

# SHEET SCHEDULE

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## RESIDENTIAL CODE SUMMARY

PLANS ARE DESIGNED TO MEET REQUIREMENTS OF 2018 NORTH CAROLINA RESIDENTIAL CODE  
 STRUCTURE IS DESIGNED TO WITHSTAND 100 MPH, 3 SECOND GUST (85 FASTEST WIND), EXPOSURE B.

ANCHOR BOLTS SHALL BE MIN. 1/2" DIAMETER & SHALL EXTEND A MINIMUM 7" INTO MASONRY OR CONCRETE. ANCHOR BOLTS TO BE NO MORE THAN 6' O.C. AND WITHIN 12" OF THE CORNERS.

MEAN ROOF HEIGHT=25'-10"

COMPONENT AND CLADDING ARE DESIGNED FOR THE FOLLOWING LOADS:

MEAN ROOF HEIGHT	UP TO 30'	30'-1"-35'	35'-1"-40'	40'-1"-45'
ZONE 1	16.5,-18.0	17.3,-18.9	18.0,-19.6	18.5,-20.2
ZONE 2	16.5,-21.0	17.3,-22.1	18.0,-22.9	18.5,-23.5
ZONE 3	16.5,-21.0	17.3,-22.1	18.0,-22.9	18.5,-23.5
ZONE 4	18.0,-19.5	18.9,-20.5	19.6,-21.3	20.2,-21.8
ZONE 5	18.0,-24.1	18.9,-25.3	19.6,-26.3	20.2,-27.0

MINIMUM VALUES FOR ENERGY COMPLIANCE

ZONE 4  
 MAXIMUM GLAZING U-FACTOR=0.35  
 CEILING R-30 (UNCOMPRESSED)  
 WALLS R-13 CAVITY + R-2.5 SHEATHING OR R15 CAVITY  
 FLOORS R-19

MAIN FLOOR AREA: (AREAS CALCULATED TO INSIDE CORNERS OF FRAMED WALLS)

CONDITIONED	1672 SF
GARAGE	1019 SF
FRONT PORCH	246 SF
SCREEN PORCH	313 SF
UTILITY ROOM	288 SF

UPPER LEVEL AREA:

UNFINISHED BONUS SPACE	671 SF
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TOTAL CONDITIONED AREA:

TOTAL	1672 SF
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ATTIC SPACE VENTILATION

1/150 X 3654 SQ.FT. ATTIC AREA=24.4 SQ.FT. NET FREE AREA OF LOUVER REQ'D

METHOD OF VENTILATION

CONTINUOUS ROOF RIDGE VENTING WITH PERFORATED, CONTINUOUS SOFFIT VENTING FOR INTAKE.

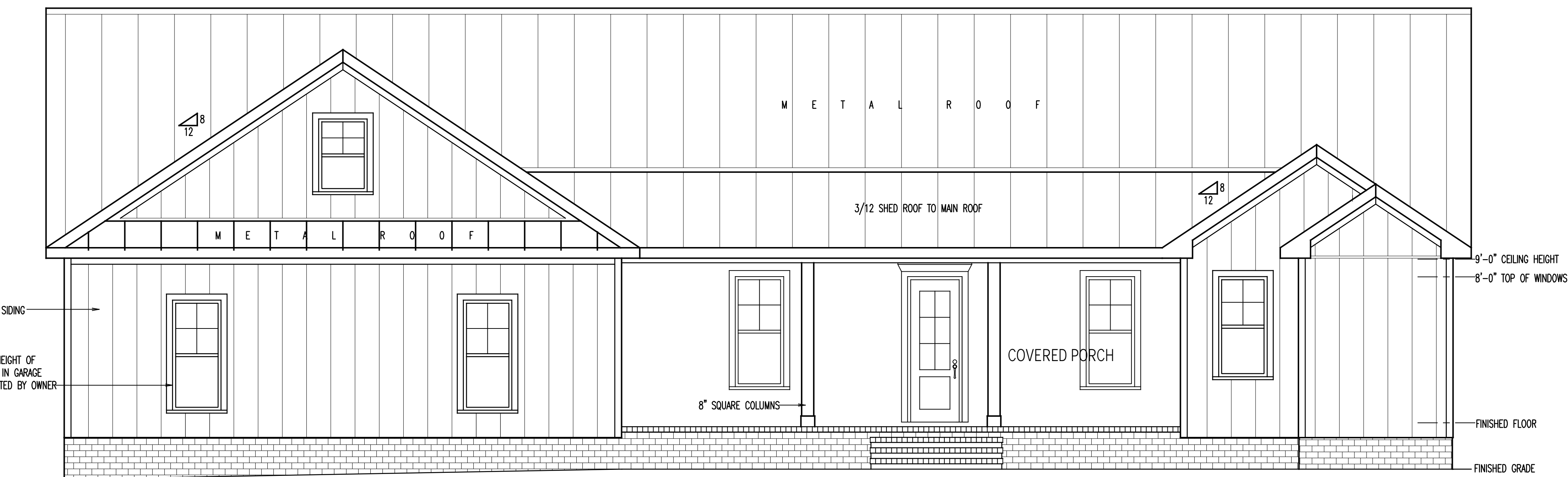
CRAWL SPACE VENTILATION

N/A:  
 CRAWL SPACE ENCLOSED WITH INSULATED WALLS

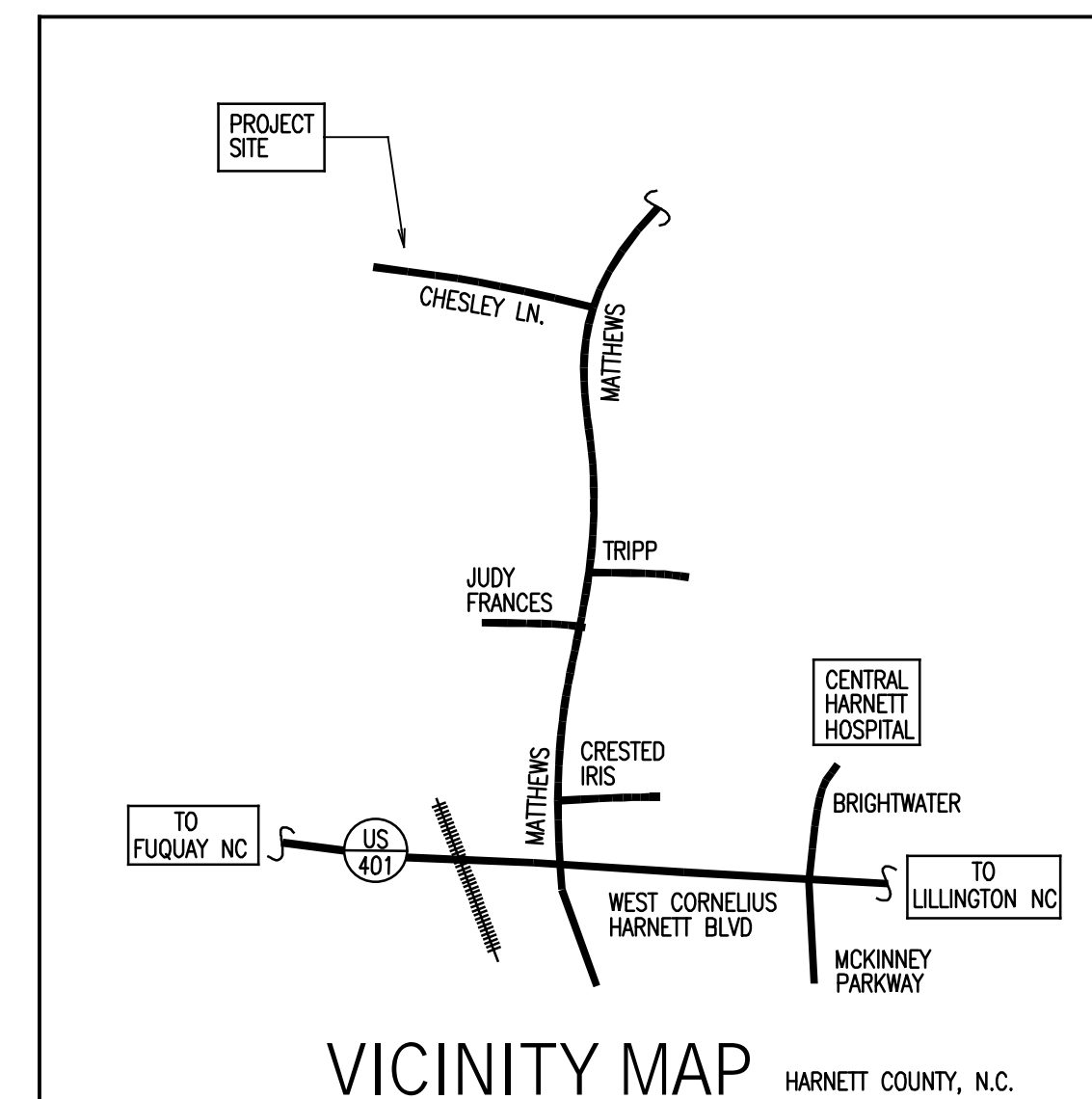
**NOTICE TO CONTRACTOR**  
 All construction must comply with current NC Building Codes and is subject to field inspection and verification.

**APPROVED**  
 Limited building only review  
 Permit holder responsible for full compliance with the code

11/03/2021



**A1** FRONT ELEVATION  
**01** 1/4" = 1'-0"



COVER SHEET AND DATA

STRUCTURAL EVALUATION BY:  
**HOWERTON SERVICES, PLLC**  
 LICENSE # P-1716  
 3513 CATHEDRAL BELL ROAD, RALEIGH, NC 27614

BUILDING DESIGN BY:  
**S&S CONTRACTING**  
 6349 RIVER ROAD, FLOUJAY, NC 27526

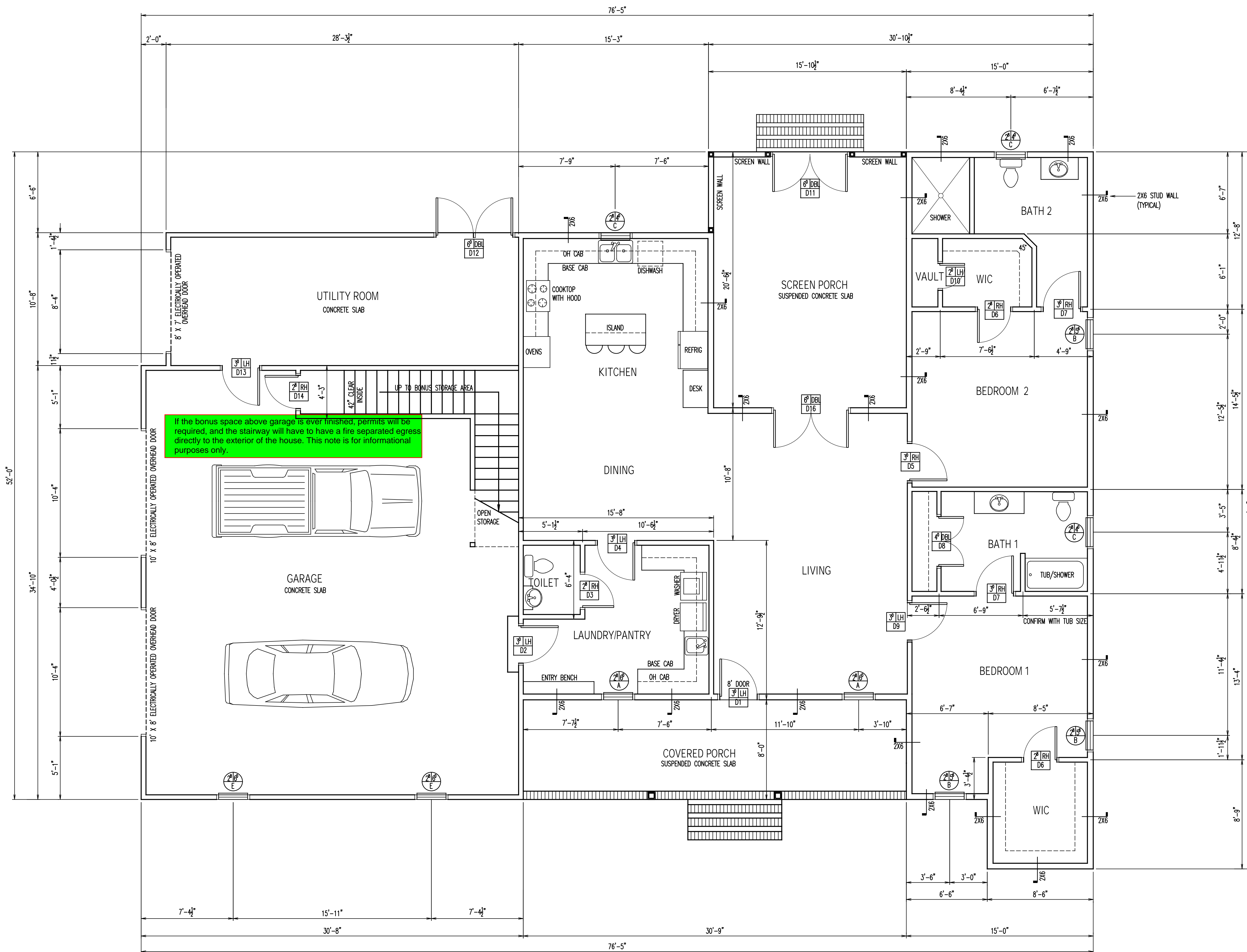
CUSTOM HOUSE PLANS FOR:  
**GOODWIN RESIDENCE**  
 CHELSEY LAKE, HARNETT COUNTY, N.C.

