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REPRESENTATION ONLY



STRUCTURAL EVALUATION BY:
HOWERTON SERVICES, PLLC
 3513 CATHEDRAL BELL ROAD
 RALEIGH, NC 27614
 LICENSE P-1716

* ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS ON THIS DOCUMENT. SEAL DOES NOT INCLUDE CONSTRUCTION REVIEW, MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES OR SAFETY PRECAUTIONS.
 * ANY DEVIATIONS OR DISCREPANCIES ON PLANS ARE TO BE BROUGHT TO IMMEDIATE ATTENTION OF THE ENGINEER. FAILURE TO DO SO WILL VOID ENGINEER'S LIABILITY.



J. S. Hart

09 14 2021

NOTICE TO CONTRACTOR
 All construction shall comply with current NC Building Code and be subject to field inspection and verification.

APPROVED
 Limited building only review
 Permit holder responsible for full compliance with the code

11/12/2021

CONTRACTOR:

DAWSON HOUSE

NICOLE & TRAVIS DAWSON
 FUGUAY VARINA, NC 27526
 919-201-5841 - TRAVIS@DAWSONSELECTRIC.COM

PROJECT: **DAWSON HOUSE**

SHEET TITLE: **LOWER FLOOR PLAN**

VERSION: **3.2**

DATE: **9/14/21**

DRAWN BY: **DRC**

SHEET #:

A-1

GENERAL FRAMING NOTES:

- THIS PLAN DESIGNED IN ACCORDANCE WITH NC RESIDENTIAL CODE, 2018 EDITION.
- GLAZING AREAS SHOWN ON THESE DESIGN DRAWINGS DO NOT EXCEED 15% OF THE GROSS AREA OF THE EXTERIOR WALLS. THIS STRUCTURE MEETS THE REQUIREMENTS OF MINOR 2.1, RESIDENTIAL BUILDING, TYPE A-1.
- WALL CLADDING IS DESIGNED FOR A 2X11 #5F OR GREATER POSITIVE/NEGATIVE PRESSURE.
- ALL WALLS, FLOORS AND CEILINGS SHALL BE INSULATED IN ACCORDANCE WITH CODE SUMMARY.
- DESIGN CRITERIA:

| | |
|-------------------|--------|
| DEAD | L1V1E |
| PRIMARY FLOOR | 40 PSF |
| SECONDARY FLOOR | 40 PSF |
| SLEEPING AREAS | 30 PSF |
| ATTIC | 20 PSF |
| ROOF | 20 PSF |
| DEFLECTION LIMITS | |
- FLOOR: L360 (LIVE LOAD ONLY)
 ROOF: L240
- ALL HEADERS IN LOAD BEARING WALLS SHALL BE DOUBLE 2X10 U.O.N.
- ALL WALLS ARE 2X4 @ 16" O.C. U.O.N.
- PROVIDE DOUBLE FLOOR JOISTS UNDER WALLS ABOVE.
- PROVIDE FOUNDATION VENT WITHIN 36" OF EACH CORNER.
- ALL JOISTS TO BE SPF.

BRACED WALL NOTES:

- BRACED WALLS ARE REQUIRED PER SECTION R602.10.1 2018 NCBC RESIDENTIAL CODE.
- THE EXTERIOR WALL STRUCTURE SHALL BE CONTINUOUSLY SHEATHED. FULL HEIGHT WITH MIN. THICKNESS 7/16" OSB. THESE WALLS SHALL BE CONSTRUCTED IN CONFORMANCE TO TYPE CS-WSP DETAILS. REFER TO PLAN FOR LOCATION OF REQUIRED BRACING LABELED "CS BRACING" AND LENGTH OF WALL BRACING LABELED IN LINEAR FEET.
- INTERIOR WALLS WHERE NOTED SHALL BE BRACED PER INDICATED METHOD IN REFERENCE TO NCBC-RESIDENTIAL CODE, TABLE R602.10.2.

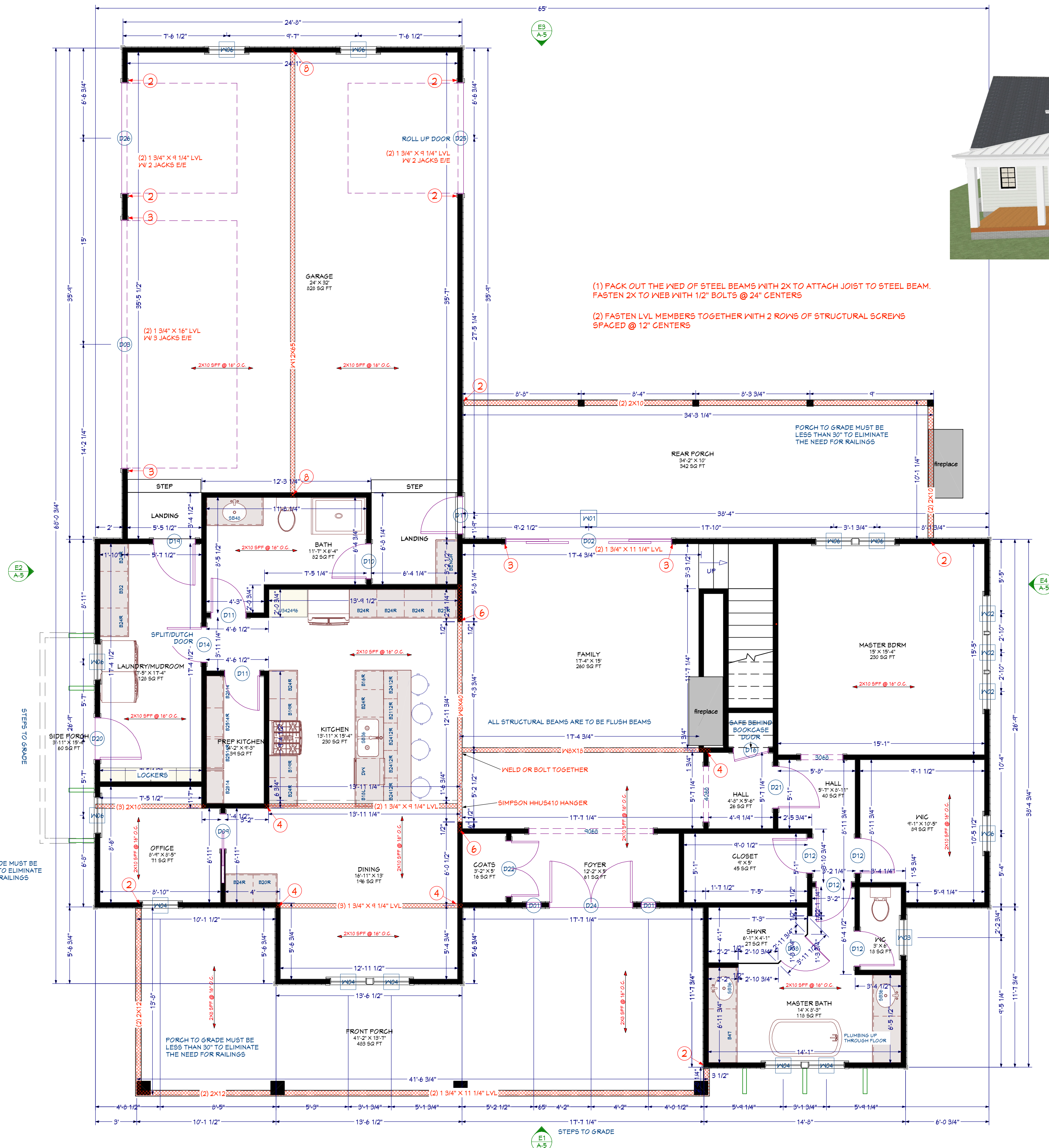
LB METHOD:

