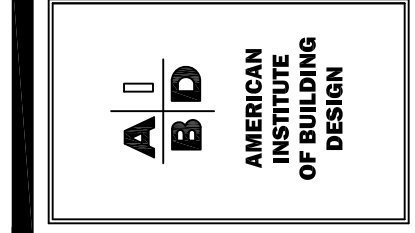


Triangle Residential Designs Inc
 405 S. Lakeside Dr, Raleigh, NC 27606 Tel: (919) 852-3500 www.trd-chp.com



CLIENT:	PETE & SUZANNE EVANS
PROJECT:	RESIDENCE
ADDRESS/LOCATION:	CHRISTIAN LIGHT ROAD FUGUAY-VARINA, NC HARNETT COUNTY
DATE:	SEPTEMBER 1, 2021
SHEET:	1 OF 8
SHEET NAME:	FRONT & RIGHT SIDE ELEVATIONS
DRAWN BY:	
REVISED:	

GENERAL NOTES:

- 1) THESE PLANS HAVE BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE NCBC 2018 RESIDENTIAL CODE
- 2) THESE PLANS ARE DESIGNED TO BE USED BY A LICENSED GENERAL CONTRACTOR
- 3) DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS
- 4) ALL PHASE PLANS ARE TO BE HANDLED BY THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE
- 5) ENGINEER'S INFORMATION AND NOTES TAKE PRECEDENCE OVER TRD PLAN

GENERAL CONTRACTOR:

- 1) PRIOR TO CONSTRUCTION, REVIEW ALL PLANS VERIFYING DIMENSIONS, LOCAL CODES, ENERGY TYPES AND SITE CONDITIONS
- 2) ANY DISCREPANCY IN THE PLANS IS TO BE BROUGHT TO THE ATTENTION OF TRD FOR CORRECTION PRIOR TO CONSTRUCTION OTHERWISE IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR
- 3) INSURE ALL PHASES OF CONSTRUCTION COMPLY WITH BUILDING CODES IN THE AREA THE HOME IS TO BE BUILT
- 4) CONSULT WITH LOCAL ENGINEER FOR STRUCTURAL DESIGN
- 5) ONCE CONSTRUCTION BEGINS, CONTRACTOR ASSUMES ALL RESPONSIBILITY

TRIANGLE RESIDENTIAL DESIGNS:

- 1) THESE PLANS ARE THE COPYRIGHTED PROPERTY OF TRD. THEY ARE NOT TO BE REPRODUCED WHOLE OR IN PART, WITHOUT WRITTEN CONSENT FROM TRD.
- 2) THE LIABILITY OF TRD IN CONNECTION WITH THIS PLAN AND THE HOME BUILT THEREFROM IS LIMITED TO THE TOTAL FEES PAID BY THE PURCHASER OF THE PLAN.
- 3) TRD ASSUMES NO LIABILITY FOR ALTERATIONS TO THE PLANS, FIELD MODIFICATIONS OF THE PLANS OR STRUCTURAL COMPONENTS. THEY ARE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

NON-EXCLUSIVE LICENSE:

THE PURCHASER OF THIS PLAN HAS BEEN GRANTED A NON-EXCLUSIVE, NON-TRANSFERABLE LICENSE TO USE THIS COPYRIGHTED PLAN TO BUILD ONE HOME. THE PLANS ARE NOT TO BE REPRODUCED, WHOLE OR IN PART, OR RESOLD, WITHOUT WRITTEN CONSENT FROM TRD. ANY BREACH OF THESE TERMS ENTITLES TRD TO PURSUE ALL REMEDIES BY LAW.

MEAN ROOF HEIGHT

21'-2" EAVE HT. + 31'-0" OVERALL HT. = 52'-2" TOTAL
 52'-2" TOTAL / 2 = 26'-1" MEAN ROOF HT.

NOTES:

- DISTANCES INDICATED ARE FROM FINISHED GRADE AND ASSUME A FLAT LOT WITH MINIMUM GRADE REQUIREMENTS.
- DESIGN PRESSURE = 35 PSF

DESIGN LOADS

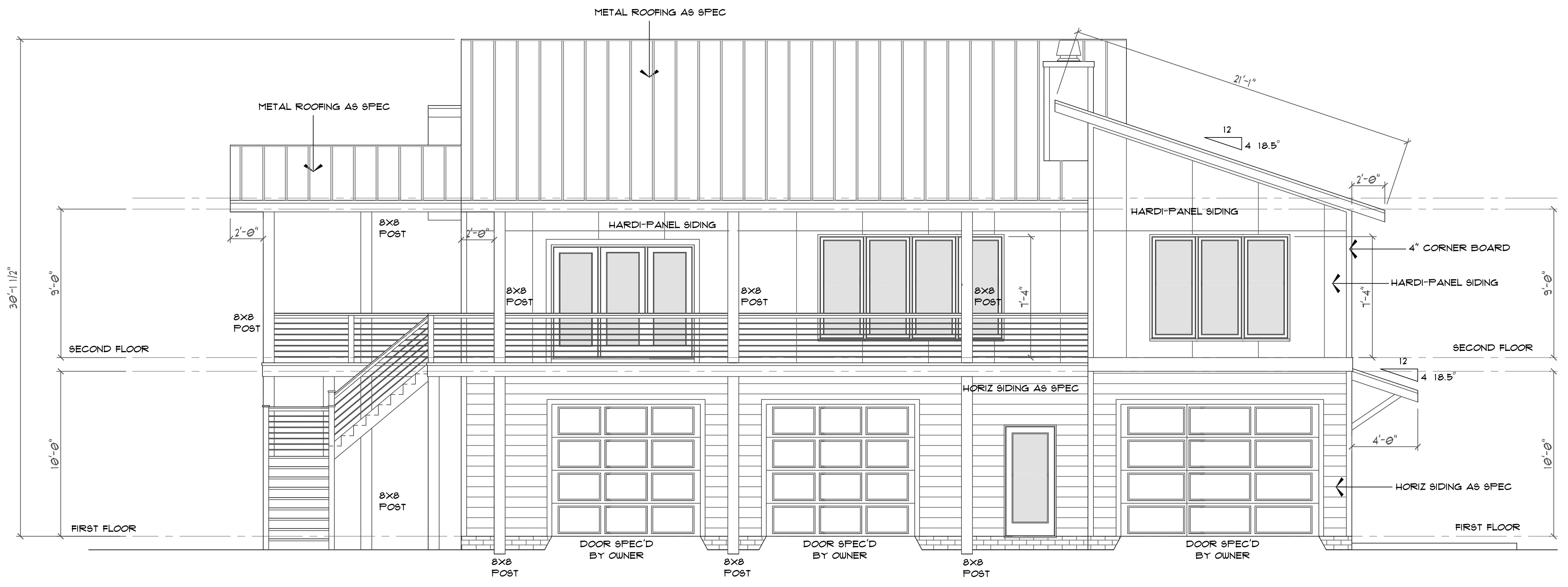
FLOOR LIVE LOAD (SLEEPING): 30 PSF
 FLOOR LIVE LOAD (ALL OTHERS): 40 PSF
 DECKS: 40PSF
 BALCONIES: 60PSF
 ATTIC DEAD LOAD (NO STOR): 10 PSF
 ATTIC LIVE LOAD (STORAGE): 20 PSF
 ATTIC W/STAIRS (DEVELOPABLE): 40 PSF

MIN. VALUES FOR ENERGY COMPLIANCE

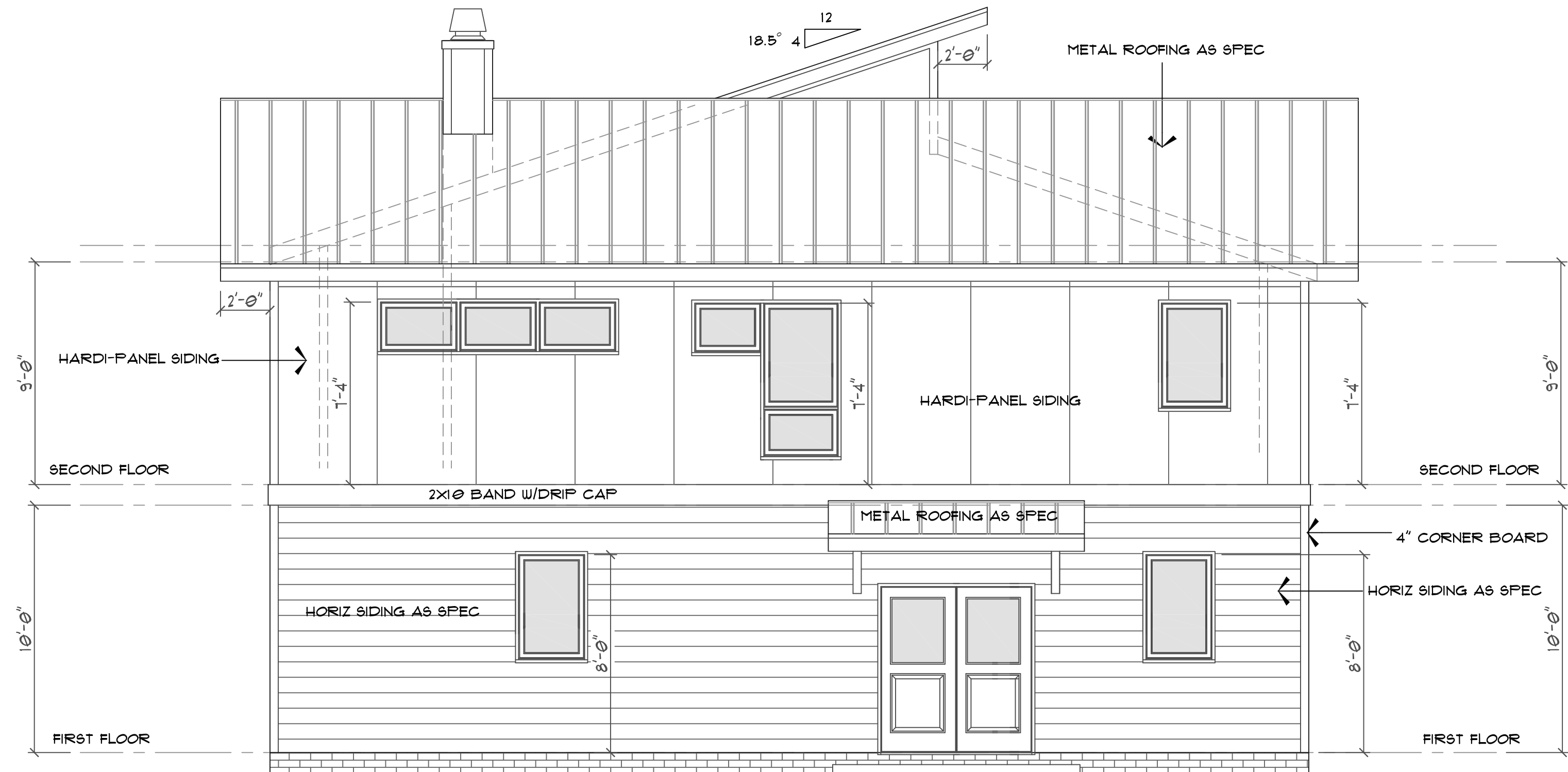
CEILING: R-38
 WALLS: R-15
 FLOORS: R-19
 BASEMENT WALLS: R-1
 CRAWL SPACE WALLS: R-9
 SLAB PERIMETERS @ 24" DEEP: R-4
 MAX. GLAZING U-FACTOR = 0.35
 ZONE 4

EXTERIOR MATERIALS

	ROOF SHINGLES
	METAL ROOF
	HORIZONTAL SIDING
	BOARD & BATTEN SIDING
	VERTICAL SIDING
	SHAKE SIDING
	BRICK
	STONE
	STUCCO OR PARGING
	SCREEN
	BRICK ROWLOCK OR SOLDIER