DESCRIPTION:  
 COVER SHEET AND DATA

REVISION:

DATE:  
 SEPTEMBER 2021

DRAWING:  
**A1**



If the bonus space above garage is ever finished, permits will be required, and the stairway will have to have a fire separated egress directly to the exterior of the house. This note is for informational purposes only.

**A2** FLOOR PLAN  
**01** 1/4"=1'-0"

CUSTOM HOUSE PLANS FOR:  
**GOODWIN RESIDENCE**  
 CHELSEY LAKE, HARNETT COUNTY N.C.

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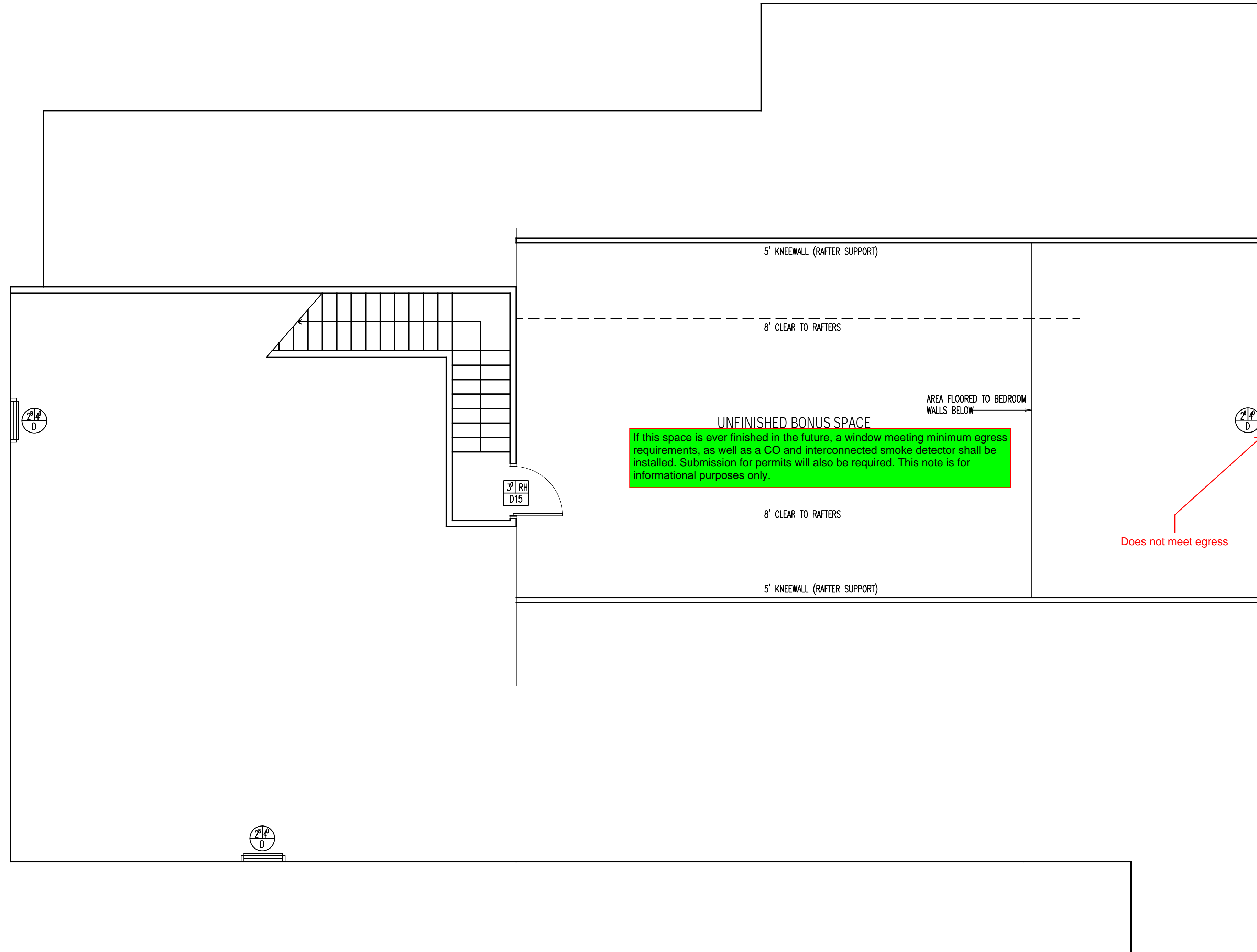
BUILDING DESIGN BY:  
**S&S CONTRACTING**  
 6349 RIVER ROAD, FLOUJAY, NC 27526

DESCRIPTION:  
 FLOOR PLAN

REVISION:

DATE:  
 SEPTEMBER 2021

DRAWING:  
**A2**



**A3** BONUS PLAN  
**01** 1/4"=1'-0"

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BUILDING DESIGN BY:  
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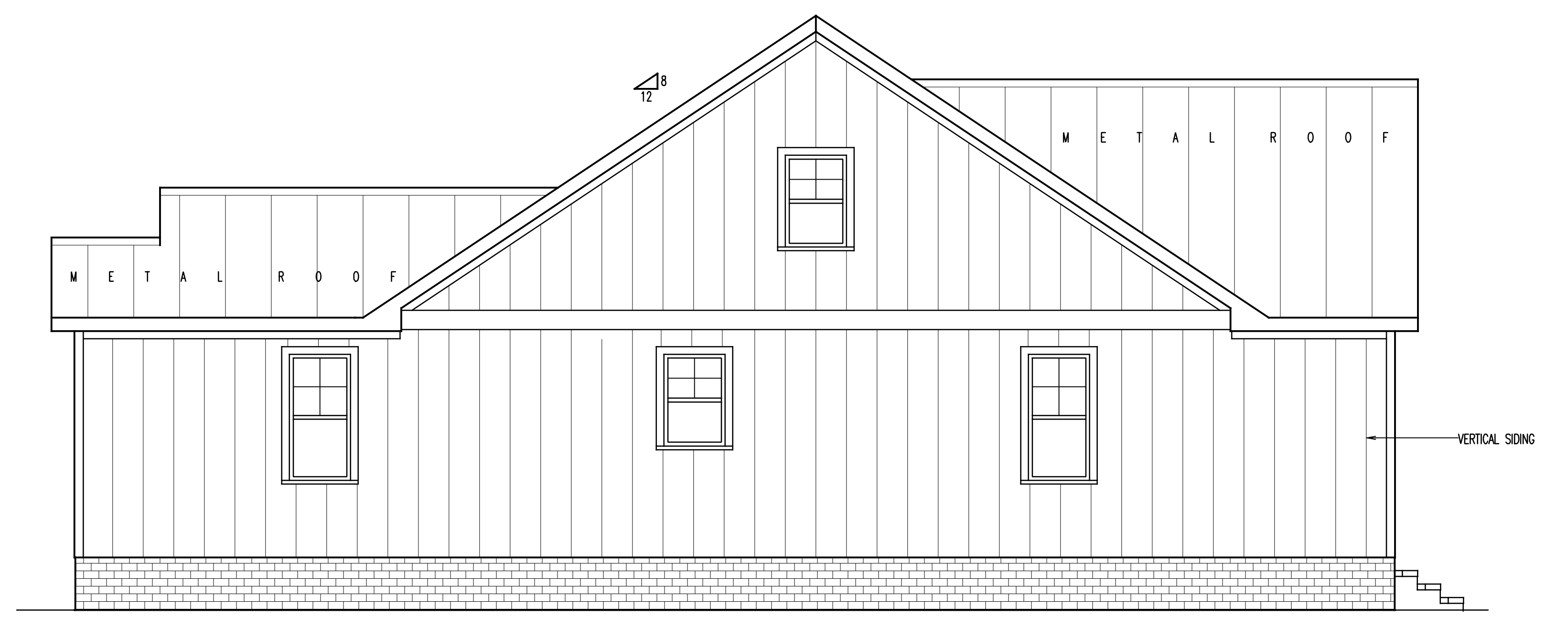
CUSTOM HOUSE PLANS FOR:  
**GOODWIN RESIDENCE**  
 CHELSEY LANE, HARNETT COUNTY, N.C.

DESCRIPTION:  
 BONUS PLAN

REVISION:

DATE:  
 SEPTEMBER 2021

DRAWING:  
**A3**



A4 ELEVATIONS  
01 1/4"=1'-0"

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BUILDING DESIGN BY:  
S&S CONTRACTING  
6349 RIVER ROAD, FLOUJAY, NC 27526

CUSTOM HOUSE PLANS FOR:  
**GOODWIN RESIDENCE**  
CHELSEY LAKE, HARNETT COUNTY, N.C.

DESCRIPTION:  
ELEVATIONS

REVISION:

DATE:  
SEPTEMBER 2021

DRAWING:  
A4

MARK	SIZE	DESCRIPTION	EGRESS			NOTES
			TEMPERED	2 1/4" MIN	2 1/8" MIN	
A	2'-8"W X 6'-0"H	DOUBLE HUNG			●	1,4
B	2'-8"W X 5'-6"H	DOUBLE HUNG	●		●	1,2,4
C	2'-8"W X 4'-0"H	DOUBLE HUNG			●	1,4
D	2'-8"W X 4'-0"H	DOUBLE HUNG		●		1,4
E	2'-8"W X 6'-0"H	DOUBLE HUNG		●		1,4

**WINDOW SCHEDULE NOTES:**

- ALL WINDOWS SHALL BE LOW E, DOUBLE INSULATED PROVIDE SAFETY GLAZING FOR ALL HAZARDOUS LOCATIONS DEFINED IN GLAZING SECTION OF NC BUILDING CODE-RESIDENTIAL CODE.
- ALL EGRESS WINDOWS SHALL BE SIZED AND MOUNTED TO MEET THE EMERGENCY ESCAPE AND RESCUE OPENING REQUIREMENTS OF NC BUILDING CODE-RESIDENTIAL CODE.
- MUTTON PATTERNS TO BE SELECTED BY THE OWNER.