INSTALL 1X4 WOOD OR CONTINUOUS METAL STRAPPING AT 45 DEGREES TO 60 DEGREES FROM TOP PLATE TO BOTTOM PLATE ACROSS STUDS WITH MAXIMUM STUD SPACING OF 16" ON CENTER. CONNECT AS INDICATED IN CODE SECTION.

GB METHOD:

MINIMUM 1/2" GYPSUM BOARD TURNED VERTICALLY AND CONTINUOUS FROM TOP PLATE TO BOTTOM PLATE. SCREW CONNECTION TO FRAMING USING SPACING CRITERIA AS INDICATED IN CODE TABLES.

- SPECIAL BRACING DETAILS ARE ILLUSTRATED IN THE CODE AND ALLOWED WHERE WALLS DO NOT MEET THE MINIMUM REQUIREMENTS FOR SUPPORT.
- SEE TABLE R602.7.5 FOR CORRECT NUMBER OF KING STUDS PER HEADER.



Lateral Bracing:
 1) Unless otherwise noted, lateral bracing is found sufficient and compliant with minimum requirements set forth in NCRC 2018. Table R602.10.2 provided all exterior walls are sheathed at the exterior per CS-WSP. R602.10.3 which includes 2x4 (min) studs at 16" o.c. sheathed with 1/16" OSB or 1/16" nail at 6" o.c. edge and 1/16" nail at 12" o.c. field.
 2) All noted Portal Frame (P-F) shall be compliant with R602.10.1.
 3) All locations noted with "WB" shall be 200 lbs min capacity. Options include 36" long C6/8 steps fully populated with 10d nails, centered at interface, Simpson MST468BZ or Simpson LSA21.
 4) Minimum corner return in each direction shall be 24" of wood structural panel unless otherwise noted.
 5) Walls noted as OSB shall be framed in accordance with R602.10.2.

Design Loads: (Exceeds minimum requirements set forth by code)

| | Live Load (PSF) | Dead Load (PSF) | Deflection (DL/100) |
|-----------------|-----------------|-----------------|---------------------|
| All Floors | 40 | 10 | L560 |
| Attic Platforms | 20 | 10 | L240 |
| Ceiling | 10 | 10 | L560 |
| Decks/Balconies | 60 | 10 | L240 |
| Roof | 20 | 15 | L240 |
| Wind Load | 115 MPH (UNG) | 115 MPH (UND) | L240 |

MINIMUM VALUES FOR ENERGY COMPLIANCE:

ZONE 4
 MAX. GLAZING U-FACTOR = 0.35
 CEILING: R-38; WALLS: R-15; FLOORS: R-14; SLABS: R-10

Screened In and Covered Porch Notes:

- All wood deck notes apply.
- Foos to be attached to footings using ABU44 or ABU46 post base (or applicable size).
- Foos to be attached to floor framing using two (2) Simpson SA2 zips fully populated with 3" long #8 screws.
- Foos to be attached to headers using Simpson LG24 or two (2) 2x4 tie clips.

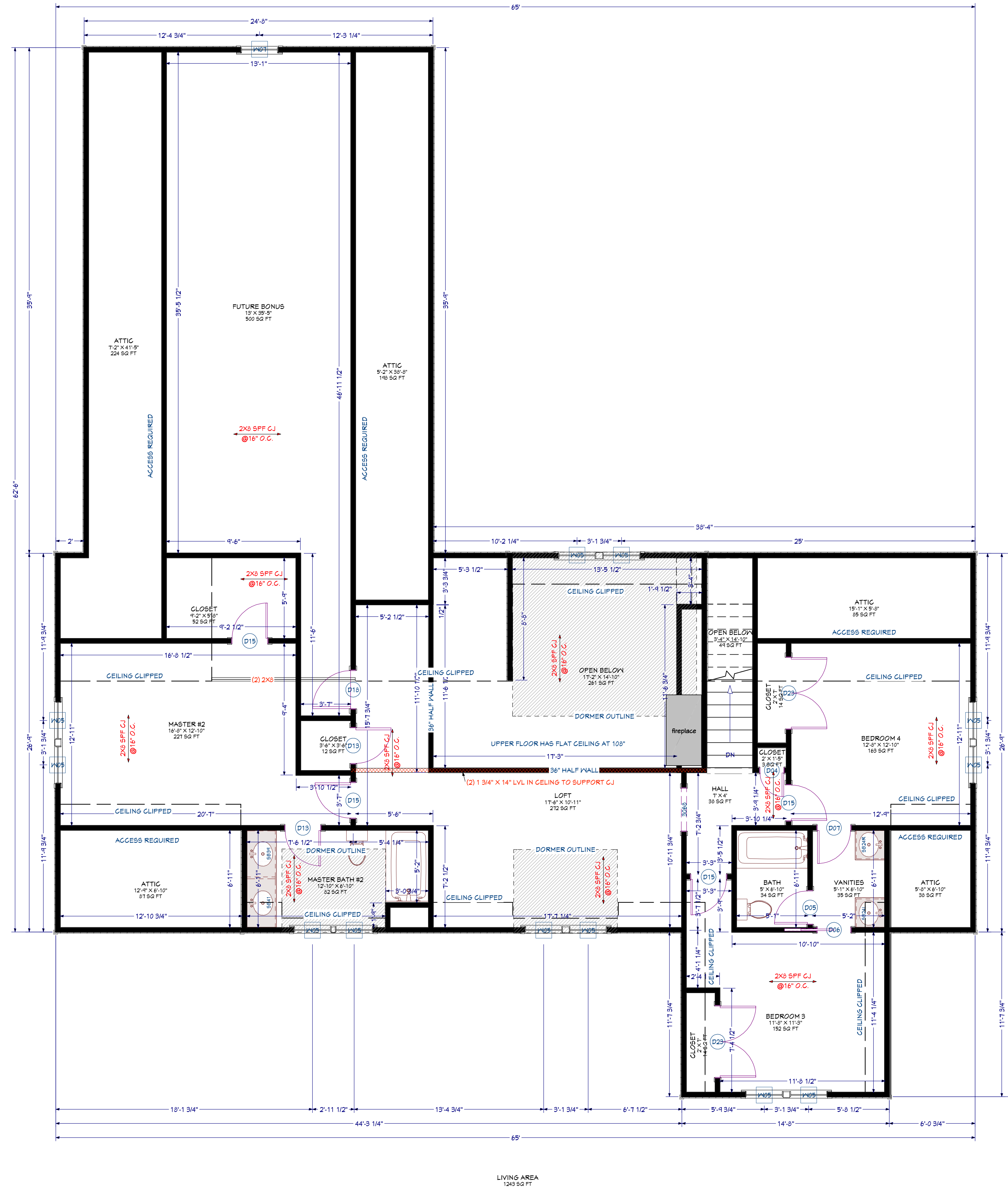
Wood Deck Notes:

- All lumber to be pressure treated Spine Pine #1 No. 2 or better.
- Band attachments to be installed per NCRC 2018, Appendix M (AM 104.11).
- Install lateral bracing AM104.11.
- Install handrails per AM111.1.
- Max Post Heights per AM 100.1.
- Stair Stringers per AM 107.1.

General Construction Notes:

- All temporary shoring, means and methods are the responsibility of the contractor.
- All dimensions to be verified by the contractor in the field.
- All Line Dimensions are to framing and room dimensions are to wall surface, unless noted otherwise.
- Dimensions supersede scale, code supersede dimensions.
- Designers/Engineers assume no responsibility for safety of product delivery.
- Any questions pertaining to structural components should be immediately brought to the attention of the Engineer.
- Limitations: Services provided are in accordance with the standard of practice for structural engineering and within the limits imposed by scope, schedule and budget. The determinations contained in this report are based on conditions observed at the time of the evaluation. No guarantees or warranties, expressed or implied, under this Agreement or otherwise, shall be construed in connection with services provided. Sequencing, shoring, means and methods of construction are considered beyond the scope of this design.
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A-1 MAIN FLOOR PLAN
 1/4" = 1'



J. S. Kunt

09 14 2021

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A-2 UPPER PLAN VIEW
1 1/4" = 1'

Remodeling Solutions
REMODELING SOLUTIONS LLC
DRAWINGS PROVIDED BY:
REMODELING SOLUTIONS LLC
OWNER/DESIGNER
DAVE COVNIK
OWNER/DESIGNER
4104 TREYS CT. APT#2 NC 27894
410-421-6451
DAVE@REMODELING-SOLUTIONS-LLC.COM

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CONTRACTOR:

PROJECT: **DAWSON HOUSE**
NICOLE & TRAVIS DAWSON
FUGUAY VARINA, NC 27826
919-201-3841 - TRAVIS@DAWSONSELECTRIC.COM

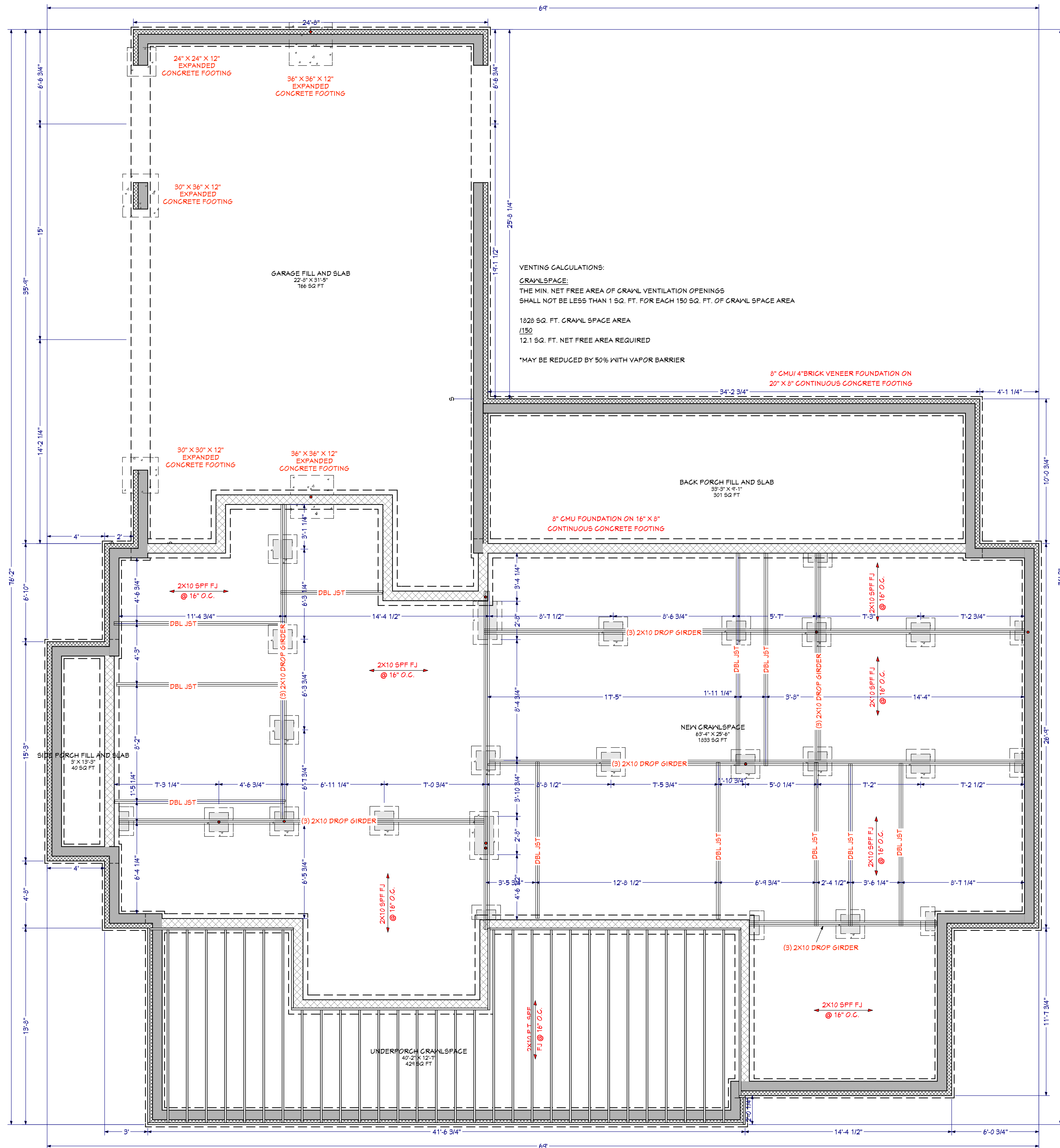
SHEET TITLE: **UPPER FLOOR PLAN**

VERSION: **3.2**
DATE: **9/14/21**
DRAWN BY: **DRC**

SHEET # **A-2**

GENERAL FOUNDATION NOTES:

1. THIS PLAN DESIGNED IN ACCORDANCE WITH NC RESIDENTIAL CODE, 2018 EDITION.
2. EXTERIOR WALL FOOTING TO BE 20" X 8" 3000 PSI STRUCTURAL CONCRETE WITH 2 #4 BARS UNLESS OTHERWISE NOTED. CONCRETE TO BE PREPARED AND PLACED IN ACCORDANCE WITH ACI 318. FOR FOUNDATION WALL HEIGHT, THICKNESS AND BACKFILL REQUIREMENTS, REFER TO STATE AND LOCAL BUILDING CODES. NOTE: ASSUMED SOIL BEARING CAPACITY=2000 PSF. CONTRACTOR MUST VERIFY SITE CONDITIONS AND CONTACT SOIL ENGINEER IF MARGINAL OR UNSTABLE SOILS ARE ENCOUNTERED.
3. FOOTINGS TO BEAR ON UNDISTURBED EARTH A MIN. OF 12" BELOW ADJACENT FINISH GRADE OR AS OTHERWISE DIRECTED BY LOCAL INSPECTOR.
4. FOUNDATION DRAINAGE SHALL BE IN ACCORDANCE WITH SECTION R408 OF THE CODE "FOUNDATION DRAINAGE".
5. THE FOUNDATION SHALL BE TREATED IN ACCORDANCE WITH SECTION R408 OF THE CODE "FOUNDATION WATERPROOFING AND DAMPROOFING".
6. THIS FOUNDATION DESIGN IS VALID FOR 120 MPH WIND ZONES.
7. FOUNDATION WALLS SHALL BE 12" IN WIDTH WHERE SUPPORTING FRAMING WITH BRICK VENEER.
8. PORCH POST FOOTINGS SHALL BE 24"X24"X10" WITH 2 #4 BARS EACH WAY.



VENTING CALCULATIONS:
CRAWLSPACE:
 THE MIN. NET FREE AREA OF CRAWL VENTILATION OPENINGS SHALL NOT BE LESS THAN 1 SQ. FT. FOR EACH 150 SQ. FT. OF CRAWL SPACE AREA
 1628 SQ. FT. CRAWL SPACE AREA
 /150
 12.1 SQ. FT. NET FREE AREA REQUIRED
 *MAY BE REDUCED BY 50% WITH VAPOR BARRIER



Joel S. Hunt
 09 14 2021

Design Loads: (Exceeds minimum requirements set forth by code)

| | Live Load (PSF) | Dead Load (PSF) | Deflection (D/L) |
|----------------|-----------------|-----------------|------------------|
| All Floors | 40 | 10 | L/360 |
| ABC Platforms | 25 | 10 | L/360 |
| Ceiling | 10 | 10 | L/360 |
| Deck/Balconies | 60 | 10 | L/240 |
| Roof | 20 | 15 | L/240 |
| Wind Load | 115 MPH(L&G) | 115 MPH(L&G) | L/240 |

VENTING CALCULATIONS IF NOT A SEALED CRAWL:
 THE MIN. NET FREE AREA OF CRAWL VENTILATION OPENINGS SHALL NOT BE LESS THAN 1 SQ. FT. FOR EACH 150 SQ. FT. OF CRAWL SPACE AREA
 2310 SQ. FT. CRAWL SPACE AREA
 /150
 15.4 SQ. FT. NET FREE AREA REQUIRED
 *MAY BE REDUCED BY 50% WITH VAPOR BARRIER

- Foundation Notes:**
- 1) Assumed soil load bearing capacity = 2000 PSF
 - 2) Minimum 28 day f_c of concrete = 3000 PSI
 - 3) Foundations to be built in accordance with N.C.R.C. 2018, Chapter 4
 - 4) "Tie-B" (if applicable) shall be (2) 16" long B6 epoxy bonded dowels half embedded mid-depth into existing footings.
 - 5) Anchor Bolts per RA201.1b