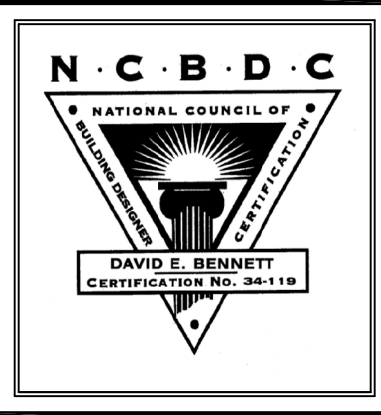
FRONT ELEVATION
 SCALE: 1/4"=1'-0"



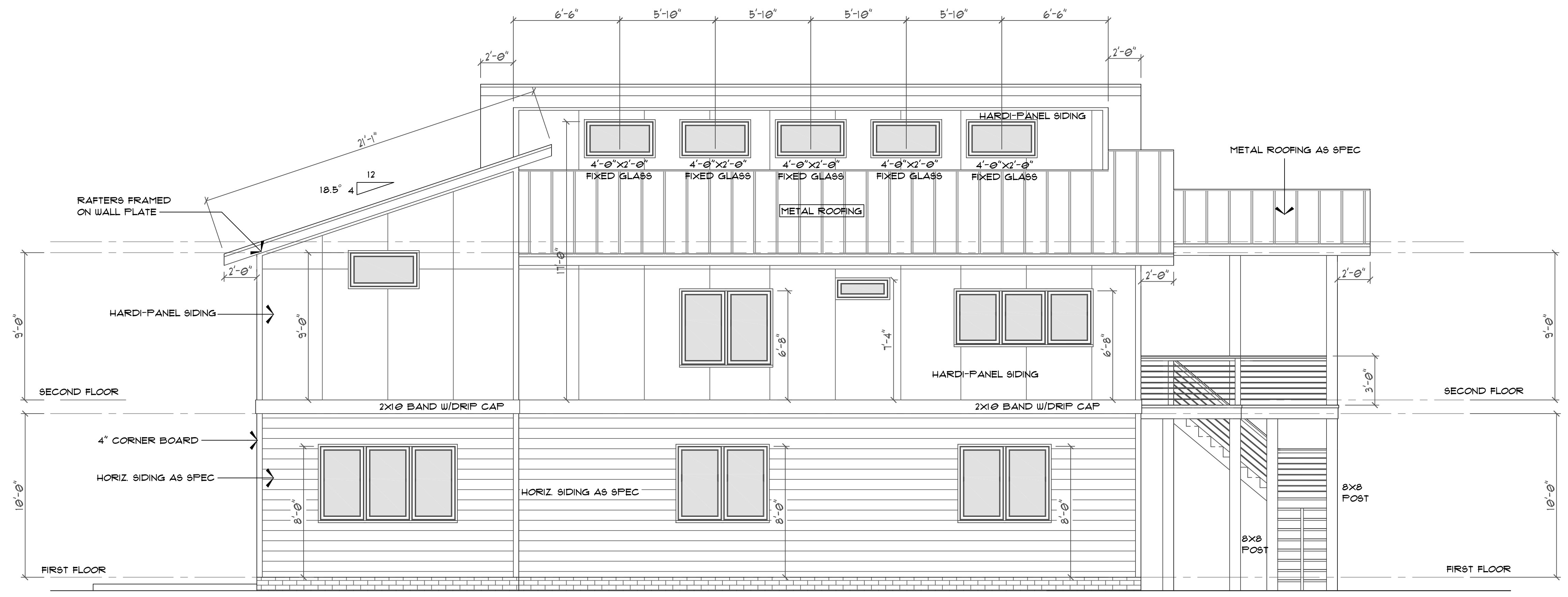
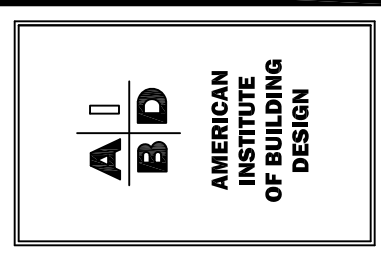
RIGHT SIDE ELEVATION
 SCALE: 1/4"=1'-0"

INDEX TO SHEETS

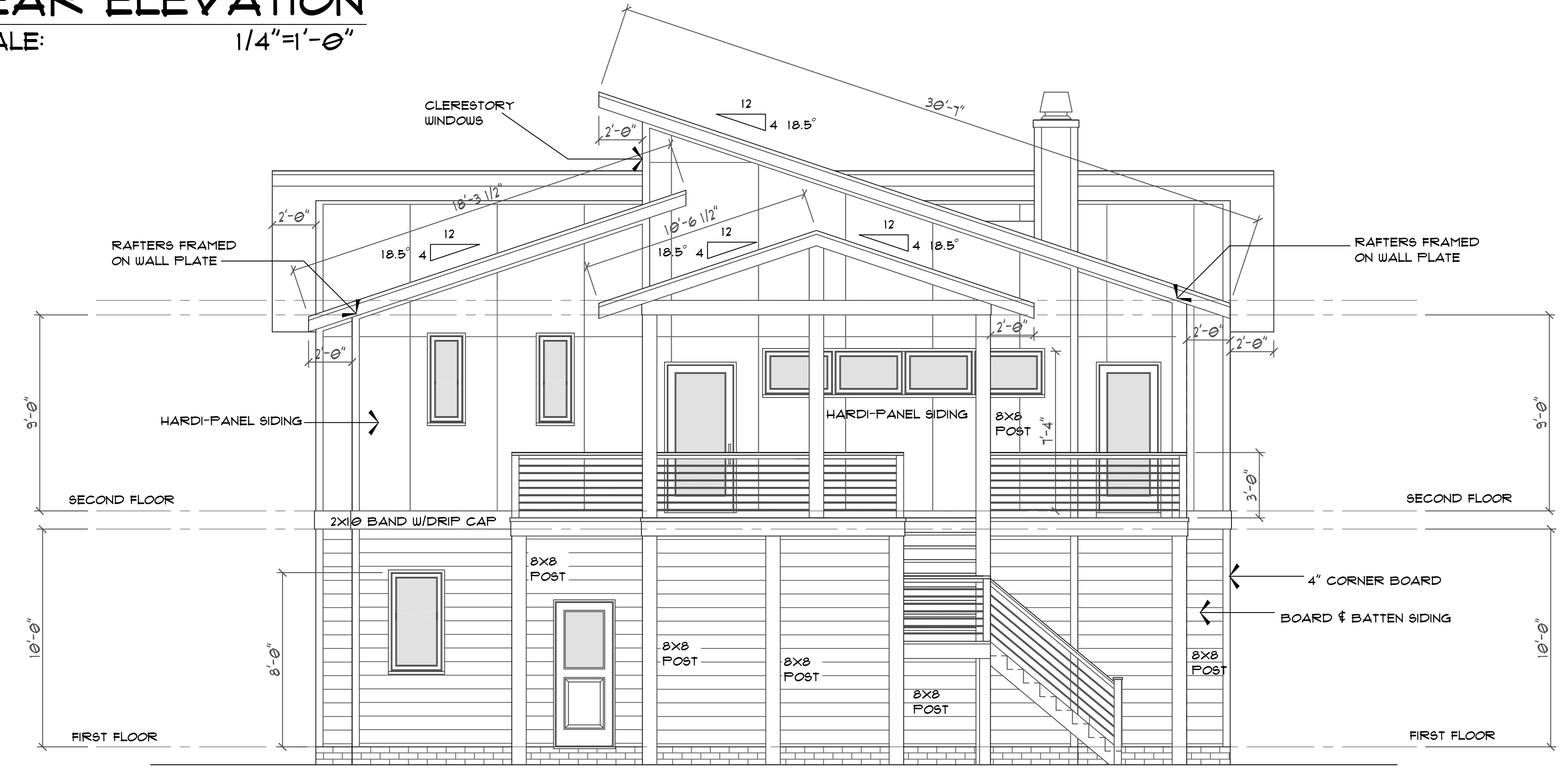
SHEET	NAME
1	FRONT & RIGHT SIDE ELEVATIONS
2	REAR & LEFT SIDE ELEVATIONS
3	FOUNDATION/MASONRY PLAN
4	FIRST FLOOR PLAN
5	FIRST FLOOR STRUCTURAL PLAN
6	SECOND FLOOR PLAN
7	SECOND FLOOR STRUCTURAL PLAN
8	ROOF PLAN
DI-2	DETAIL SHEETS



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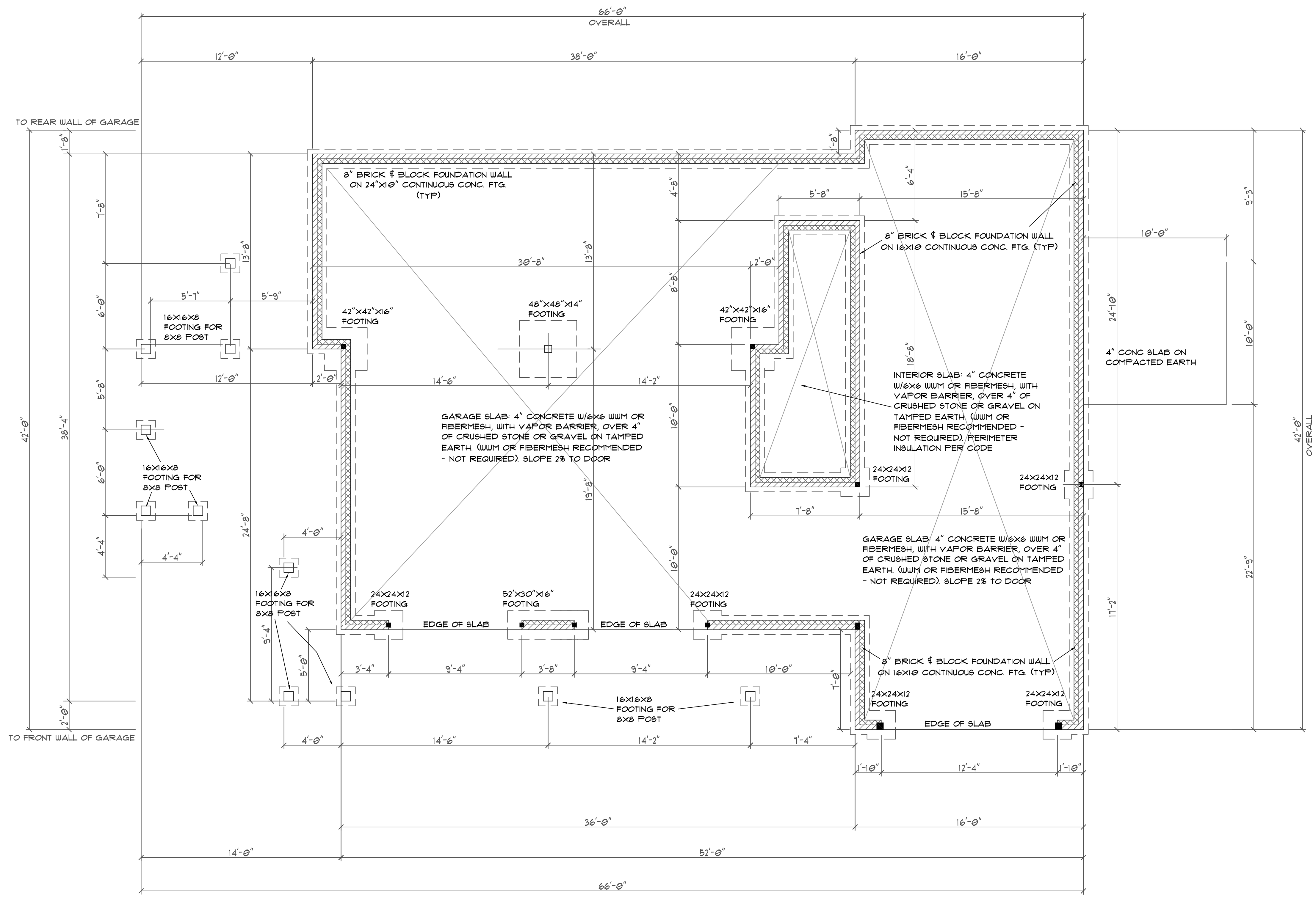
REAR ELEVATION
SCALE: 1/4"=1'-0"



LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"

EXTERIOR MATERIALS	
	ROOF SHINGLES
	METAL ROOF
	HORIZONTAL SIDING
	BOARD & BATTEN SIDING
	VERTICAL SIDING
	SHAKE SIDING
	BRICK
	STONE
	STUCCO OR PARGING
	SCREEN
	BRICK ROWLOCK OR SOLDIER

CLIENT:	PETE & SUZANNE EVANS
PROJECT:	RESIDENCE
ADDRESS/LOCATION:	CHRISTIAN LIGHT ROAD FUGUAY-VARINA, NC HARNETT COUNTY
DRAWN BY:	
REVISSED:	
SHEET:	2 OF 8
DATE:	SEPTEMBER 1, 2021
SHEET NAME:	REAR & LEFT SIDE ELEVATIONS

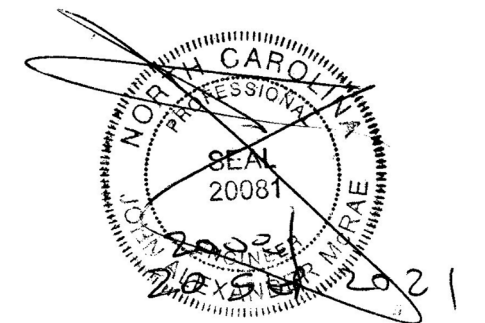


FOUNDATION/MASONRY PLAN
 SCALE: 1/4" = 1'-0"

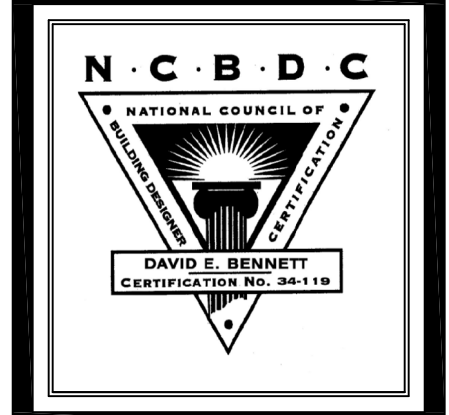
Design To IRC 2015 / NBC 2018

ALL EXTERIOR AND BEARING FOOTERS 24" X 10"
 WITH THREE #4 BARS RECOMMENDED
 ALL INTERIOR LUGS 22" X 10"
 ALL FRAMED BEARING WALLS 2 X 6 @ 16
 OR (2) 2 X 4 @ 16 (ALL DOUBLED)
 Bearing headers 3-2x10 Boxed to 5 1/2" (2 x 6 walls)
 9 1/4 LVL with 1-2x10 with 2-2x4 Jacks (2 x 4 walls)
 PROVIDE MINIMUM R-10 (4" RIGID FOAM) AT ALL
 PERIMETERS OF HEATED SPACES EXTENDING 24"
 VERTICAL OR HORIZONTAL TOWARDS INTERIOR
 ALL FLOOR JOISTS 16" FLOOR TRUSS BY MFR.

ALL FLOOR JOISTS 16" I Joists @ 19.2 max
 EverEdge 20 or LPI 20+
 RFPI 40S or BCI 6000 or TJI 210

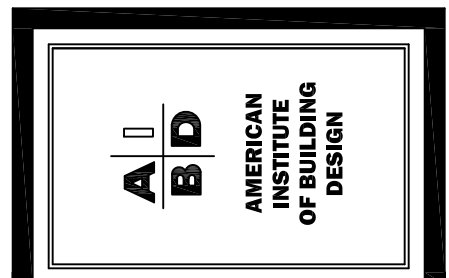


Structural Design By:
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 Fuquay-Varina North Carolina 27526
 jampe@nc.rr.com (919) 210-5749
 P O Box 1466 Apex, NC 27502
 Report deficiencies immediately
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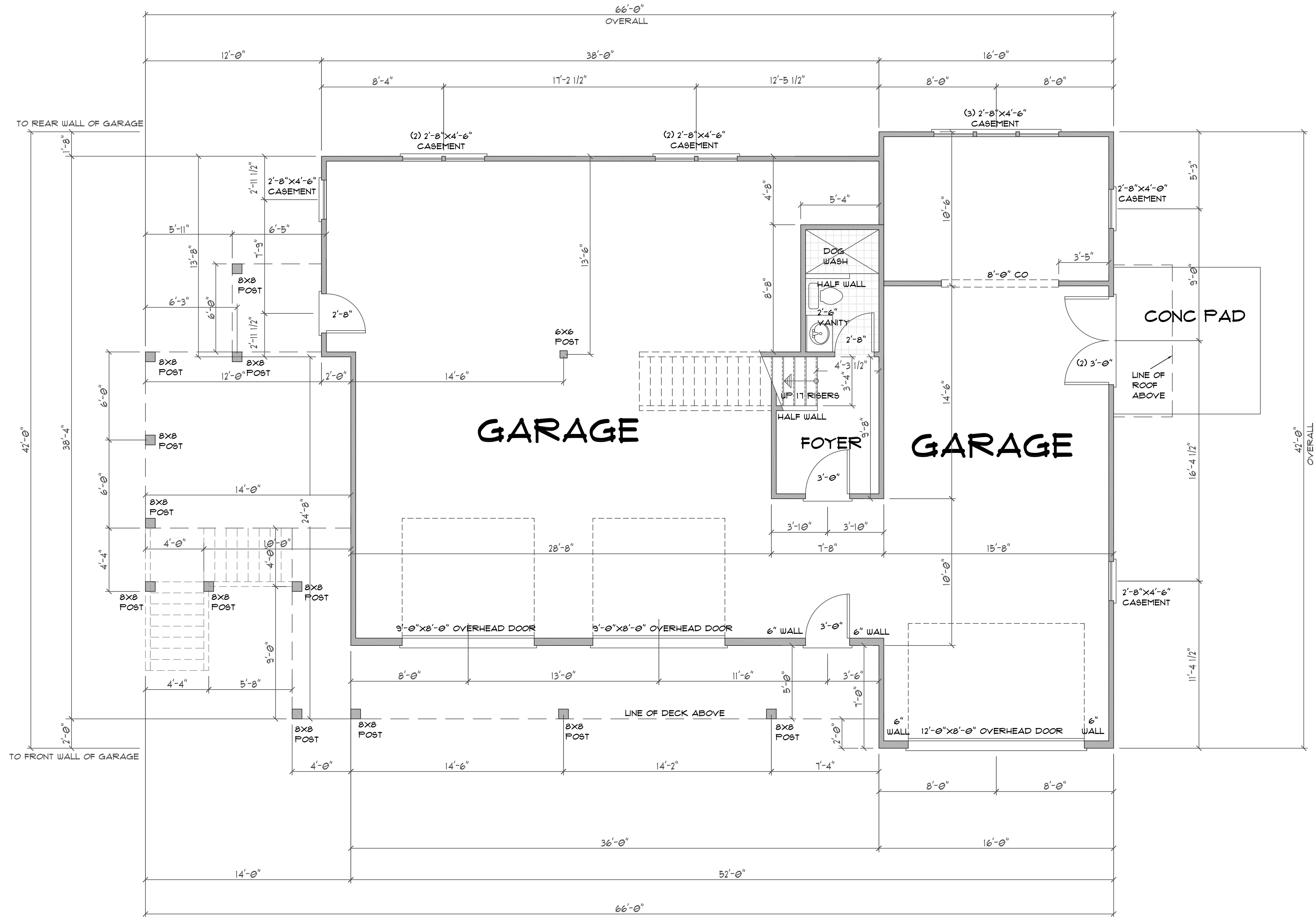
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CLIENT:	PETE & SUZANNE EVANS
PROJECT:	RESIDENCE
SHEET:	3 OF 8
DATE:	SEPTEMBER 1, 2021
SHEET NAME:	MASONRY/FOUNDATION PLAN
DRAWN BY:	
REVISION:	
ADDRESS/LOCATION:	CHRISTIAN LIGHT ROAD FUQUAY-VARINA, NC HARNETT COUNTY

NOTES (UNLESS NOTED OTHERWISE)

- 10'-0" CEILING ON THIS FLOOR
- STAIRS ARE DESIGNED TO COVER A 132" MAX. RISE:
 - 17 RISERS @ 18" EACH
 - 18 RISERS @ 13" EACH
 - 16 TREADS @ 9" EACH (ROUGH CUT)
 (FIELD VERIFY ALL STAIR DIMENSIONS)
- ALL ANGLES ARE 45 DEGREES
- ALL DOOR HEIGHTS 6'-8"
- SEE CHAPTER 6 OF THE 2018 NC RESIDENTIAL BUILDING CODE FOR WALL CONSTRUCTION
- GARAGE WALLS ADJACENT TO HEATED SPACE SHALL BE COVERED WITH FIRE RATED SHEETROCK PER CODE
- ALL HABITABLE ROOMS SHALL MEET LIGHT, VENTILATION & EGRESS CODES AS REQUIRED
- ALL WINDOW SIZES & DETAILS TO BE VERIFIED WITH CHOSEN MANUFACTURER



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

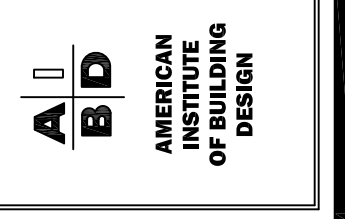
10'-0" CEILING ON THIS FLOOR

AREA CALCULATION

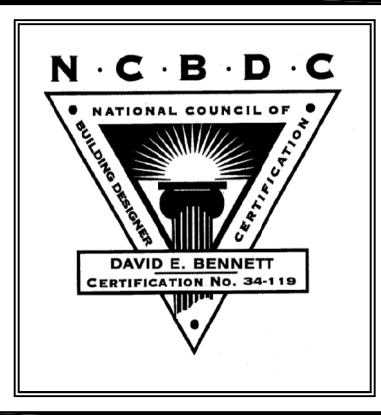
LIVING SPACE:	
FIRST FLOOR:	135 SQFT
SECOND FLOOR:	1900 SQFT
TOTAL:	2035 SQFT
NON-LIVING SPACE	
FIRST FLOOR:	1764 SQFT
COVERED PORCH:	408 SQFT
COV. ENTRY:	35 SQFT
TOTAL:	2207 SQFT



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CLIENT:	PETE & SUZANNE EVANS
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ADDRESS/LOCATION:	CHRISTIAN LIGHT ROAD FUGUAY-VARINA, NC HARNETT COUNTY
SHEET:	4 OF 8
DATE:	SEPTEMBER 1, 2021
SHEET NAME:	FIRST FLOOR PLAN
DRAWN BY:	
REVISED:	