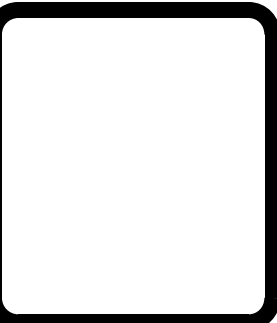
MARK	WIDTH	HEIGHT	SWING	DESCRIPTION	HARDWARE		COMMENTS
					ENTRY W/DEADBOLT	FARMHOUSE STYLE	
D1	3'-0"	8'-0"	LH	6 LITE WOOD WITH WEATHERSTRIPPING	●		FARMHOUSE STYLE
D2	3'-0"	6'-8"	LH	FIRE RATED WITH WEATHERSTRIPPING	●		FIRE RATED
D3	2'-8"	6'-8"	RH	INTERIOR	●		BATH
D4	3'-0"	6'-8"	LH	INTERIOR	●		PASSAGE
D5	3'-0"	6'-8"	RH	INTERIOR	●		BEDROOM
D6	2'-8"	6'-8"	RH	INTERIOR	●		CLOSET
D7	3'-0"	6'-8"	RH	INTERIOR	●		BATH
D8	4'-0"	6'-8"	RH/LH	INTERIOR DOUBLE DOOR	●		CLOSET
D9	3'-0"	6'-8"	LH	INTERIOR	●		BEDROOM
D10	2'-0"	6'-8"	LH	INTERIOR	●		ENTRY VAULT ROOM
D11	6'-0"	6'-8"	RH/LH	SCREEN PORCH DOUBLE DOOR WITH WEATHERSTRIPPING	●		ENTRY CUSTOM DOORS
D12	6'-0"	6'-8"	RH/LH	EXTERIOR TO UTILITY	●		ENTRY W/DEADBLT WEATHERSTRIPPING
D13	3'-0"	6'-8"	LH	GARAGE ENTRY TO HOUSE - STEEL	●		ENTRY W/DEADBLT FIRE RATED
D14	2'-8"	6'-8"	RH	GARAGE STAIR	●		PASSAGE FIRE RATED
D15	3'-0"	6'-8"	RH	GARAGE STAIR TO BONUS	●		ENTRY WEATHERSTRIPPING
D16	6'-0"	6'-8"	RH/LH	SCREEN PORCH DOUBLE DOOR	●		PASSAGE CUSTOM DOORS

**DOORS SCHEDULE NOTES:**

- HARDWARE FINISH TO BE SELECTED BY OWNER.
- DOOR STYLES TO BE SELECTED BY OWNER.



**A5** ELEVATIONS  
01 1/4"=1'-0"



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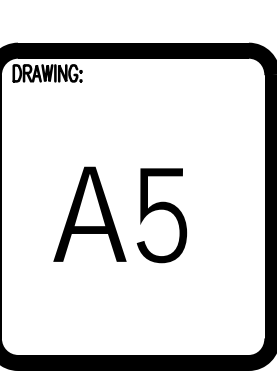
BUILDING DESIGN BY:  
**S&S CONTRACTING**  
6349 RIVER ROAD, FLOUJAY, NC 27526

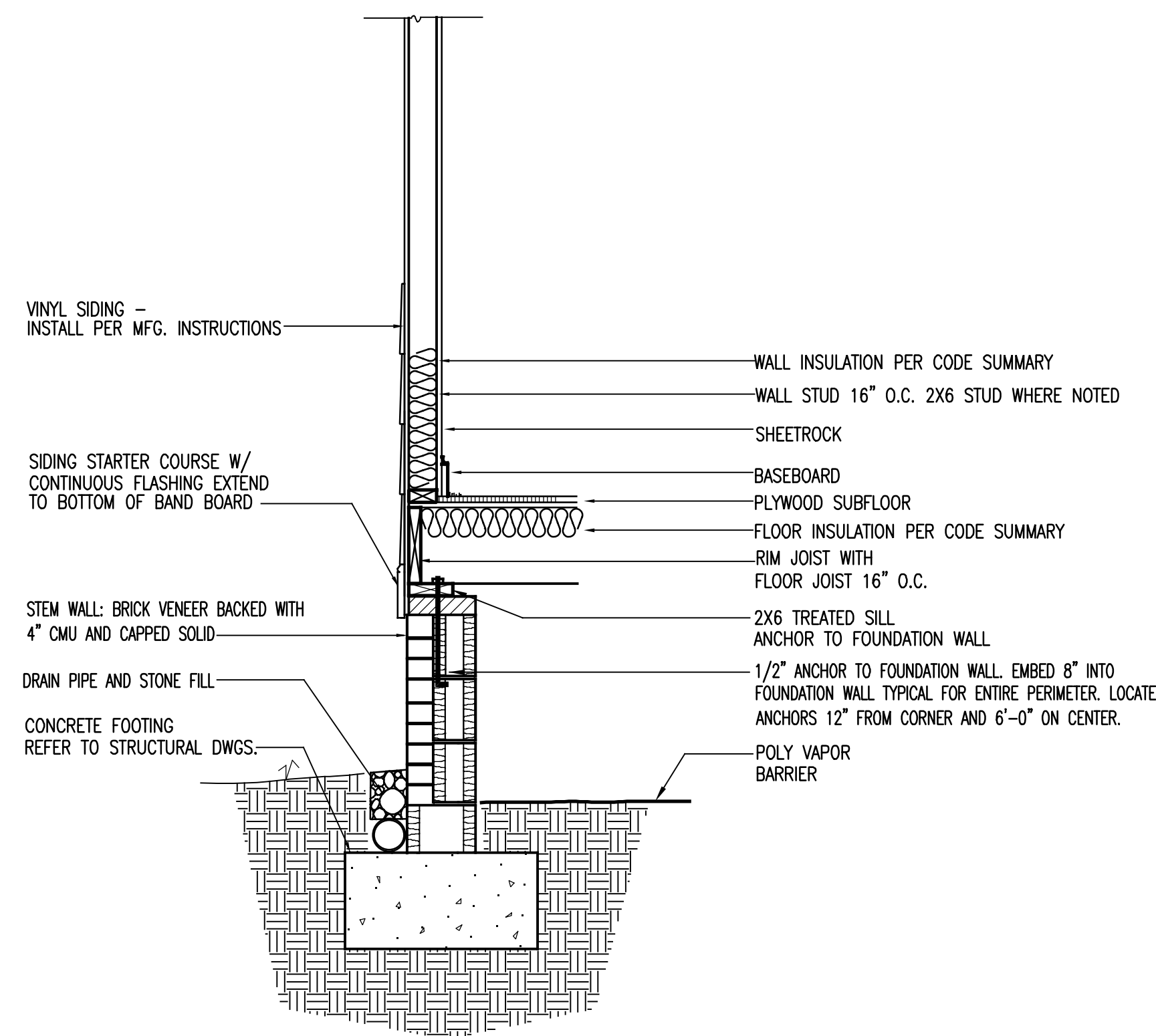
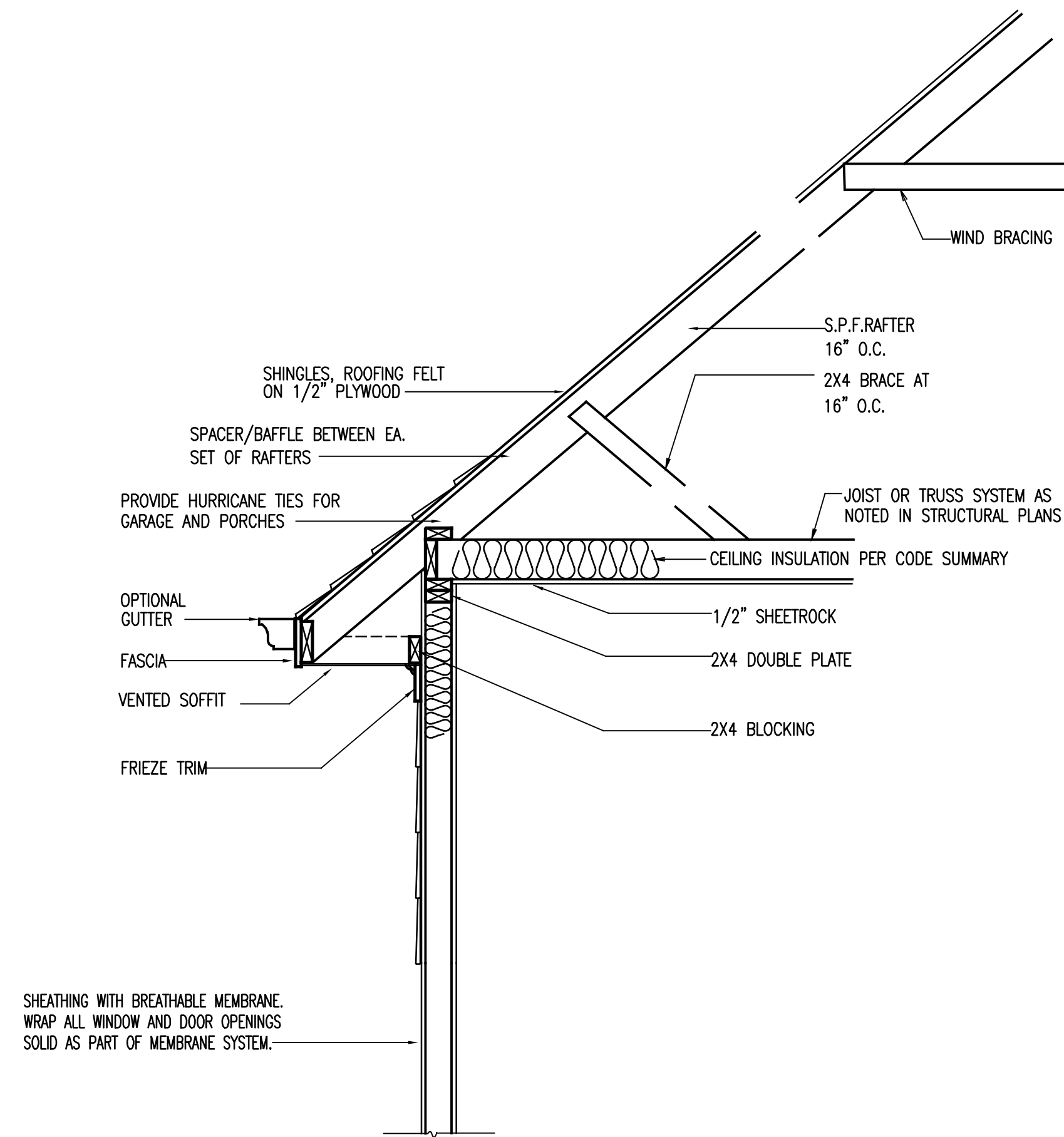
CUSTOM HOUSE PLANS FOR:  
**GOODWIN RESIDENCE**  
CHELSEY LANE, HARNETT COUNTY N.C.

