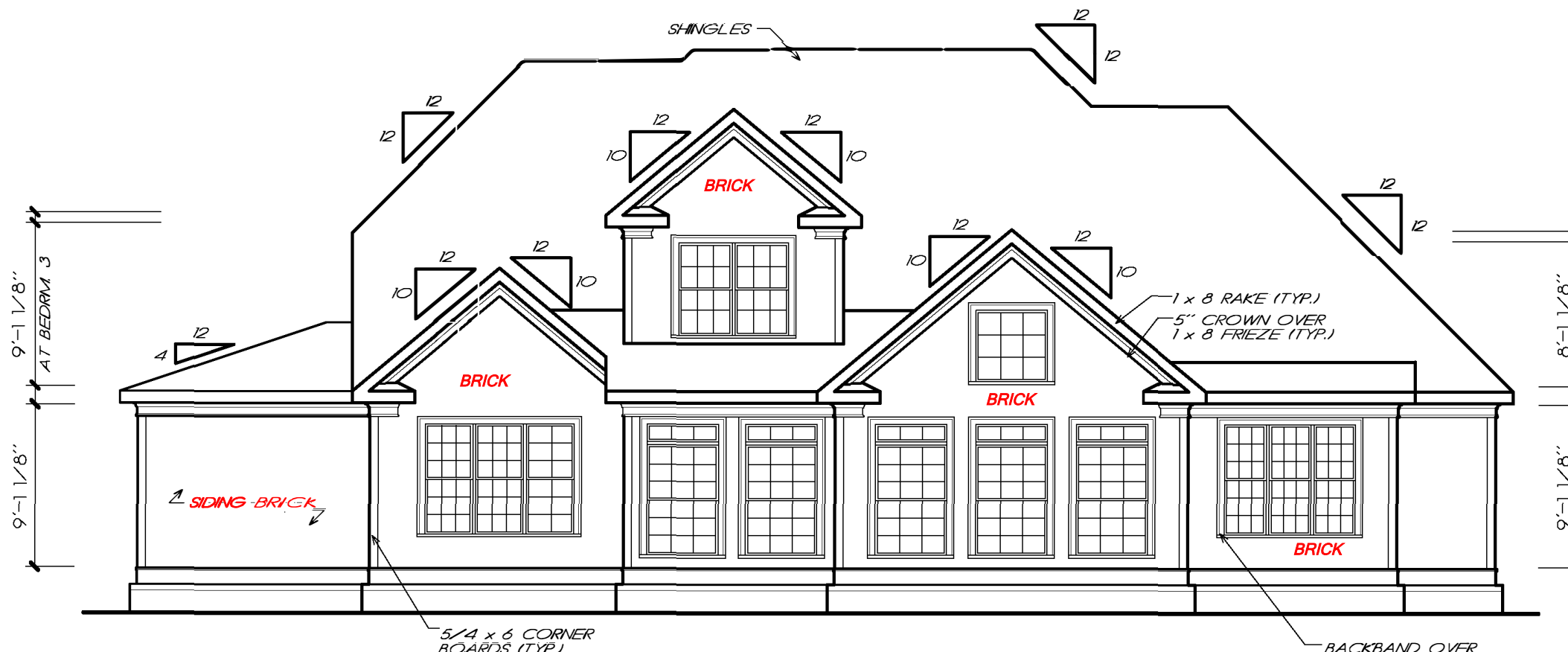
03/07/2022

REVISIONS	DATE	BY
CLAR 35-CO	2/27/22	DEF
REV # 35A	2/27/21	RS

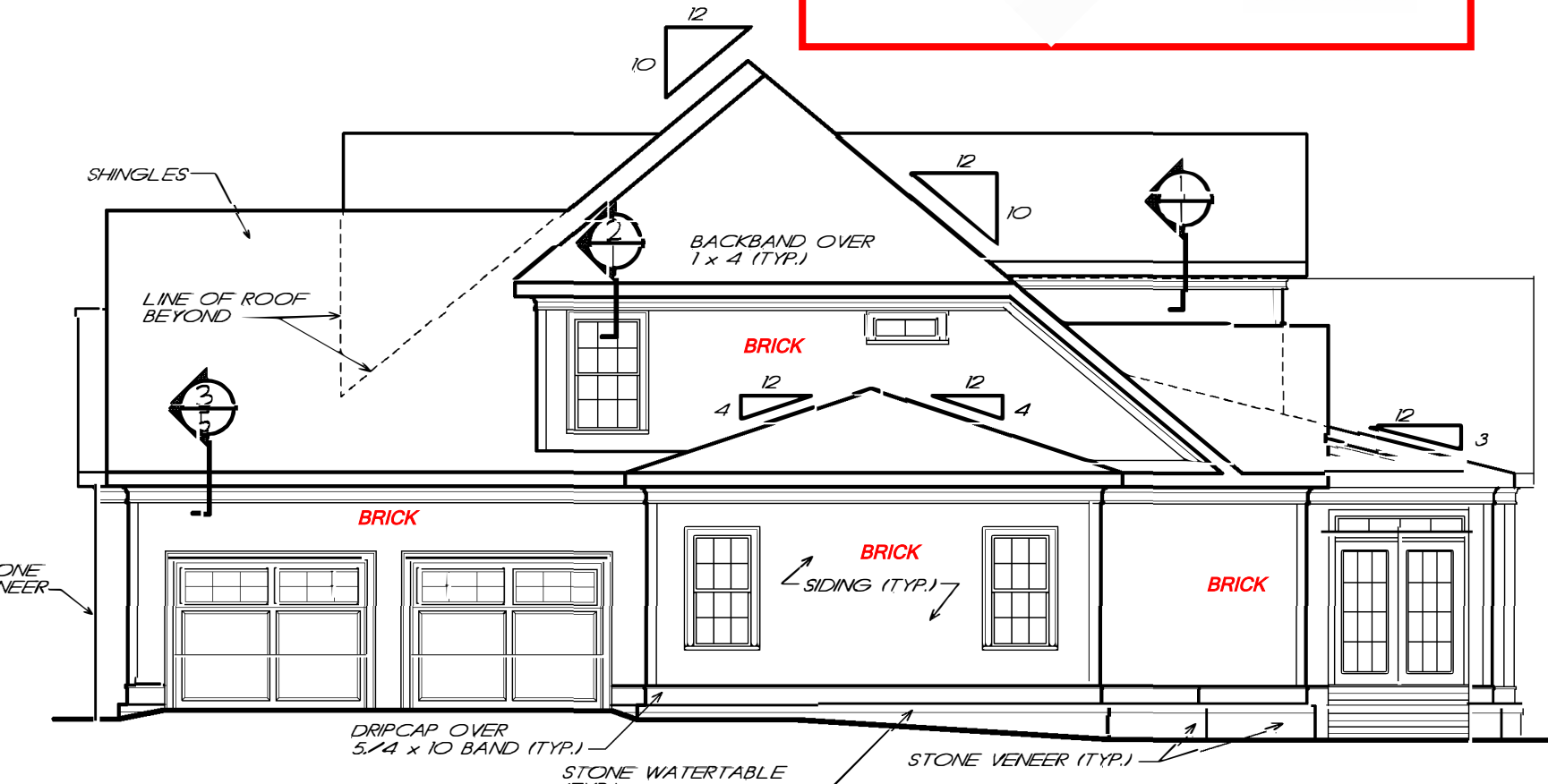
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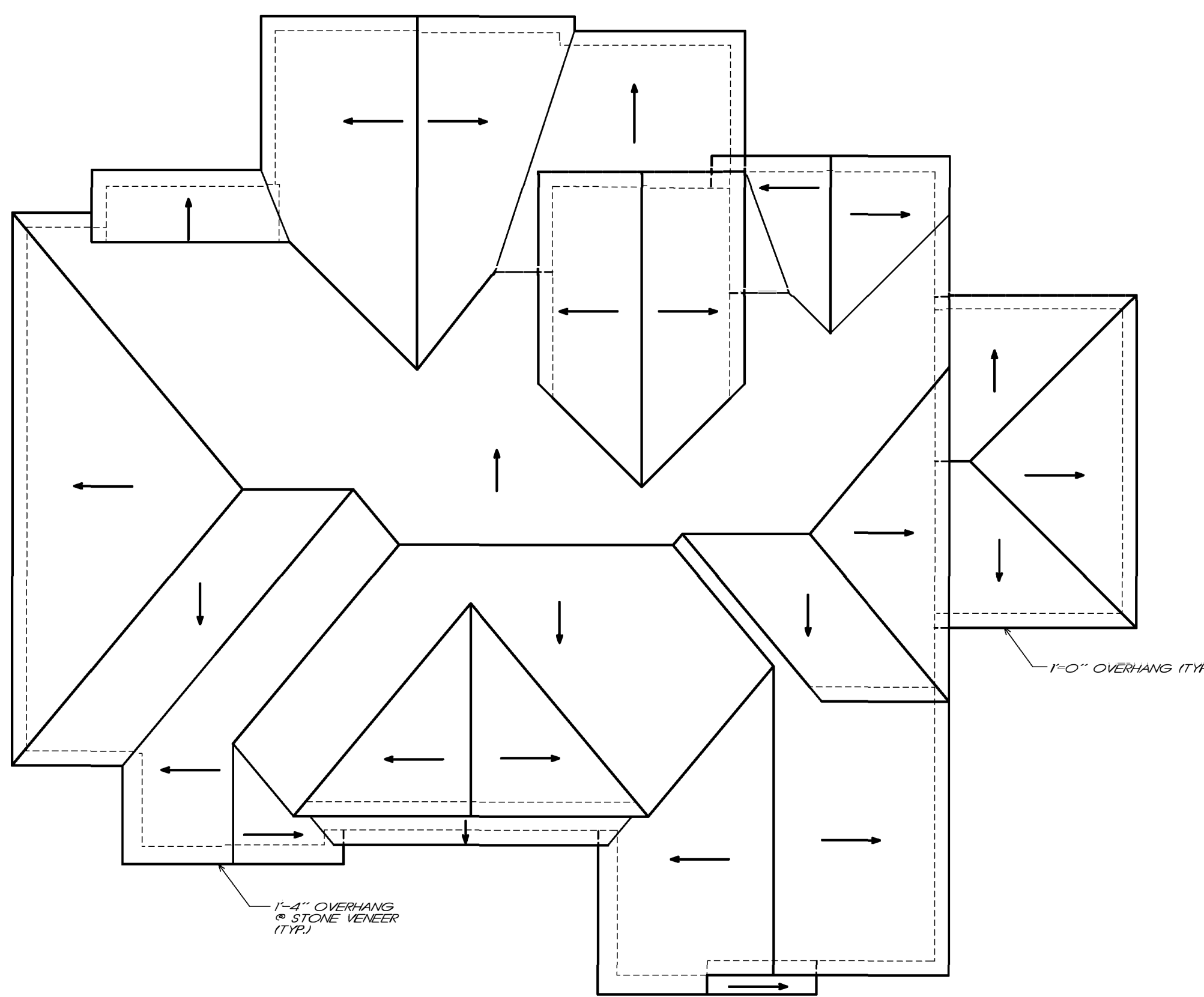
**LEFT ELEVATION**  
1/8" = 1'-0"



