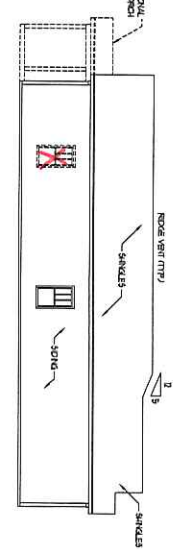
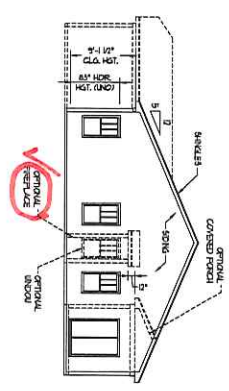


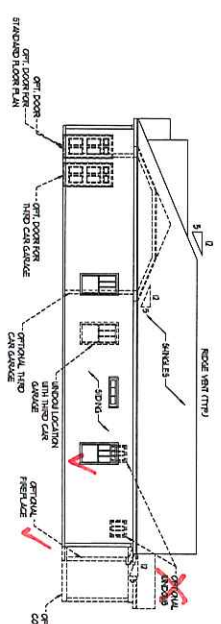
FRONT ELEVATION-C  
SCALE: 1/8" = 1'-0"



LEFT ELEVATION  
SCALE: 1/8" = 1'-0"



REAR ELEVATION  
SCALE: 1/8" = 1'-0"



RIGHT ELEVATION  
SCALE: 1/8" = 1'-0"



**RENAISSANCE**  
RESIDENTIAL DESIGN, INC.  
10515 N. CENTRAL AVENUE  
SUITE 200  
DENVER, CO 80231



**A&G**  
RESIDENTIAL  
118 THOMPSON  
DENVER, CO 80231

PRICES, PROMOTIONS, INCENTIVES, FEATURES, SPECIALS, FLOOR PLANS, ELEVATIONS, DESIGNS, MATERIALS AND FINISHES ARE SUBJECT TO CHANGE WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND MAY VARY FROM ACTUAL CONSTRUCTION. ACTUAL FINISHES OF INTERIOR AND EXTERIOR WILL BE DETERMINED BY THE SITE PLAN AND APPROVED CONTRACT DOCUMENTS. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. ANY USE, REPRODUCTION, ADAPTATION, OR ALTERATION OF THIS PLAN OR OTHER DOCUMENTS WITHOUT THE WRITTEN CONSENT OF A&G RESIDENTIAL DESIGN, INC. IS PROHIBITED. SEE THE HOME SALES CONTRACT FOR COMPLETE TERMS, CONDITIONS, AND DISPUTE RESOLUTION.

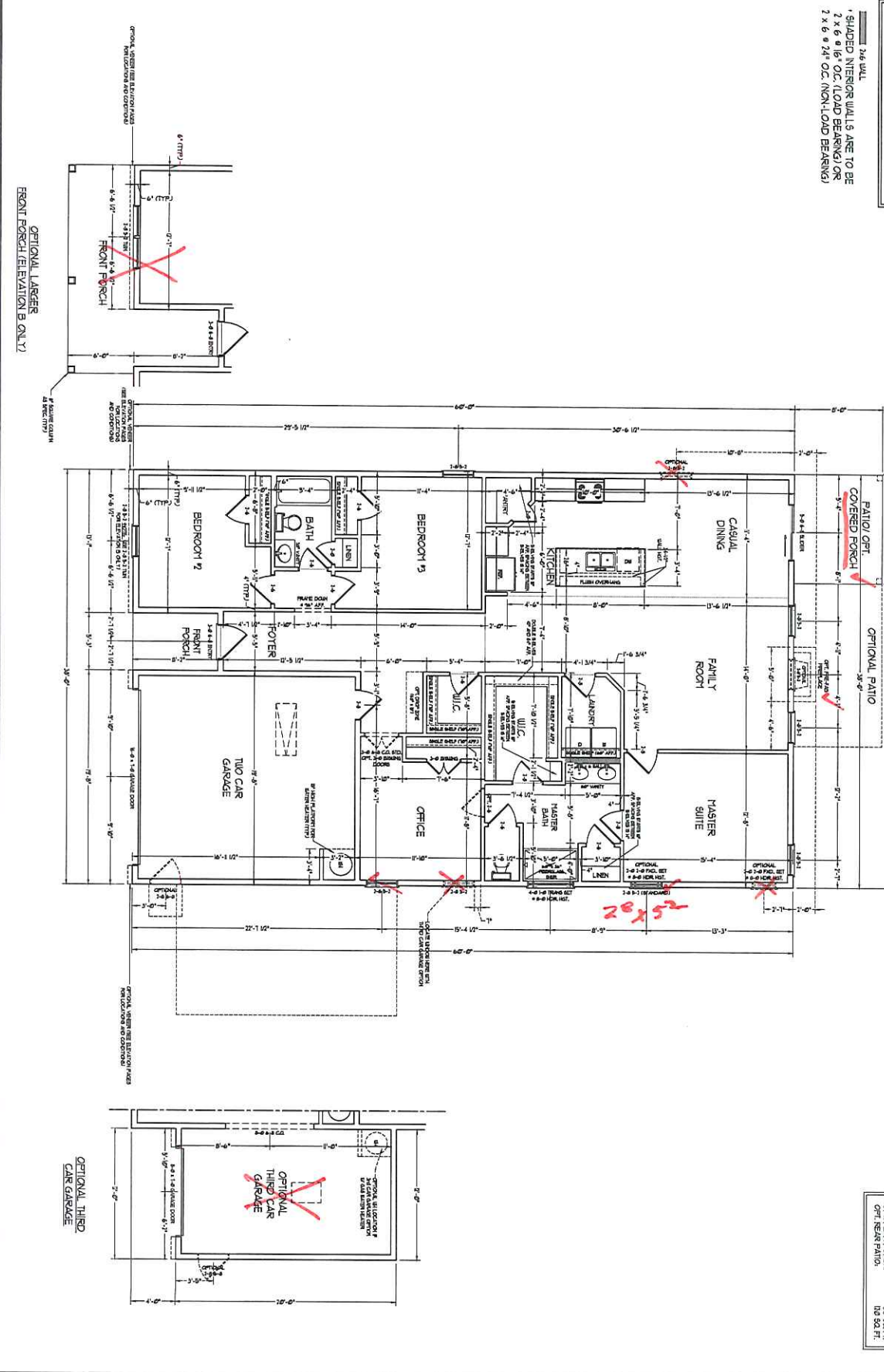
DATE: 12/12/13  
REV: 1  
SCALE: AS NOTED  
DRAWN BY: A.G.  
ENGINEER: T.M.W.  
SETTER: T.M.W.

C-ELEVATIONS  
A-3

A&G RESIDENTIAL  
DORCHESTER  
DRIVE RIGHT

NOTE: ALL EXTERIOR WALLS AND ATTIC WALLS ARE TO BE 2 x 6 @ 16" O.C. (N.O.I). ALL INTERIOR LOAD BEARING WALLS ARE TO BE 2 x 4 @ 16" O.C. (N.O.I) AND NON-LOAD BEARING INTERIOR WALLS ARE TO BE 2 x 4 @ 24" O.C. (N.O.I).

SHADED INTERIOR WALLS ARE TO BE 2 x 6 @ 16" O.C. (LOAD BEARING) OR 2 x 6 @ 24" O.C. (NON-LOAD BEARING)



SQUARE FOOTAGE (STANDARD)	
H.F. FLOOR	1850 SQ. FT.
TOTAL	3850 SQ. FT.
COVERED PORCH	350 SQ. FT.
OPTIONAL FRONT PORCH	84 SQ. FT.
OPTIONAL REAR PORCH	80 SQ. FT.
OPTIONAL PATIO	100 SQ. FT.
OPTIONAL THIRD CAR GARAGE	100 SQ. FT.