DESCRIPTION:  
ELEVATIONS  
DOOR SCHEDULE  
WINDOW SCHEDULE

REVISION:

DATE:  
SEPTEMBER 2021



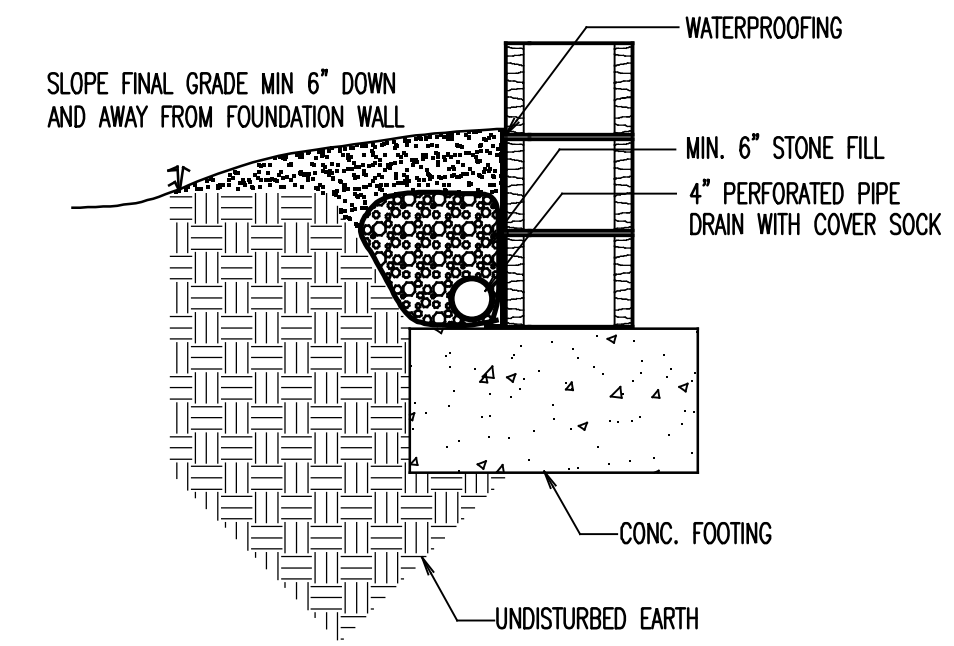


WALL SECTION MAIN HOUSE

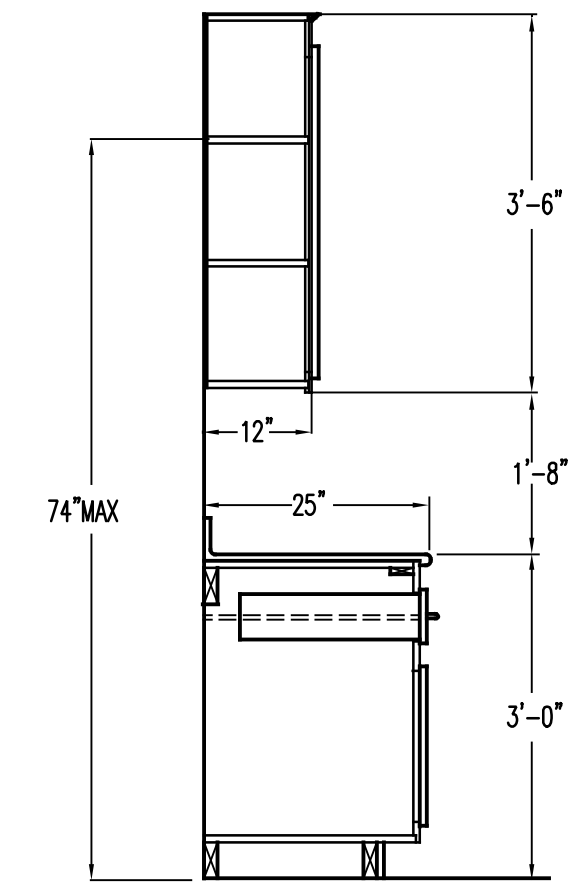
APPLICATION	SIZE OF ANGLE	NOTES
6'-0" MAX. SPAN	3 1/2" X 3 1/2" X 1/4"	2,3,4
10'-0" MAX. SPAN	5" X 3 1/2" X 5/16"	1,2,3,4
ABOVE GARAGE DOOR	6" X 3 1/2" X 5/16"	1,2,3,4

- NOTES:
- LONG LEG OF THE ANGLE SHALL BE PLACED IN A VERTICAL
  - SPANS OVER 4' SHALL BE SHORED UP UNTIL CURED
  - ALL ANGLES SHALL BE PRIME PAINTED
  - ATTACH TO FRAMING HEADER WITH 1/2" GALVANIZED BOLTS @24" O.C.

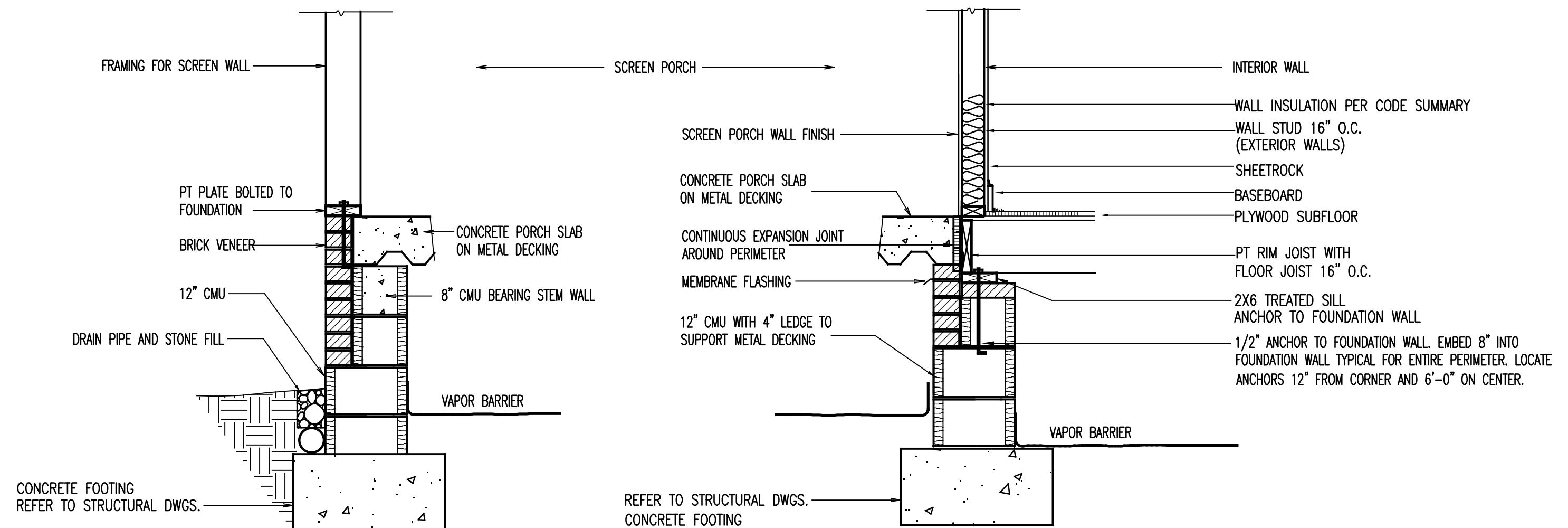
LINTLE SCHEDULE



FOUNDATION DRAINAGE



CABINET SECTION



FLOOR SYSTEM AT SCREEN PORCH NTS

A6 01 DETAILS/SECTIONS  
1/4" = 1'-0"

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BUILDING DESIGN BY:  
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CUSTOM HOUSE PLANS FOR:  
GOODWIN RESIDENCE  
CHELSEY LANE, HARNETT COUNTY, N.C.

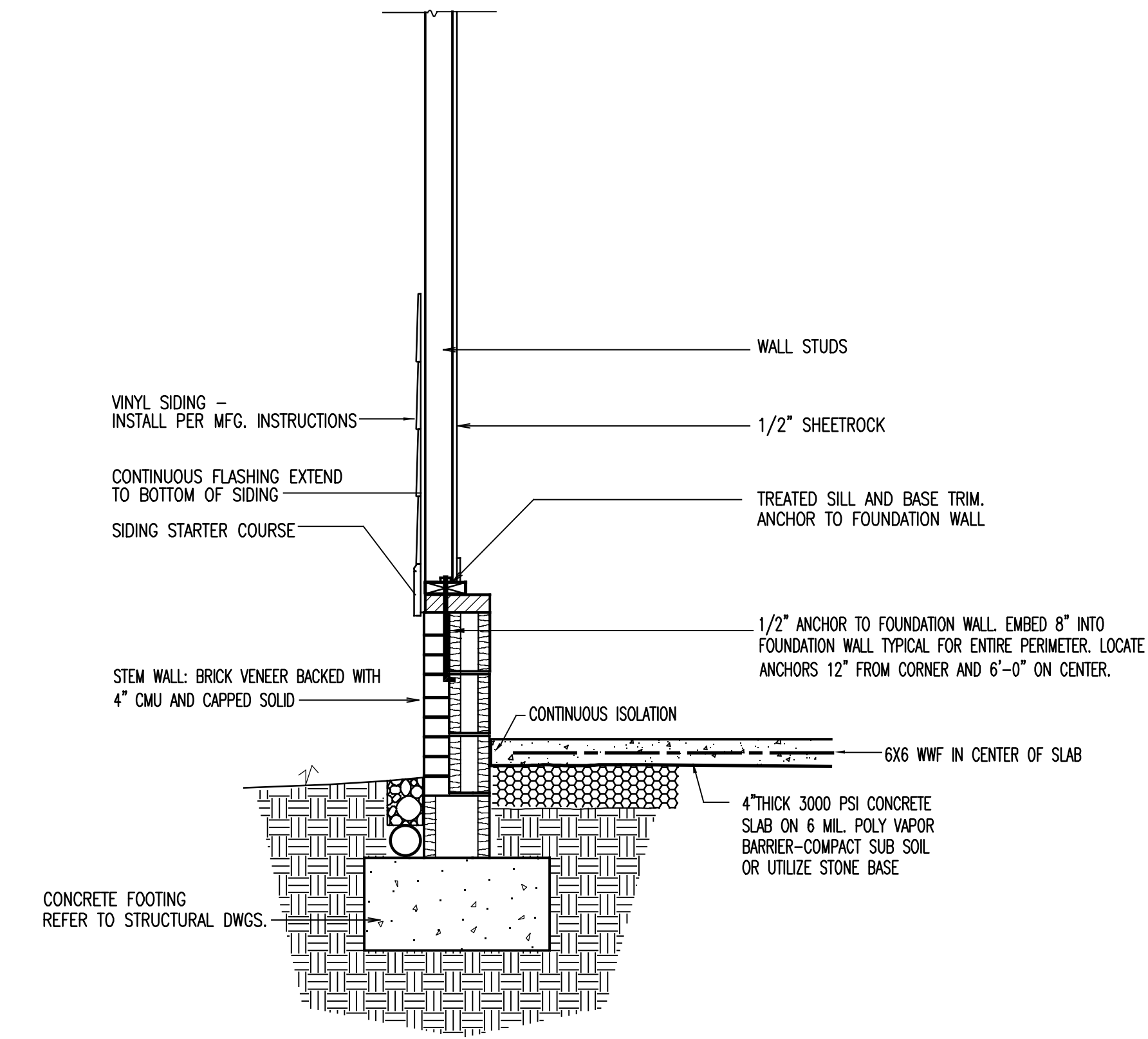
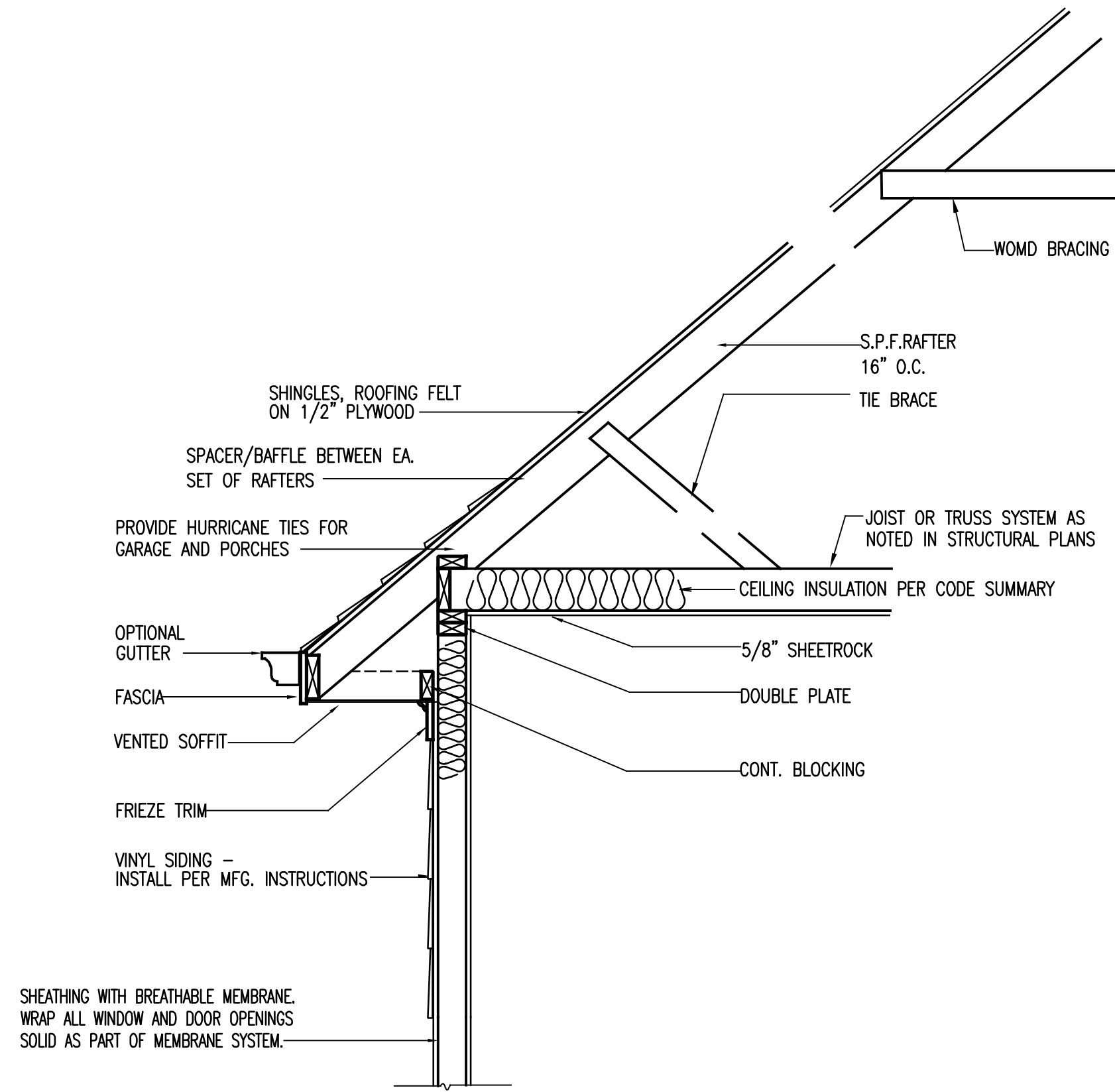
DESCRIPTION:  
DETAILS/SECTIONS