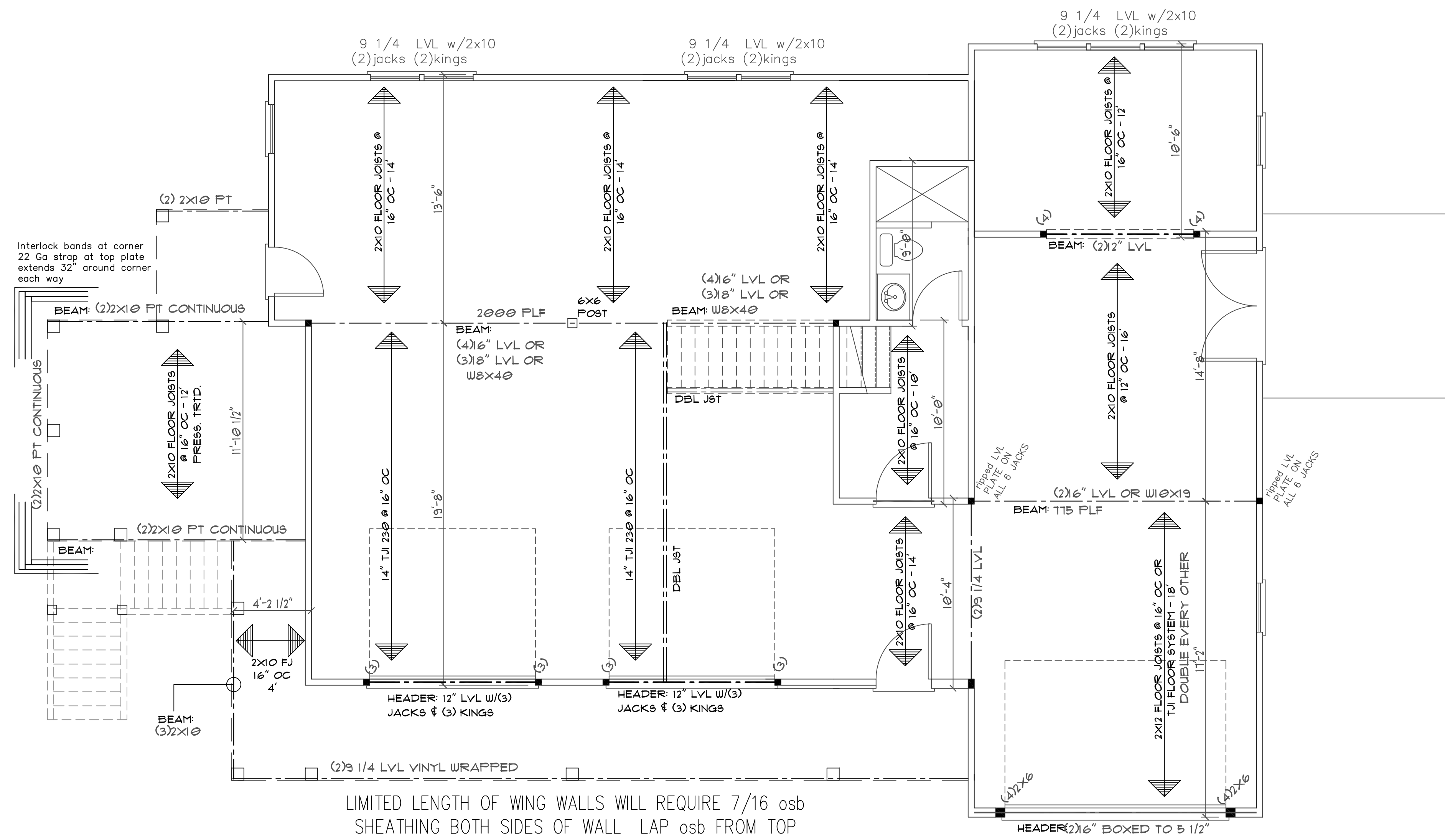
ALL FLOOR JOISTS 2 X 10 @16
 #2 SPF OR BETTER
 Or 11 7/8 I Joists at 16" or 19.2" By MFR
 ALL CEILING JOIST 2 X 8 @ 16 Up To 15'
 2 X 6 @ 16 Up To 11'
 ALL EXTERIOR AND BEARING HEADER (2) 2"x10" u.n.o.
 ALL LVL BEAMS/HEADERS 3 STUD COLUMNS EACH END u.n.o.
 ALL FRAMING #2 SPF OR BETTER u.n.o.

All stories to be sheathed with 7/16" OSB nailed @ six inches on center edges and ends with additional nailing of "braced" panels as noted below:

ALL EXTERIOR BEARING AND NON LOAD BEARING WALLS FOUR FOOT PANEL AT CORNERS AND MAXIMUM 12' O.C.

Wall Bracing 7/16" OSB Lap OSB from top plate down full eight foot sheet prior to opening cut-out. Nail with 8d nails at THREE inches on center edges/ends six inches in field. Purlins at panel

The number of kings shall equal half the cripple studs above or below the opening.



LIMITED LENGTH OF WING WALLS WILL REQUIRE 7/16 osb SHEATHING BOTH SIDES OF WALL LAP osb FROM TOP PLATE DOWN FULL EIGHT FOOT SHEET PRIOR TO OPENING CUT-OUT

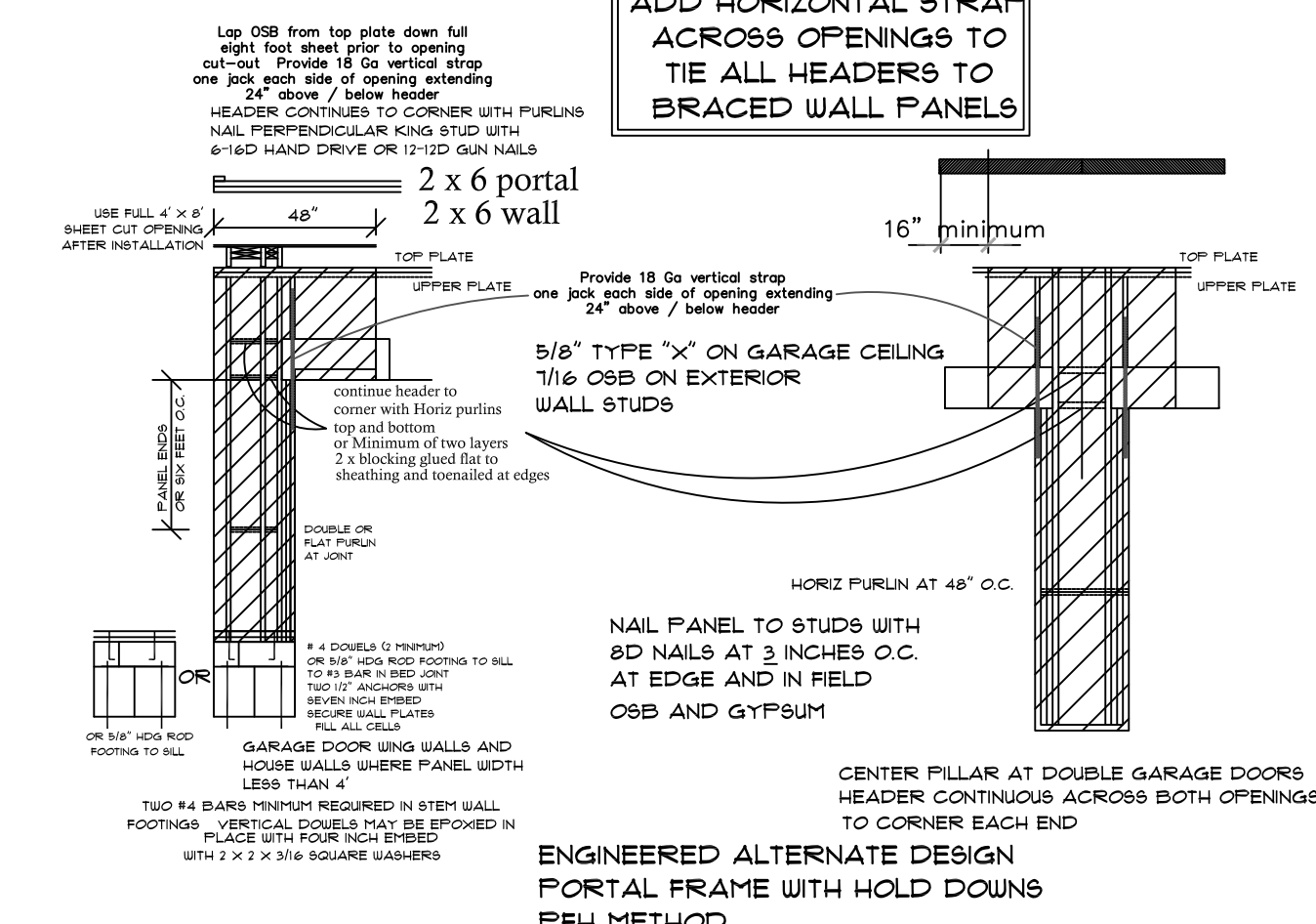
**FIRST FLOOR - CEILING FRAMING PLAN
 SECOND FLOOR - FLOOR FRAMING PLAN**

SCALE: 1/4"=1'-0"