DATE: APRIL 2, 2008  
 REV: 1  
 SCALE: 1/8" = 1'-0"  
 DRAWN BY: A.G.  
 CHECKED BY: M.W.  
 REVIEWED BY: M.W.

**A&G RESIDENTIAL  
 DORCHESTER  
 DRIVE RIGHT**

PRICES, FINISHES, MATERIALS, FEATURES, OPTIONS, FLOOR PLANS, ELEVATIONS, DESIGN, MATERIALS AND FINISHES ARE SUBJECT TO CHANGE WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND MAY VARY FROM ACTUAL DIMENSIONS. CONTRACTOR SHALL BE OBLIGATED BY THE SITE PLAN AND NOT THIS FLOOR PLAN. READ THE ENTIRE CONTRACT AND ALL ADDENDUMS CAREFULLY BEFORE SIGNING. THE CONTRACTOR'S OBLIGATION IS TO CONSTRUCT THE PROJECT AS SHOWN ON THE SITE PLAN AND NOT THIS FLOOR PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.



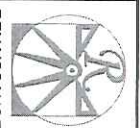
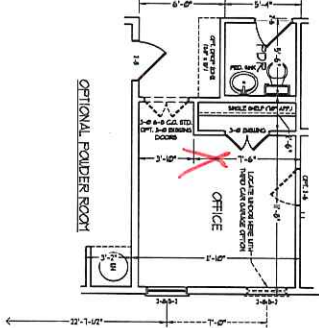
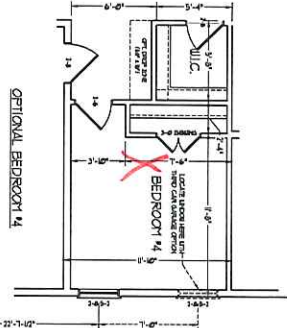
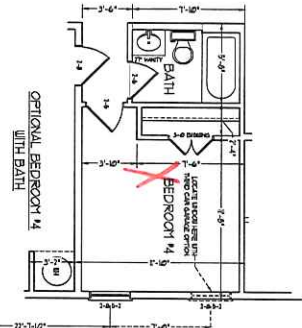
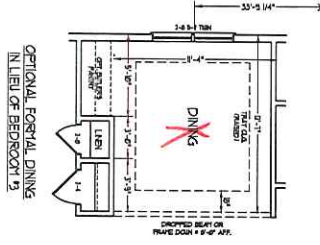
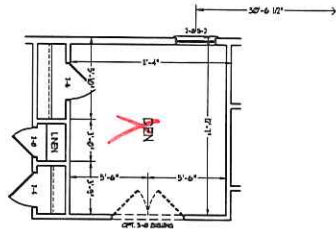
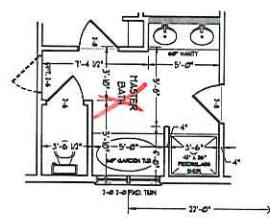
**J.S. THOMPSON**  
 ARCHITECT  
 1000 W. 10TH STREET  
 SUITE 100  
 DENVER, CO 80202  
 TEL: 303.733.1111  
 FAX: 303.733.1112

REVISIONS:  
 1. 04/02/08 - REVISED PER COMMENTS FROM CLIENT.  
 2. 04/02/08 - REVISED PER COMMENTS FROM CLIENT.  
 3. 04/02/08 - REVISED PER COMMENTS FROM CLIENT.



**RENAISSANCE**  
 RESIDENTIAL DESIGN, INC.  
 1000 W. 10TH STREET  
 SUITE 100  
 DENVER, CO 80202  
 TEL: 303.733.1111  
 FAX: 303.733.1112

FIRST FLOOR PLAN  
 A-4



**RENAISSANCE**  
RESIDENTIAL DESIGN, INC.  
10000 W. 34th Avenue  
Denver, CO 80231  
Tel: 303.751.1111

**J.S. THOMPSON**  
ARCHITECTS  
10000 W. 34th Avenue  
Denver, CO 80231  
Tel: 303.751.1111



PRICES PROMOTE INCENTIVES FEATURING OPTIONAL FLOOR PLANS, ELEVATIONS, DESIGN MATERIALS AND FINISHES. SPACES ARE SUBJECT TO CHANGE. ROOMS, SQUARE FOOTAGE AND DIMENSIONS WILL VARY. ALL FINISHES AND COORDINATION ACTUAL PRIOR TO CONSTRUCTION. FINISHES WILL BE DETERMINED BY THE SITE PLANNING AND FLOOR PLAN DEVELOPER AND THE DESIGNER. DIMENSIONS ARE APPROXIMATE. DIMENSIONS ARE THE PROPERTY OF A&G RESIDENTIAL. ANY USE, REPRODUCTION OR MODIFICATION OF THIS PLAN IS STRICTLY PROHIBITED. SEE RESIDENTIAL CONSULTANT FOR CURRENT DETAILS. OPTION #1 IS NOT AVAILABLE.

**A&G RESIDENTIAL**  
**DORCHESTER**  
**DRIVE RIGHT**

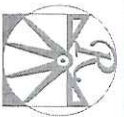
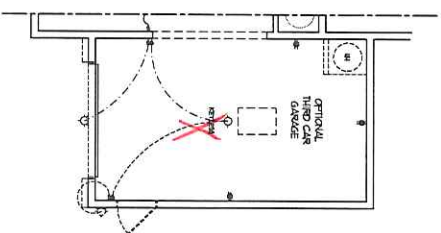
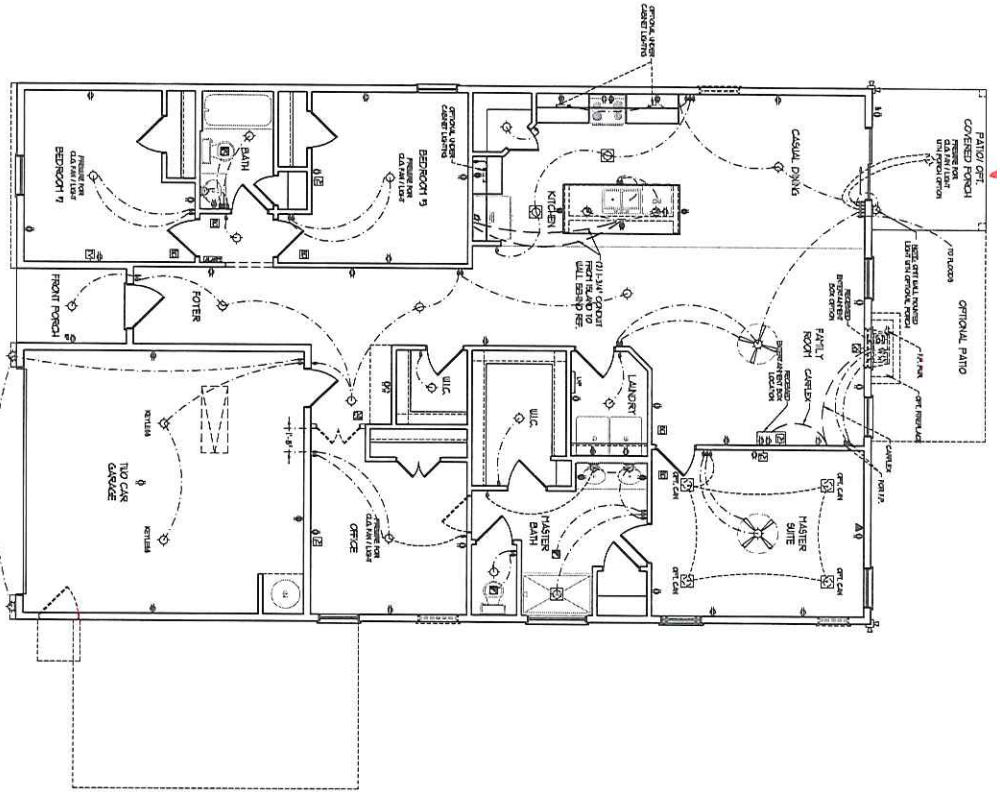
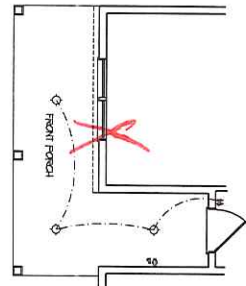
DATE: APRIL 2020  
REV: 1  
SCALE: 1/8" = 1'-0"  
DESIGN: J.S. THOMPSON  
ENGINEER: J.S. THOMPSON  
REVIEWER: J.S. THOMPSON