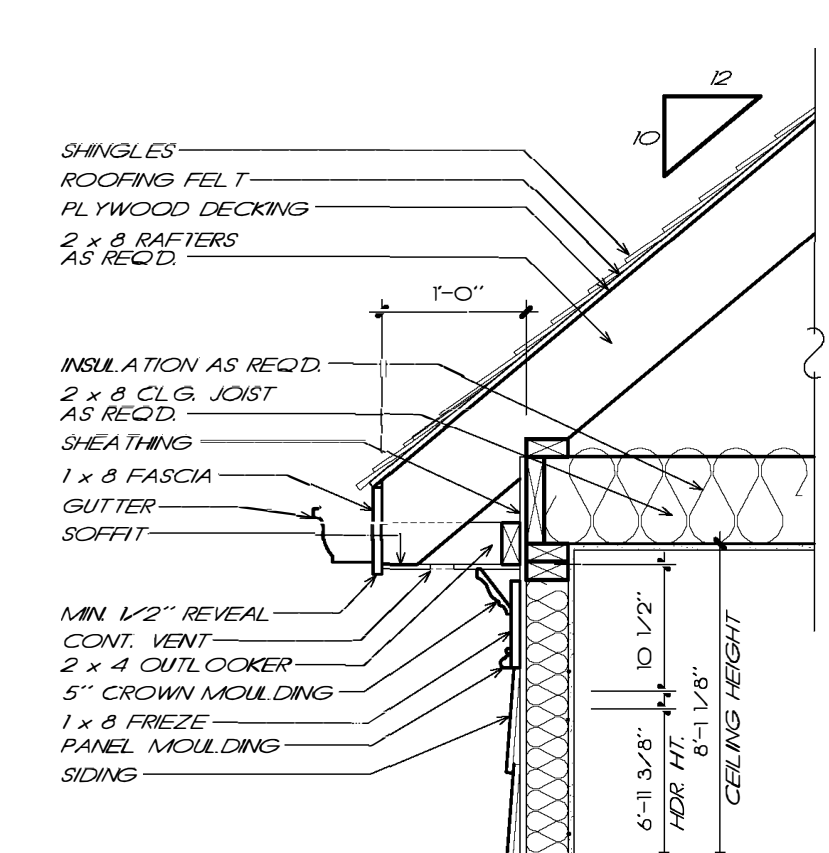
**REAR ELEVATION**  
1/8" = 1'-0"



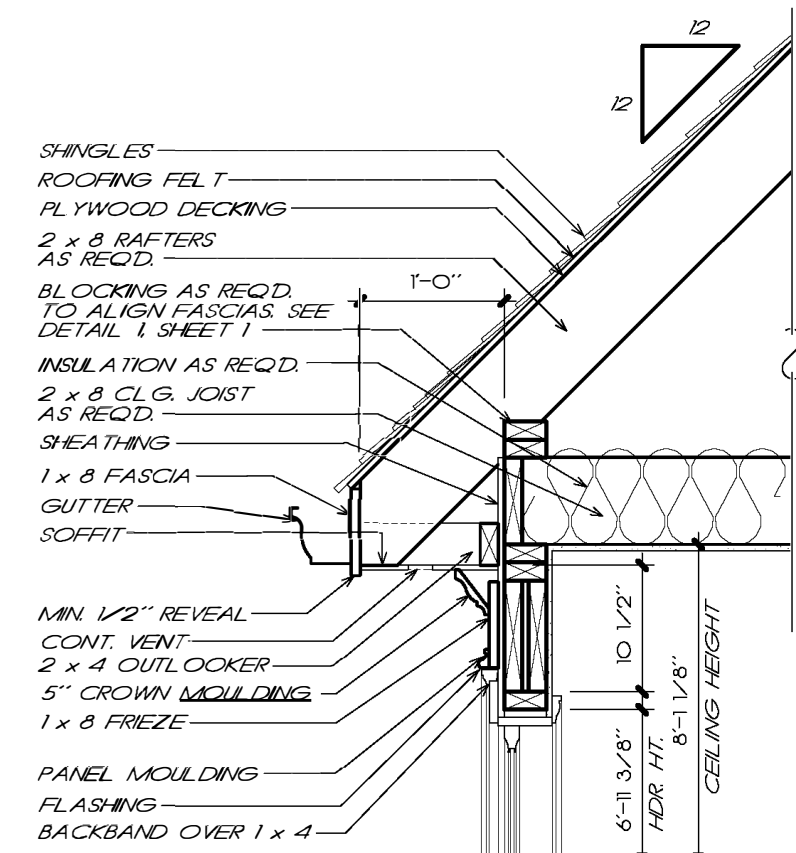
**RIGHT ELEVATION**  
1/8" = 1'-0"