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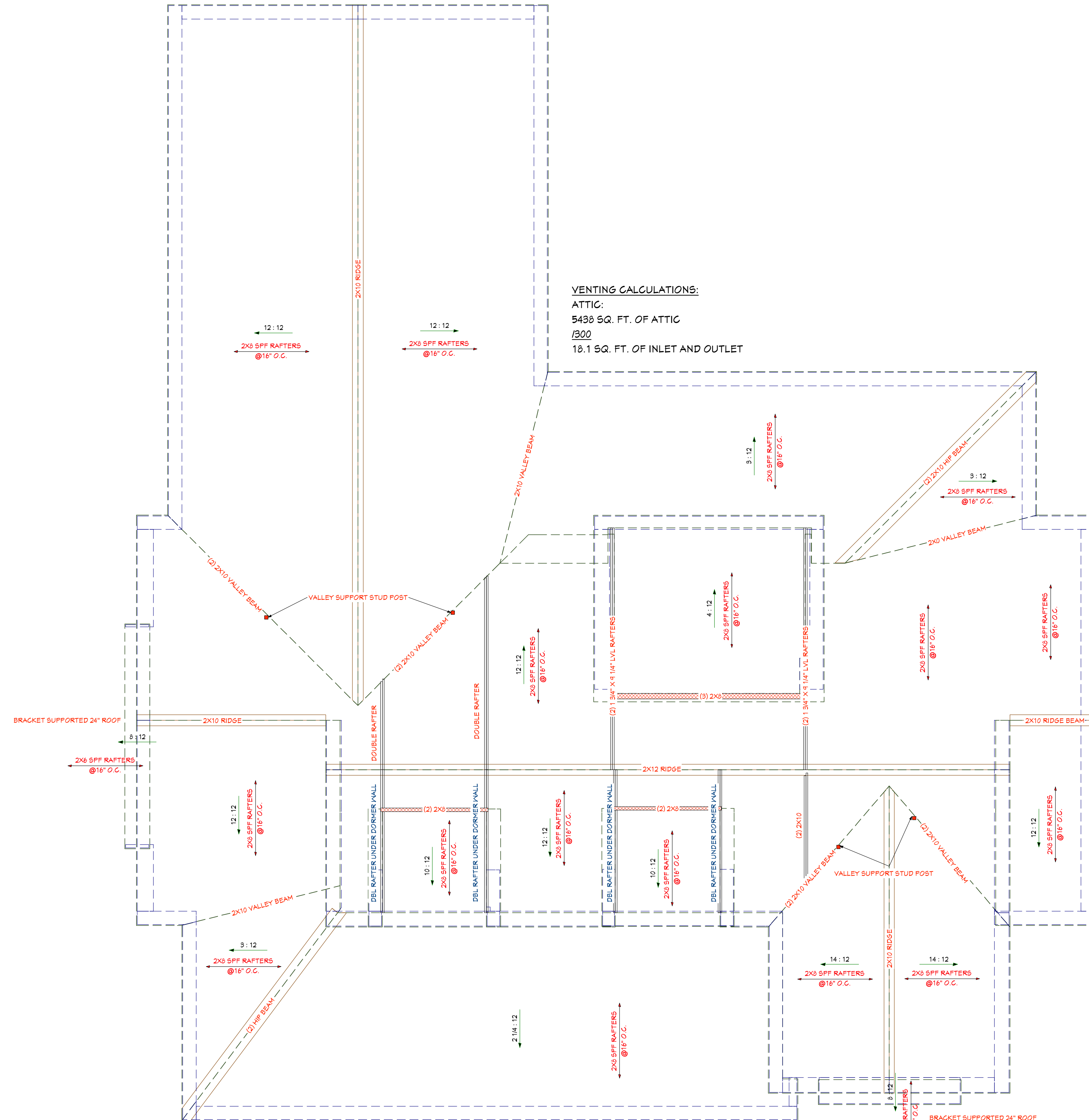
PROJECT: **DAWSON HOUSE**
 NICOLE & TRAVIS DAWSON
 FUGUAY VARINA, NC 27826
 919-201-3841 - TRAVIS@DAWSONSELECTRIC.COM

SHEET TITLE: **FOUNDATION PLAN**

VERSION: **3.2**
 DATE: **9/14/21**
 DRAWN BY: **DRC**

GENERAL ROOF NOTES:

- THIS PLAN DESIGNED IN ACCORDANCE WITH NC RESIDENTIAL CODE, 2018 EDITION.
- ROOF CLADDING DESIGN VALUES (POSITIVE/NEGATIVE) SHALL BE AS FOLLOWS:
45.5 #/SF FOR ROOF PITCHES FROM 0/12 TO 2/25/12
34.5 #/SF FOR ROOF PITCHES FROM 2/25/12 TO 7/12
7/12 21 #/SF FOR ROOF PITCHES FROM 7/12 TO 12/12
- ALL ROOFING ELEMENTS SHALL MEET THE REQUIREMENTS OF CHAPTER 8 OF THE CODE.
- ALL LUMBER SHALL BE #2 SPF OR BETTER. RAFTERS MAY BE FINGER JOINTED PER NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION, AND MUST HAVE THE STRUCTURAL CERTIFICATION STAMPED ON THE MEMBER.
- RAFTER SIZES, SPANS AND SPACING SHALL NOT EXCEED THE FOLLOWING: SIZE 2X6 2X8 2X10
SPACING 12' O.C. 16'-3" 21'-0" 25'-8"
SPACING 18' O.C. 14'-4" 18'-2" 22'-3"
- ALL RAFTERS TO BE 2X8 @ 16" O.C. #2 SPF UNLESS NOTED OTHERWISE.
- 2-2X10 HIP BEAMS TO BE SPICED WITH A MIN. 6'-0" OVERLAP.
- PROVIDE DOUBLE RAFTER EACH SIDE OF DORMERS WITH DOUBLE HEADER.
- ATTACH VAULTED RAFTERS WITH HURRICANE CLIP SIMPSON 145 OR EQUIVALENT. PROVIDE DOUBLE OPPOSING RAFTERS WHERE NOTED.
- 2X8 RAFTERS ON CATHEDRAL OR VAULTED CEILINGS TO BE FURRED DOWN 2" OR USE 2X10 RAFTERS FOR INSULATION PER CODE.
- PROVIDE 2X4 COLLAR TIES EVERY SECOND RAFTER (TYPICAL)
- PROVIDE 2X4 RAFTER TIES @ 32' O.C. (TYPICAL)
- FRAME RAFTERS ON 2X4 PLATE ON TOP OF CEILING JOISTS UNLESS NOTED OTHERWISE
- SHINGLES ASSUMED TO BE 240 L.B. FIBERGLASS, OR EQUAL MINIMUM ROOF PITCH TO BE AS INDICATED ON ARCHITECTURAL PLAN SHEETS
- PROVIDE DOUBLE LAYER OF ROOF FELT WHERE ROOF PITCH IS LESS THAN 4/12
- THESE DESIGN DRAWINGS WERE PRODUCED BY HOWERTON SERVICES, PLLC AND ASSUMES NO LIABILITY FOR THE CORRECTNESS OF ARCHITECTURAL FEATURES, DIMENSIONS OR FIXTURES
- ALL HIP RIDGES AND VALLEYS SHALL BE DOUBLE 2X10 UNLESS NOTED OTHERWISE.
- CONTRACTOR IS RESPONSIBLE FOR REVIEWING DRAWINGS FOR CONSTRUCTION PRIOR TO BEGINNING CONSTRUCTION.
- VALLEY RAFTERS WITH SPANS LONGER THAN 18' SHALL BE LVL'S SUPPORTED AS NOTED. PROVIDE TEMPORARY STIFF KNEE SUPPORT UNTIL ALL SHEATHING AND RAFTER TIES/COLLARS ARE INSTALLED.
- DO NOT SCALE THESE DRAWINGS. IF DISCREPANCIES ARE NOTED, CONTACT THE ENGINEER.
- DESIGN BASIS PROVIDED BY ARCHITECT AND ARCHITECT IS RESPONSIBLE FOR ALL ARCHITECTURAL FEATURES, DIMENSIONS, COMPLIANCE WITH ALL ACCESS/EGRESS REQUIREMENTS, FIRE CODE AND LIFE SAFETY DESIGN ISSUES.