**FIRST FLOOR**  
**PLAN OPTIONS**  
**A-4.1**

**ELECTRICAL LAYOUT NOTES**  
 1. UNLESS OTHERWISE NOTED, ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM AND SIGNAL CODE (NFPA 72).  
 2. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.  
 3. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM AND SIGNAL CODE (NFPA 72).  
 4. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM AND SIGNAL CODE (NFPA 72).

**ELECTRICAL LEGEND**

- 120V AC
- 240V AC
- 277V AC
- 480V AC
- 600V AC
- 800V AC
- 1000V AC
- 1500V AC
- 2000V AC
- 2500V AC
- 3000V AC
- 3500V AC
- 4000V AC
- 4500V AC
- 5000V AC
- 5500V AC
- 6000V AC
- 6500V AC
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- 7500V AC
- 8000V AC
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- 9500V AC
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- 10500V AC
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- 11500V AC
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- 97500V AC
- 98000V AC
- 98500V AC
- 99000V AC
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- 100000V AC



**RENAISSANCE**  
 RESIDENTIAL DESIGN, INC.  
 10000 W. 10TH AVENUE  
 DENVER, CO 80202

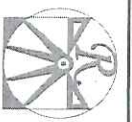
**A&G**  
 RESIDENTIAL  
 1511 THOMPSON  
 DENVER, CO 80202



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DATE: 08/14/2018  
 REV: 1  
 SCALE: 1/8"=1'-0"  
 DESIGNED BY: A&G  
 ENGINEERED BY: A&G  
 CHECKED BY: A&G  
**FIRST FLOOR ELECTRICAL PLAN**  
**E-1**

**A&G RESIDENTIAL**  
**DORCHESTER**  
**DRIVE RIGHT**



**RENAISSANCE**  
RESIDENTIAL DESIGN, INC.  
1400 WEST 10TH AVENUE  
DENVER, COLORADO 80202

**J.S. THOMPSON**  
ARCHITECT  
1400 WEST 10TH AVENUE  
DENVER, COLORADO 80202  
PH: 303.733.1111  
WWW.JSTHOMPSONARCHITECT.COM

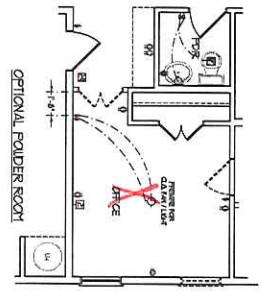
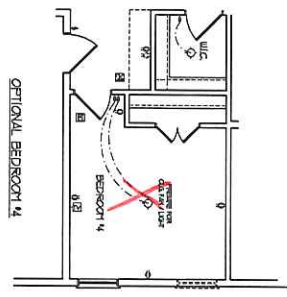
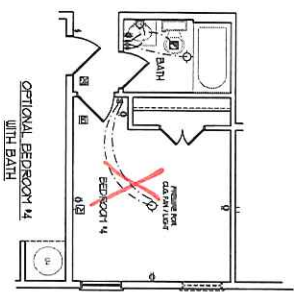
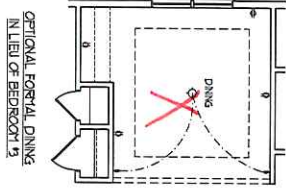
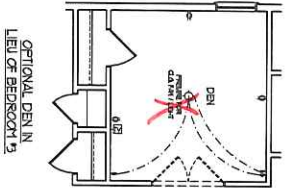
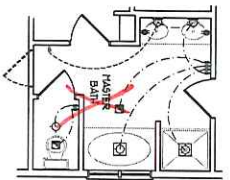


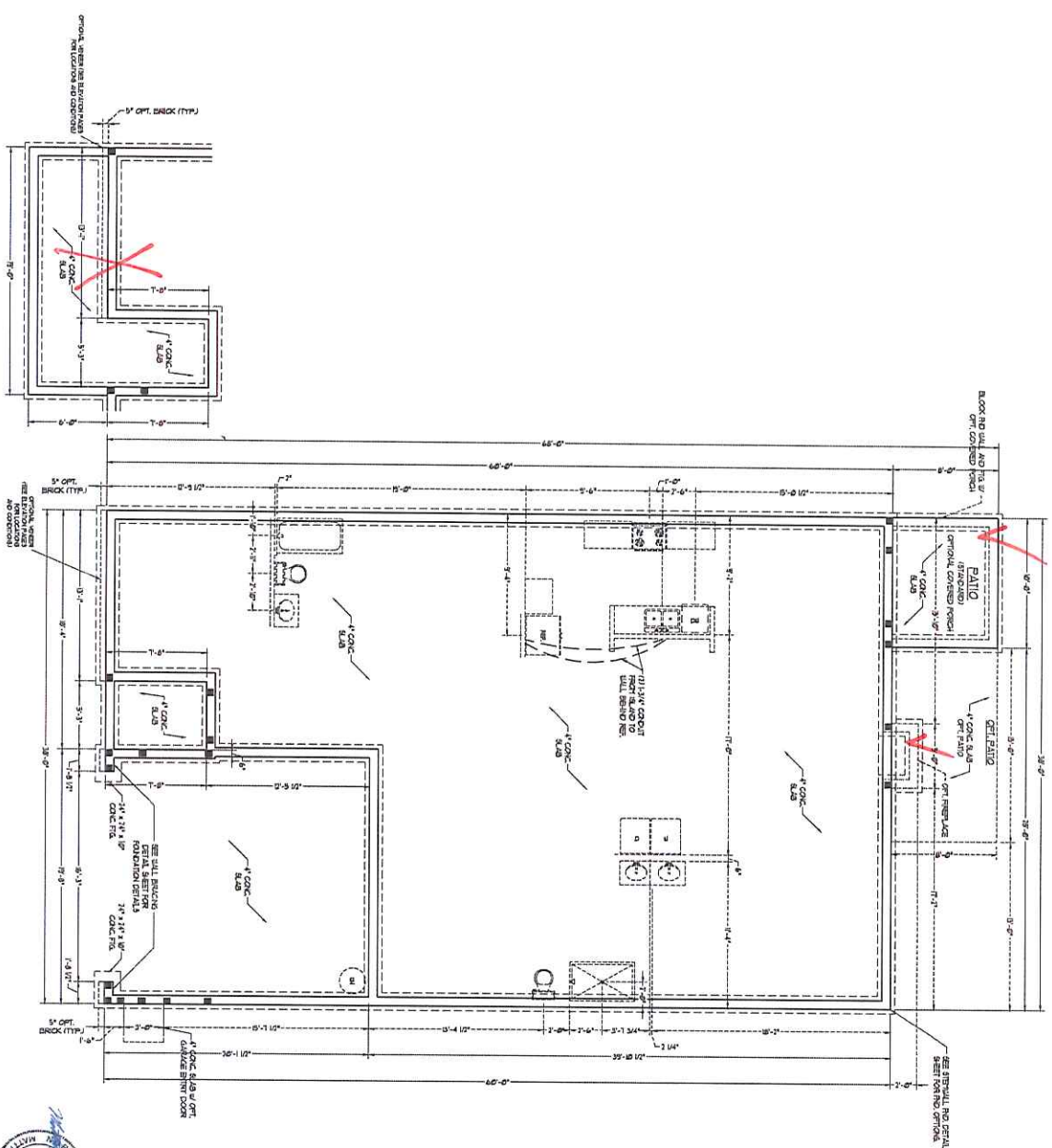
PROJECT PROGRAM: INCLUDES FEATURES OF FIRST FLOOR PLAN, ELEVATIONS, SEASONS, MATERIALS, AND OTHER SPECIFIC SUBJECT TO CHANGE WHICH IS NOT IN SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND MAY VARY FROM CONSTRUCTION ACTUAL POSITION OF ROOF OR LIST ALL BE DETERMINED BY THE SITE PLAN AND PLOT PLAN. FLOOR PLAN AND ELEVATIONS SUBJECT TO THE ARCHITECT'S CONCEPTS, FLOOR PLANS AND THE CONSTRUCTION PROGRAM FOR THE PROJECT. ANY USE, REPRODUCTION, ADAPTATION, OR DISSEMINATION OF THE PLAN IS STRICTLY PROHIBITED. SEE ARCHITECT'S SALES CONTRACT FOR COMPLETE TERMS, CONDITIONS, AND NOTICES TO PERSONS.