REVISION:

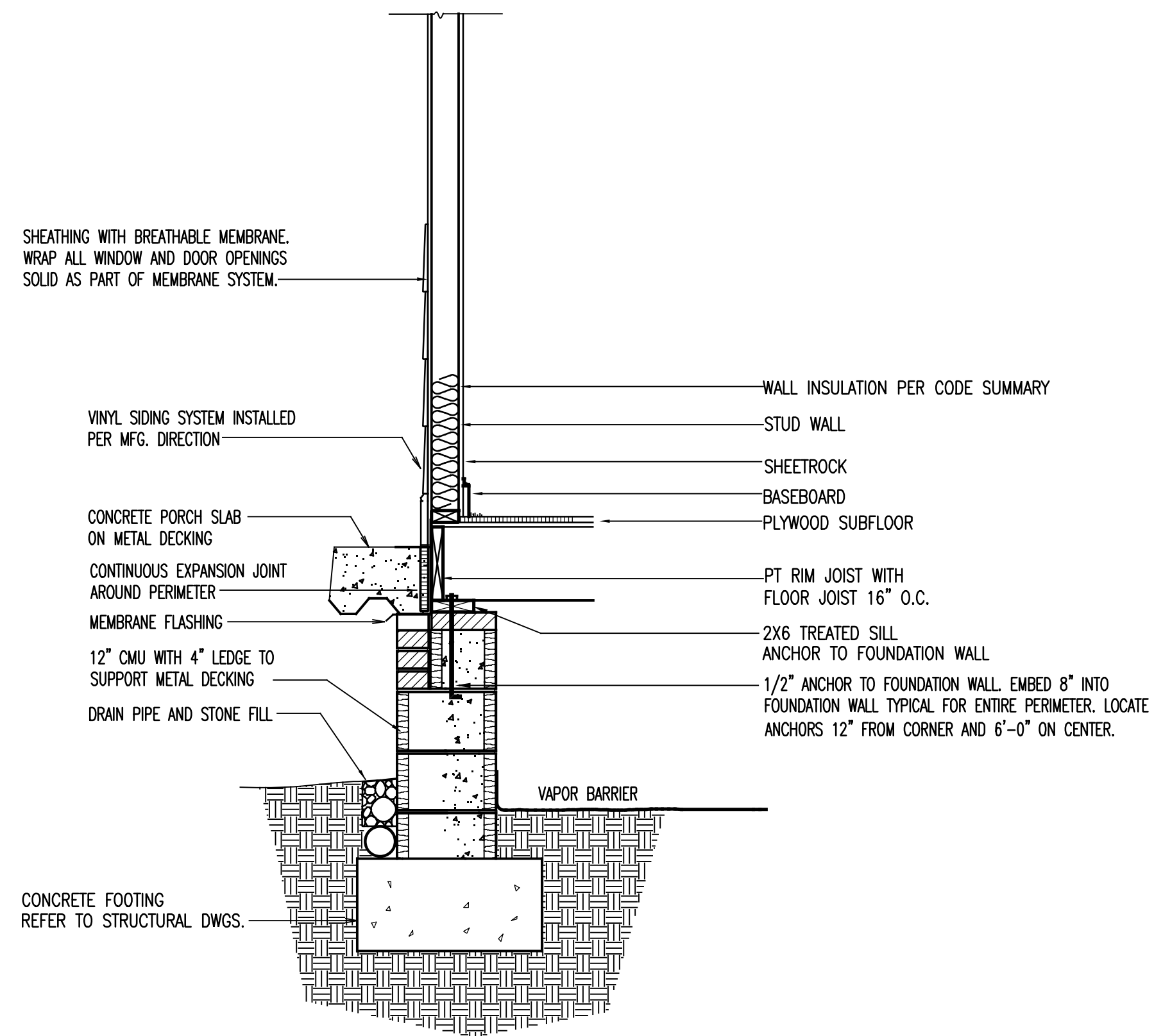
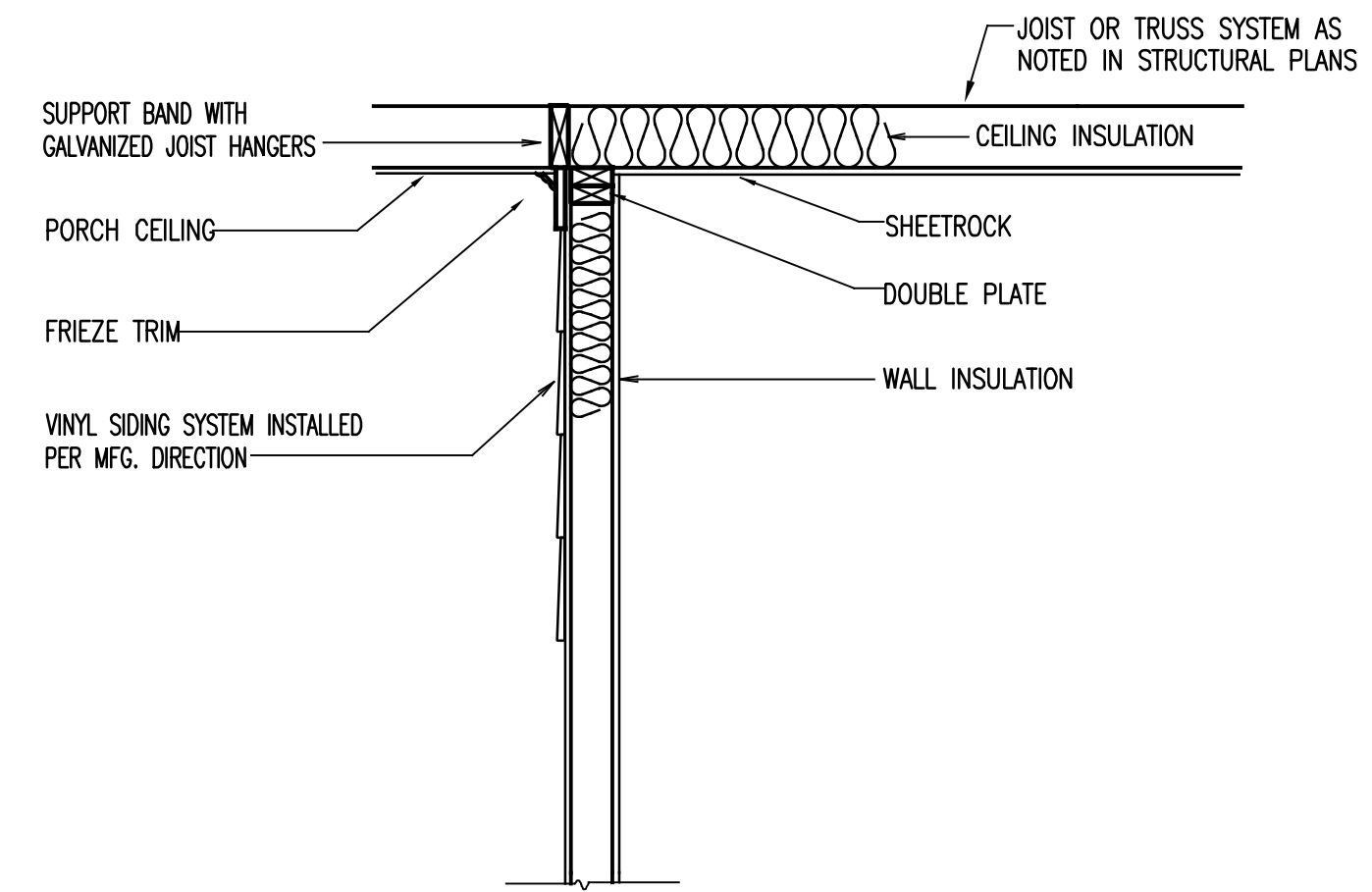
DATE:  
SEPTEMBER 2021

DRAWING:

A6



WALL SECTION GARAGE



WALL SECTION AT FRONT PORCH NTS

A7 SECTIONS  
01 1/4"-1'-0"

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BUILDING DESIGN BY:  
**S&S CONTRACTING**  
6349 RIVER ROAD, FLOUJAY, NC 27526

CUSTOM HOUSE PLANS FOR:  
**GOODWIN RESIDENCE**  
CHELSEY LAKE, HARNETT COUNTY, N.C.

DESCRIPTION:  
SECTIONS

REVISION:

DATE:  
SEPTEMBER 2021

DRAWING:  
**A7**



10/24/2021  
 STRUCTURAL EVALUATION BY:  
**HOWERTON SERVICES, PLLC**  
 LICENSE # P-1716  
 3513 CATHEDRAL BELL ROAD, RALEIGH, NC 27614

BUILDING DESIGN BY:  
**S&S CONTRACTING**  
 6349 RIVER ROAD, FLOUJAY, NC 27526

CUSTOM HOUSE PLANS FOR:  
**GOODWIN RESIDENCE**  
 CHELSEY LANE, HARNETT COUNTY, N.C.