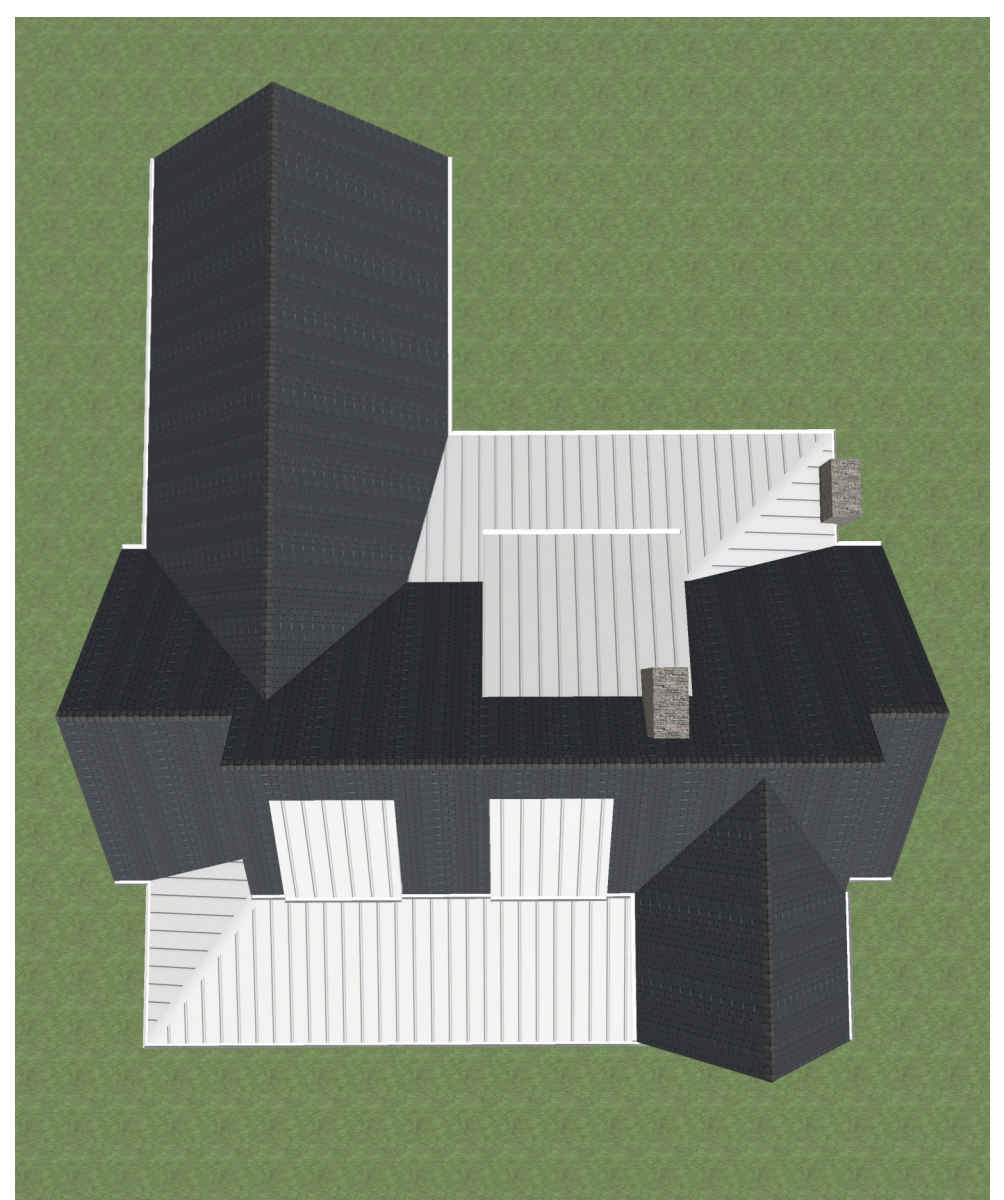
VENTING CALCULATIONS:
ATTIC:
5438 SQ. FT. OF ATTIC
/300
18.1 SQ. FT. OF INLET AND OUTLET

Design Loads: (Exceeds minimum requirements set forth by code)

| | Live Load (PSF) | Dead Load (PSF) | Deflection(D/L) |
|-----------------|-----------------|-----------------|-----------------|
| All Floors | 40 | 10 | L/960 |
| Attic Platforms | 20 | 10 | L/960 |
| Ceiling | 10 | 10 | L/360 |
| Decks/Balconies | 60 | 10 | L/240 |
| Roof | 20 | 10 | L/240 |
| Wind Load | 115 MPH(UWG) | 115 MPH(UWG) | L/240 |

- Roof Framing Notes:**
- All roof framing shall be in accordance with NRC 2018 Chapter 8.
 - All lumber to be Spruce Pine Fir No. 2 or better.
 - All tie valleys for over-framed roofs shall be attached using (3) 3" long #8 screws at each main rafter.
 - King studs shall be in accordance with schedule shown or R602.3(5) subnote D.
 - All collar ties to be installed no higher than 1/2nd height eave to ridge up from eave nailed with (5) 10d nails at each end, unless otherwise noted.
 - Roof trusses per others; installation per supplier guidelines.

