

# DESIGN PROFESSIONAL INSPECTION FORM

RECORD OF THE INSPECTION OF A COMPONENT OR ELEMENT BY A NC LICENSED ARCHITECT OR ENGINEER

## Project Information:

Residential Single-Family Project: <b>Y</b> N	Commercial Project: Y N
Code Enforcement Project No:	Permit No: SFD2109-0084
Project Name: 589 West J Street	Owner: Schumacher Homes
Project Address: 589 W J Street Erwin, NC 28339	Suite No:
Date Inspected: 12/17/2021	Contractor Name: McGee Brothers
Component Inspected: residential home footings prior to concrete placement	

## Responsible Licensed NC Architect or NC Engineer

Name:	W. Shawn Sullivan, P.E.
Firm Name:	GTA Associates, Inc.
Phone Numbers:	Office: 984-200-2104      Mobile: 984-500-6192
Email Address:	Shawnsullivan@gtaeng.com
Mailing Address:	5605 Chapel Hill Road, Suite 112, Raleigh, NC 27607

**APPLICABLE CODE:** 2018 NC Residential Code

2018 NCBC = 2018 NC Building Code; 2018 NCRC = 2018 NC Residential Code

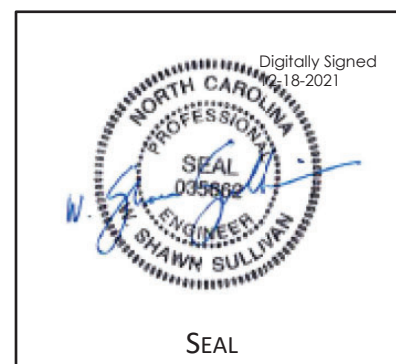
Describe Element/Component/Type of Inspection: \* strip ftgs, pier ftgs, lug ftgs, under code R403.1. Soil Bearing Capacity = 2,000 psf(see attached report)

\*(subgrade form/letter may also be required)

## Attestation/Signature:

By signing below, I certify that the component and/or element of the building as identified on this form has been inspected by me or someone under my direct supervision per subsection (b2) of NC G.S. 153A-352 and is in compliance with the approved plans & specifications for the project. This inspection is in compliance with all of the requirements of the above referenced code. Attach any additional documents if needed.

W. Shawn Sullivan, P.E. (NC License No.: 035662)  
Licensed Architect or Engineer



## Inspection Department disclaimer:

Upon the receipt of a signed written document as required under subsection (a) of Article 160A-413.5., Code Enforcement shall be discharged and released from any liabilities, duties and responsibilities imposed by this article or in common law from any claim arising out of or attributed to the component or element in the construction of the building for which the signed written document was submitted. Be aware that this inspection will be noted in all inspection records including the Certificate of Occupancy or Certificate of Compliance. This inspection does not address any local ordinances or zoning requirements.



Project Name: 589 West J Street Date: 12 / 17 / 2021 GTA Rep: Matthew Wright  
 Project No.: 201253x034 Client: McGee Brothers Weather: Sunny Temperature: 66 °F

**Location of Work:**

589 West J Street, Erwin, North Carolina

**Plans Referenced:**

Charleston Classic / Custom - Foundation Plan

**Description of Work:**

GTA representative arrived on-site, as requested, to test the bearing capacity of near surface soils for footings, and to perform 3rd party footing observations prior to concrete placement for the residential home planned for construction at 589 W J St. in Erwin, North Carolina.

Upon arrival on-site, GTA observed McGee Bros contractor in the process of over-excavating the left exterior wall footing approximately 6- to 7-feet below the existing ground surface elevation. The contractor informed GTA that the soils in that area are soft and do not appear suitable for foundation support. The contractor plans to over-excavate the soft soils and backfill the resulting excavations with additional concrete during concrete placement for footing construction.

GTA observed the contractor work to remove the soft/wet clayey soils to expose a competent bearing subgrade. GTA noted the over-excavated soils appeared stained, wet, plastic, and exhibiting an organic odor. Please see the attached site sketch for the approximate area of footing soil over-excavation. After removal of soft/wet soils, GTA re-tested the bearing capacity of soils at the new bottom of footing elevation.

Utilizing a steel probe rod, hand auger, and Dynamic Cone Penetrometer (ASTM STP399) to test the bearing capacity of near surface soils for footings, test results indicated that soils, at the locations and elevations tested; appear capable of supporting footings designed for a net allowable bearing pressure of 2,000 psf.

The over-excavation area observed on this date had approximate measured dimensions as follows:  
 (62' x 5' x 2') + (15' x 4.5' x 2') + (15' x 4' x 2') + (10' x 4' x 3.5') = 38 cubic yards.

Please note, GTA test results are only indicative of soil conditions at the specific GTA test locations and depths explored. GTA testing was performed to a maximum depth of 4-feet below bottom of footing elevation. Where deeper fill soils are present, GTA has assumed the fill subgrade was prepared properly, and the fill soils were placed, compacted, and tested properly.

**Remarks/Deficiencies/Failing Tests:**

soil remediation volume documented: 38 cubic yards

Nuclear Gauge:  Soil  Asphalt  None  
 Attachments:  Location Sketch  Photos  Nuclear Field Density  Concrete Test Report  
 Material Tickets  Subgrade Preparation Report  Foundation Observation Report  
 Other DPI Form

Portal-to-Portal Time: 4  
 Mileage: 80

The daily report is preliminary and is provided solely as evidence that a site visit was performed.