DESCRIPTION:  
 FOUNDATION PLAN  
 REVISION:  
 DATE:  
 SEPTEMBER 2021

DRAWING:  
**S1**

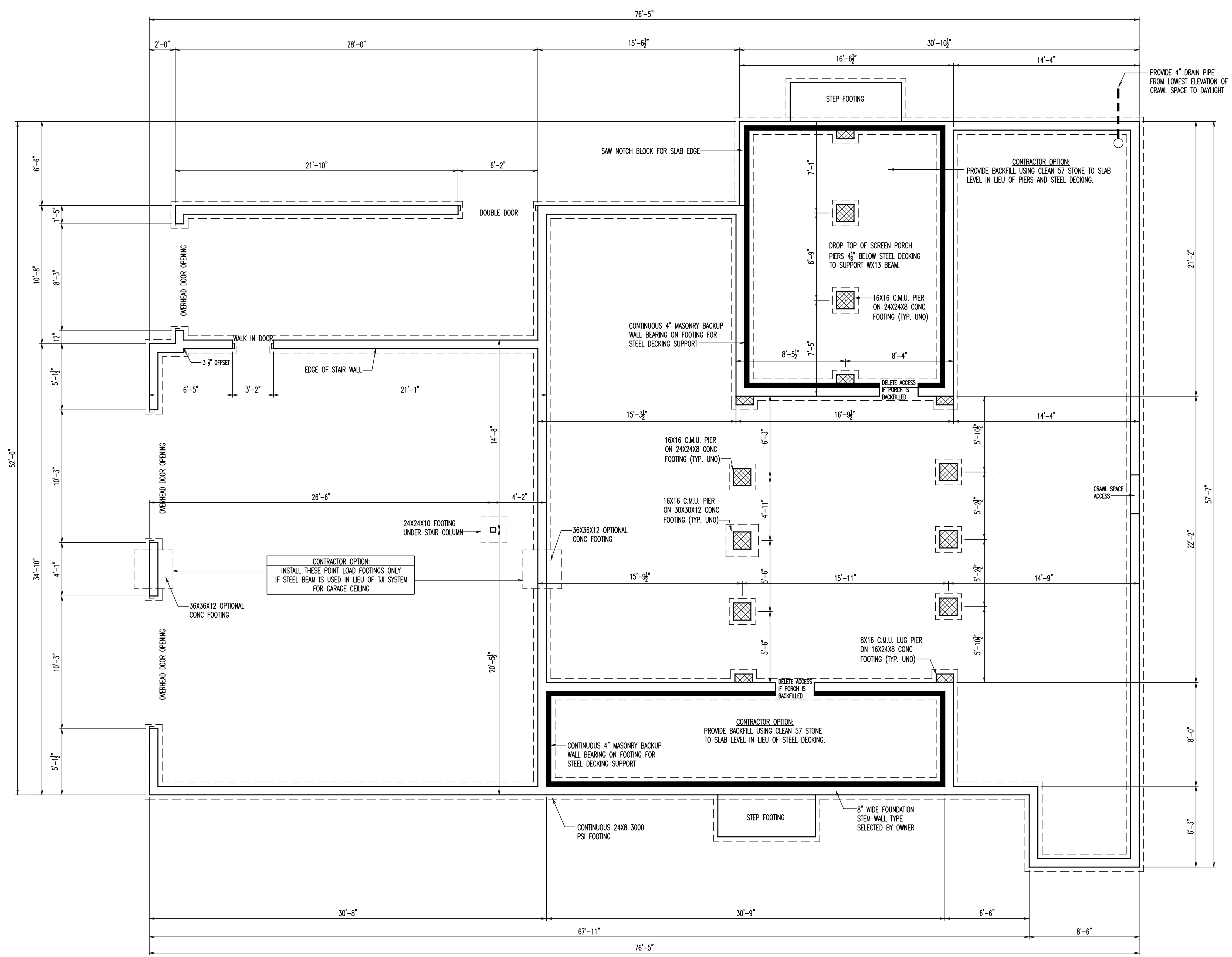
**GENERAL FOUNDATION NOTES:**

1. THIS PLAN DESIGNED IN ACCORDANCE WITH NC RESIDENTIAL CODE, 2018 EDITION.
2. EXTERIOR WALL FOOTING TO BE 24" X 8" 3000 PSI STRUCTURAL CONCRETE UNLESS OTHERWISE NOTED. CONCRETE TO BE PREPARED AND PLACED IN ACCORDANCE WITH ACI 318. FOR FOUNDATION WALL HEIGHT, THICKNESS AND BACKFILL REQUIREMENTS, REFER TO STATE AND LOCAL BUILDING CODES. NOTE: ASSUMED SOIL BEARING CAPACITY=2000 PSF. CONTRACTOR MUST VERIFY SITE CONDITIONS AND CONTACT SOIL ENGINEER IF MARGINAL OR UNSTABLE SOILS ARE ENCOUNTERED.
3. FOOTINGS TO BEAR ON UNDISTURBED EARTH A MIN. OF 12" BELOW ADJACENT FINISH GRADE OR AS OTHERWISE DIRECTED BY LOCAL INSPECTOR.
4. FOUNDATION DRAINAGE SHALL BE IN ACCORDANCE WITH SECTION R405 OF THE CODE "FOUNDATION DRAINAGE".
5. THE FOUNDATION SHALL BE TREATED IN ACCORDANCE W/SECTION R406 OF THE CODE "FOUNDATION WATERPROOFING AND DAMPPROOFING".
6. THIS FOUNDATION DESIGN IS VALID FOR 100 MPH WIND ZONES ONLY.
7. FOUNDATION WALLS SHALL BE 12" IN WIDTH WHERE SUPPORTING FRAMING WITH BRICK VENEER.

**STRUCTURAL EVALUATION BY:**

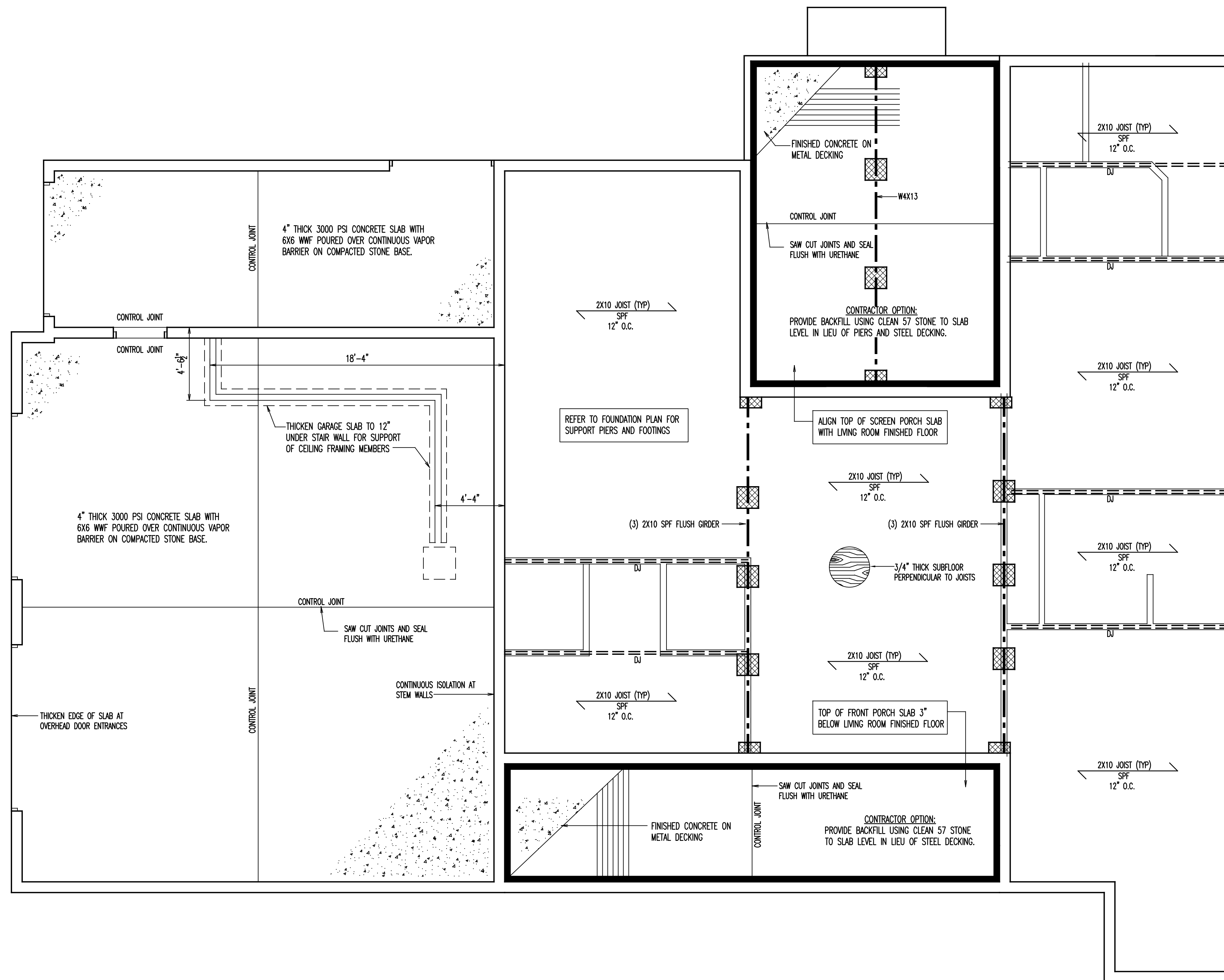
**HOWERTON SERVICES, PLLC** LICENSE # P-1716  
 CATHEDRAL BELL ROAD, RALEIGH, NC 27614

- \* ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS ON THIS DOCUMENT. SEAL DOES NOT INCLUDE CONSTRUCTION REVIEW, MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES OR SAFETY PRECAUTIONS.
- \* ANY DEVIATIONS OR DISCREPANCIES ON PLANS ARE TO BE BROUGHT TO IMMEDIATE ATTENTION OF THE ENGINEER. FAILURE TO DO SO WILL VOID ENGINEER'S LIABILITY.
- \* DO NOT SCALE THESE DRAWINGS - ENGINEERING APPROVAL EXPIRES 09/30/2022 OR UNTIL NEW CODE CYCLE.



**S1** FOUNDATION PLAN  
**01** 1/4"=1'-0"





**GENERAL FRAMING NOTES:**

- THIS PLAN DESIGNED IN ACCORDANCE WITH NC RESIDENTIAL CODE, 2018 EDITION.
- GLAZING AREAS SHOWN ON THESE DESIGN DRAWINGS DO NOT EXCEED 15% OF THE GROSS AREA OF THE EXTERIOR WALLS. THIS STRUCTURE MEETS THE REQUIREMENTS OF N1101.2.1, RESIDENTIAL BUILDING, TYPE A-1.
- WALL CLADDING IS DESIGNED FOR A 24.1 #/SF OR GREATER POSITIVE/NEGATIVE PRESSURE.
- ALL WALLS, FLOORS AND CEILINGS SHALL BE INSULATED IN ACCORDANCE WITH CODE SUMMARY.
- DESIGN CRITERIA:

	DEAD	LIVE
PRIMARY FLOOR	10 PSF	40 PSF
SECONDARY FLOOR	10 PSF	40 PSF
SLEEPING AREAS	10 PSF	30 PSF
ATTIC	10 PSF	20 PSF
ROOF	10 PSF	20 PSF
- DEFLECTION LIMITS:

FLOOR	L/360 (LIVE LOAD ONLY)
ROOF	L/240
- ALL HEADERS IN LOAD BEARING WALLS SHALL BE DOUBLE 2X10.
- ALL WALLS ARE 2X4 @ 16" O.C. UNLESS OTHERWISE NOTED.
- PROVIDE DOUBLE FLOOR JOISTS UNDER WALLS ABOVE.
- PROVIDE FOUNDATION VENT WITHIN 36" OF EACH CORNER.
- ALL JOISTS TO BE SPF.