**A&G RESIDENTIAL  
DORCHESTER  
DRIVE RIGHT**

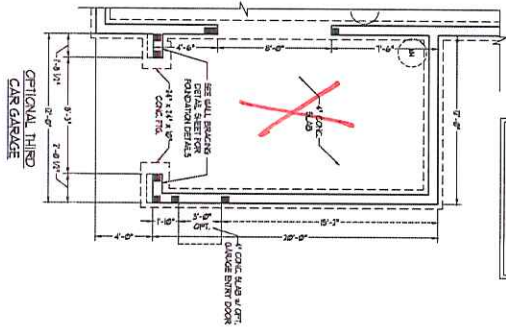
- DATE: APRIL 8, 2010
- REV: \_\_\_\_\_
- SCALE: 1/4" = 1'-0"
- DRAWN BY: JAC
- ENGINEERED BY: MRM
- ELECTRICAL BY: MRS
- MECHANICAL BY: MRS
- PLUMBING BY: MRS
- FOUNDATION BY: MRS
- CONCRETE BY: MRS
- ROOFING BY: MRS
- PAINT BY: MRS
- LANDSCAPE BY: MRS
- INTERIORS BY: MRS
- EXTERIORS BY: MRS
- FINISHES BY: MRS
- MECHANICAL BY: MRS
- ELECTRICAL BY: MRS
- PLUMBING BY: MRS
- FOUNDATION BY: MRS
- CONCRETE BY: MRS
- ROOFING BY: MRS
- PAINT BY: MRS
- LANDSCAPE BY: MRS
- INTERIORS BY: MRS
- EXTERIORS BY: MRS
- FINISHES BY: MRS

E-1.1





OPTIONAL LARGER FRONT PORCH ELEVATION B ONLY



**DO NOT SCALE DIMENSIONS OR SPACING**

**GENERAL NOTES:**

1. FOUNDATION SHALL BE CONCRETE ON COMPACTED GRAVEL.
2. FOUNDATION SHALL BE CONCRETE ON COMPACTED GRAVEL.
3. FOUNDATION SHALL BE CONCRETE ON COMPACTED GRAVEL.
4. FOUNDATION SHALL BE CONCRETE ON COMPACTED GRAVEL.
5. FOUNDATION SHALL BE CONCRETE ON COMPACTED GRAVEL.
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9. FOUNDATION SHALL BE CONCRETE ON COMPACTED GRAVEL.
10. FOUNDATION SHALL BE CONCRETE ON COMPACTED GRAVEL.

**GENERAL NOTES:**

1. FOUNDATION SHALL BE CONCRETE ON COMPACTED GRAVEL.
2. FOUNDATION SHALL BE CONCRETE ON COMPACTED GRAVEL.
3. FOUNDATION SHALL BE CONCRETE ON COMPACTED GRAVEL.
4. FOUNDATION SHALL BE CONCRETE ON COMPACTED GRAVEL.
5. FOUNDATION SHALL BE CONCRETE ON COMPACTED GRAVEL.
6. FOUNDATION SHALL BE CONCRETE ON COMPACTED GRAVEL.
7. FOUNDATION SHALL BE CONCRETE ON COMPACTED GRAVEL.
8. FOUNDATION SHALL BE CONCRETE ON COMPACTED GRAVEL.
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10. FOUNDATION SHALL BE CONCRETE ON COMPACTED GRAVEL.

**S-1**

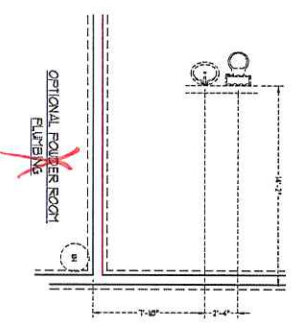
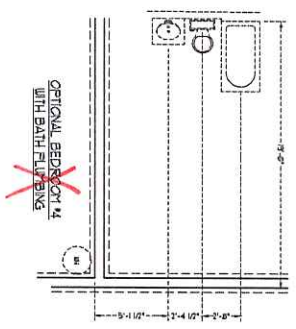
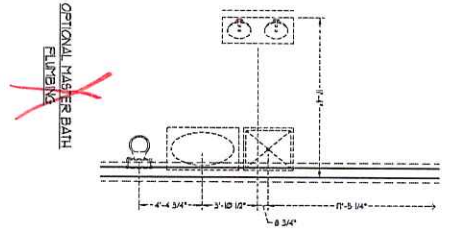
**A&G RESIDENTIAL DORCHESTER DRIVE RIGHT**

DATE: APRIL 2, 2020  
 SCALE: 1/4" = 1'-0"  
 DRAWN BY: N.D.  
 ENGINEERED BY: N.D.  
 REVIEWED BY: N.D.  
 STEAWALL SLAB FOUNDATION PLAN

**PRICE PROMISING INCENTIVES, FEATURES, OPENING FLOOR PLANS, ELEVATIONS OF EXTERIOR MATERIALS AND CONSTRUCTION ARE SUBJECT TO CHANGE WITHOUT NOTICE. SOURCE FOOTING AND OTHER INFORMATION ESTIMATED AND NOT TO BE TAKEN AS CONTRACTUAL. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. THE SITE AND ALL OTHER INFORMATION ARE FOR INFORMATION ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.**

**A&G RESIDENTIAL**

**RENAISSANCE RESIDENTIAL DESIGN**



DATE: APRIL 3, 2010  
 DRAWN: [Name]  
 SCALE: 1/8" = 1'-0"  
 ISSUED BY: [Name]  
 APPROVED BY: [Name]  
 STEINWALL SLAB FOUNDATION PLAN OPTIONS  
 S-1.1

**A&G RESIDENTIAL  
 DORCHESTER  
 DRIVE RIGHT**

PRICES: PROVISIONAL INCLUSIVE. FEATURES: OPTIONS FLOOR PLANS, ELEVATIONS, CASUAL MATERIALS AND FINISHES ARE SUBJECT TO CHANGE WITHOUT NOTICE. SQUARE FOOTAGE AND FINISHES ARE ESTIMATED AND MAY VARY FROM ACTUAL CONSTRUCTION. ACTUAL COSTS OF WORK SHALL BE DETERMINED BY THE SUB CONTRACTOR AND NOT BY THE ARCHITECT. FINISHES AND MATERIALS ARE SUBJECT TO CHANGE WITHOUT NOTICE. FINISHES AND MATERIALS ARE SUBJECT TO CHANGE WITHOUT NOTICE. FINISHES AND MATERIALS ARE SUBJECT TO CHANGE WITHOUT NOTICE.



