



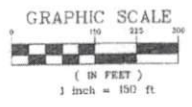
VICINITY MAP
NOT TO SCALE

LEGEND

epk - existing pk nail found
 eis - existing iron stake found
 ecm - existing concrete marker found
 ers - existing railroad spike found
 eia - existing iron axle found
 en - existing nail found
 smn - set mag nail
 emn - existing mag nail found
 sip - set iron pipe
 eip - existing iron pipe found
 sir - set iron rod
 eir - existing iron rod found
 cp - calculated point (no stake set)

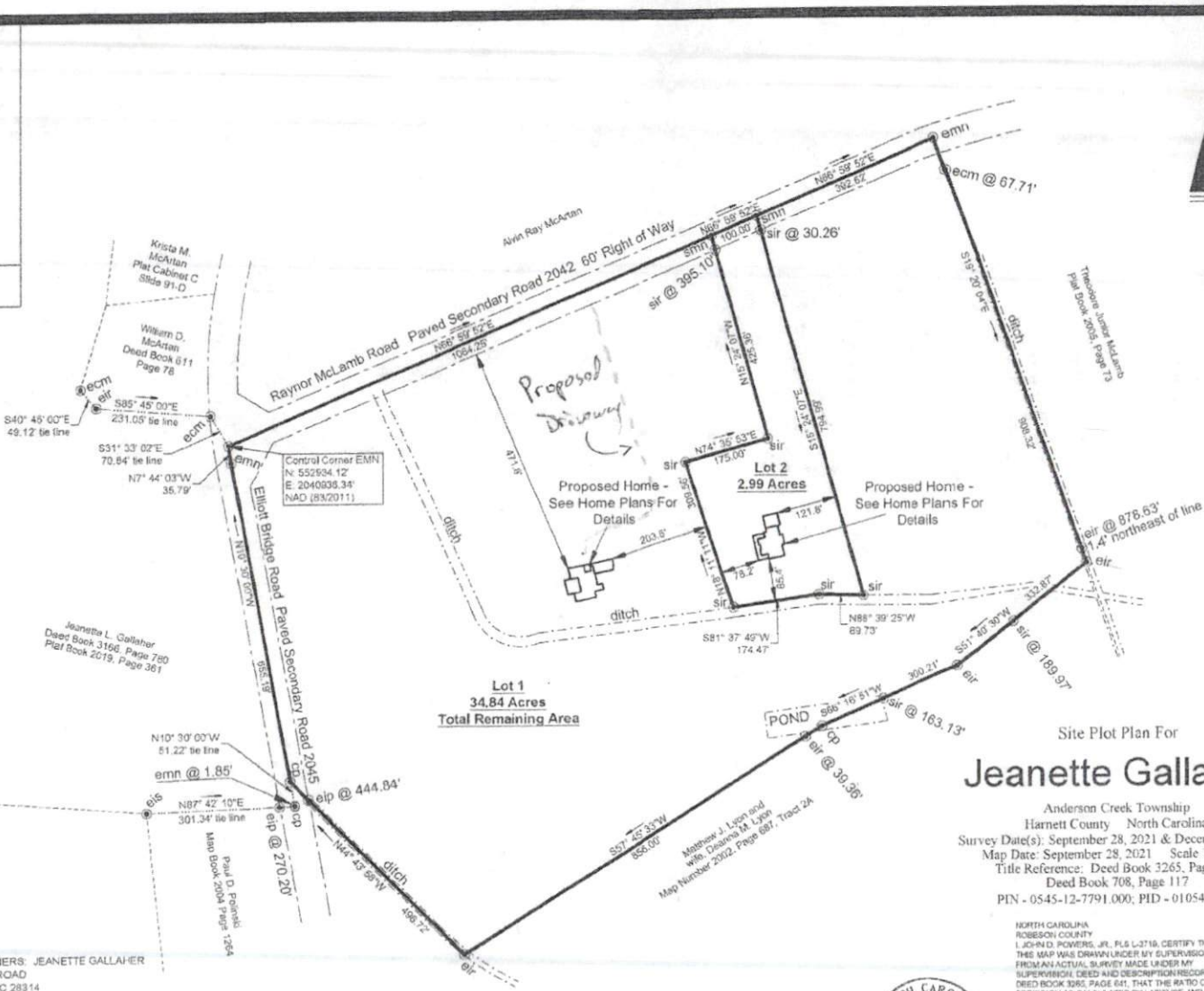
--- right of way line plotted
 --- surveyed line
 - - - line plotted (not surveyed)
 - - - fence line plotted
 - - - ditch line plotted
 - - - easement line plotted
 - - - centerline line plotted
 - - - tie line surveyed

Note: Iron iron rods set at all corners unless otherwise noted.



Powers Surveying
 Firm License: S-1339
 John D. Powers, Jr., PLS L-3719
 750 South Roberts Avenue
 Lenoir, North Carolina 28318
 (910) 758-0590

- NOTES:
- 1) CURRENT OWNERS: JEANETTE GALLAHER
 441 KINGSFORD ROAD
 FAYETTEVILLE, NC 28314
 - 2) ZONING RA-20R
 - 3) THIS PROPERTY IS NOT SHOWN IN A FLOOD HAZARD AREA.
 - ZONE X
 - MAP NUMBER 3720054400K
 - PANEL EFFECTIVE DATE 01/05/2007
 - CID 37C328
 - 4) WATERSHED: NO
 - 5) SETBACKS: FRONT = 35' SIDE = 10' REAR = 25'
 - 6) PUBLIC WATER AVAILABLE- 8" WATER LINE
 - 7) NO PUBLIC SEWER AVAILABLE



Site Plot Plan For
Jeanette Gallaher

Anderson Creek Township
 Harnett County North Carolina
 Survey Date(s): September 28, 2021 & December 4, 2014
 Map Date: September 28, 2021 Scale 1" = 150'
 Title Reference: Deed Book 3265, Page 641
 Deed Book 708, Page 117
 PIN - 0545-12-7791.000; PID - 010545 0018



NORTH CAROLINA
 ROBESON COUNTY
 JOHN D. POWERS, JR., PLS L-3719, CERTIFY THAT THIS MAP WAS DRAWN/PREPARED BY MY SUPERVISOR FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION, DEED AND DESCRIPTION RECORDED IN DEED BOOK 3025, PAGE 641, THAT THE RATIO OF PRECISION AS CALCULATED BY LATITUDE AND DEPARTURES IS 1:10,000*, THAT THE BOUNDARIES NOT SURVEYED ARE SHOWN AS BROWN LINES PLOTTED FROM INFORMATION FOUND IN BOOKS REFERENCED, THAT THIS MAP WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED WITH MY HAND AND SEAL THIS 28TH DAY OF APRIL, A.D., 2021.

THIS PLAT IS OF A SURVEY THAT IS A SUBDIVISION OF LAND WITHIN THE AREA OF A COUNTY OR MUNICIPALITY THAT HAS AN ORDINANCE THAT REGULATES PARCELS OF LAND.