**ROOF PLAN**  
1/8" = 1'-0"



**1 CORNICIE DETAIL**  
3/4" = 1'-0"



**2 CORNICIE DETAIL**  
3/4" = 1'-0"

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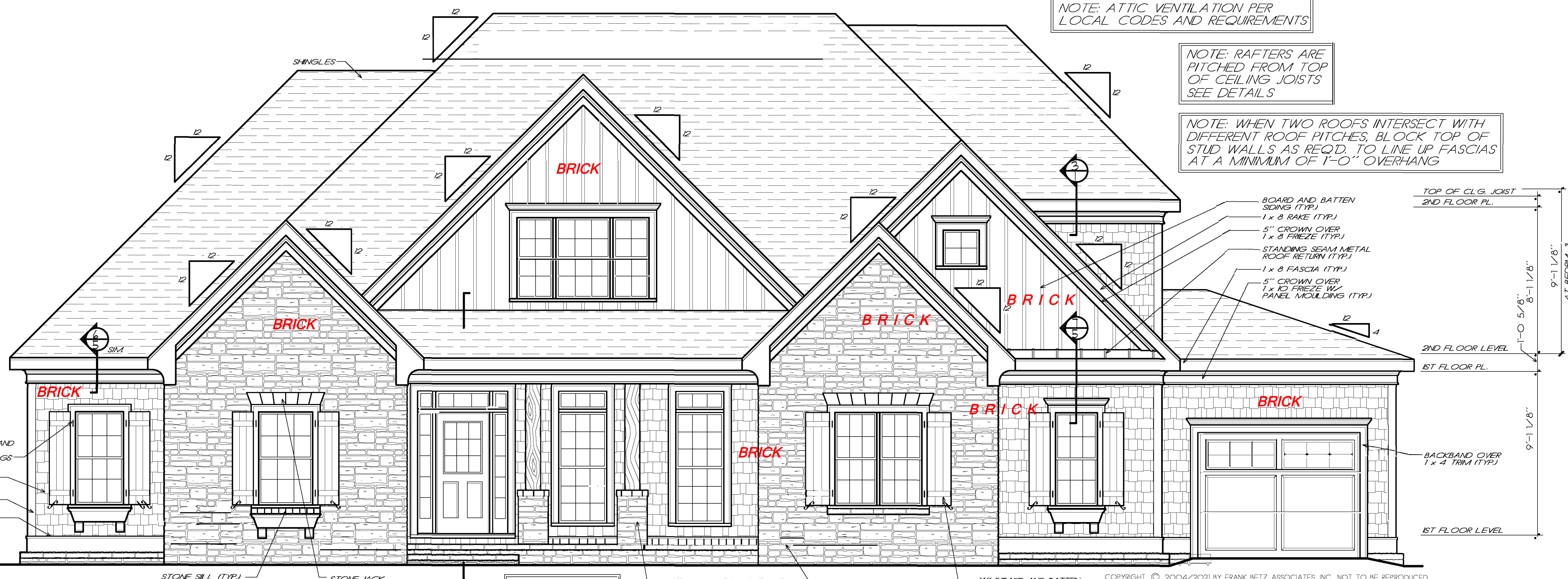
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**FRONT ELEVATION**  
1/4" = 1'-0"

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**J & R HOMES, LLC.**  
DUNN, N.C.

ELEVATIONS / DETAILS

THE MCGINNIS FERRY

**FRANK BETZ ASSOCIATES, INC.**  
DESIGNERS OF CUSTOM AND STOCK HOMES/PLANS

3550 GEORGE BUSHREE PARKWAY  
SUITE 190  
KENNESAW, GEORGIA 30144  
888-717-3003  
770-431-0888

BY: PLD CK: KRW  
RS TSJ

DATE: 2/27/22

SHEET: 1

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REV 01	02/20/21	RS

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**J & R HOMES, LLC.**  
DUNN, N.C.

**RAISED SLAB FOUND. PLAN**

**THE MCGINNIS FERRY**

**FRANK BETZ ASSOCIATES, INC.**  
DESIGNER OF CUSTOM AND STOCK HOMES PLANS  
3550 GEORGE BUSBEE PARKWAY  
SUITE 100  
KENNESAW, GEORGIA 30144  
770-431-0888 888-717-3003

BY: RS CK: JCH  
RS EDJ

DATE: 11-30-20  
11/20/21

SHEET:  
**2**  
OF: 5

NOTE: ALL ANGLES ARE 45° UNLESS OTHERWISE NOTED

NOTE: LOCATE GRADE BEAMS UNDER ALL LOAD BEARING WALLS

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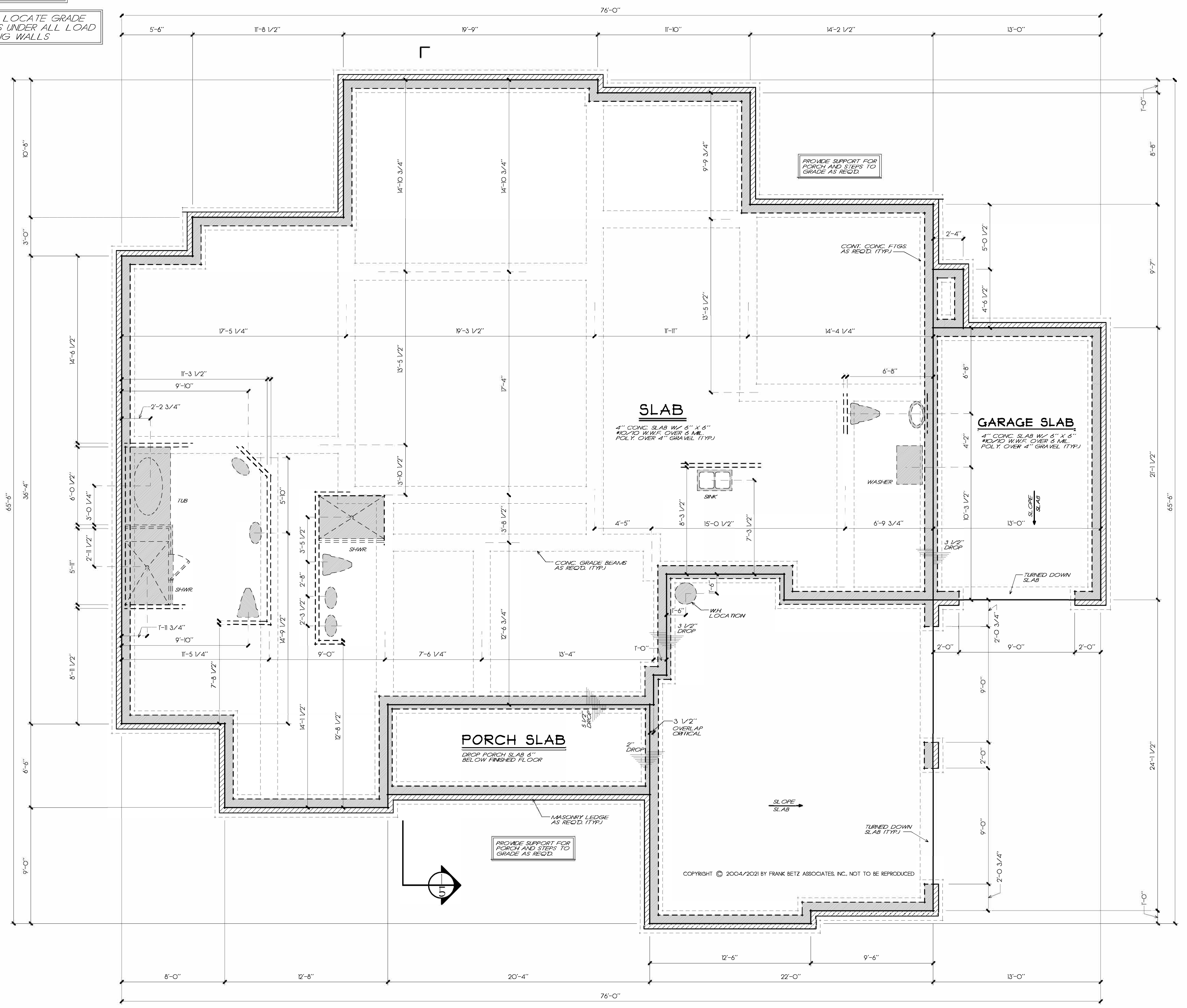
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**SLAB FOUNDATION PLAN**  
1/4" = 1'-0"