**I.S. THOMPSON**  
 REGISTERED PROFESSIONAL ENGINEER  
 STATE OF MARYLAND  
 NO. 3795  
 1000 WASHINGTON BLVD., SUITE 100  
 ANNAPOLIS, MD 21403  
 TEL: 410-291-1111  
 FAX: 410-291-1112  
 www.isthompson.com



SECTION A		SECTION B	
SECTION A	SECTION B	SECTION A	SECTION B
TOTAL REAR PORCH LENGTH 14'-0"	TOTAL REAR PORCH LENGTH 14'-0"	TOTAL REAR PORCH LENGTH 14'-0"	TOTAL REAR PORCH LENGTH 14'-0"
TOTAL REAR PORCH WIDTH 14'-0"	TOTAL REAR PORCH WIDTH 14'-0"	TOTAL REAR PORCH WIDTH 14'-0"	TOTAL REAR PORCH WIDTH 14'-0"
TOTAL REAR PORCH AREA 196'-0"	TOTAL REAR PORCH AREA 196'-0"	TOTAL REAR PORCH AREA 196'-0"	TOTAL REAR PORCH AREA 196'-0"
TOTAL REAR PORCH PERIMETER 112'-0"	TOTAL REAR PORCH PERIMETER 112'-0"	TOTAL REAR PORCH PERIMETER 112'-0"	TOTAL REAR PORCH PERIMETER 112'-0"

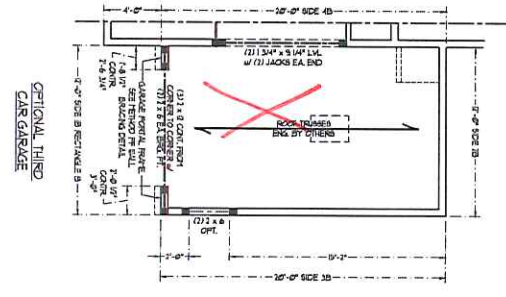
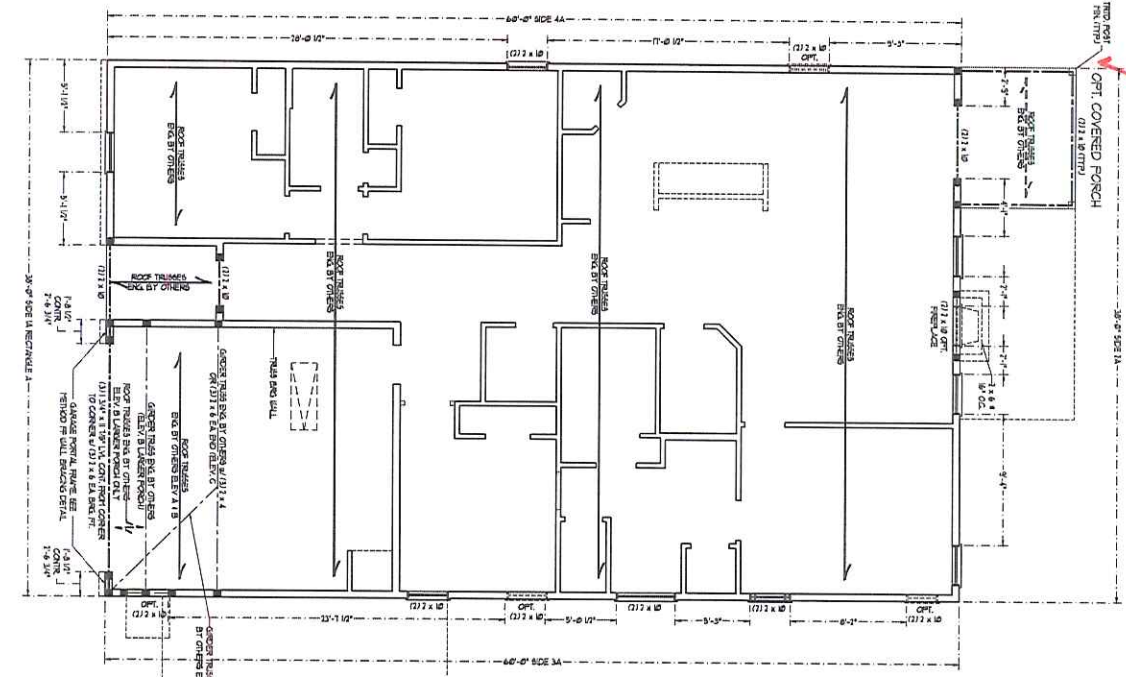
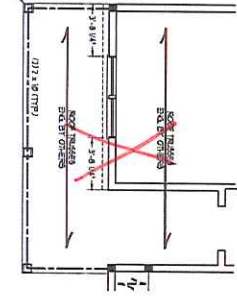
- REAR WALL DESIGN**
1. REAR WALL DESIGN FOR SECTION A AND B.
  2. REAR WALL DESIGN FOR SECTION A AND B.
  3. REAR WALL DESIGN FOR SECTION A AND B.
  4. REAR WALL DESIGN FOR SECTION A AND B.
  5. REAR WALL DESIGN FOR SECTION A AND B.

**NOTE: ALL EXTERIOR WALLS AND ATTIC WALLS ARE TO BE 2 x 6 @ 16" O.C. (NOI) 2 x 4 @ 16" O.C. EXTERIOR WALLS MAY BE CONSTRUCTED IN LBI OR 2 x 6 WALLS (NOI) ALL INTERIOR LOAD BEARING WALLS ARE TO BE 2 x 4 @ 16" O.C. (NOI) AND NON-LOAD BEARING INTERIOR WALLS ARE TO BE 2 x 4 @ 24" O.C. (NOI).**

- STRUCTURAL NOTES:**
1. ALL REVISIONS TO BE SHOWN BY A RED LINE.
  2. ALL REVISIONS TO BE SHOWN BY A RED LINE.
  3. ALL REVISIONS TO BE SHOWN BY A RED LINE.
  4. ALL REVISIONS TO BE SHOWN BY A RED LINE.
  5. ALL REVISIONS TO BE SHOWN BY A RED LINE.

**TABLE 1: REVISIONS**

NO.	DATE	DESCRIPTION
1	11/11/2023	ISSUED FOR PERMITS
2	11/11/2023	ISSUED FOR PERMITS
3	11/11/2023	ISSUED FOR PERMITS
4	11/11/2023	ISSUED FOR PERMITS
5	11/11/2023	ISSUED FOR PERMITS



**A&G RESIDENTIAL DORCHESTER DRIVE RIGHT**

PROJECT: PROPOSED 2ND FLOOR FRAMING PLAN FOR 2ND FLOOR FRAMING PLAN. SOME PORTIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. THIS PLAN IS A CONCEPTUAL PLAN. THE DESIGNER DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED HEREIN. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY CAUSED BY THE USE OF THIS PLAN. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY CAUSED BY THE USE OF THIS PLAN.

DATE: 11/11/2023

SCALE: 1/4" = 1'-0"

DESIGNED BY: M. SEAY

ENGINEERED BY: M. SEAY

REGISTERED PROFESSIONAL ENGINEER

NO. 33746

STATE OF FLORIDA

PROJECT: PROPOSED 2ND FLOOR FRAMING PLAN FOR 2ND FLOOR FRAMING PLAN.