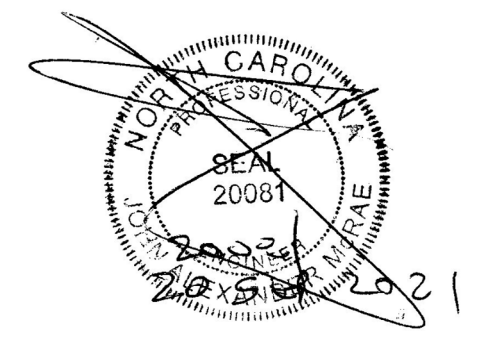
10'-0" CEILING ON THIS FLOOR

DESIGN TO IRC 2015 / NBC 2018

ADD HORIZONTAL STRAP ACROSS OPENINGS TO TIE ALL HEADERS TO BRACED WALL PANELS

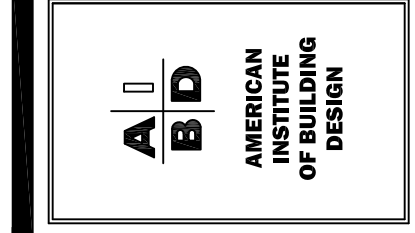


ENGINEERED ALTERNATE DESIGN PORTAL FRAME WITH HOLD DOWNS PFH METHOD

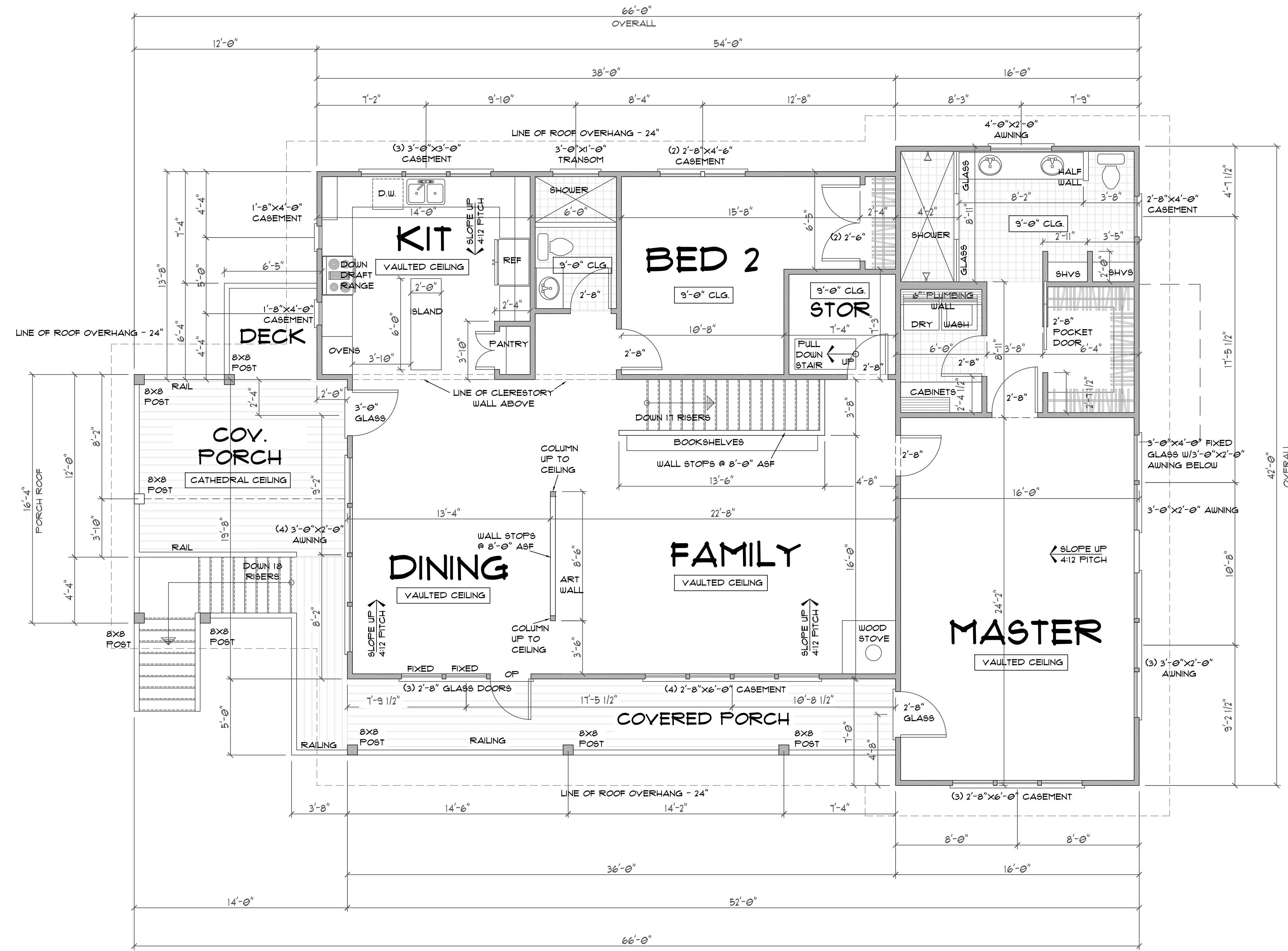


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 (NC C-2298)

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CLIENT:	PETE & SUZANNE EVANS
PROJECT:	CHRISTIAN LIGHT ROAD FUQUAY-VARINA, NC
SHEET:	5 OF 8
DATE:	SEPTEMBER 1, 2021
SHEET NAME:	FIRST FLOOR STRUCTURAL PLAN
DRAWN BY:	
REVISED:	
ADDRESS/LOCATION:	CHRISTIAN LIGHT ROAD FUQUAY-VARINA, NC HARNETT COUNTY



SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"

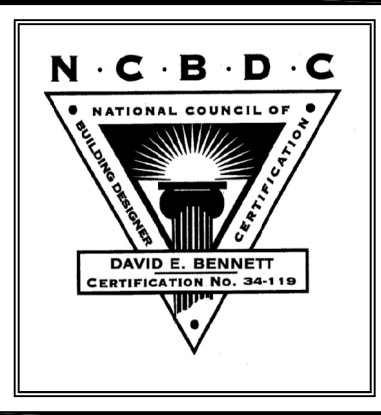
9'-0" CEILING ON THIS FLOOR



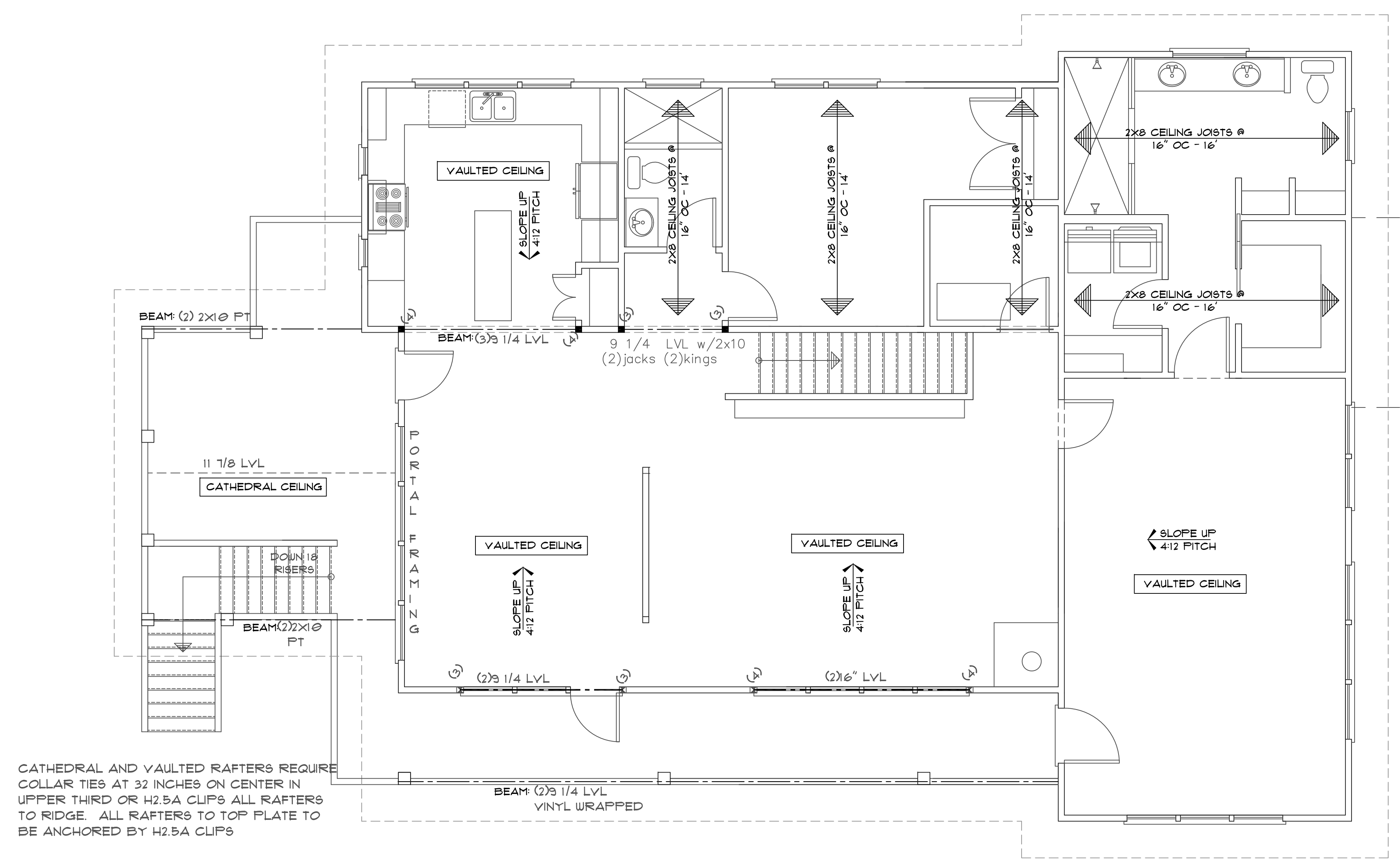
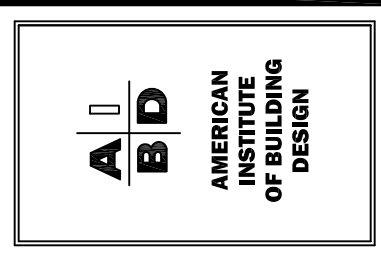
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CLIENT:	PETE & SUZANNE EVANS
PROJECT:	CHRISTIAN LIGHT ROAD FUGUAY-VARINA, NC
SHEET:	6 OF 8
DATE:	SEPTEMBER 1, 2021
SHEET NAME:	SECOND FLOOR PLAN
DRAWN BY:	
REVISED:	
ADDRESS/LOCATION:	CHRISTIAN LIGHT ROAD FUGUAY-VARINA, NC HARNETT COUNTY



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The number of kings shall equal half the cripple studs above or below the opening.

ALL FLOOR JOISTS 2 X 10 @ 16
 #2 SPF OR BETTER
 Or 11 7/8 L Joists at 16" or 19.2" By MFR
 ALL CEILING JOIST 2 X 8 @ 16 Up To 15'
 2 X 6 @ 16 Up To 11'
 ALL EXTERIOR AND BEARING HEADER (2) 2"x10" u.n.o.
 ALL LVL BEAMS/HEADERS 3 STUD COLUMNS EACH END u.n.o.
 ALL FRAMING #2 SPF OR BETTER u.n.o.

All stories to be sheathed with 7/16" OSB nailed @ six inches on center edges and ends with additional nailing of "braced" panels as noted below:

ALL EXTERIOR BEARING AND NON LOAD BEARING WALLS FOUR FOOT PANEL AT CORNERS AND MAXIMUM 12' O.C.

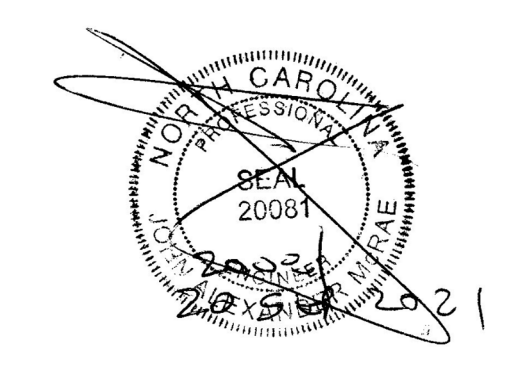
Wall Bracing 7/16" OSB Lap OSB from top plate down full eight foot sheet prior to opening cut-out. Nail with 8d nails at THREE inches on center edges/ends six inches in field. Purlins at panel

CATHEDRAL AND VAULTED RAFTERS REQUIRE COLLAR TIES AT 32 INCHES ON CENTER IN UPPER THIRD OR H2.5A CLIPS ALL RAFTERS TO RIDGE. ALL RAFTERS TO TOP PLATE TO BE ANCHORED BY H2.5A CLIPS

SECOND FLOOR - CEILING FRAMING PLAN

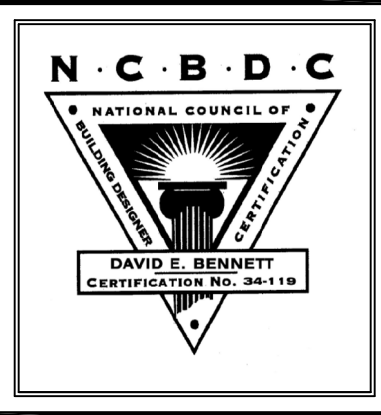
SCALE: 1/4" = 1'-0"

9'-0" CEILING ON THIS FLOOR



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 jampe@nc.rr.com (919) 210-5749
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 (NC C-2298)

CLIENT: PETE & SUZANNE EVANS	DRAWN BY:
PROJECT: RESIDENCE	REVISED:
SHEET: 1 OF 8	DATE: SEPTEMBER 1, 2021
SHEET NAME: SECOND FLOOR STRUCTURAL PLAN	
ADDRESS/LOCATION: CHRISTIAN LIGHT ROAD FUQUAY-VARINA, NC HARNETT COUNTY	



ROOF 1 ATTIC VENTILATION CALCULATION (AS PER 2018 NORTH CAROLINA RESIDENTIAL CODE)

900 SQFT. OF ATTIC/150 REQUIRES = 6 SQFT. OF FREE VENT = 3 SQFT. IN/3 SQFT. OUT.

- EAVES TO HAVE 2" CONTINUOUS EAVE/SOFFIT VENT
- IF ROOF VENTING IS INADEQUATE, SUPPLEMENT WITH POWER ROOF VENTILATORS.
- VENTILATION REQUIREMENT MAY BE REDUCED TO 1 SF/300 SF PROVIDED AT LEAST 50% AND NOT MORE THAN 80% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED, AT LEAST THREE (3) FEET ABOVE THE EAVE OR CORNICE VENTS, AND WITH THE BALANCE OF THE VENTILATION TO BE PROVIDED BY THE EAVE AND CORNICE VENTS.