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NICOLE & TRAVIS DAWSON
FUGUAY VARINA, NC 27526
919-201-3841 - TRAVIS@DAWSONSELECTRIC.COM

SHEET TITLE: **ROOF PLAN**

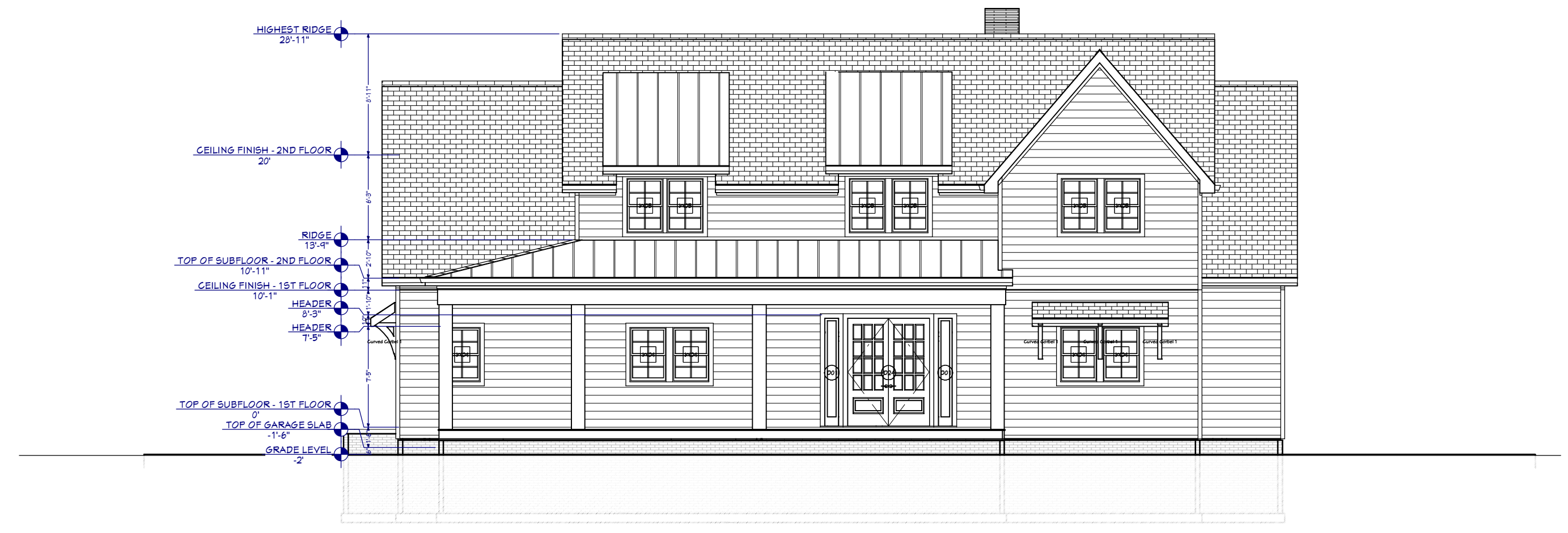
VERSION: **3.2**
DATE: **9/14/21**
DRAWN BY: **DRC**

A-4 ROOF PLAN
1 1/4" = 1'

SHEET # **A-4**



A-5 LEFT ELEVATION
E2 1/8" = 1'

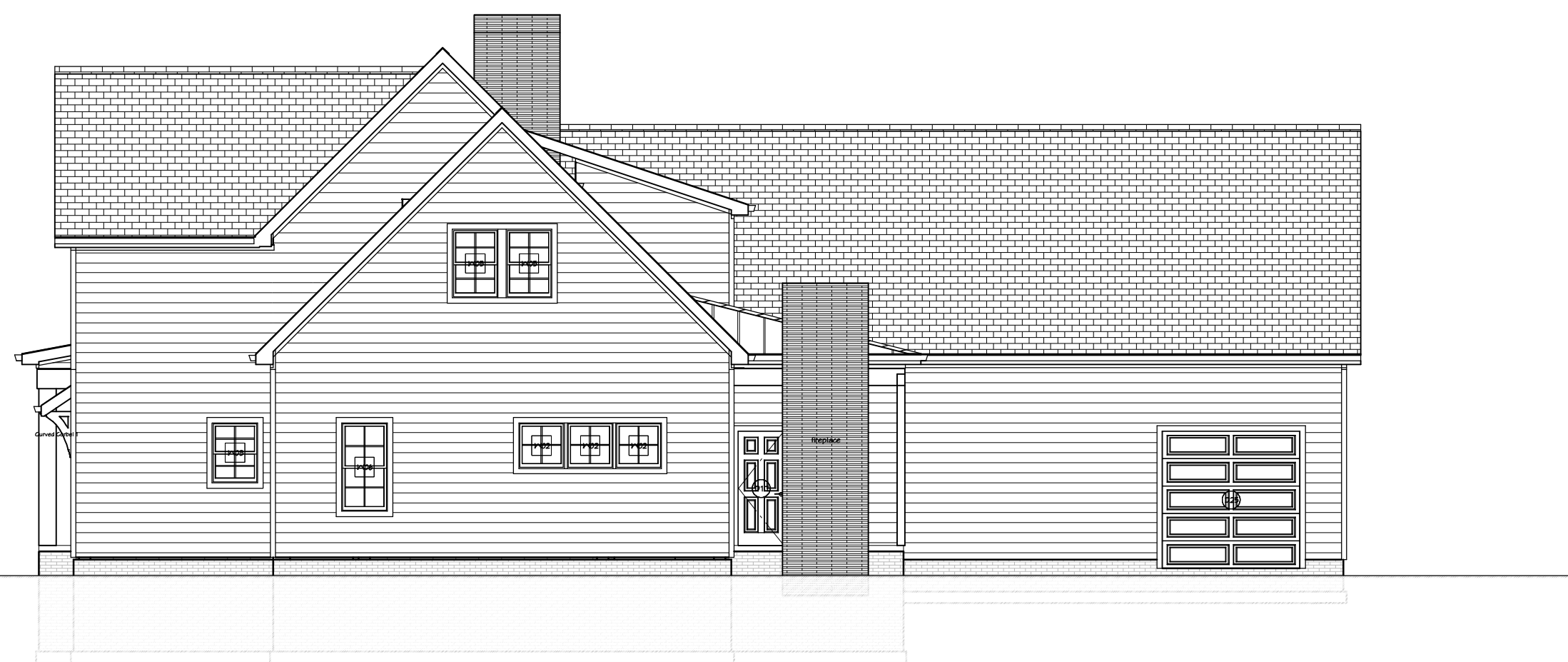


A-5 FRONT ELEVATION
E1 1/8" = 1'