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**GENERAL NOTES**

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES, REGULATIONS, AND I.C.D. M.P.S.
2. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO FRANK BETZ ASSOCIATES, INC. FOR JUSTIFICATION AND/OR CORRECTION BEFORE PROCEEDING WITH WORK. CONTRACTORS SHALL ASSUME RESPONSIBILITY FOR ANY ERRORS THAT ARE NOT REPORTED.
3. ALL DIMENSIONS SHOULD BE READ OR CALCULATED AND NEVER SCALED.
4. FOUNDATIONS TO BE BUILT PER LOCAL CODES AND MUST REST ON UNDISTURBED SOIL CAPABLE OF HANDLING THE BUILDING LOADS. CONSULT LOCAL ENGINEER FOR PROPER FOOTING AND REINFORCING SIZES.
5. CONTRACTOR SHALL INSURE COMPLETION OF THE BUILDING WITH ALL SITE REQUIREMENTS.
6. IF BACKFILL EXCEEDS 4' AGAINST ANY FOUNDATION WALL, REINFORCE AS PER CODE.
7. ALL FOUNDATION AND STRUCTURAL MEMBERS SHOULD BE VERIFIED AND STAMPED BY AN ENGINEER IN THE STATE WHERE CONSTRUCTION IS OCCURRING DUE TO A WIDE VARIANCE IN LOCAL CODES, SOIL BEARING CONDITIONS, FROST LINE DEPTHS, GEOLOGICAL AND WEATHER CONDITIONS, ETC. THE CONTRACTOR IS RESPONSIBLE FOR ADJUSTING AND VERIFYING ALL STRUCTURAL DETAILS AND CONDITIONS TO MEET ALL LOCAL CODES AND TO INSURE A QUALITY AND SAFE STRUCTURE.
8. ALL WOOD, CONCRETE, AND STEEL STRUCTURAL MEMBERS SHALL BE OF A GOOD GRADE AND QUALITY AND MEET ALL NATIONAL, STATE AND LOCAL BUILDING CODES WHERE APPLICABLE.
9. ALL COLUMNS OR SOLID FRAMING SHOULD BE DESIGNED TO CARRY LOADS AND SHOULD EXTEND DOWN THROUGH THE LEVEL BELOW AND TERMINATE AT THE BASEMENT FLOOR OR AT OTHER BEARING POINTS DESIGNED TO CARRY THE LOAD.

**GENERAL FRAMING NOTES**

THE FOLLOWING NOTES ARE SUGGESTED MINIMUM REQUIREMENTS ONLY. DUE TO A VARIANCE OF CODES PER REGION, PLEASE REFER AND COMPLY WITH ALL YOUR LOCAL CODES. CONSULT WITH LOCAL ENGINEERS FOR ALL STRUCTURAL REQUIREMENTS.

1. ALL FRAMED WALL DIMENSIONS ARE BASED ON 2 x 4 STUDS UNLESS NOTED OTHERWISE. PROVIDE FINISH AT MID HEIGHT OF ALL WALLS.
2. ALL JOISTS AND RAFTERS SHALL BE ALIGNED OVER STUDS BELOW.
3. ALL JOISTS SHALL BE 2x8-0 OR 2x10-0 WITH 1/2" CRYSTAL PLATE BETWEEN UNLESS NOTED OTHERWISE.
4. FRAMER TO INSTALL DOUBLE FLOOR JOISTS UNDER PARTITION WALL PARALLEL TO JOIST DIRECTION.
5. PROVIDE CROSS BRACING AT MID POINT OF SPAN OR 8'-0" O.C. MAXIMUM IN ALL FLOORS.
6. FLOOR OVERSPAN SHALL BE 1/4" RATED 2x8" TRUSS PLYWOOD EXPOSURE 1 GRADE AND NAILLED PER MANUFACTURER'S SPECIFICATIONS.
7. PROVIDE COLLAR TIES AT UPPER 1/3 OF VERTICAL DISTANCE BETWEEN FLOOR BEAM AND CEILING JOISTS AT 4'-0" O.C. MAXIMUM AT ALL ENDS AND 8'-0" O.C. MAXIMUM IN INTERMEDIATE SPANS.
8. PROVIDE DOUBLE 2x8 STRONGBACK AT MID SPAN FOR CEILING JOISTS WITH SPAN GREATER THAN 10'-0".
9. PROVIDE COLLAR TIES AT UPPER 1/3 OF VERTICAL DISTANCE BETWEEN FLOOR BEAM AND CEILING JOISTS AT 4'-0" O.C. MAXIMUM AT ALL ENDS AND 8'-0" O.C. MAXIMUM IN INTERMEDIATE SPANS.
10. ALL VALLEY RAFTERS AND RIDGE BOARDS SHALL BE ONE 2x4 SIZE LARGER THAN RAFTERS.
11. ROOF SHEATHING TO BE APA 16 RATED 1/2" PLYWOOD CDX NAILING SCHEDULE TO BE MANUFACTURER'S SPECIFICATIONS. NAILING SCHEDULE TO BE 6" ON COMBES AND 12" ON SPACES. ALL EDGES AND CORNERS TO BE 2x4. PROVIDE 1/2" GAPS BETWEEN SHEATHING. INSTALL PANEL SPACERS THE LOCAL CODES FOR MANUFACTURER SPECIFICATIONS.
12. WHERE THE ENGINEERED FLOOR AND ROOF TRUSSES ARE USED, TRUSS MANUFACTURER MUST PROVIDE SHOP DRAWINGS WHICH BEAR SEAL OF REGISTERED ENGINEER IN STATE IN WHICH WORK IS TO BE PERFORMED.
13. ALL CEILING JOISTS AND RAFTER BRACING TO BEAR ON LOAD BEARING WALLS DESIGNED TO CARRY LOAD THROUGH TRUSSES AND TERMINATE AT BASEMENT FLOOR AND BE SUPPORTED BY THICKENED SLAB GRADE BEAM OR FOOTING DESIGNED TO CARRY LOAD.
14. ALL BASEMENT WALLS, BEAMS, AND COLUMNS TO BE DESIGNED BY LOCAL STRUCTURAL ENGINEER AND MEET ALL LOCAL CODES.
15. ALL SOLID FRAMING, COLUMNS, BEAMS, ETC., TO BE DESIGNED BY LOCAL STRUCTURAL ENGINEER AND MEET ALL LOCAL CODES.

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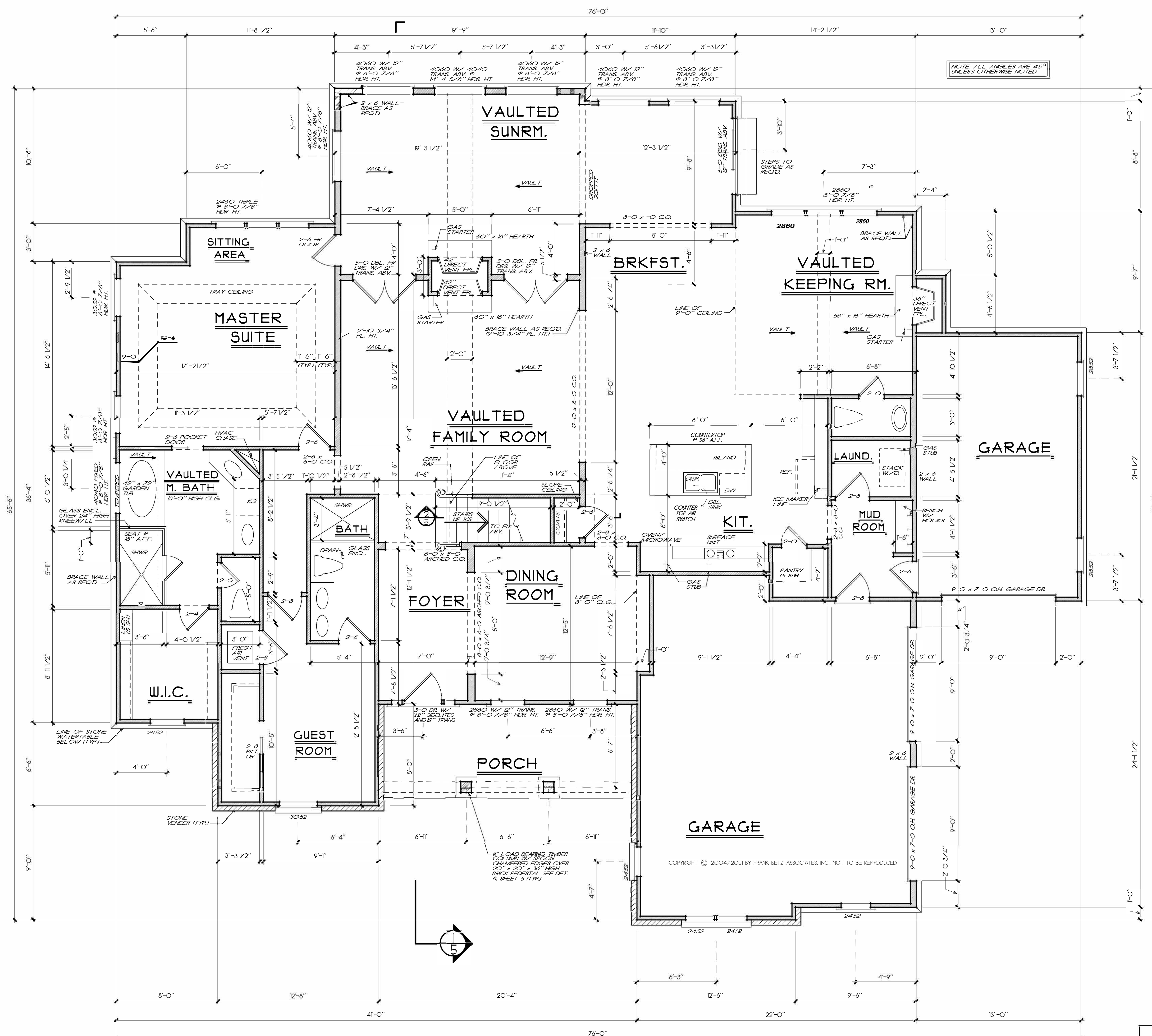
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**FIRST FLOOR PLAN**

1/4" = 1'-0"  
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SQUARE FOOTAGE	
FIRST FLOOR	2631 SQ. FT.
SECOND FLOOR	1032 SQ. FT.
TOTAL	3663 SQ. FT.