NOTE: REFER TO SECTION 806 (ROOF VENTILATION) OF THE NC STATE RESIDENTIAL CODE

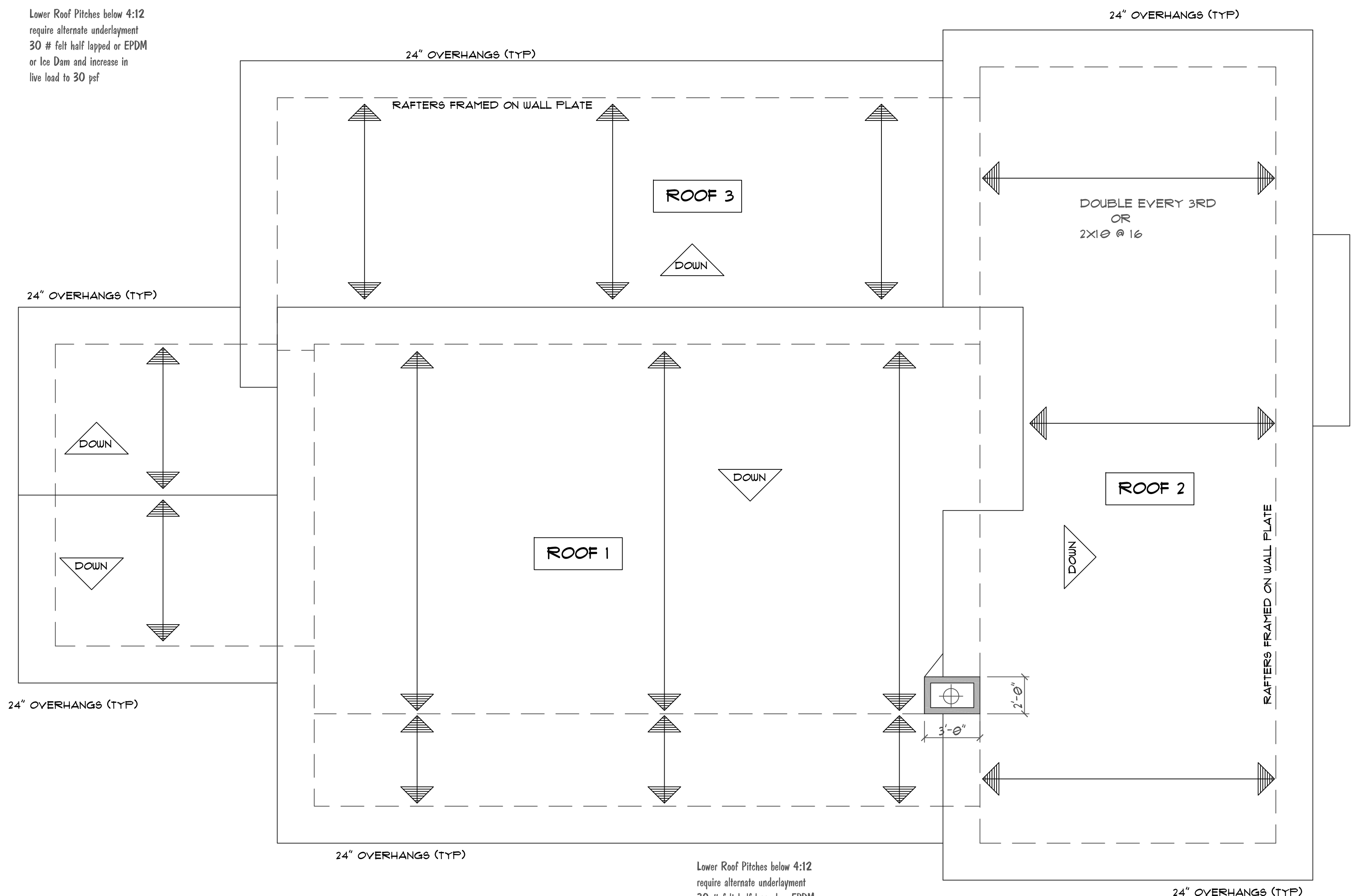
ROOF 2 ATTIC VENTILATION CALCULATION (AS PER 2018 NORTH CAROLINA RESIDENTIAL CODE)

672 SQFT. OF ATTIC/150 REQUIRES = 4.4 SQFT. OF FREE VENT = 2.2 SQFT. IN/2.2 SQFT. OUT.

ROOF 3 ATTIC VENTILATION CALCULATION (AS PER 2018 NORTH CAROLINA RESIDENTIAL CODE)

507 SQFT. OF ATTIC/150 REQUIRES = 3.4 SQFT. OF FREE VENT = 1.1 SQFT. IN/1.1 SQFT. OUT.

Lower Roof Pitches below 4:12 require alternate underlayment 30 # felt half lapped or EPDM or Ice Dam and increase in live load to 30 psf



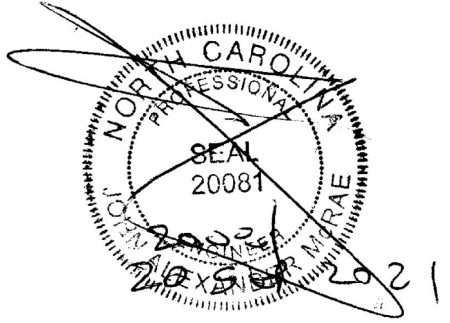
- all rafters **2 x 8 @ 16 #2**
- spf or better
- all ridges **2 x 10 u.n.o.**
- fur ridge as required to provide full rafter contact
- fur rafters as required to meet insulation code
- lap all rafters at kneewall splices
- 18"** minimum nail with 5-12d
- nails from each side
- IRC 2015 / NCBC 2018 INCREASES ATTIC / CEILING INSULATION TO R-38

ROOF PLAN

SCALE: 1/4"=1'-0"

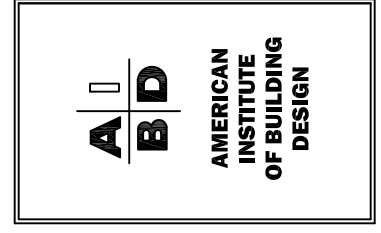
ALL FLOOR JOISTS 11 7/8" I Joists @ 16 max
EverEdge 20 or LPI 20+
RFPI 40S or BCI 6000 or TJI 210

14" FJ @ 19.2" OC



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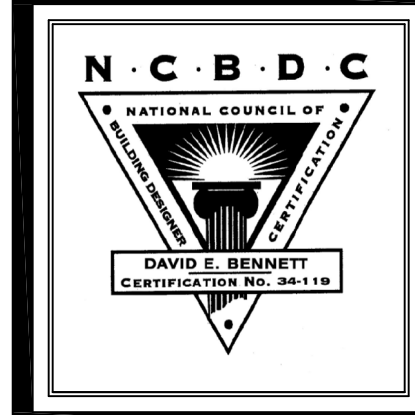
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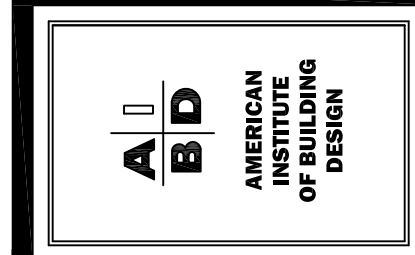
DRAWN BY:	REVISED:

ADDRESS/LOCATION:
CHRISTIAN LIGHT ROAD
FUQUAY-VARINA, NC
HARNETT COUNTY

CLIENT: PETE & SUZANNE EVANS	DATE: SEPTEMBER 1, 2021
PROJECT: RESIDENCE	SHEET: 8 OF 8
SHEET NAME: ROOF PLAN	



Triangle Residential Designs Inc
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Client: PETE & SUZANNE EVANS
Project: RESIDENCE
Sh: D1 of 1
Date: SEPTEMBER 1, 2021
Address/Job #: CHRISTIAN LIGHT ROAD FUQUAY-VARINA, NC HARNETT COUNTY

STANDARD CONSTRUCTION DETAILS & NOTES

FLOOR PLAN NOTES

- 1) ALL JOIST SPANS ARE CALCULATED USING #2 GRADE SPRUCE PINE FR.
2) JOIST SIZES ARE SHOWN AT MINIMUM TO MEET STRUCTURAL REQUIREMENTS...
3) PROVIDE DOUBLE FLOOR JOISTS AT ALL NON LOAD BEARING PARTITION WALLS...

WOOD WALL CONSTRUCTION

- 1) ALL STUDS ARE TO BE #3 GRADE STANDARD OR STUD GRADE LUMBER...
2) ALL INTERIOR LOAD-BEARING WALLS SHALL BE CONSTRUCTED, FRAMED & FIREBLOCKED...

GARAGE DOOR WALL CONSTRUCTION

- 1) PLACE (2) 1/2" DIAM. ANCHOR BOLTS AT OUTSIDE QUARTER OF THESE PANELS...
2) BOLTS MAY BE REPLACED BY ANCHOR STRAPS, SPACED AS REQUIRED...

CONCRETE SLAB FLOORS

- 1) CONCRETE SLAB ON GROUND FLOORS SHALL BE A MINIMUM OF 3-1/2" THICK...
2) FILL MATERIAL SHALL BE COMACTED TO ASSURE UNIFORM SUPPORT OF SLAB...

DECK NOTES

- 1) WHEN THE DECK IS ATTACHED TO THE STRUCTURE, THE STRUCTURE SHALL HAVE A TREATED WOOD BAND...
2) THE DECK AND STRUCTURE BANDS SHALL BE CONSTRUCTED IN CONTACT WITH EACH OTHER...

GLAZING

- 1) ALL HABITABLE ROOMS SHALL HAVE A GLAZING AREA OF NOT LESS THAN 8% OF THE FLOOR AREA...
2) WINDOWS SHALL HAVE A MINIMUM DESIGN REQUIREMENT OF 25WPI AND U-40...

EMERGENCY ESCAPE

- 1) OPENINGS PROVIDED AS MEANS OF ESCAPE CANNOT HAVE A SILL HEIGHT OF MORE THAN 44" ABOVE THE FLOOR...
2) ESCAPE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 4 SQ. FT...

FOUNDATION NOTES

- 1) CRAWL SPACE IS TO BE LEVEL & CLEAN OF CONSTRUCTION DEBRIS, VEGETATION AND ANY ORGANIC MATERIAL...
2) ONE VENT MUST BE WITHIN 3' OF EACH CORNER OF THE BUILDING...

FOOTINGS

- 1) FOOTING PROJECTIONS SHALL BE AT LEAST 2" AND SHALL NOT EXCEED THE THICKNESS OF THE FOOTING...
2) THE TOP SURFACE OF FOOTINGS SHALL BE LEVEL W/ MASONRY UNITS...

DRAINAGE

- 1) INSTALL AROUND FOUNDATION, DRAIN TILES, GRAVEL OR CRUSHED STONE DRAINS PERFORATED PIPES OR OTHER APPROVED SYSTEM AS REQUIRED BY GRADE...
2) FOUNDATION DRAINAGE MAY BE OMITTED WHEN THE INTERIOR GRADE IS LESS THAN 12" BELOW THE EXTERIOR GRADE...

WATERPROOFING:

- 1) FOUNDATION WALLS, WHERE THE OUTSIDE GRADE IS HIGHER THAN THE INSIDE GRADE, SHALL BE DAMPROOFED FROM THE TOP OF THE FOOTING TO THE FINISHED GRADE...