GTA Reviewer: Shawn Sullivan



Project No. 201253x034  
Project Name: 589 West J Street  
Client: McGee Brothers  
Technician: Matthew Wright

Date: 12 / 17 / 2021  
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**DESCRIPTION OF WORK (Continued)**

GTA recommends footings be excavated, tested, and concrete placed on the same day, if possible. Foundation observations and soil bearing capacity testing are only valid between rain events. If foundation bearing materials are exposed to freezing temperatures, inclement weather, or disturbed due to construction activity, GTA should be contacted to re-evaluate the foundation bearing materials prior to the placement of concrete.

Also on this date, as requested, GTA performed 3rd party footing observations prior to concrete placement for the above referenced residential home.

Utilizing the approved construction drawings, the footing excavations observed on this date were excavated to the specified dimensions, with the exception of footing depth. GTA noted footings were over-excavated deeper than the minimum depths referenced on the project drawings due to the presence of soft, organic laden soils. The footing excavations on this date were observed to be free of loose soil, debris, and water.

Based on the results of GTA visual observations and testing performed on this date, the soil bearing conditions and foundation preparations observed, appear to be in general accordance with the 2018 North Carolina Residential Code and the approved project drawings.

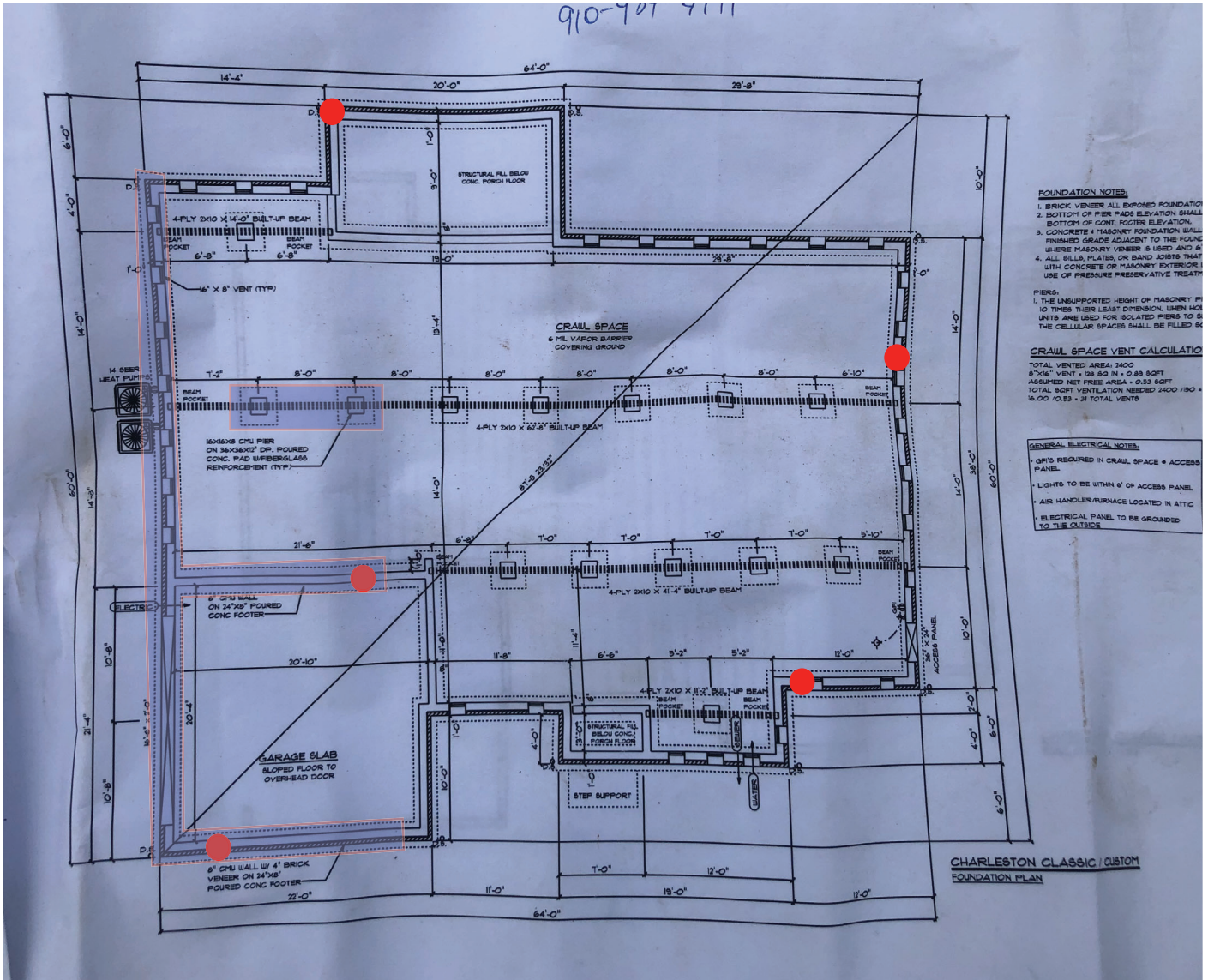
Please see the attached site photos for site conditions observed on this date.



# SKETCH

Project No. 201253x034  
Project Name: 589 West J Street

Date: 12/17/2021  
Sketch No.: 1



● - Approximate location of hand auger boring supplemented w/ DCP testing

■ - Approximate area of over-excavation



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Site Conditions Observed



Site Conditions Observed