REVISIONS	DATE	BY
CLAS 35-02	6/19/04	CKP
REV 4 604	2/27/21	RS

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DUNN, N.C.

**FIRST FLOOR PLAN**

**THE MCGINNIS FERRY**

**FRANK BETZ ASSOCIATES, INC.**  
DESIGNERS OF CUSTOM AND STOCK HOMES PLANS

3550 GEORGE BUSBEE PARKWAY  
SUITE 190  
KENNESAW, GEORGIA 30144  
770-431-0886 888-717-3003

BY: PLO CK: KKW  
RS TDJ

DATE: 6/17/04 1/17/21

SHEET:

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REV # 104	01/20/21	RS

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SECTIONS / DETAILS

**THE MCGINNIS FERRY**

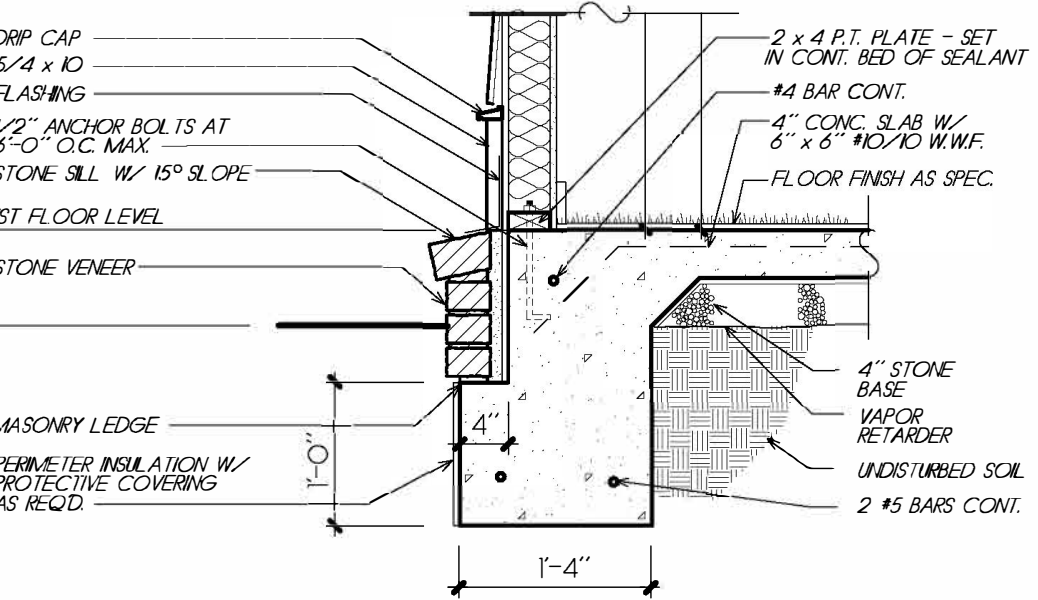
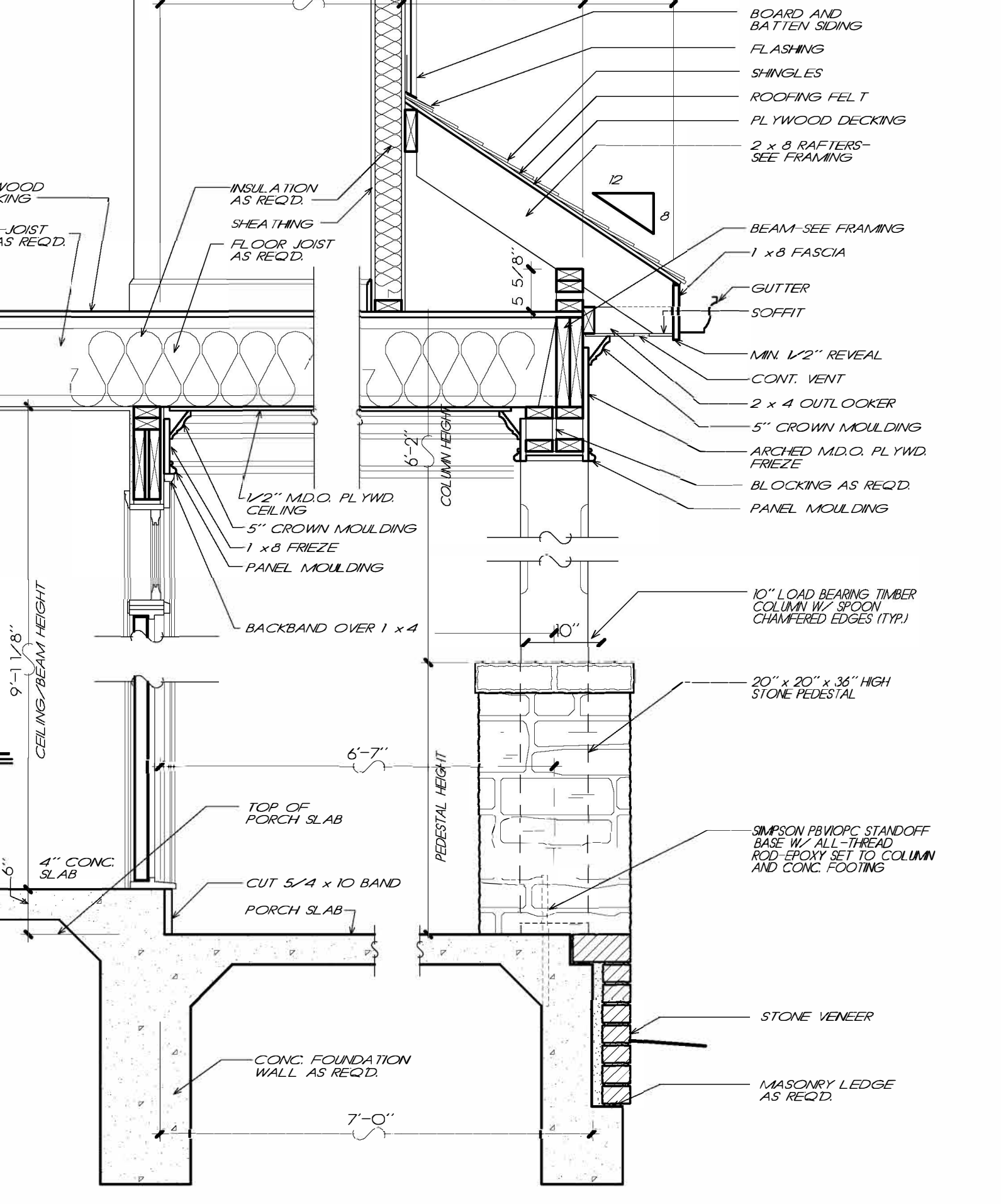
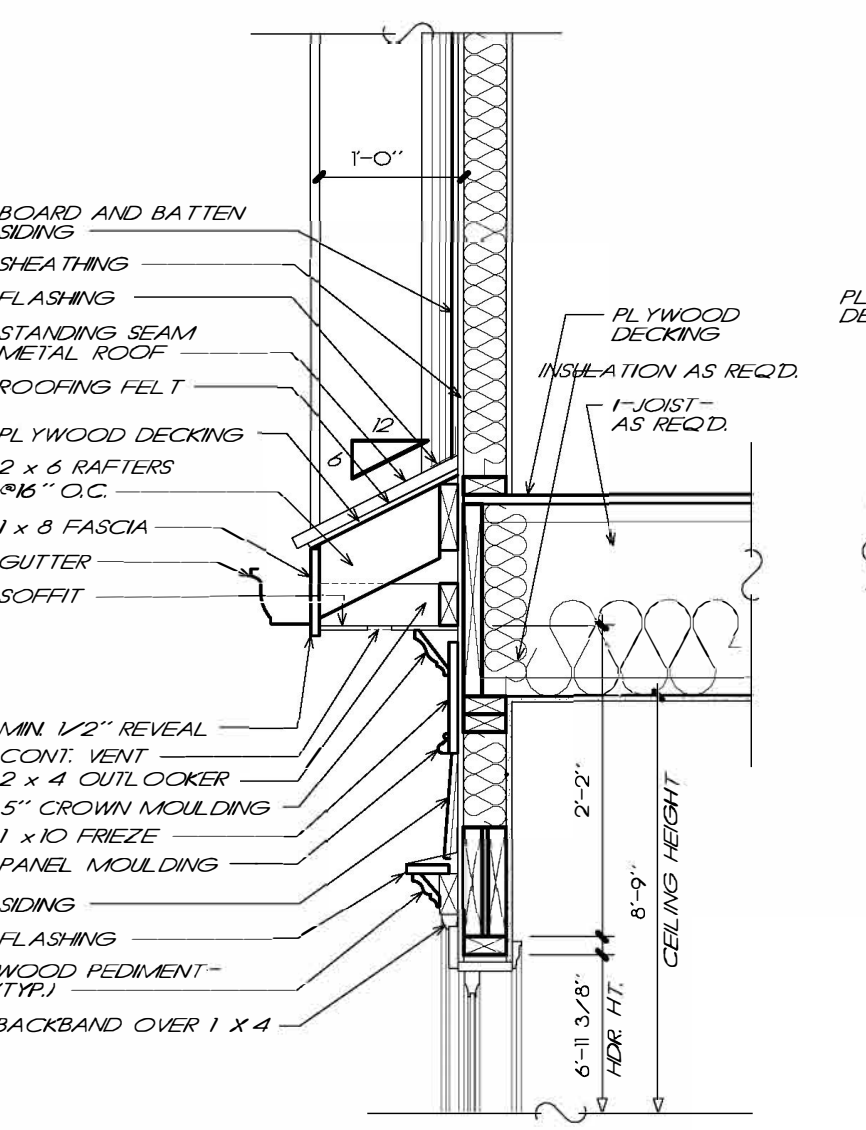