ANCHORAGE

- 1) THE WOOD SOLE PLATE AT EXTERIOR WALLS ON MONOLITHIC SLABS AND WOOD SILL PLATE SHALL BE ANCHORED TO THE FOUNDATION W/ ANCHOR BOLTS SPACED A MAXIMUM OF 6'-0" ON CENTER...

FOUNDATION WALLS

- 1) VERTICAL REINFORCEMENT OF MASONRY WALLS SHALL BE TIED TO THE HORIZONTAL REINFORCEMENT OF THE FOOTINGS...
2) FOUNDATION WALL IS TO BE 8" CONC. BLOCK OR 8" BRICK & BLOCK ON CONTINUOUS CONCRETE FOOTING...

PIERS

- 1) MASONRY PIERS HEIGHT SHALL NOT EXCEED 10 TIMES THEIR LEAST DIMENSION...
2) WHEN STRUCTURAL CLAY OR HOLLOW CONCRETE MASONRY UNITS ARE USED TO SUPPORT BEAMS & GIRDERS, THE CELLULAR SPACES MUST BE FILLED SOLIDLY WITH CONCRETE OR TYPE "M" OR "S" MORTAR...

CAVITY ACCESS

- 1) MIN. CRAWL SPACE ACCESS IS 18"(W) x 24"(H) W/ DBL BAND ABOVE PLACE AT BEST LOCATION WITH REFERENCE TO GRADE...
2) ACCESS MAKE BE INCREASED IF MECHANICAL EQUIPMENT IS LOCATED UNDER FLOORS...

ROOF NOTES

- 1) RAFTER SIZES ARE SHOWN AT MINIMUM STRUCTURAL REQUIREMENTS, SIZES MAY BE INCREASED TO PROVIDE MINIMUM INSULATION VALUES OR AIR PASSAGES...
2) RAFTER SPANS ARE CALCULATED ON #2 GRADE SPRUCE PINE FINE FR...

GARAGE

- 1) DOOR FROM GARAGE TO HOUSE MUST BE 1-3/8" THICK SOLID WOOD OR SOLID OR HONEYCOMBED CORE STEEL DOORS OR 20 MIN. FIRE RATED...
2) GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE...

STAIRWAYS

- 1) STAIRWAYS SHALL BE A MINIMUM 3'-0" WIDE...
2) HANDRAILS SHALL NOT PROJECT MORE THAN 4.5" ON EITHER SIDE...
3) MINIMUM CLEAR WIDTH OF THE STAIRWAY AT AND BELOW THE HANDRAIL SHALL NOT BE LESS THAN 31.5" WHERE THE HANDRAIL IS INSTALLED ON ONE SIDE AND 27" WHERE HANDRAILS ARE ON BOTH SIDES...

HANDRAIL AND GUARDS

- 1) HANDRAILS SHALL HAVE A MINIMUM HEIGHT OF 34" AND A MAXIMUM HEIGHT OF 38"...
2) PORCHES, BALCONIES OR RAISED FLOORS OVER 30" ABOVE FLOOR OR GRADE SHALL HAVE GUARD RAILS NO LESS THAN 36" HIGH...

COMPONENT & CLADDING DESIGNED FOR THE FOLLOWING LOADS

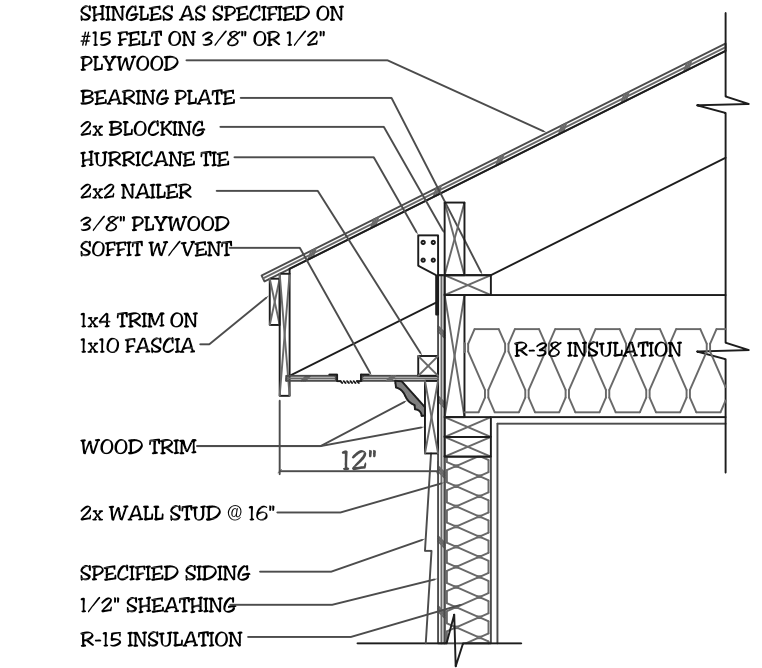
Table with 5 columns: MEAN ROOF HEIGHT, ZONE 1, ZONE 2, ZONE 3, ZONE 4, ZONE 5. Values range from 16.5 to 20.2.

SEE NC BUILDING CODE FOR LOCATION OF ZONES PLUS AND MINUS SIGNS SIGNIFY PRESSURES ACTING TOWARDS AND AWAY FROM THE BUILDING SURFACES

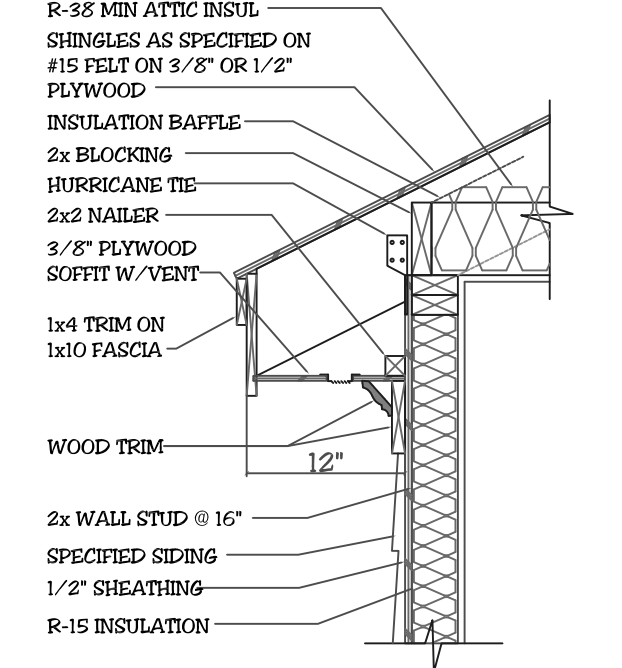
NOTES: * THESE PLANS, NOTES AND DETAILS ARE DESIGNED TO MEET THE REQUIREMENTS OF THE 2018 NC BUILDING CODE. * ALL NOTES ARE APPLICABLE UNLESS NOTED OTHERWISE (UNO) * THIS DETAIL SHEET IS TO BE USED ONLY IN CONJUNCTION WITH PLANS CREATED BY TRIANGLE RESIDENTIAL DESIGNS, INC.

NOTE: SEALED ENGINEER'S DRAWINGS TAKE PRECEDENCE OVER TRD'S STANDARD DETAILS AND NOTES

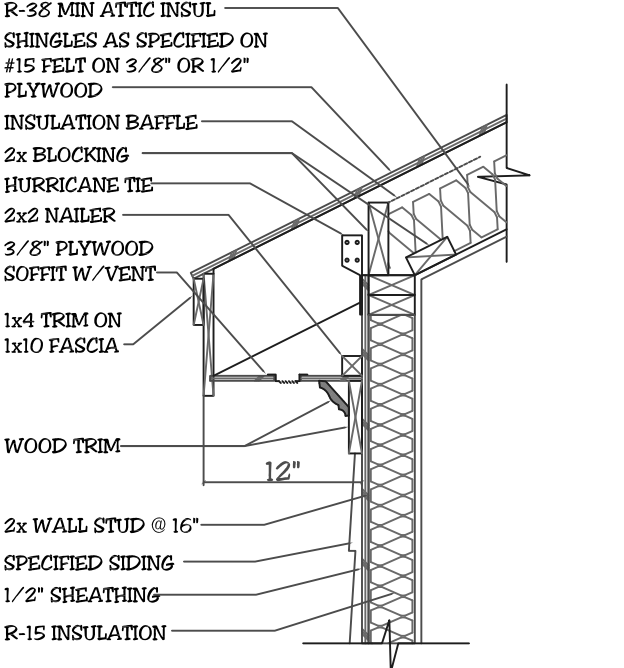
ANCHOR BOLT NOTE 1/2" DIA X 10" ANCHOR BOLTS W/ 7" MIN EMBEDMENT @ 6'-0" OC AND 12" FROM EACH PLATE SPLICE AND CORNER.