**STRUCTURAL EVALUATION BY:**

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**S2** FLOOR FRAMING PLAN  
**01** 1/4" = 1'-0"



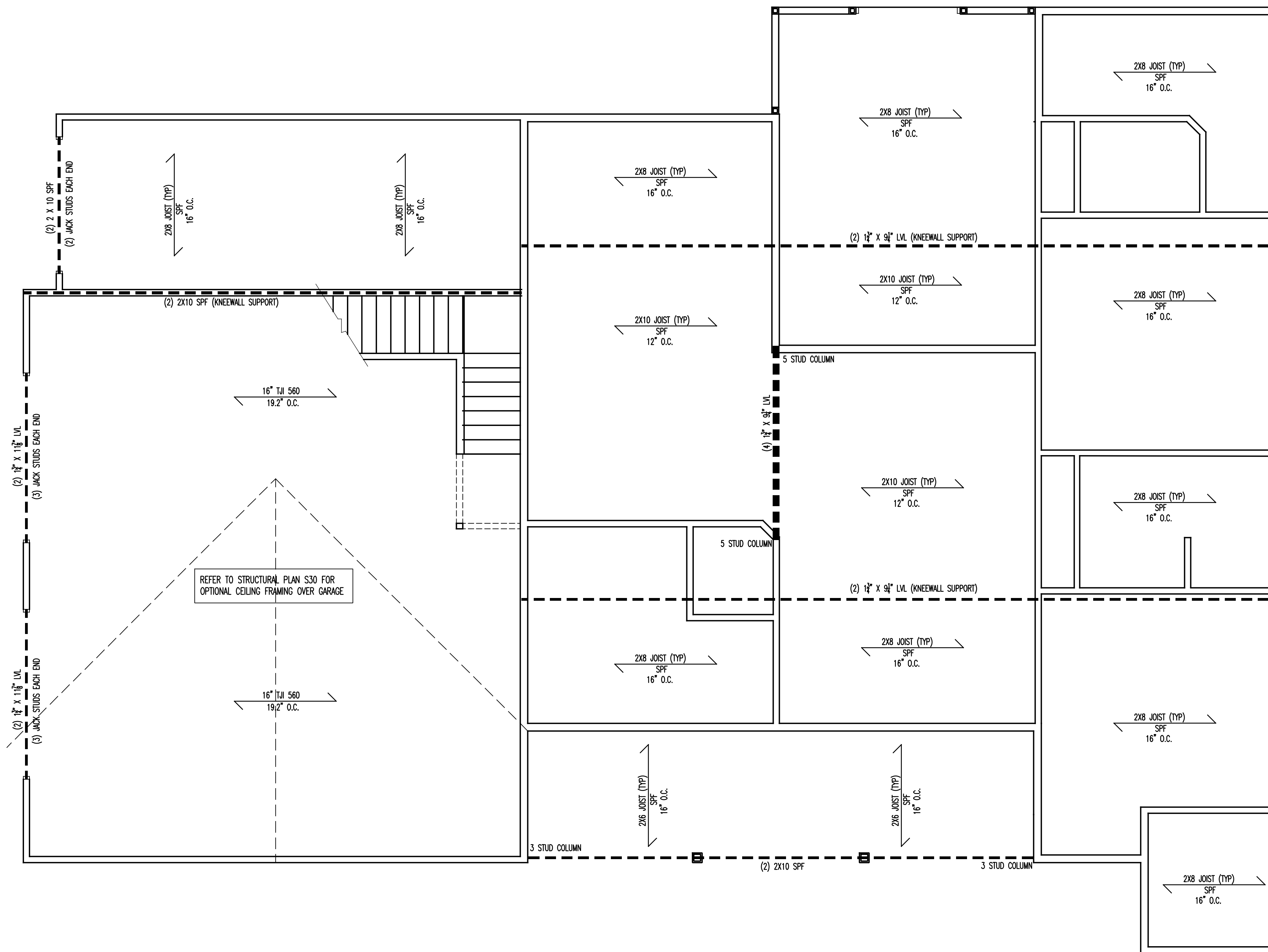
0 24 2021  
 STRUCTURAL EVALUATION BY:  
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BUILDING DESIGN BY:  
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CUSTOM HOUSE PLANS FOR:  
**GOODWIN RESIDENCE**  
 CHELSEY LAKE, HARNETT COUNTY, N.C.

DESCRIPTION:  
 FLOOR FRAMING PLAN  
 REVISION:  
 DATE:  
 SEPTEMBER 2021

DRAWING:  
**S2**



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10 24 2021

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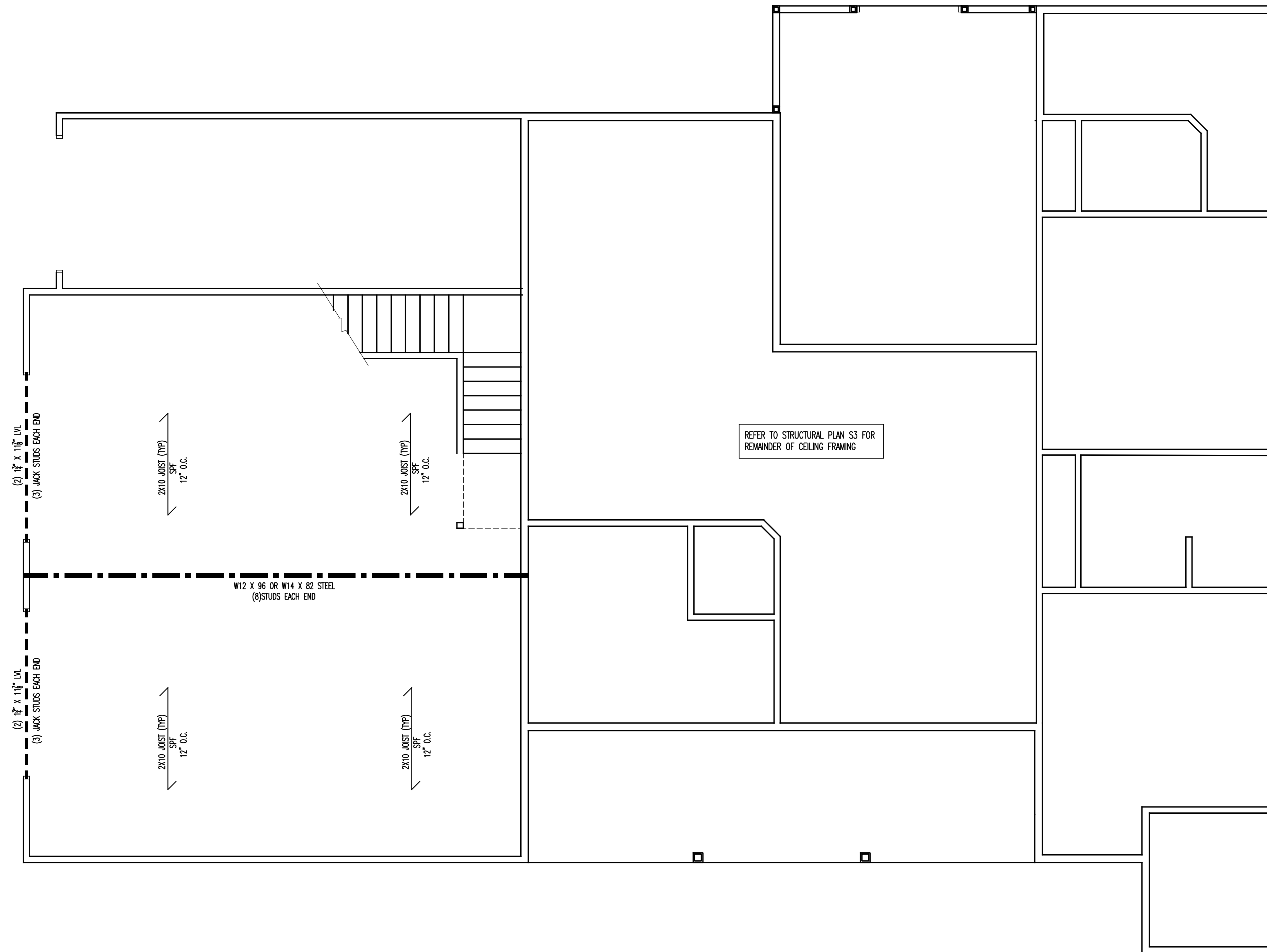
DESCRIPTION:  
 CEILING FRAMING PLAN

REVISION:

DATE:  
 SEPTEMBER 2021

DRAWING:  
**S3**

**S3** CEILING FRAMING PLAN  
 01 1/4"=1'-0"



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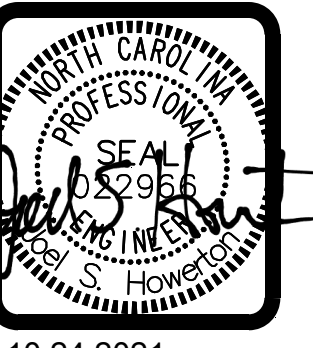
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PRIMARY FLOOR	10 PSF	40 PSF
SECONDARY FLOOR	10 PSF	40 PSF
SLEEPING AREAS	10 PSF	30 PSF
ATTIC	10 PSF	20 PSF
ROOF	10 PSF	20 PSF

 DEFLECTION LIMITS:  
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 ROOF L/240
- ALL HEADERS IN LOAD BEARING WALLS SHALL BE DOUBLE 2X10.
- ALL WALLS ARE 2X4 @ 16" O.C. UNLESS OTHERWISE NOTED.
- PROVIDE DOUBLE FLOOR JOISTS UNDER WALLS ABOVE.
- PROVIDE FOUNDATION VENT WITHIN 36" OF EACH CORNER.
- ALL JOISTS TO BE SPF.

**STRUCTURAL EVALUATION BY:**

**HOWERTON SERVICES, PLLC** LICENSE # P-1716  
 CATHEDRAL BELL ROAD, RALEIGH, NC 27614

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10 24 2021

STRUCTURAL EVALUATION BY:  
**HOWERTON SERVICES, PLLC**  
 LICENSE # P-1716  
 3513 CATHEDRAL BELL ROAD, RALEIGH, NC 27614

BUILDING DESIGN BY:  
**S&S CONTRACTING**  
 6349 RIVER ROAD, FLOUJAY, NC 27526

CUSTOM HOUSE PLANS FOR:  
**GOODWIN RESIDENCE**  
 CHELSEY LANE, HARNETT COUNTY, N.C.

