

"I CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION USING REFERENCES SHOWN HEREON; THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED AS DRAWN FROM INFORMATION IN BOOK _____, PAGE _____ OR OTHER REFERENCE SOURCE _____; THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY IS 10,000+; AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56. 1600)."

THIS ____ DAY OF _____, 2____.

SEAL _____
PROFESSIONAL LAND SURVEYOR

IMPERVIOUS SURFACE AREA TABLE

HOUSE:	XXXX SF
PORCH/DECK:	XXXX SF
DRIVE/SIDEWALK/CONCRETE:	XXXX SF
TOTAL IMPERVIOUS:	XXXX SF (0.00%)

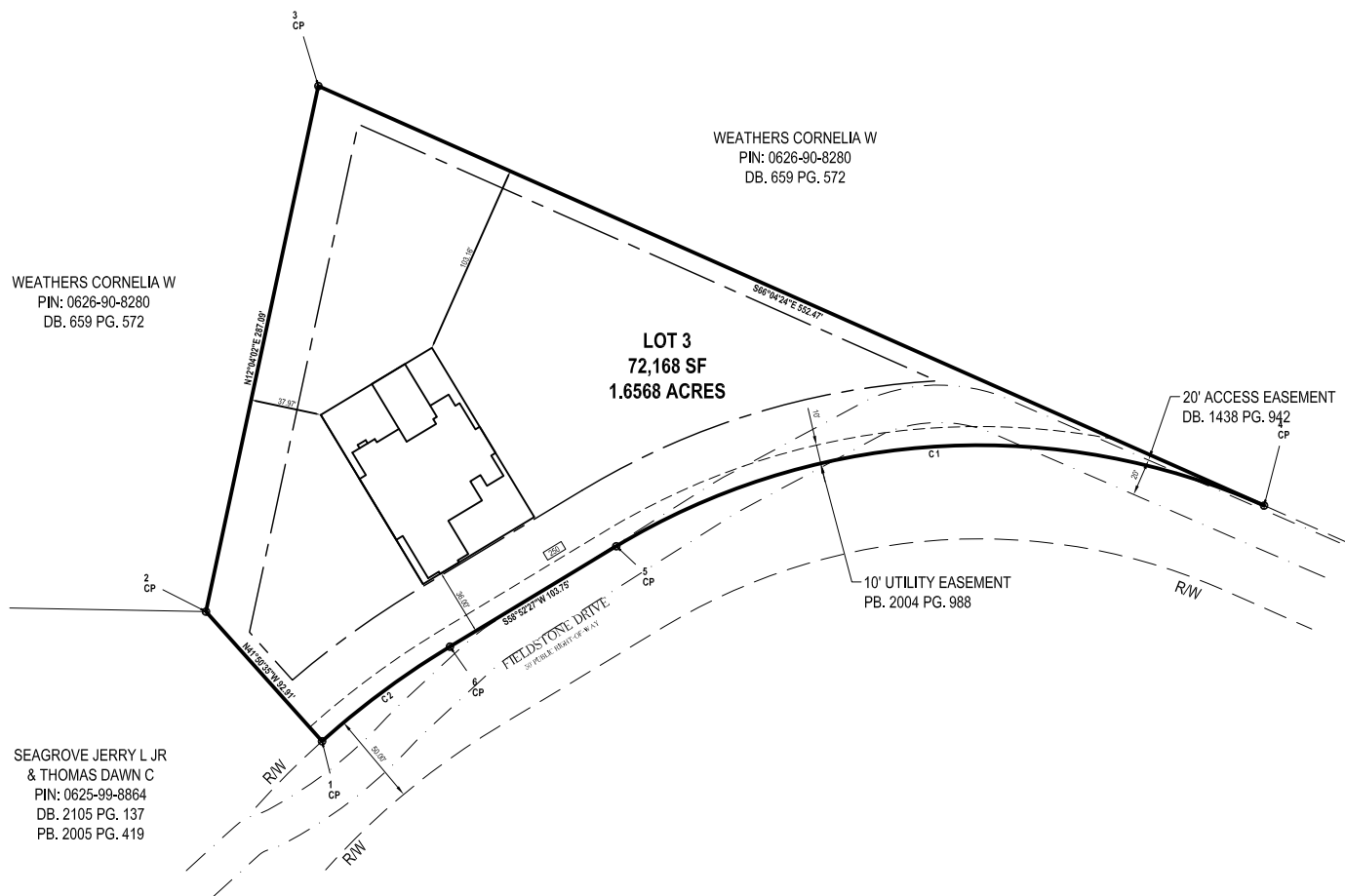


VICINITY MAP - 1" = 2000'

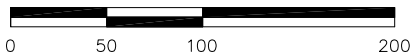
BUILDING SETBACKS

FRONT	35'
SIDE:	10'
REAR:	25'
CORNER SIDE:	20'

(ALLOWABLE IMPERVIOUS AREA PER LOT = 12.00%)



SCALE: 1" = 100'



1. AREAS BY COORDINATE GEOMETRY UNLESS SHOWN OTHERWISE.
2. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
3. ALL STREETS ARE PUBLIC RIGHTS-OF-WAY UNLESS SHOWN OTHERWISE.
4. OTHER INSTRUMENTS OF RECORD MAY AFFECT THIS PROPERTY.
5. NO TITLE SEARCH PERFORMED FOR THIS SURVEY.
6. NO NCGS MONUMENT WITHIN 2,000 FEET OF PROPERTY.
7. NO FEMA FLOOD HAZARD AREAS PER FIRM NUMBER 3720062600K DATED FEBRUARY 2, 2007 & 3720062400J DATED OCTOBER 3, 2006.

PIN 0636-00-1064

LOT NUMBER 3

SUBDIVISION FIELDSTONE FARMS

PLAT BOOK 2004 PAGE 988

DEED BOOK 3655 PAGE 184

LEGEND

- EIP = EXISTING IRON PIPE
- IPS = IRON PIPE SET
- CP = CALCULATED POINT
- ◆ PK = PK NAIL
- RW = RIGHT-OF-WAY
- XXXXX DENOTES ADDRESS

250 FIELDSTONE DRIVE

PROJECT NO. 21328

PROPOSED HOUSE LOCATION

PROPERTY OF

ERIN VAN HORN, LLC

HOLLY SPRINGS

HARNETT COUNTY

NORTH CAROLINA



BASS, NIXON & KENNEDY, INC.

CONSULTING ENGINEERS

- 6310 CHAPEL HILL ROAD, SUITE 250
- RALEIGH, NORTH CAROLINA 27607
- TELEPHONE: (919)851-4422 OR (800)354-1879
- FAX: (919)851-8968
- CERTIFICATION NUMBERS: NCBELS (C-0110); NCBLA (C-0267)

DATE: 10-21-2021

SCALE: 1" = 100'

SURV'D BY:

DRAWN BY: ROB