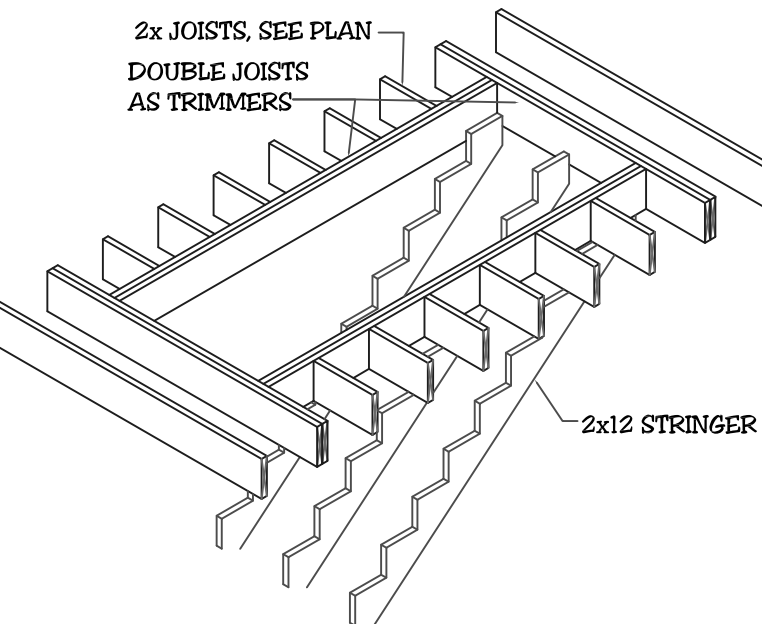
RAFTERS ON TOP OF JOISTS



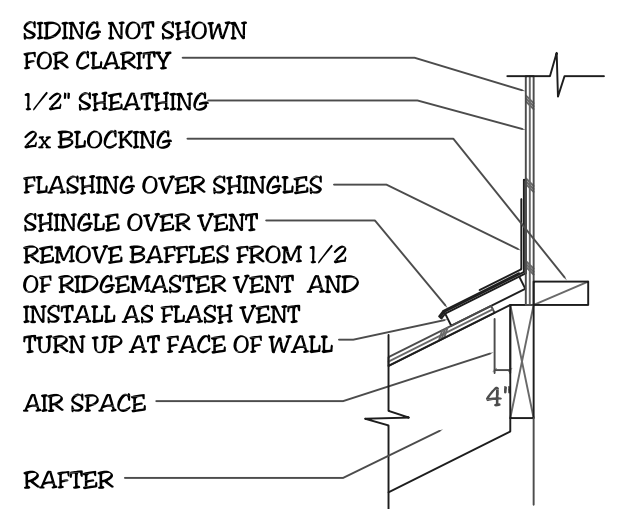
RAFTERS ON DBL TOP PLATE



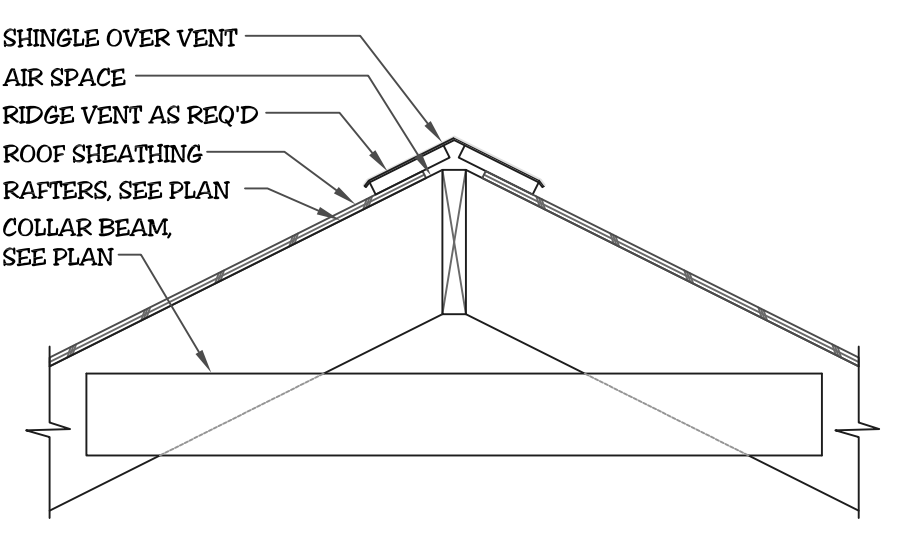
RAFTERS w/ SLOPED CLG



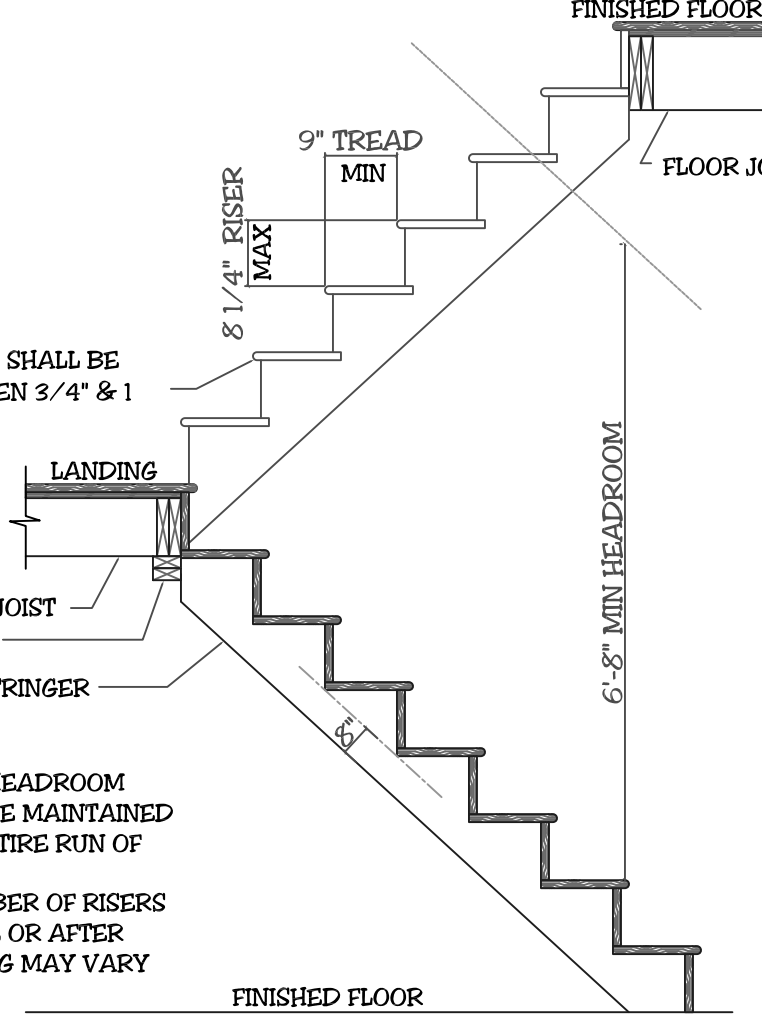
STAIR FRAMING w/ PERPENDICULAR JOISTS



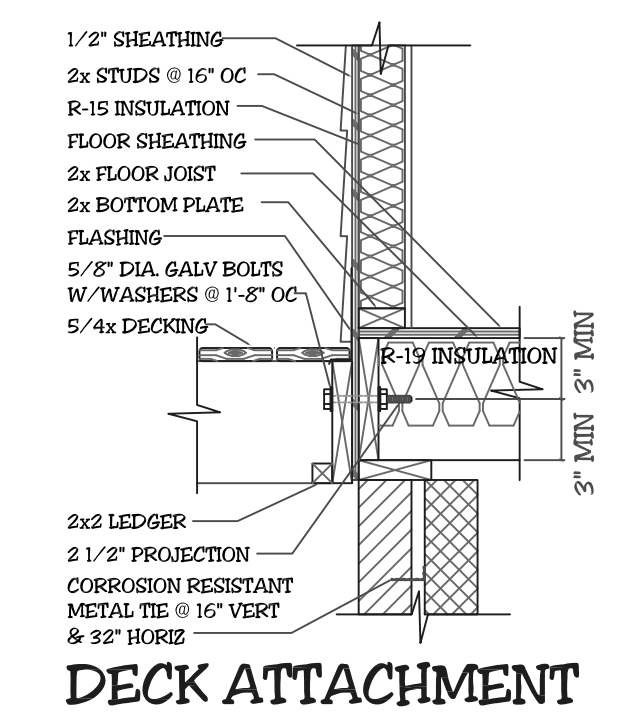
SHED ROOF @ WALL



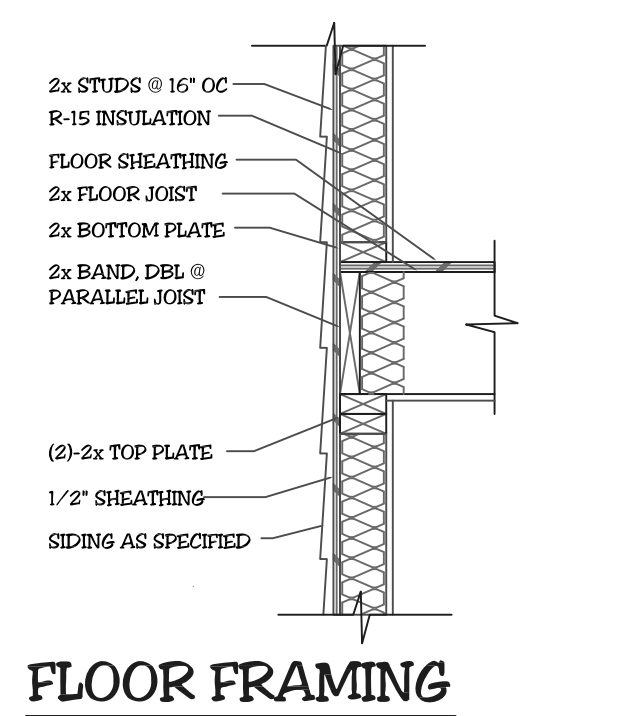
COLLAR BEAM DETAIL



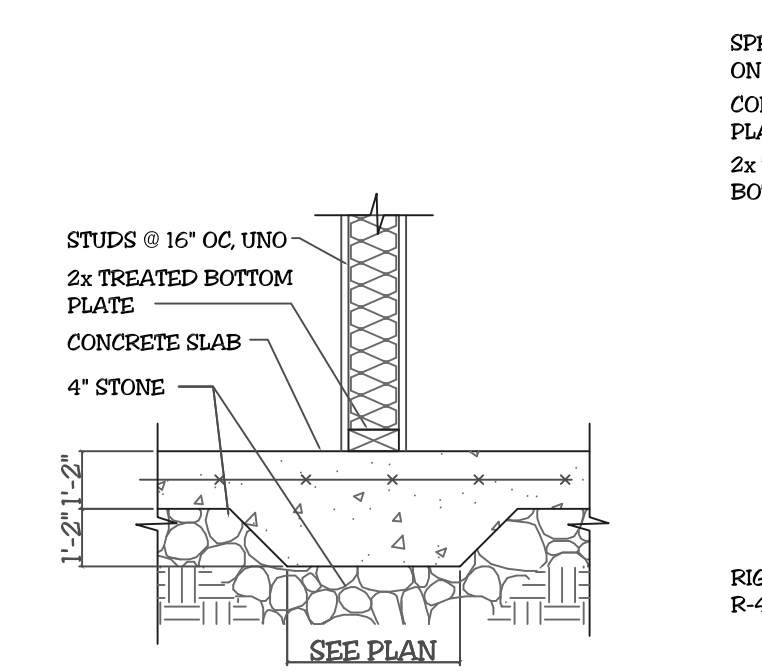
STAIR SECTION



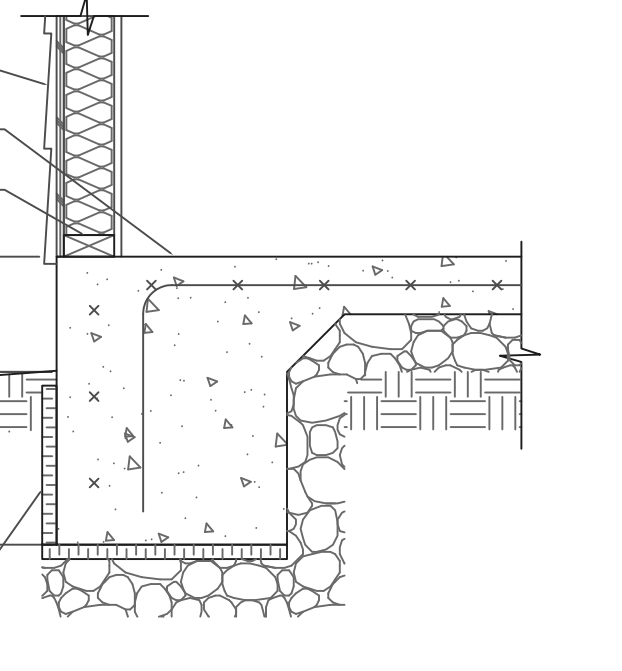
DECK ATTACHMENT



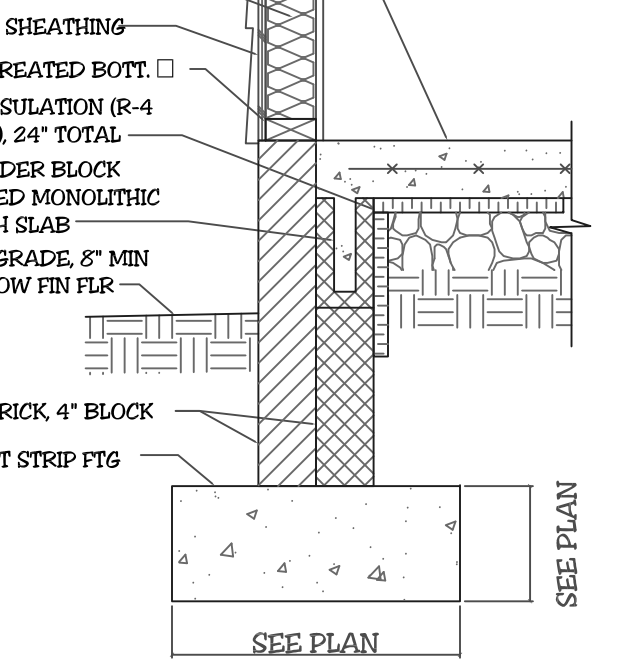
FLOOR FRAMING



THICKENED SLAB



MONOLITHIC SLAB



SLAB w/ SIDING