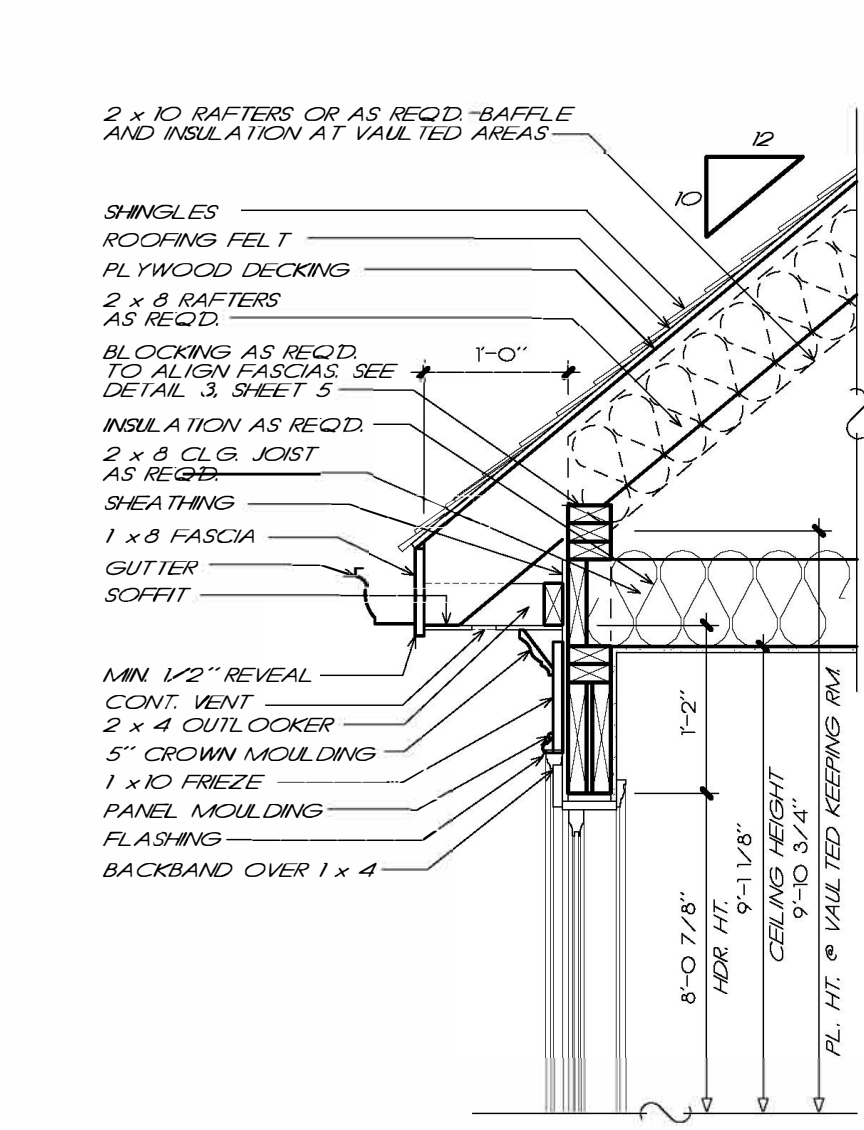
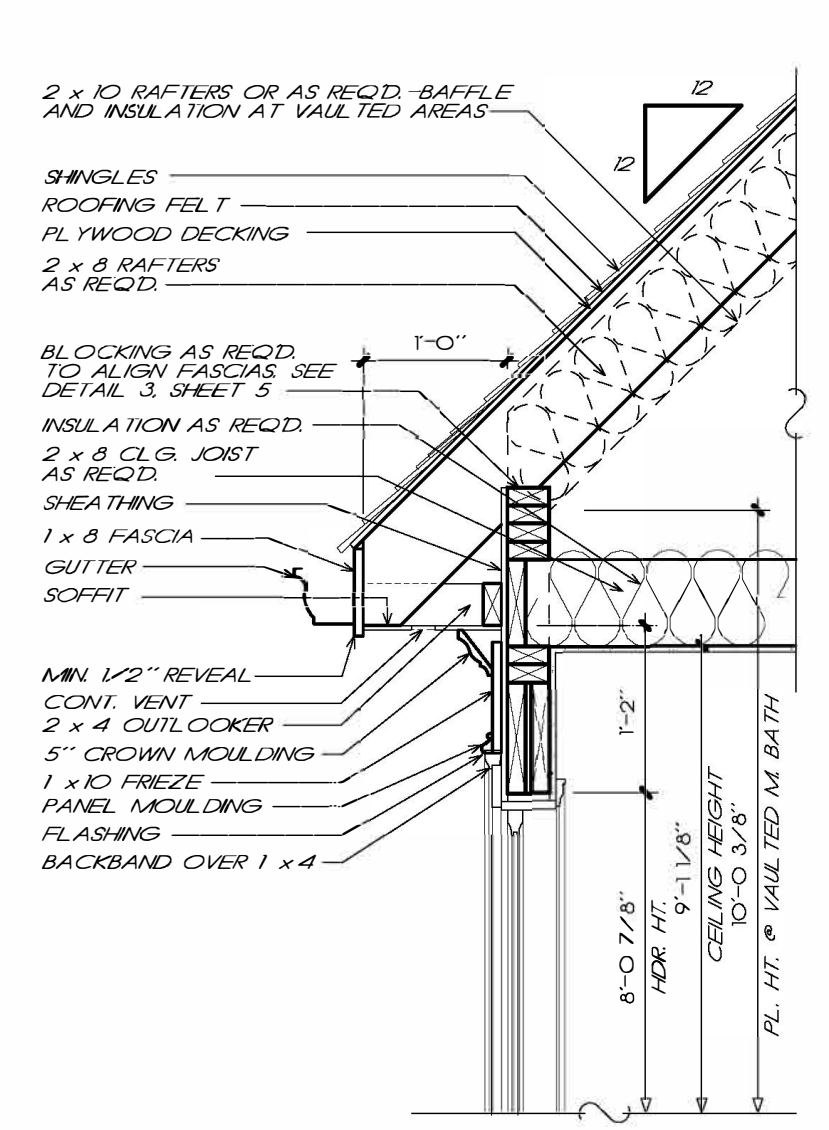
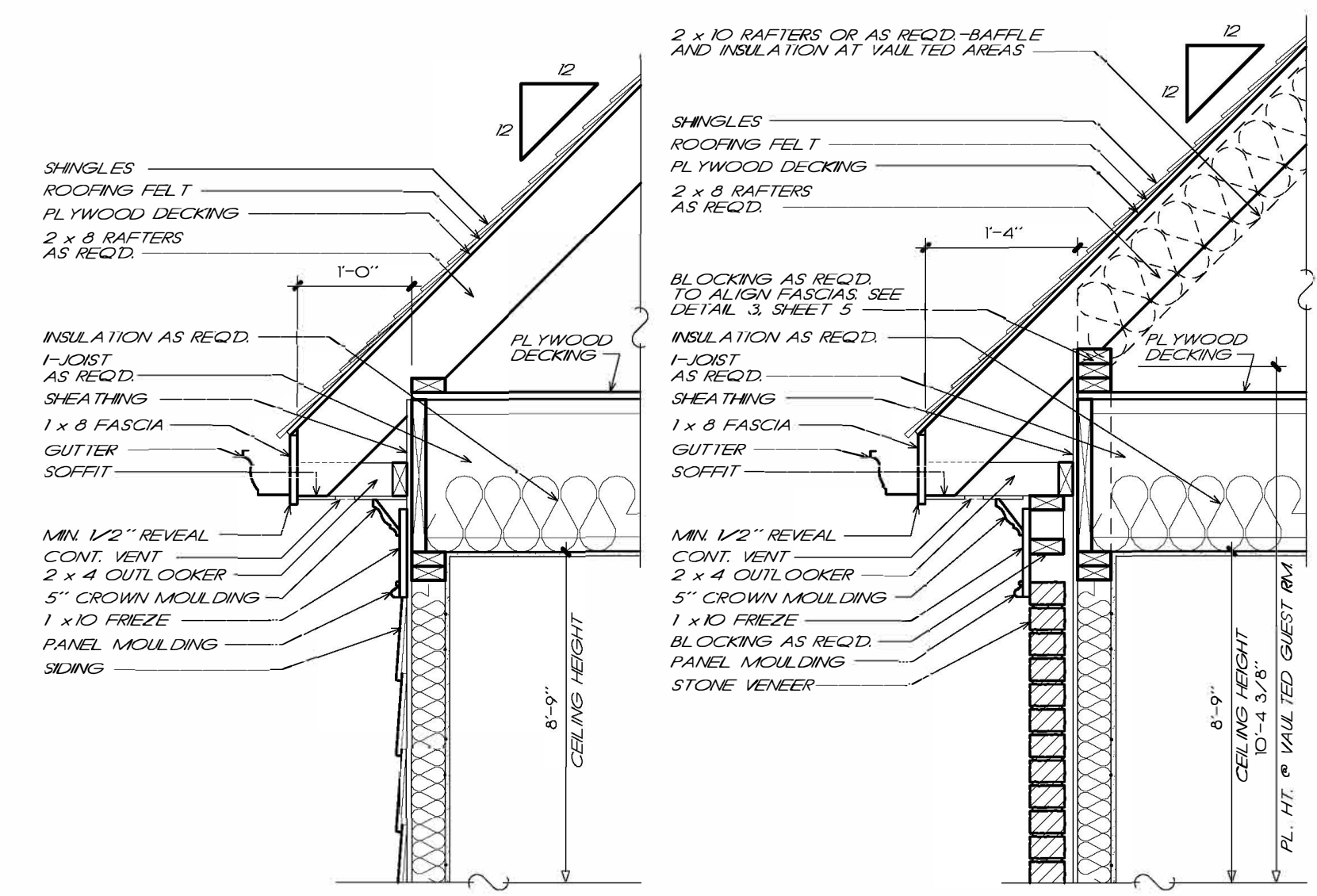
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SUITE 190  
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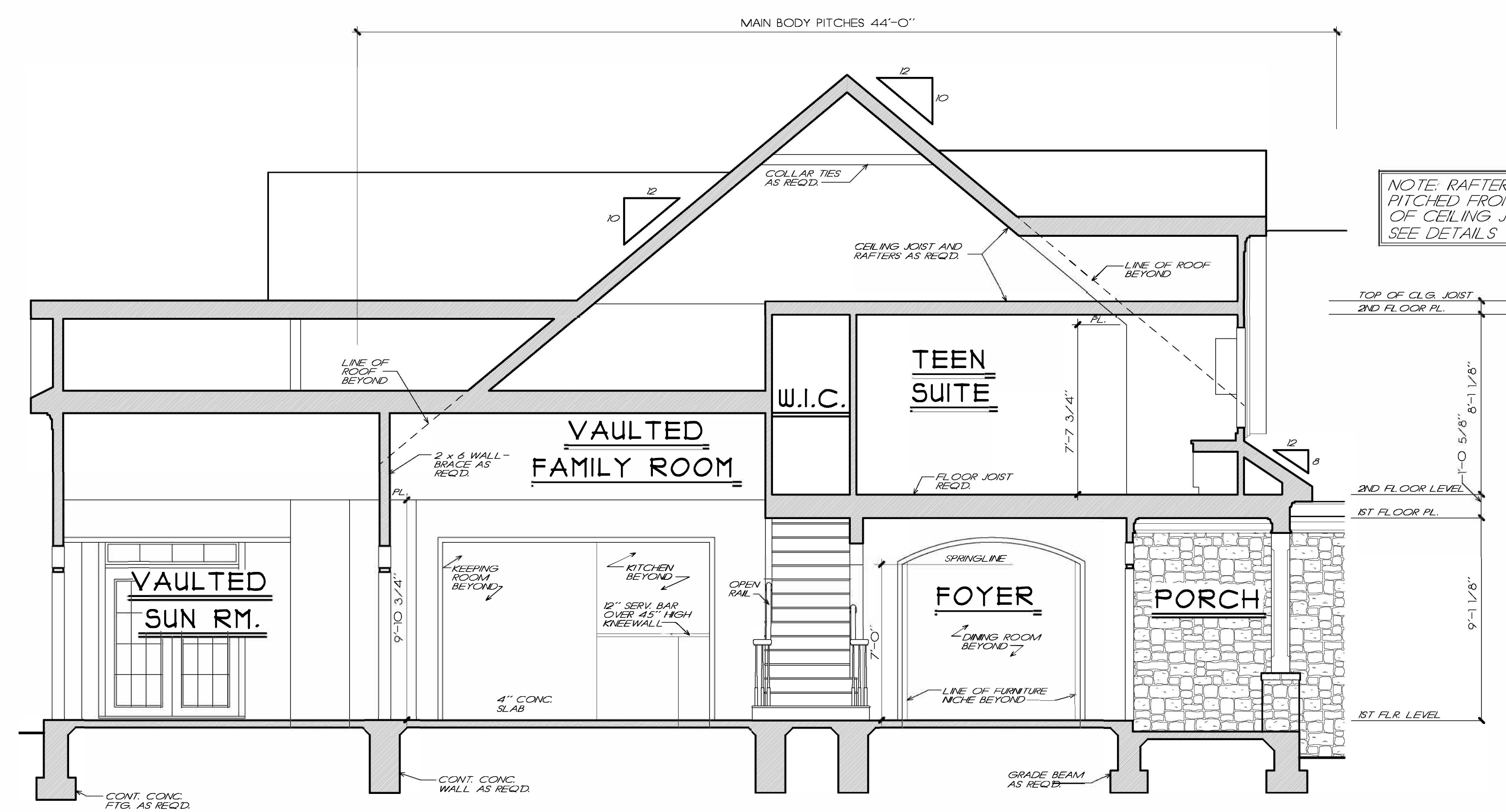
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RS TDJ