DATE: 11/11/2023

SCALE: 1/4" = 1'-0"

DESIGNED BY: M. SEAY

ENGINEERED BY: M. SEAY

REGISTERED PROFESSIONAL ENGINEER

NO. 33746

STATE OF FLORIDA

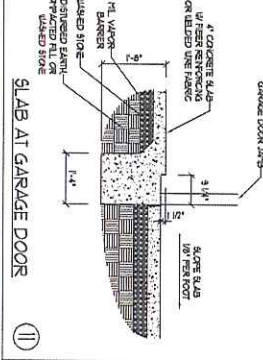
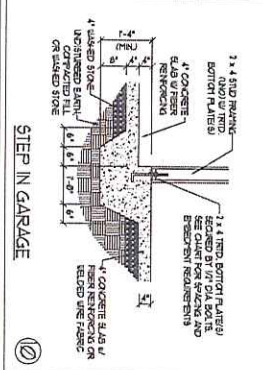
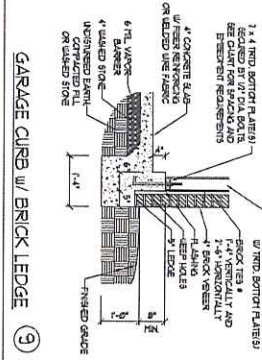
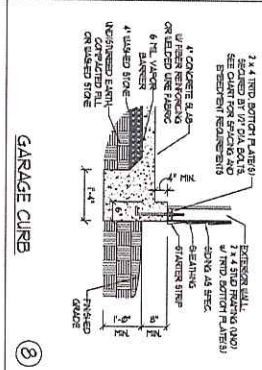
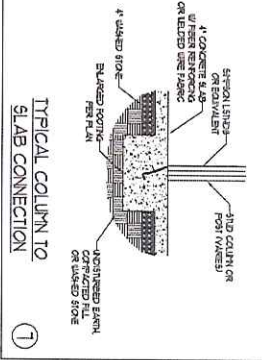
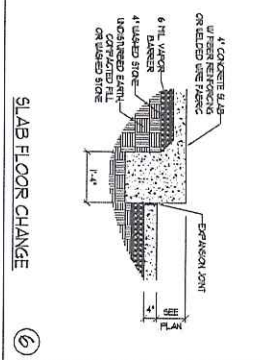
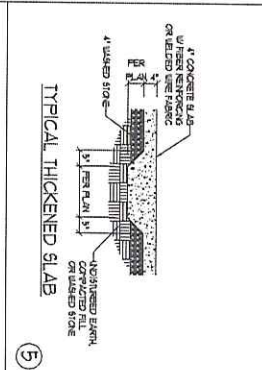
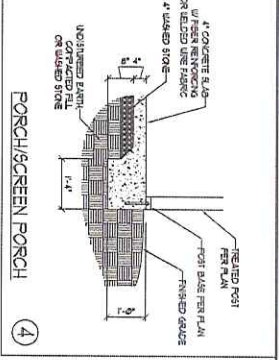
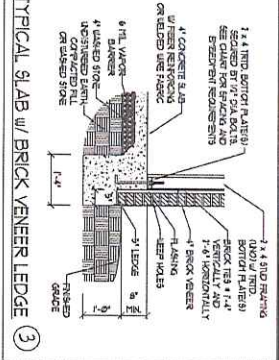
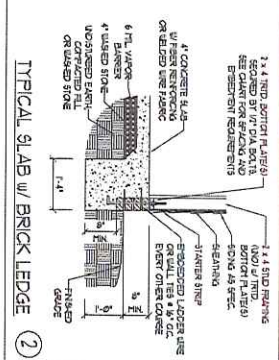
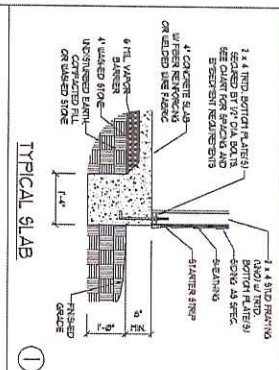


**J.S. THOMPSON**  
 REGISTERED PROFESSIONAL ENGINEER  
 NO. 12345  
 STATE OF FLORIDA









ANCHOR SPACING AND EMBEDMENT		
WIND ZONE	120 MPH	120 MPH
SPACING	6"-8" O.C. INSTALL MIN (2) ANCHORS PER FLANGE SECTION AND (1) ANCHOR WITHIN 1/4" OF CORNERS	4"-8" O.C. INSTALL MIN (2) ANCHORS PER FLANGE SECTION AND (1) ANCHOR WITHIN 1/4" OF CORNERS
EMBEDMENT	1"	5" INTO CONCRETE 1" INTO CONCRETE


NOTE:  
THREADED ROD WITH EXPOSURE THEN HD OR APPROVED ANCHORS SPACED AS REQUIRED TO PROVIDE EQUIVALENT ANCHORAGE TO 1/4" DIAMETER ANCHOR BOLTS MAY BE USED IN LIEU OF 1/4" ANCHOR BOLTS.



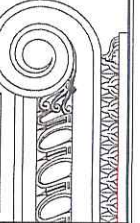
This seal may not be used in conjunction with a full phase or partial phase design prepared by J.S. Thompson Engineering, Inc. only. Seal like this is not valid for any other individual or company. For more information, please contact J.S. Thompson Engineering, Inc. at 1-800-368-7828 or visit our website at www.jst-engineering.com.

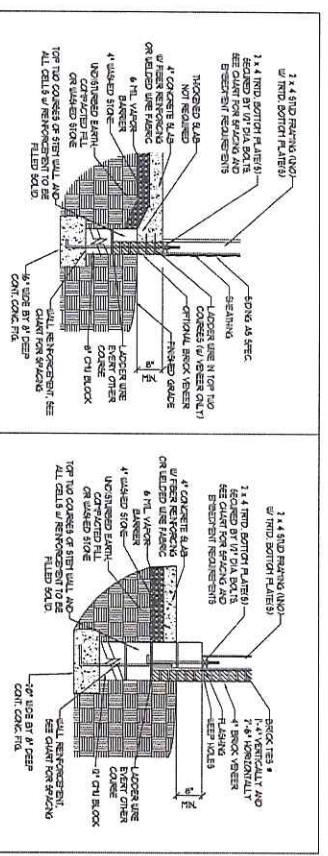
PROJECT NO.	
DATE	
DESIGNED BY	
CHECKED BY	
DATE	

## MONOLITHIC SLAB FOUNDATION DETAILS

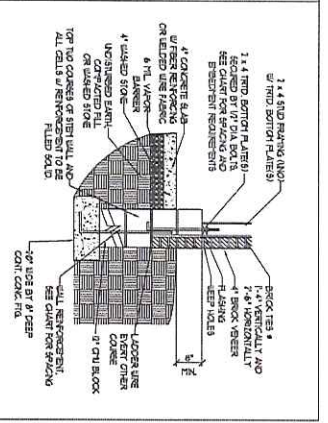


**J.S. THOMPSON ENGINEERING, INC.**  
 1000 W. HARRIS BLVD. SUITE 100  
 WELLSVILLE, NC 28691  
 TEL: 813-251-1111 FAX: 813-251-1112  
 WWW.JST-ENGINEERING.COM  
 N.C. LICENSE NO. 5736