| NUMBER | LABEL | QTY | FLOOR | SIZE | WIDTH | HEIGHT | R/O | EGRESS | TEMPERED | DESCRIPTION |
|----------------|-------------------|--------------|--------------|-------------------------|-----------------|----------------|---------------------|----------------|----------|---|
| W01 | 1206S | 1 | 1 | 1206S L/R EX | 144" | 80" | 148"x83" | YES | | EXT. GLAZED SLIDER-GLASS PANEL |
| W02 | 2022FK | 3 | 1 | 2022FK | 32" | 40" | 34"x34" | | | FIXED GLASS |
| W03 | 2836DH | 1 | 1 | 2836DH | 32" | 42" | 34"x34" | | | DOUBLE HUNG |
| W04 | 2840DH | 5 | 1 | 2840DH | 32" | 48" | 34"x50" | | | DOUBLE HUNG |
| W05 | 2840DH | 2 | 2 | 2840DH | 32" | 48" | 34"x50" | | | DOUBLE HUNG |
| W06 | 2852DH | 7 | 1 | 2852DH | 32" | 62" | 34"x64" | | | DOUBLE HUNG |
| W07 | 2852DH | 1 | 2 | 2852DH | 32" | 62" | 34"x64" | | | DOUBLE HUNG |

Window schedule has been updated to be code compliant.
See Owner/builder with questions.

| Number | Label | Qty | Floor | Size | Width | Height | R/O | Description | Tempered | Comments |
|--------|------------|-----|-------|--------------|---------|--------|-----------------|--------------------------------|----------|----------|
| D01 | 1080 | 2 | 1 | 1080 EX | 12" | 96" | 14"x94" | ext. Fixed-Glass Panel | | |
| D02 | 1206S | 1 | 1 | 1206S L/R EX | 144" | 80" | 148"x83" | ext. Glazed Slider-Glass Panel | | |
| D03 | 10000 | 1 | 1 | 10000 | 216" | 96" | 210"x94" | Garage-Garage Door F02 | | |
| D04 | 1888 | 1 | 2 | 1888 L IN | 20" | 80" | 22"x82 1/2" | Hinged-Door F04 | | |
| D05 | 2468 | 1 | 2 | 2468 L IN | 28" | 80" | 30"x82 1/2" | Hinged-Door F04 | | |
| D06 | 2468 | 1 | 2 | 2468 R | 28" | 80" | 30"x82 1/2" | Pocket-Door F04 | | |
| D07 | 2468 | 1 | 2 | 2468 R IN | 28" | 80" | 30"x82 1/2" | Hinged-Door F04 | | |
| D08 | 2668 | 1 | 1 | 2668 L | 30" | 80" | 30"x80" | Shower-Glass Slab | Yes | |
| D09 | 2668 | 1 | 1 | 2668 L | 30" | 80" | 62"x82 1/2" | Pocket-Door F04 | | |
| D10 | 2668 | 1 | 1 | 2668 L EX | 30" | 80" | 30"x80" | ext. Hinged-Door F04 | | |
| D11 | 2668 | 2 | 1 | 2668 L IN | 30" | 80" | 52"x82 1/2" | Hinged-Door F04 | | |
| D12 | 2668 | 4 | 1 | 2668 R IN | 30" | 80" | 32"x82 1/2" | Hinged-Door F04 | | |
| D13 | 2668 | 2 | 2 | 2668 L IN | 30" | 80" | 32"x82 1/2" | Hinged-Door F04 | | |
| D14 | spir/dutch | 1 | 1 | 2668 R IN | 30" | 80" | 32"x82 1/2" | Hinged-Door F04 | | |
| D15 | 2668 | 4 | 2 | 2668 R IN | 30" | 80" | 32"x82 1/2" | Hinged-Door F04 | | |
| D16 | HIDDEN | 1 | 1 | 2668 L IN | 30" | 80" | 32"x82 1/2" | Hinged-Bookcase Outslung Door | | |
| D17 | 2668 | 1 | 1 | 2668 L EX | 32" | 80" | 34"x83" | ext. Hinged-Door F04 | | |
| D18 | 2668 | 1 | 2 | 2668 L EX | 52 1/8" | 80" | 34 1/8"x83" | ext. Hinged-Door F04 | | |
| D19 | 3088 | 1 | 1 | 3088 L EX | 36" | 80" | 38"x83" | ext. Hinged-Door F04 | | |
| D20 | 3088 | 1 | 1 | 3088 R EX | 36" | 80" | 38"x83" | ext. Hinged-Door E06 | | |
| D21 | 3088 | 1 | 1 | 3088 R IN | 36" | 80" | 38"x83" | Hinged-Door F04 | | |
| D22 | 4088 | 1 | 1 | 4088 L/R IN | 48" | 80" | 50"x82 1/2" | Double Hinged-Door F04 | | |
| D23 | 5088 | 2 | 2 | 5088 L/R IN | 60 3/8" | 80" | 62 3/8"x82 1/2" | Double Hinged-Door F04 | | |
| D24 | 8080 | 1 | 1 | 8080 L/R EX | 72" | 96" | 74"x94" | ext. Double Hinged-Door E14 | | |
| D25 | 8080 | 1 | 1 | 8080 | 46" | 96" | 48"x94" | Garage-Garage Door F01 | | |
| D26 | 8080 | 1 | 1 | 8080 | 46" | 96" | 48"x94" | Garage-Garage Door F02 | | |



A-5 REAR ELEVATION
E3 1/8" = 1'



A-5 RIGHT ELEVATION
E4 1/8" = 1'

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- 3) All Line Dimensions are to framing and room dimensions are to wall surface, unless noted otherwise.
- 4) Dimensions supercede scale, code supercedes dimensions.
- 5) Designers/Engineers assumes no responsibility for safety of project delivery.
- 6) Any questions pertaining to structural components should be immediately brought to the attention of the Engineer.
- 7) Limitations: Services provided are in accordance with the standard of practice for structural engineering and within the limits imposed by scope, schedule and budget. The determinations contained in this report are based on conditions observed at the time of the evaluation. No warranties or warranties, expressed or implied, under this Agreement or otherwise, shall be construed in connection with services provided. Sequencing, shoring, means and methods of construction are considered beyond the scope of this design.
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ELEVATIONS & SCHEDULES

VERSION: 3.2
DATE: 9/14/21
DRAWN BY: DRC

SHEET #
A-5