DATE: 6/17/04  
11/17/21

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OF: 5



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NOTE: RAFTERS ARE PITCHED FROM TOP OF CEILING JOISTS SEE DETAILS

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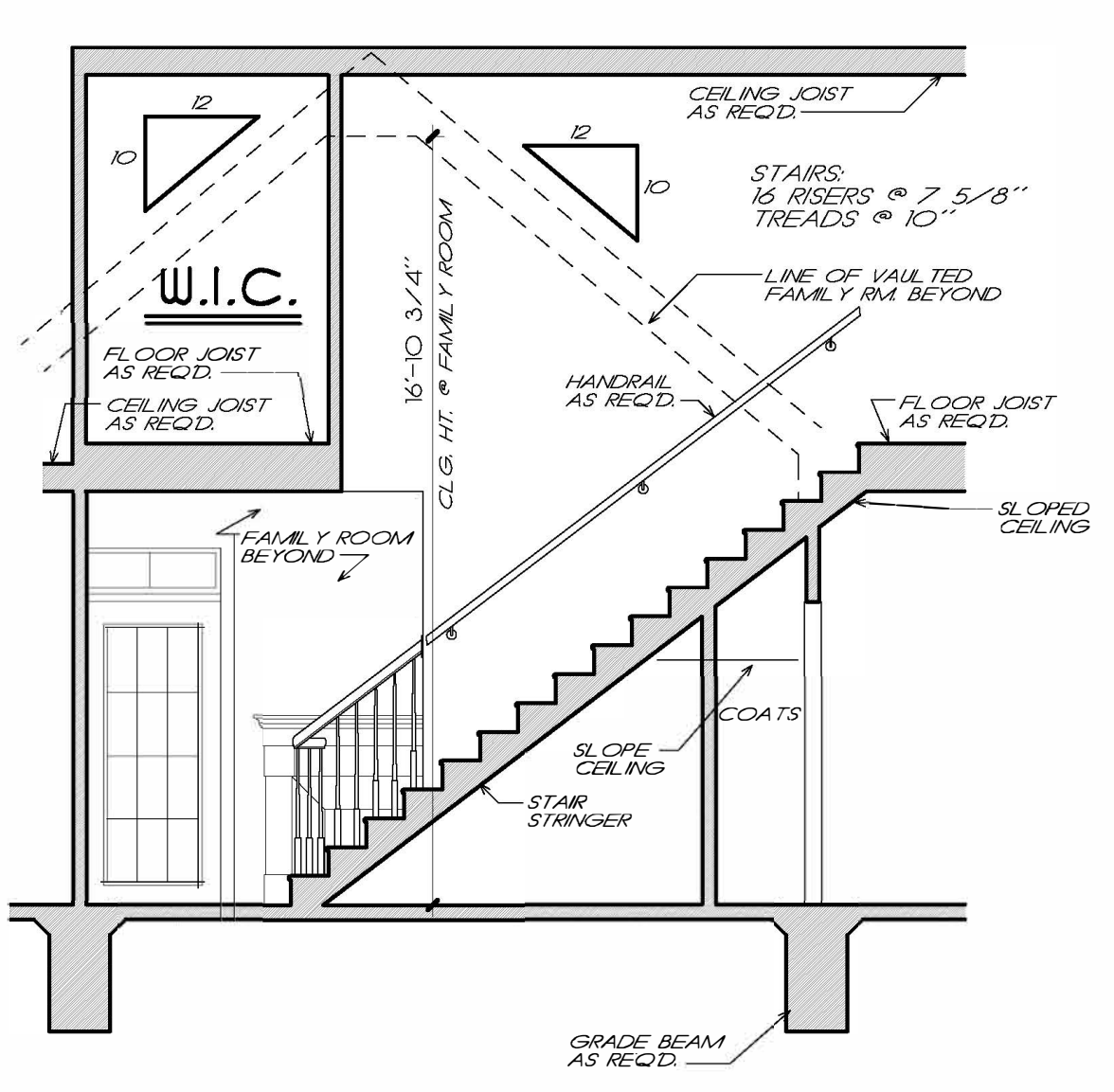
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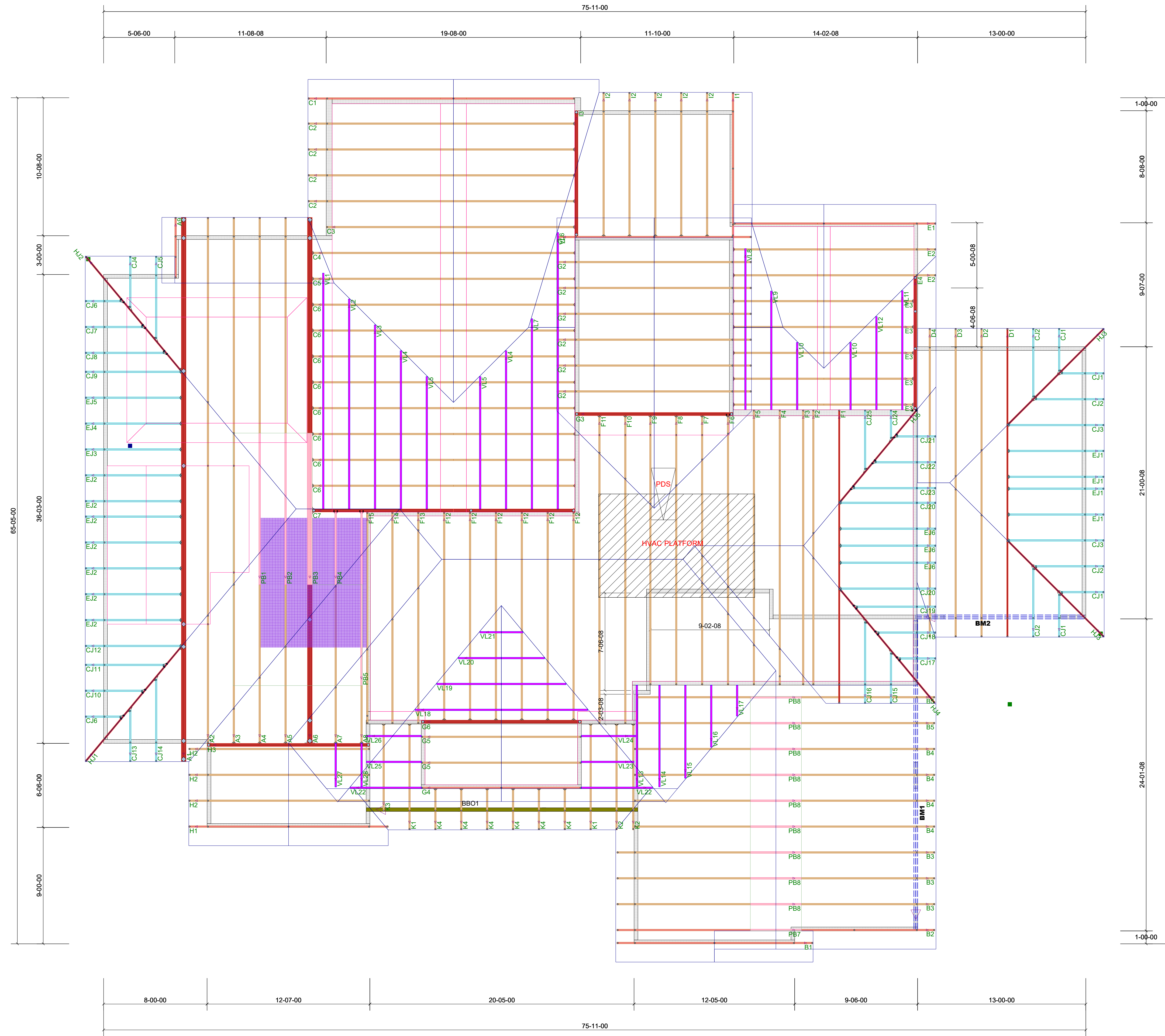
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Prod	Length	Product	Units	Net Qty	Fab Type
BM1	24-00-00	2.0 Rigid Lam DF LVL 1-3/4 x 11-7/8	2	2	FF
BM2	14-00-00	2.0 Rigid Lam DF LVL 1-3/4 x 11-7/8	2	2	FF

Manuf	Product	Total Qty
MTek	HJC26	3
MTek	JUS26	33
MTek	LUGT3	2
MTek	One RT16A	2
MTek	One RT7A	173
MTek	One RT6A	1
MTek	THD26	39
MTek	THD210-3	1
MTek	THD26-2	1

# ROOF TRUSS FRAMING

DRAWING SCALE : NTS



J&R HOMES LLC  
61 WILLOWCROFT  
ROOF TRUSS PLACEMENT PLAN

REVISIONS	
DATE	BY
01/21/2022	VD

PROJECT NUMBER  
**22010064**  
SHEET NUMBER  
**1 / 1**