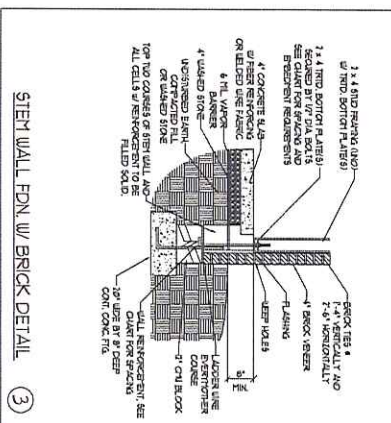




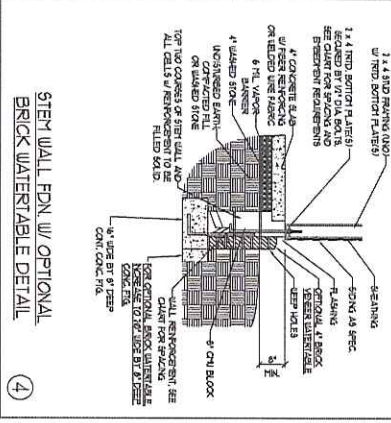
STEM WALL FDN DETAIL ①



STEM WALL FDN W/ BRICK AND CURB ②



③



④

ANCHOR SPACING AND EMBEDMENT	
WIND ZONE	120 MPH
SPACING	6'-0" O.C.
EMBEDMENT	1'-0"

NOTE:  
 TREADED ROD WITH EPOXY  
 ANCHORS THEN HD OR APPROVED  
 ANCHORS SPACED AS REQUIRED  
 TO PROVIDE EQUIVALENT  
 ANCHORAGE TO 1/2" DIAMETER  
 ANCHOR BOLTS MAY BE USED IN  
 LIEU OF 1/2" ANCHOR BOLTS.

WALL HEIGHT (FEET)	MASONRY WALL TYPE		
	8" CMU	4" BRICK AND 4" CMU	4" BRICK AND 8" CMU
2 AND BELOW	UNREQUIRED	GROUT SOLID	UNREQUIRED
3	UNREQUIRED	GROUT SOLID	UNREQUIRED
4	GROUT SOLID	GROUT SOLID w/ 1/4" REBAR @ 36" O.C.	GROUT SOLID w/ 1/4" REBAR @ 48" O.C.
5	GROUT SOLID w/ 1/4" REBAR @ 36" O.C.	NOT APPLICABLE	GROUT SOLID w/ 1/4" REBAR @ 36" O.C.
6	GROUT SOLID w/ 1/4" REBAR @ 36" O.C.	NOT APPLICABLE	GROUT SOLID w/ 1/4" REBAR @ 64" O.C.
7 AND GREATER	ENGINEERED DESIGN BASED ON SITE CONDITIONS		

STRUCTURAL NOTES:

- 1) WALL HEIGHT MEASURED FROM TOP OF FOOTING TO TOP OF THE WALL.
- 2) THE TYPICAL NOTES TOGETHER WITH LADDER USE AT 8" O.C. VERTICALLY.
- 3) CURT APPLICABLE FROM HOUSE FOUNDATION ONLY CONSULT ENGINEER FOR DESIGN OF GARAGE FOUNDATION NOT COVERED TO HOUSE.
- 4) FOOTING SHALL BE 12" WIDE BELOW GRADE OR ALLOWABLE.
- 5) BOTTOM OF WALL DRAINAGE OR SAND - GRAVEL DRAINAGE SOLID (AS PER THE FOUNDATION CLASSIFIED AS GROUP I ACCORDING TO UNIFIED SOIL CLASSIFICATION SYSTEM IN ACCORDANCE WITH TABLE BELOW OF THE 2008 IBC).
- 6) REBAR AND PER SECTION AND SECTION 22 BASE AND EXCEPTED OF 2008 IBC CANONICAL RESIDENTIAL CODE.
- 7) FINISH IS TO BE SPECIFIED BY ARCHITECT.
- 8) FINISH IS TO BE SPECIFIED BY ARCHITECT.
- 9) THESE REINFORCED FULL BLOCK SOLID WITH TYPICAL 1/2" HORIZONTAL OR 3000 PSI GROUT USE OF 100 LB FT GROUT PER TENSOR REQUIRED WHEN FILLING WALLS WITH GROUT AT HEIGHTS OF 5' AND GREATER.



This sealed page is not to be used in conjunction with a full plan set authorized by J.S. Thompson Engineering, Inc., unless it is of the mechanical sealed page within architectural issues or shop drawings by reference to a particular office under N.C. Senate Bill 900-23.

**J.S. THOMPSON ENGINEERING, INC.**  
 1710 W. STATE AVE. SUITE 101 RALEIGH, NC 27601  
 TEL: (919) 286-1710 FAX: (919) 286-8800  
 1710 W. STATE AVE. SUITE 101 RALEIGH, NC 27601  
 TEL: (919) 286-1710 FAX: (919) 286-8800

STEM WALL FOUNDATION DETAILS

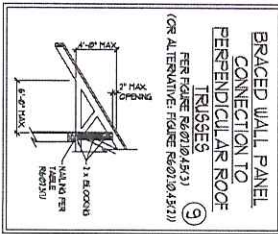
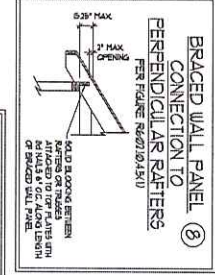
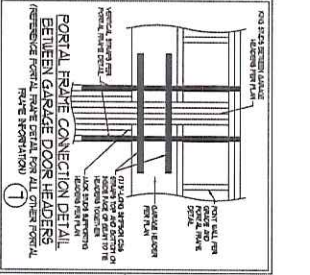
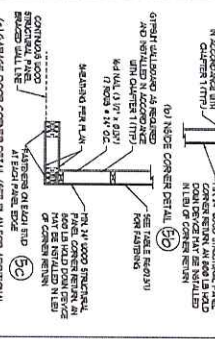
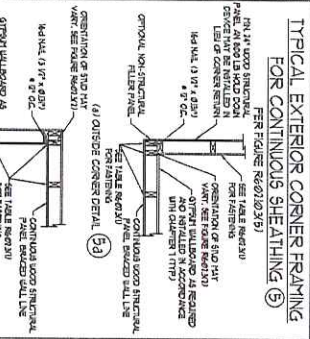
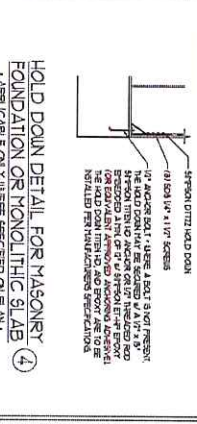
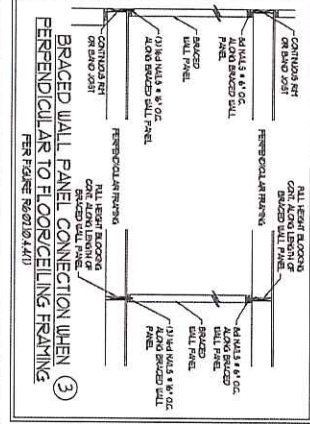
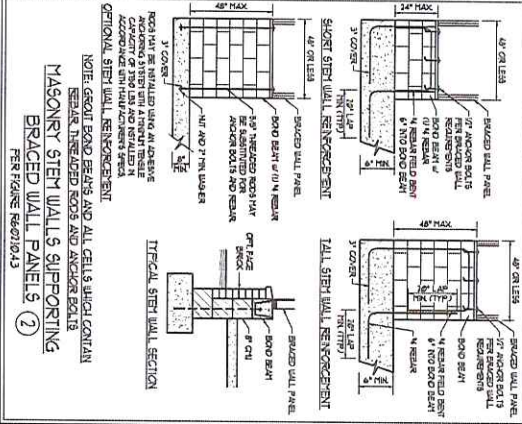
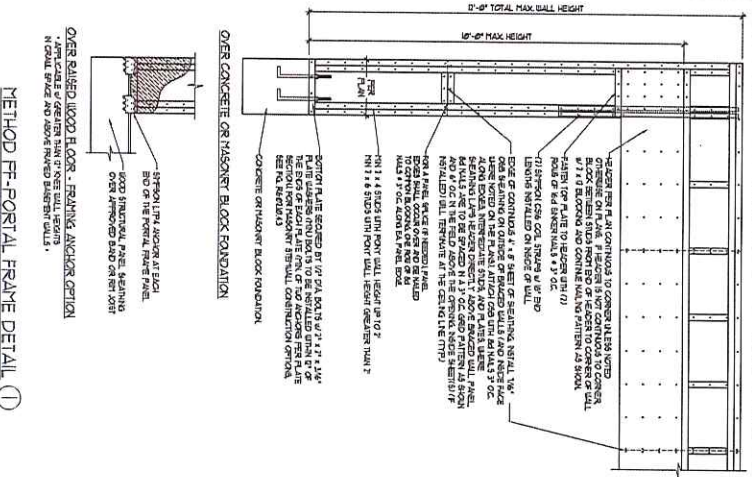
DATE: 1/28/08  
 DRAWN BY: J.S. THOMPSON  
 CHECKED BY: J.S. THOMPSON  
 PROJECT NO: 08-001