DESCRIPTION:  
 OPTIONAL CEILING FRAMING PLAN  
 REVISION:  
 DATE:  
 SEPTEMBER 2021

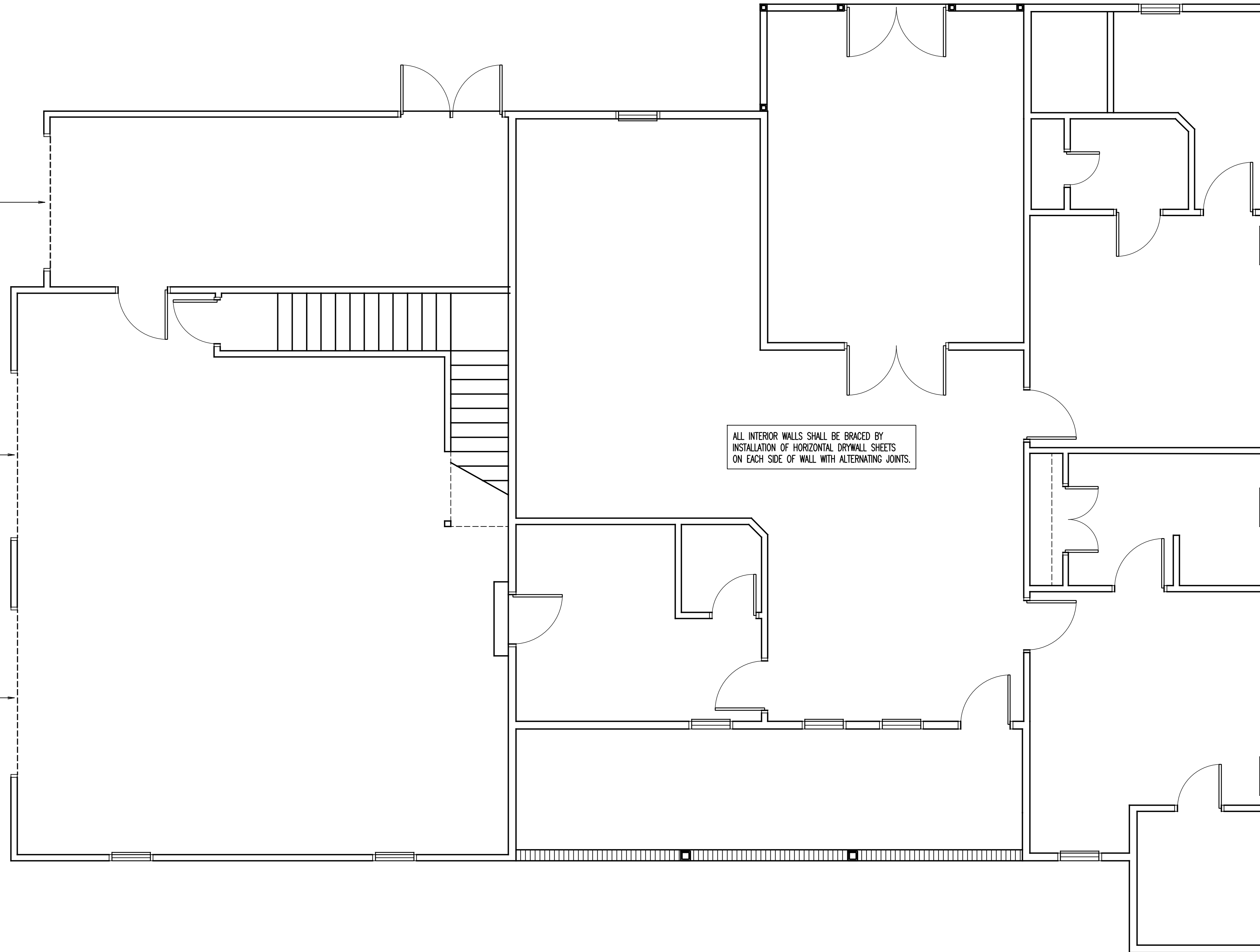
DRAWING:  
**S30**

**S30** OPTIONAL  
**01** CEILING FRAMING PLAN  
 1/4"=1'-0"

PROVIDE GARAGE PORTAL FRAME. FASTEN SHEATHING TO HEADER AND WALL FRAMING WITH 8d NAILS ON 3" CENTERS. STRAP HEADER TO FRAMING ON BOTH SIDES WITH 1000 lb. RATED STRAP. REFERENCE 2018 NCBC RESIDENTIAL CODE FOR REQUIREMENTS.

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ALL INTERIOR WALLS SHALL BE BRACED BY INSTALLATION OF HORIZONTAL DRYWALL SHEETS ON EACH SIDE OF WALL WITH ALTERNATING JOINTS.

BRACED WALL NOTES:

1. BRACED WALLS ARE REQUIRED PER SECTION R602.10.1 2018 NCBC RESIDENTIAL CODE.
2. THE EXTERIOR WALL STRUCTURE SHALL BE CONTINUOUSLY SHEATHED, FULL HEIGHT WITH MIN. THICKNESS 7/16" OSB. THESE WALLS SHALL BE CONSTRUCTED IN CONFORMANCE TO TYPE CS-WSP DETAILS. REFER TO PLAN FOR LOCATION OF REQUIRED BRACING LABELED "CS BRACING" AND LENGTH OF WALL BRACING LABELED IN LINEAR FEET.
3. INTERIOR WALLS WHERE NOTED SHALL BE BRACED PER INDICATED METHOD IN REFERENCE TO NCBC-RESIDENTIAL CODE, TABLE R602.10.2
4. SPECIAL BRACING DETAILS ARE ILLUSTRATED IN THE CODE AND ALLOWED WHERE WALLS DO NOT MEET THE MINIMUM REQUIREMENTS FOR SUPPORT.

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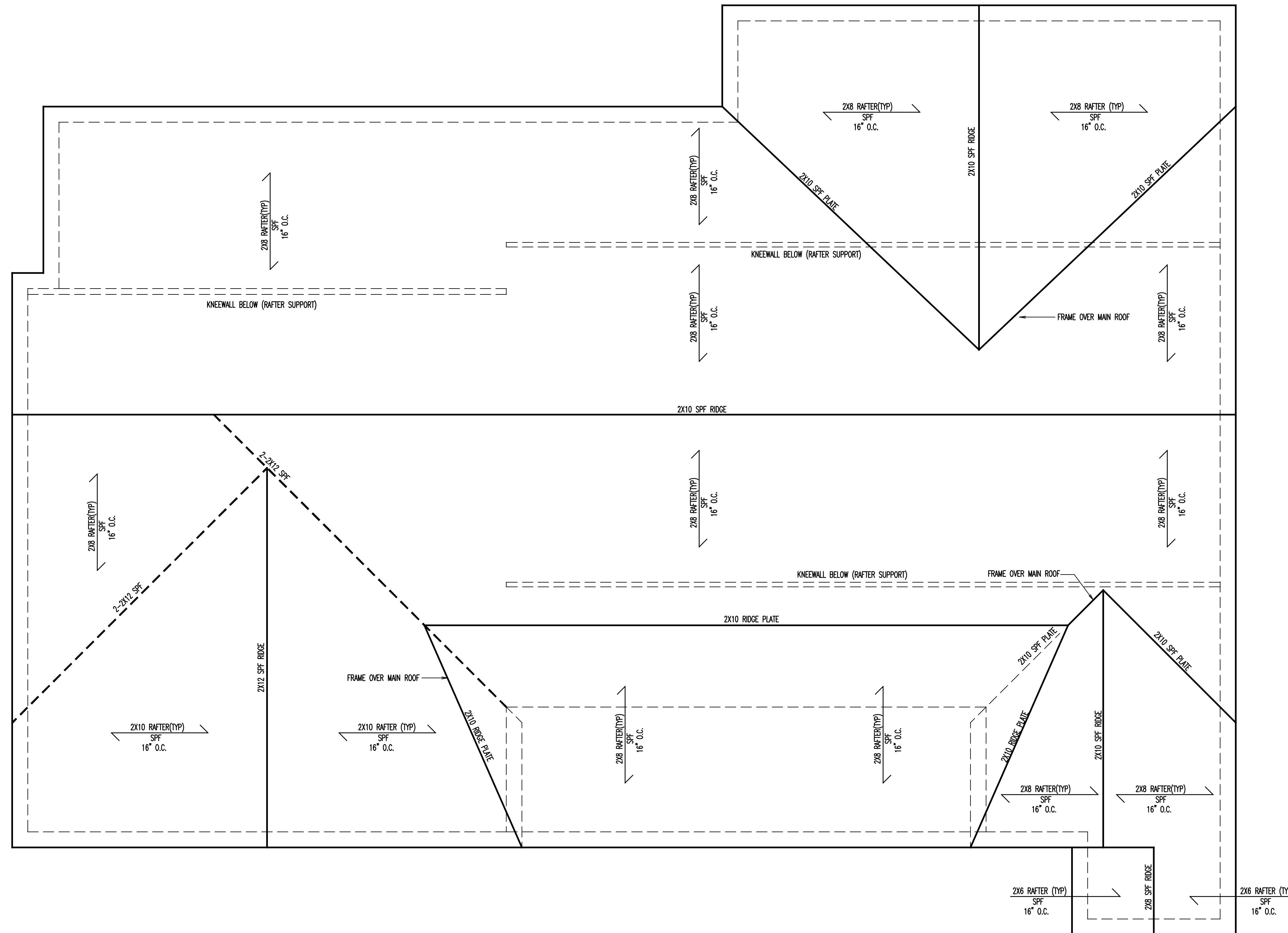
DESCRIPTION:  
BRACING PLAN

REVISION:

DATE:  
SEPTEMBER 2021

DRAWING:  
**S4**

**S4** BRACING PLAN  
**01** 1/4"=1'-0"



**GENERAL ROOF NOTES:**

- THIS PLAN DESIGNED IN ACCORDANCE WITH NC RESIDENTIAL CODE, 2018 EDITION.
- ROOF CLADDING DESIGN VALUES (POSITIVE/NEGATIVE) SHALL BE AS FOLLOWS:  
 45.5 #/SF FOR ROOF PITCHES FROM 0/12 TO 2.25/12  
 34.5 #/SF FOR ROOF PITCHES FROM 2.25/12 TO 7/12  
 21 #/SF FOR ROOF PITCHES FROM 7/12 TO 12/12
- ALL ROOFING ELEMENTS SHALL MEET THE REQUIREMENTS OF CHAPTER 8 OF THE CODE.
- ALL LUMBER SHALL BE #2 SPF OR BETTER. RAFTERS MAY BE FINGER JOINTED PER NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION, AND MUST HAVE THE STRUCTURAL CERTIFICATION STAMPED ON THE MEMBER.
- RAFTERS SIZES, SPANS AND SPACING SHALL NOT EXCEED THE FOLLOWING:  

SIZE	2x6	2x8	2x10
SPACING 12" O.C.	14'-9"	19'-6"	2X10
SPACING 16" O.C.	13'-5"	17'-9"	22'-3"
- ALL RAFTERS TO BE 2x8 @ 16" O.C. #2 SPF UNLESS NOTED OTHERWISE.
- 2-2X10 HIP MAY BE SPLICED WITH A MIN. 6'-0" OVERLAP.
- PROVIDE DOUBLE RAFTERS EACH SIDE OF DORMERS WITH DOUBLE HEADER.
- ATTACH VAULTED RAFTERS WITH HURRICANE CLIP SIMPSON "H-5" OR EQUIVALENT. PROVIDE DOUBLE OPPOSING RAFTERS WHERE NOTED.
- 2X8 RAFTERS @ CATHEDRAL OR VAULTED CEILING TO BE FURRED DOWN 2" OR USE 2X10 RAFTERS FOR INSULATION PER CODE.
- PROVIDE 2X4 COLLAR TIES EVERY SECOND RAFTER (TYPICAL)
- PROVIDE 2X4 RAFTER TIES @ 32" O.C. (TYPICAL)
- FRAME RAFTERS ON 2X4 PLATE ON TOP OF CEILING JOISTS UNLESS NOTED OTHERWISE.
- SHINGLES ASSUMED TO BE 240 LB. FIBERGLASS, OR EQUAL. MINIMUM ROOF PITCH TO BE AS INDICATED ON ARCHITECTURAL PLAN SHEETS.
- PROVIDE DOUBLE LAYER OF ROOF FELT WHERE ROOF PITCH IS LESS THAN 4 /12.
- THESE DESIGN DRAWINGS WERE PRODUCED BY HOWERTON CONSULTING ENGINEERING, INC ASSUMES NO LIABILITY FOR THE CORRECTNESS OF ARCHITECTURAL FEATURES, DIMENSIONS OR FIXTURES.
- ALL HIP RIDGES AND VALLEYS SHALL BE DOUBLE 2X10 UNLESS NOTED OTHERWISE.
- CONTRACTOR IS RESPONSIBLE FOR REVIEWING DRAWINGS FOR CONSTRUCTABILITY PRIOR TO BEGINNING CONSTRUCTION.
- VALLEY RAFTERS WITH SPANS LONGER THAN 15' SHALL BE LVL'S SUPPORTED AS NOTED. PROVIDE TEMPORARY STIFF KNEE SUPPORT UNTIL ALL SHEATHING AND RAFTER TIES/COLLARS ARE INSTALLED.
- DO NOT SCALE THESE DRAWINGS. IF DISCREPANCIES ARE NOTED, CONTACT THE ENGINEER.
- DESIGN BASIS PROVIDED BY S&S CONTRACTING INC., FUQUAY VARINA, NC AND THEY ARE RESPONSIBLE FOR ALL ARCHITECTURAL FEATURES, DIMENSIONS, COMPLIANCE WITH ALL ACCESS/EGRESS REQUIREMENTS, FIRE CODE AND LIFE SAFETY DESIGN ISSUES.

**STRUCTURAL EVALUATION BY:**

**HOWERTON SERVICES, PLLC** LICENSURE # P-1716  
 CATHEDRAL BELL ROAD, RALEIGH, NC 27614

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**S5** ROOF PLAN  
**01** 1/4"=1'-0"



10/24/2021

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DESCRIPTION: ROOF PLAN
REVISION:
DATE: SEPTEMBER 2021

DRAWING:  
**S5**