FOUNDATION DETAILS

DATE: 1/28/08  
 DRAWN BY: J.S. THOMPSON  
 CHECKED BY: J.S. THOMPSON  
 PROJECT NO: 08-001

**GENERAL WALL BRACING NOTES:**

1. WALL BRACING PROVIDED IN ACCORDANCE WITH SECTION 1.0 OF THE 1997 INTERNATIONAL BUILDING CODE (IBC).
2. WALLS AND PARTS THEREOF ARE NOT TO BE CONSIDERED AS BEING PART OF THE STRUCTURE UNLESS SPECIFICALLY NOTED OTHERWISE.
3. ALL BRACING SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 1.0 OF THE 1997 INTERNATIONAL BUILDING CODE (IBC).
4. BRACING SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 1.0 OF THE 1997 INTERNATIONAL BUILDING CODE (IBC).
5. ALL BRACING SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 1.0 OF THE 1997 INTERNATIONAL BUILDING CODE (IBC).
6. ALL BRACING SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 1.0 OF THE 1997 INTERNATIONAL BUILDING CODE (IBC).
7. ALL BRACING SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 1.0 OF THE 1997 INTERNATIONAL BUILDING CODE (IBC).
8. ALL BRACING SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 1.0 OF THE 1997 INTERNATIONAL BUILDING CODE (IBC).
9. ALL BRACING SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 1.0 OF THE 1997 INTERNATIONAL BUILDING CODE (IBC).
10. ALL BRACING SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 1.0 OF THE 1997 INTERNATIONAL BUILDING CODE (IBC).



The hold down post to be used in conjunction with all other details shall be as shown in the detail. The hold down post to be used in conjunction with all other details shall be as shown in the detail. The hold down post to be used in conjunction with all other details shall be as shown in the detail.



DATE: 4/28/10	BY: J.S. THOMPSON
SCALE: 1/8\"/>	
PROJECT: WALL BRACING	NO. 3375
J.S. THOMPSON ENGINEERING, INC.	
175 WEST 125th STREET, SUITE 201, NEW YORK, NY 10030	
PHONE: (646) 666-8888 FAX: (646) 666-8889	
N.Y. LICENSE NO. 1-12131	

**WALL BRACING NOTES AND DETAILS**

**J.S. THOMPSON ENGINEERING, INC.**  
 175 WEST 125th STREET, SUITE 201, NEW YORK, NY 10030  
 PHONE: (646) 666-8888 FAX: (646) 666-8889  
 N.Y. LICENSE NO. 1-12131

**GENERAL NOTES**

1. REBAR SHALL BE 11.5 BAR (11.5 BAR) UNLESS OTHERWISE SPECIFIED. ALL REBAR SHALL BE 11.5 BAR (11.5 BAR) UNLESS OTHERWISE SPECIFIED. ALL REBAR SHALL BE 11.5 BAR (11.5 BAR) UNLESS OTHERWISE SPECIFIED.
  1. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REQUIREMENTS OF THE NORTH CAROLINA RESIDENTIAL CODE BOOK. THE DESIGN SHALL BE IN ACCORDANCE WITH THE LATEST REQUIREMENTS OF THE NORTH CAROLINA RESIDENTIAL CODE BOOK. THE DESIGN SHALL BE IN ACCORDANCE WITH THE LATEST REQUIREMENTS OF THE NORTH CAROLINA RESIDENTIAL CODE BOOK.
  1. STRUCTURAL DESIGN SHALL BE ON THE BASIS OF THE WIND SPEED DATA FOR THE AREA AS SPECIFIED IN THE DESIGN SPECIFICATIONS. THE DESIGN SHALL BE IN ACCORDANCE WITH THE LATEST REQUIREMENTS OF THE NORTH CAROLINA RESIDENTIAL CODE BOOK.
- | ITEM | DESCRIPTION          | QUANTITY | UNIT    |
|------|----------------------|----------|---------|
| 1    | CONCRETE             | 100      | CY      |
| 2    | REBAR                | 100      | LB      |
| 3    | FORMWORK             | 100      | SQ FT   |
| 4    | ADDITIONAL MATERIALS | 100      | VARIOUS |

**FOOTING AND FOUNDATION NOTES**

1. FOUNDATION DESIGN SHALL BE ON THE BASIS OF THE WIND SPEED DATA FOR THE AREA AS SPECIFIED IN THE DESIGN SPECIFICATIONS. THE DESIGN SHALL BE IN ACCORDANCE WITH THE LATEST REQUIREMENTS OF THE NORTH CAROLINA RESIDENTIAL CODE BOOK.
1. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REQUIREMENTS OF THE NORTH CAROLINA RESIDENTIAL CODE BOOK. THE DESIGN SHALL BE IN ACCORDANCE WITH THE LATEST REQUIREMENTS OF THE NORTH CAROLINA RESIDENTIAL CODE BOOK.
1. STRUCTURAL DESIGN SHALL BE ON THE BASIS OF THE WIND SPEED DATA FOR THE AREA AS SPECIFIED IN THE DESIGN SPECIFICATIONS. THE DESIGN SHALL BE IN ACCORDANCE WITH THE LATEST REQUIREMENTS OF THE NORTH CAROLINA RESIDENTIAL CODE BOOK.

**FOOTING NOTES**

1. ALL REBAR SHALL BE 11.5 BAR (11.5 BAR) UNLESS OTHERWISE SPECIFIED. ALL REBAR SHALL BE 11.5 BAR (11.5 BAR) UNLESS OTHERWISE SPECIFIED.
1. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REQUIREMENTS OF THE NORTH CAROLINA RESIDENTIAL CODE BOOK. THE DESIGN SHALL BE IN ACCORDANCE WITH THE LATEST REQUIREMENTS OF THE NORTH CAROLINA RESIDENTIAL CODE BOOK.
1. STRUCTURAL DESIGN SHALL BE ON THE BASIS OF THE WIND SPEED DATA FOR THE AREA AS SPECIFIED IN THE DESIGN SPECIFICATIONS. THE DESIGN SHALL BE IN ACCORDANCE WITH THE LATEST REQUIREMENTS OF THE NORTH CAROLINA RESIDENTIAL CODE BOOK.



**J.S. THOMPSON ENGINEERING, INC.**  
 600 W. WALKER AVE., SUITE 104 RALEIGH, N.C. 27605  
 PHONE: (919) 789-9919 FAX: (919) 789-9921  
 N.C. LICENSE NO. C-1731

DATE: 01/15/2020  
 DRAWN BY: JST  
 CHECKED BY: JST  
 PROJECT: 2019-001